



THE BITTERROOT

2 0 0 S P R U C E A V E N U E - K E T C H U M I D A H O

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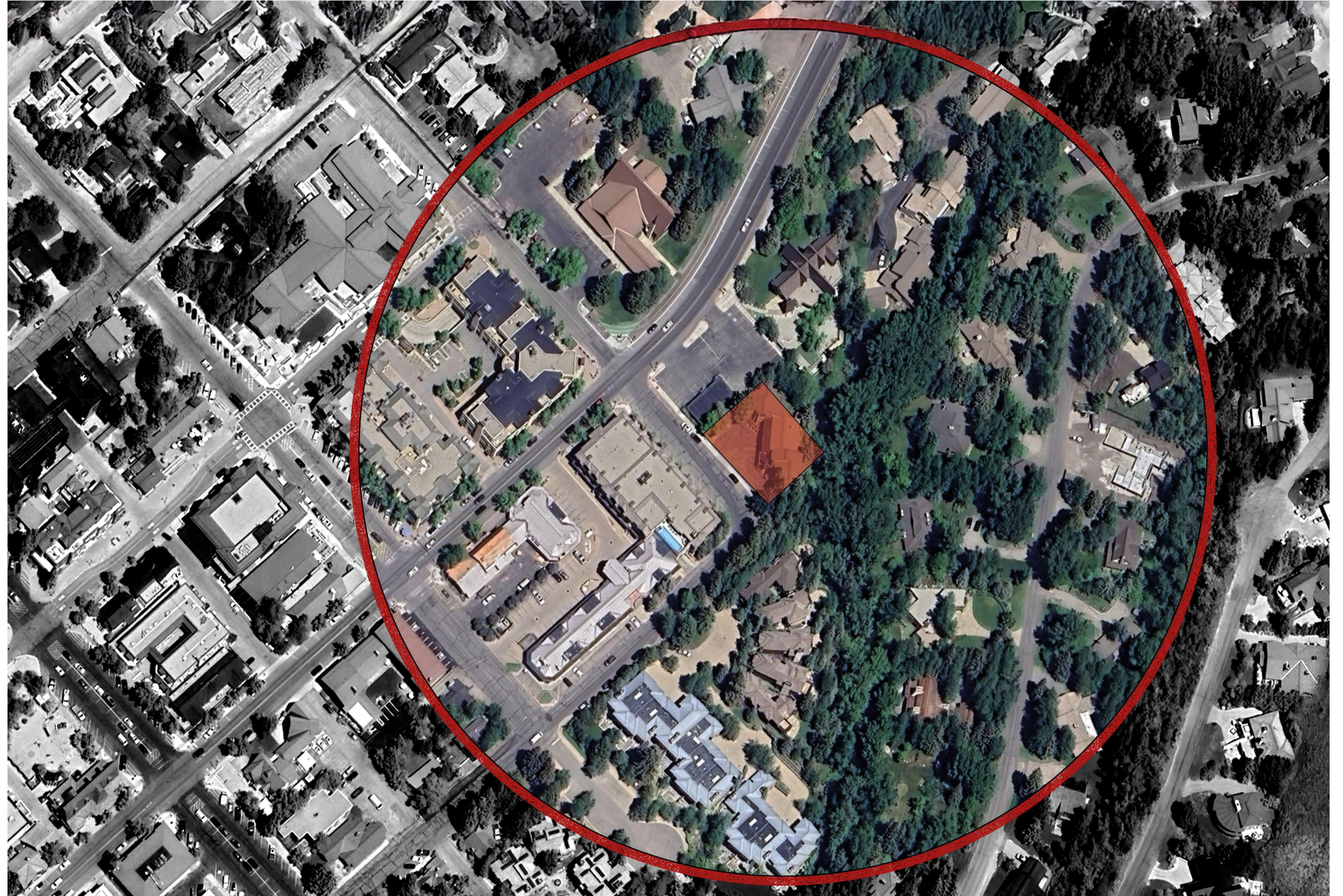
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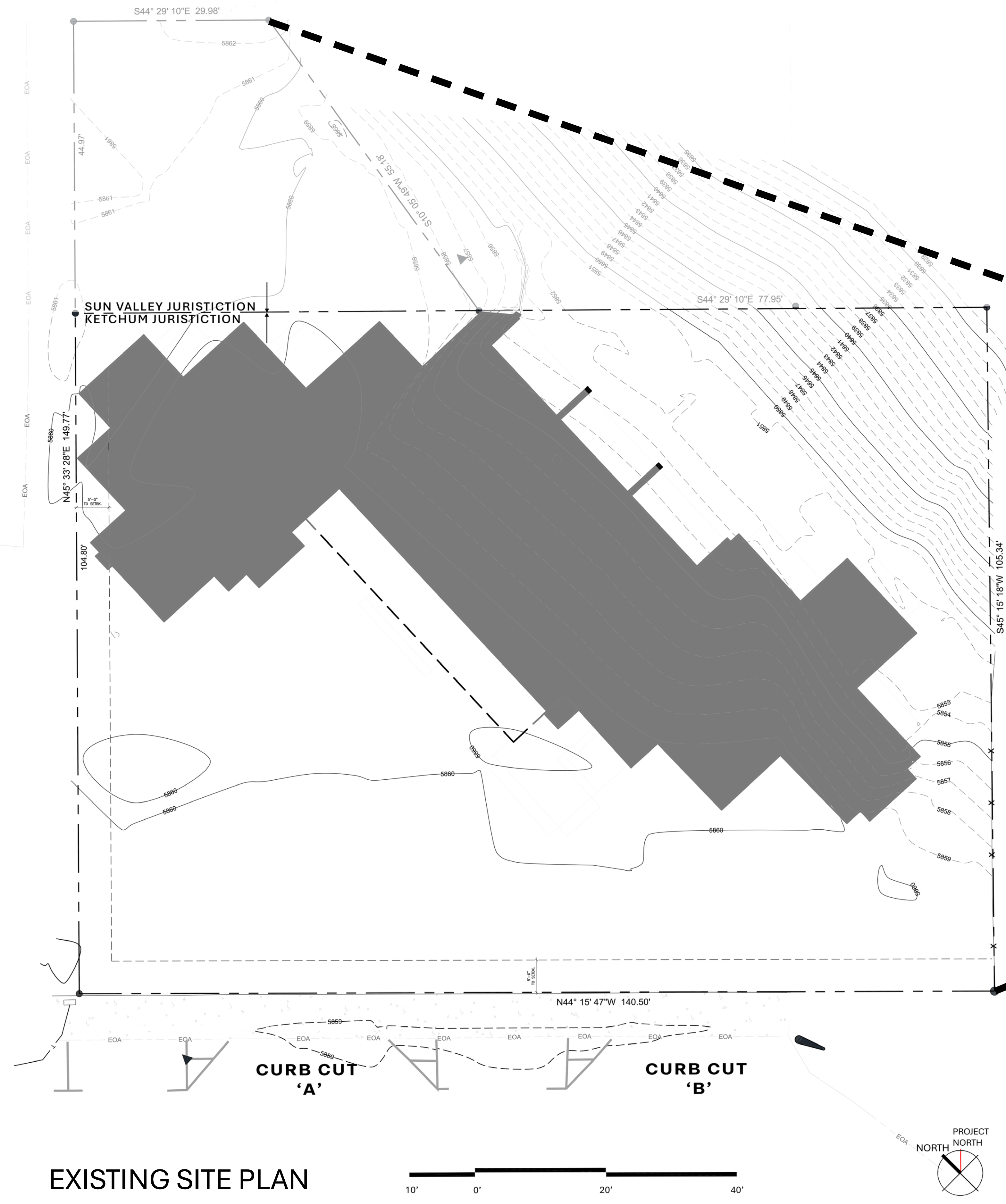
PIONEER CONTRACTING GROUP
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PROJECT OVERVIEW

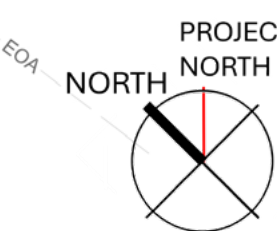
PROJECT LOCATION



EXISTING SITE PLAN & ZONING INFORMATION



EXISTING SITE PLAN



LEGAL DESCRIPTION:

Bitterroot Square Condos Unit 1-9 Parcel

Lot Size:

Ketchum: 14,734 sf
Sun Valley: 2,067 sf

Code:

2018

Zoning:

CC-2 Community Core - Mixed Use

Current Use:

Commercial Tenant Building

Proposed Use:

Residential



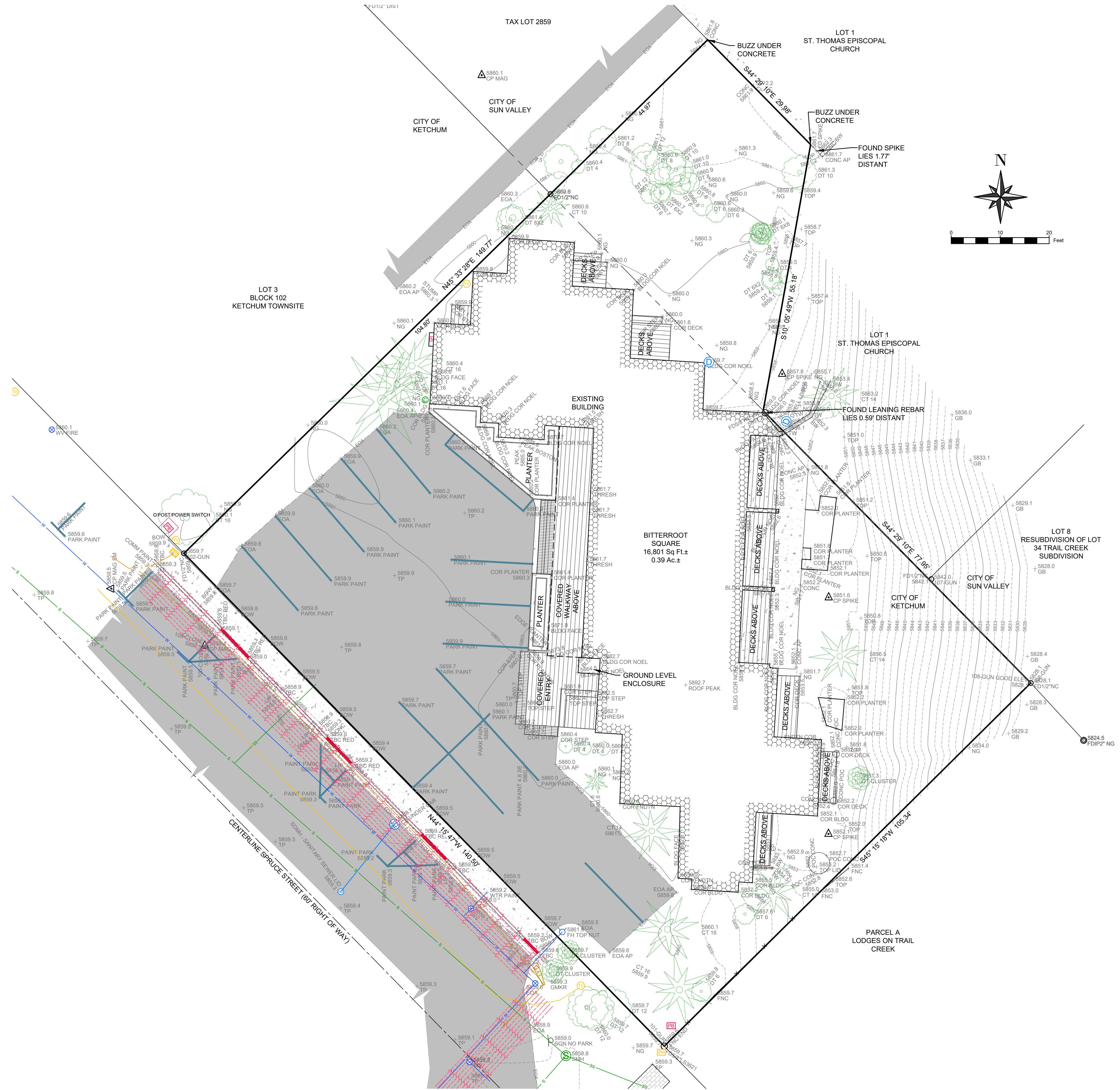
SITE CONTEXT



SITE CONTEXT



SITE PARAMETERS



LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline of Right of Way
- City Limits Line
- Covered Walkway
- Existing Structure
- Wood Deck
- Metal Grate Step
- EOA = Edge of Asphalt
- Asphalt
- Pavers
- Concrete
- 1' Contour Interval
- 5' Contour Interval
- Paint Striping
- Wall Line
- FNC = Fence Line
- Wood Planter Line
- Buried Power Line
- Water line per City of Ketchum Map
- Stormdrain Line
- Sewermain Line per City of Ketchum Map
- Sewer Service Line per City of Ketchum Map
- Buried Telephone Line
- Buried Cable Television Line
- Gas Line
- CP = Survey Control
- FD1/2" = Found 1/2" Rebar
- FD5/8" = Found 5/8" Rebar
- FDIP = Found Iron Pipe
- SGN = Sign
- SGN = Sign
- PBOX = Power Box
- PHBOX = Telephone Riser
- GMKR = Gas Marker
- WV = Water Valve
- FH = Fire Hydrant
- CB = Catch Basin
- DWELL LDSCP = Landscape Drywell
- SDMH = Stormdrain Manhole
- TVBOX = Cable Television Riser
- SCO = Sewer Cleanout
- SMH = Sewer Manhole
- CT = Coniferous Tree
- DT = Deciduous Tree
- DT CLUSTER = Deciduous Cluster
- AP = Angle Point
- BLDG = Building
- BOW = Back of Walk
- BW = Bottom of Wall
- COMM = Communication
- CONC = Concrete
- COR = Corner
- EP = Edge of Pavers
- FD = Found
- FNDTN = Foundation
- FL = Flowline of Gutter
- GB = Grade Break
- LIP = Lip of Gutter
- LS = Land Surveyor
- MAG = Magnetic Nail
- NC = No Cap
- NG = Natural Ground
- NOEL = No Elevation
- POC = Point on Curve
- TBC = Top Back of Curb
- THRESH = Threshold
- TOP = Top of Slope
- TP = Top of Pavement
- TW = Top of Wall
- WTR = Water

- #### SURVEY NARRATIVE & NOTES:
- THE PURPOSE OF THIS MAP IS TO SHOW TOPOGRAPHIC FEATURES BASED ON FIELD WORK GATHERED ON 9/19 & 9/20, 2023, FOR SITE DESIGN AND THE CONTENT IS RELATIVE TO THE INTENDED USE. UNAUTHORIZED CHANGES OR ADDITIONS TO THE EXISTING DATA SHOWN ON THIS MAP IS STRICTLY PROHIBITED. ANY USES OF THIS MAP BEYOND THE STATED PURPOSE REQUIRES THE AUTHORIZATION OF PHILLIPS LAND SURVEYING, PLLC.
 - THE BOUNDARY SHOWN IS BASED ON FOUND MONUMENTS AND THE PLAT OF BITTERROOT SQUARE, INSTRUMENT NUMBER 215265, RECORDS OF BLAINE COUNTY, IDAHO.
 - VERTICAL CONTROL: NAVD 1988, PROJECT BENCHMARK IS THE TOP OF THE MAGNETIC NAIL SHOWN AS SURVEY CONTROL POINT 100, ELEVATION = 55859.36'
 - UNDERGROUND UTILITIES SHOWN ARE A COMBINATION OF CITY OF KETCHUM UTILITY MAPS AND ABOVE GROUND VISIBLE UTILITY FEATURES. DIGLINE OR PRIVATE UNDERGROUND UTILITY LOCATING SERVICE SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION.
 - DURING THE COURSE OF THIS SURVEY IT WAS OBSERVED THAT THE PROPERTY APPEARS TO BE WITHIN THE CITY OF KETCHUM AND WITHIN THE CITY OF SUN VALLEY, BASED ON THE ABOVE LISTED PLAT FOR THE SUBJECT PROPERTY. IT ALSO APPEARS, BASED ON THE SIZE AND SHAPE OF THE BUILDING, THAT UNITS WERE ADDED, HOWEVER, A REPLAT OF THE CONDOMINIUM UNITS DOES NOT APPEAR TO HAVE TAKEN PLACE BASED ON PUBLIC RECORD.
 - STUMPS EXIST ON THE PROPERTY, HOWEVER, WERE NOT LOCATED AS A PART OF THIS SURVEY.
 - IRRIGATION CONTROL BOXES WERE NOT OBSERVED DURING THE COURSE OF THIS SURVEY.
 - THE PORTION OF THE PROPERTY WITHIN THE CITY OF KETCHUM IS 14,734 Sq. Ft.± (0.34 Ac.±) AND THE PORTION WITHIN THE CITY OF SUN VALLEY IS 2,067 Sq. Ft.± (0.05 Ac.±).

REUSE OF DRAWINGS
This map, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Phillips Land Surveying, PLLC

NO	DATE	BY	REVISIONS
1	04/22/26	MEP	NOTE 8 ADDED FOR PROPERTY AREAS

PHILLIPS LAND SURVEYING, PLLC
 HALEY, IDAHO
 Phone: (208) 720-3760
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BITTERROOT SQUARE

A TOPOGRAPHIC MAP SHOWING

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M.
 CITY OF KETCHUM & CITY OF SUN VALLEY, BLAINE COUNTY, IDAHO
 PREPARED FOR GALENA PEAK PARTNERS

1 OF 1

PROJECT DIRECTORY

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CONTACT ARCHITECT FOR
ALL CLIENT COMMUNICATION

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PROJECT DATA

LEGAL OWNER: SUNDANCE R3 DEVCO LLC
OWNER'S ADDRESS: 200 SPRUCE STREET
KETCHUM, ID, 83340
RPK0728000010

SITE INFORMATION

LEGAL DESCRIPTION:
BITTERROOT SQUARE CONDOS UNIT 1-9 PARCEL

CODE: 2018
ZONING: CC-2 COMMUNITY CORE- MIXED USE
CURRENT USE: COM. TENANT BLDG
PROPOSED USE: RESIDENTIAL
SETBACKS REQUIRED: SOUTH (SPRUCE AVE): 5'-0" (26'-0" PROPOSED)
WEST SIDE: 0'-0" (6'-2 1/2" PROPOSED)
EAST SIDE: 0'-0" (3'-7 1/4" PROPOSED)
NORTH (REAR): 0'-0" (4" PROPOSED SUPPORT COLUMNS
9'-3" TO BUILDING)

HT LIMITATION: 42' (PROPOSED 40'-5")
USE OCCUPANCY: RESIDENTIAL: GROUP R-2
PARKING: GROUP U / S-2
CONST. TYPE: TYPE II-B (SPRINKLERED)
FLOOR LIVE LOAD: 100 PSF, 40 PSF RESIDENTIAL
ROOF LIVE LOAD: 100 PSF (SNOW LOAD)
SEISMIC ZONE: D1
WIND LOADS: 115 MPH 3 SECOND GUST (ULT)
CATEGORY II
IMPORTANCE FACTOR = 1
CODE COMPLIANCE: IBC 2018
IRC 2018
IECC 2018
CMEC 2018
IPMC 2018
IFC 2018

PROVIDE REQUIRED UNDER FLOOR VENTING/
RADON MITIGATION AS REQUIRED.

PROVIDE REQUIRED UNDER FLOOR VENTING
MOLD MITIGATION AS REQUIRED

PROVIDE UNDER FLOOR (CRAWL SPACE)
VENTILATION OF 1 CFM PER 150 SF OF FLOOR AREA

BUILDING PROGRAM

SITE AREA = 14,734 SF

PROPOSED SF (GROSS):
BASEMENT LEVEL = 7,127 SF
GROUND LEVEL = 6,568 SF
SECOND LEVEL = 6,130 SF
THIRD LEVEL = 1,331 SF
TOTAL ABOVE GRADE = 14,029 SF

LOT COVERAGE = 46.7%
AVERAGE 5' SETBACK ALONG SPRUCE
REQUIRED = 702.5 SF
PROPOSED = 1,722.2 SF

PROPOSED PROGRAM SQUARE FOOTAGE BREAKDOWN:

UNIT 1 = 3,561 SF NET
UNIT 2 = 3,464 SF NET
UNIT 3 = 4,161 SF NET
COMMON AREA/MECH = 2,096 SF NET

FAR CALCULATION:
TOTAL AREA = 14,029 SF
SITE AREA = 14,734 SF

PROPOSED GROSS AREA FAR 0.952 (1.0)

SITE VICINITY

BITTERROOT SQUARE CONDOS UNIT 1-9, 200N SPRUCE ST, KETCHUM, ID



SITE VICINITY ZONING

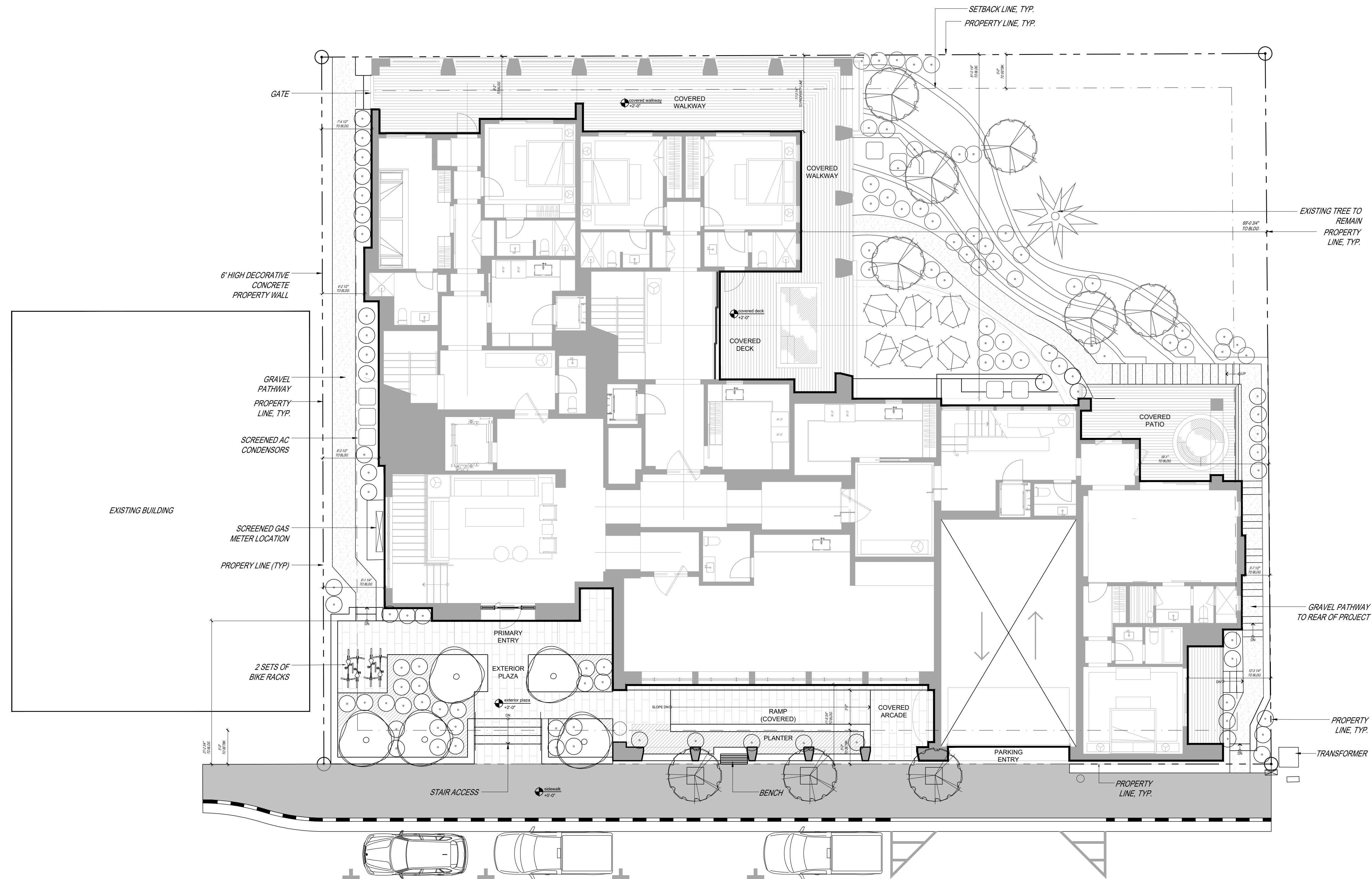


SITE RESPONSE

PROPOSED DEVELOPMENT

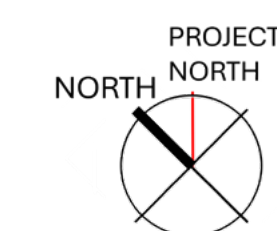


PROPOSED SITE PLAN



PROPOSED SITE PLAN

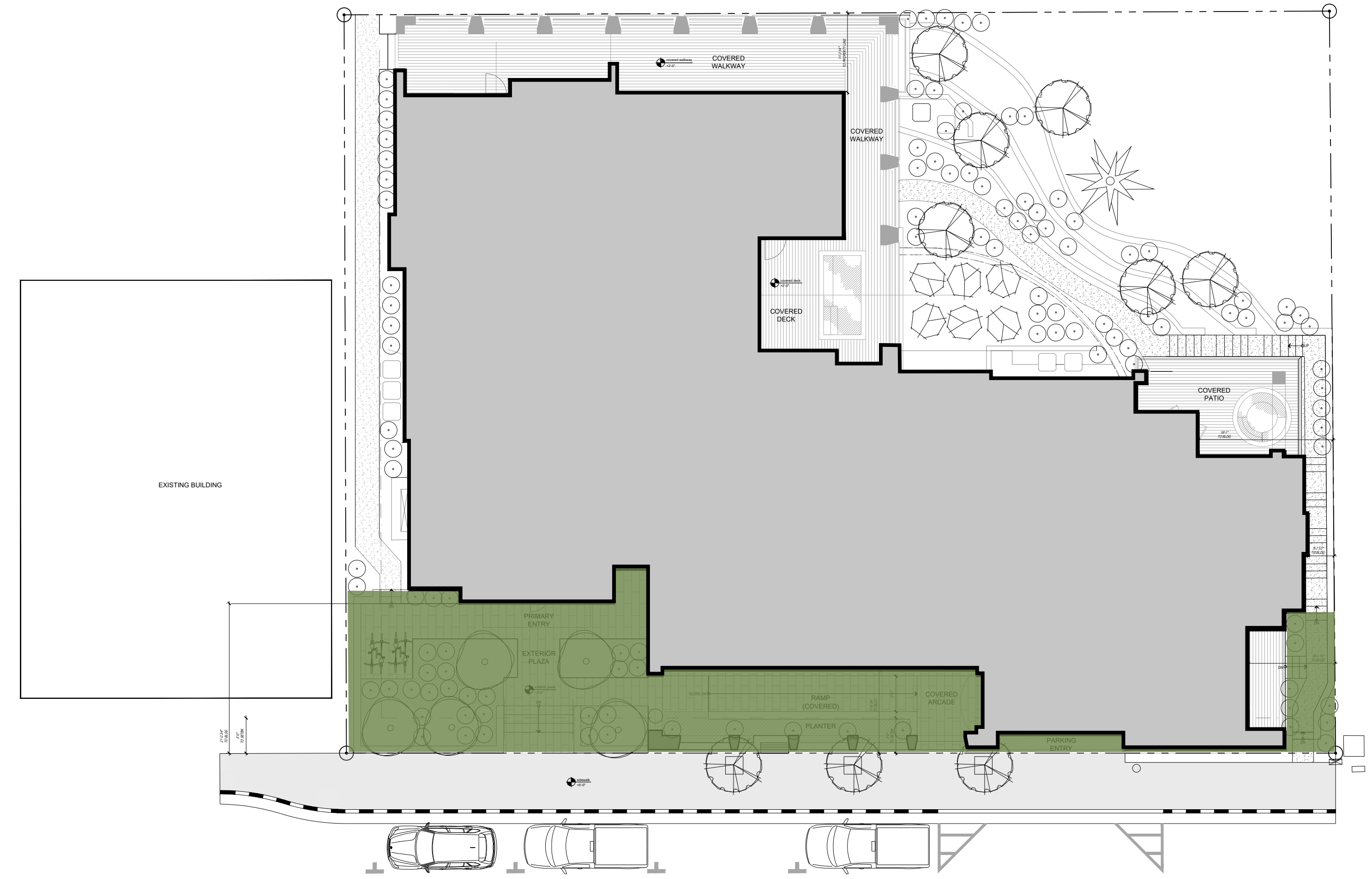
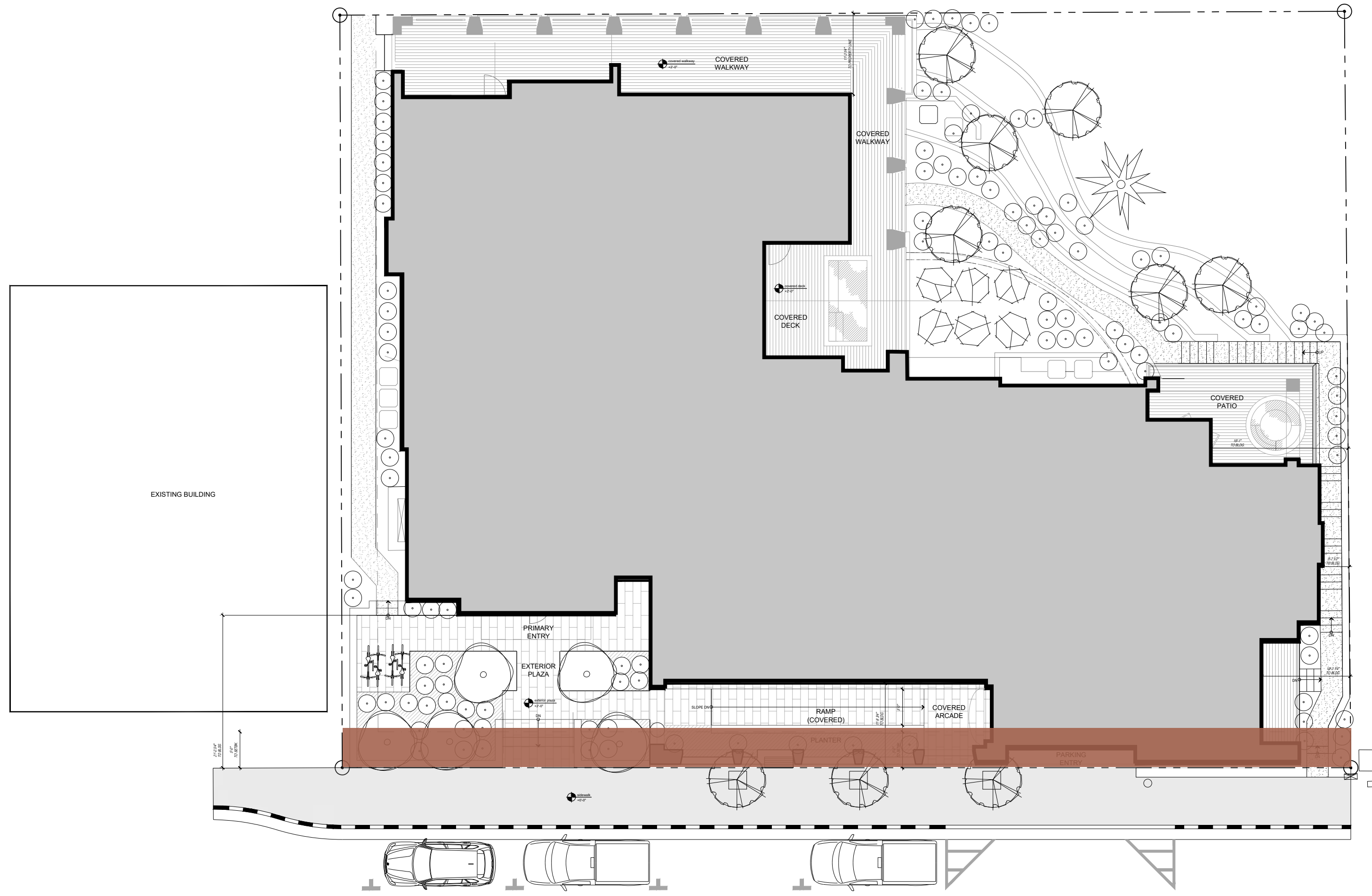
1/8" = 1'-0"



PROPOSED SITE PLAN & ZONING REQUIREMENTS

REQUIRED SETBACK (AVERAGE OF 5'-0") = 702.5 SF

PROPOSED SETBACK AREA ALONG PROPERTY LINE = 1,721.2 SF



Zoning Parameters



Requirements

Proposed

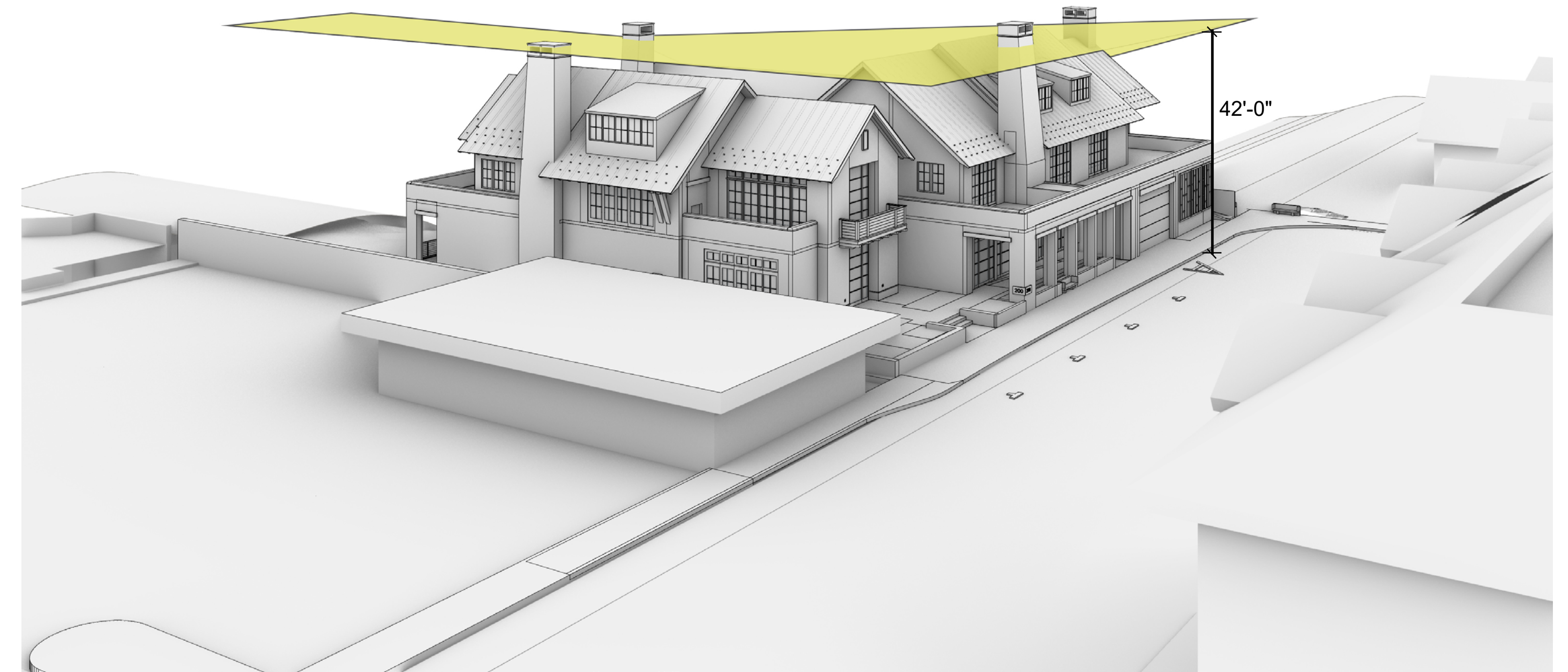
Setbacks:

Front (South, Spruce Street)	Average of 5'-0"	5'-0" plus plaza depth
Side Setback (East/ West)	0'-0"	3'-7" on East, 6'-2" on West
Rear Setback (North)	0'-0"	4" Proposed Support Columns 9'-3" to Building

Setback Summary

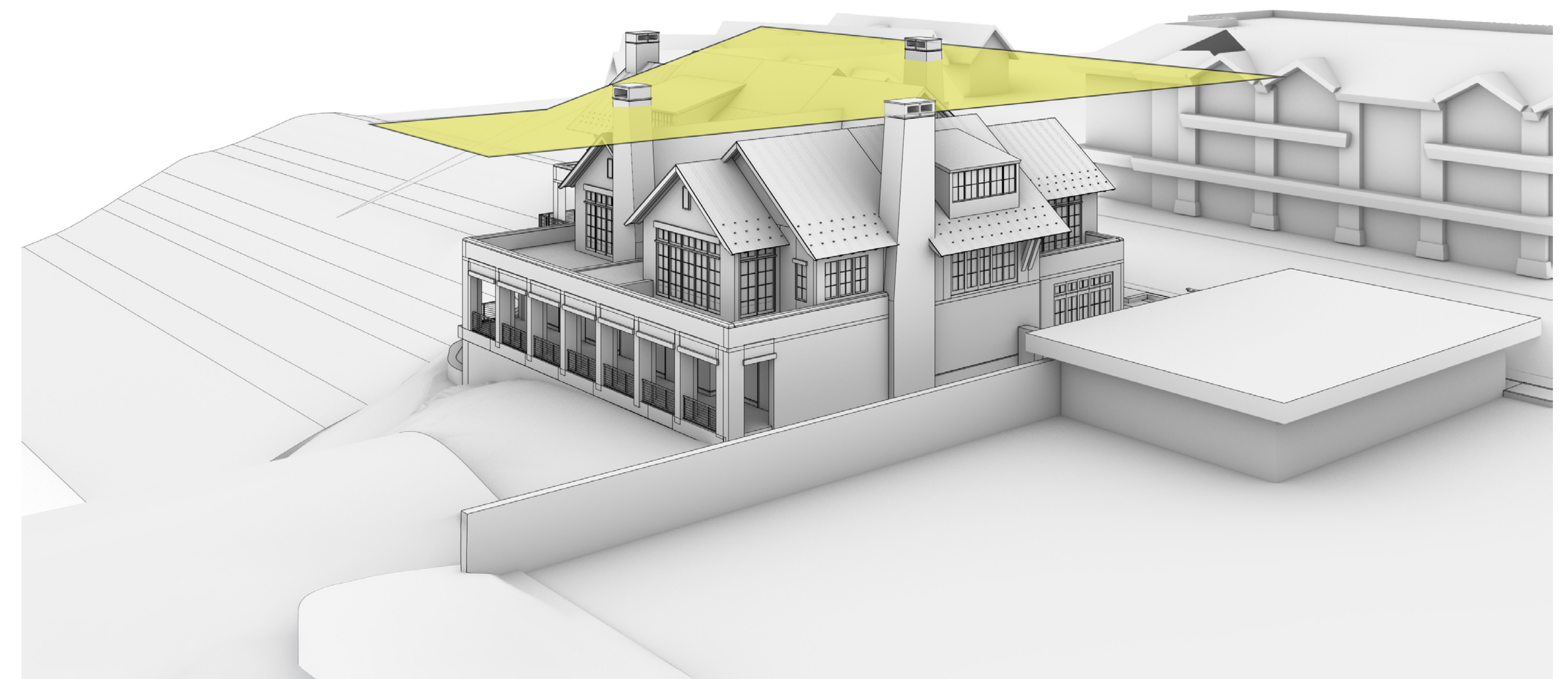
 Required Setback Area (Average of 5'-0")	702.5 SF
 Proposed Setback Area:	1,721.2 SF
Provided setback area is greater than required setback area.	245%

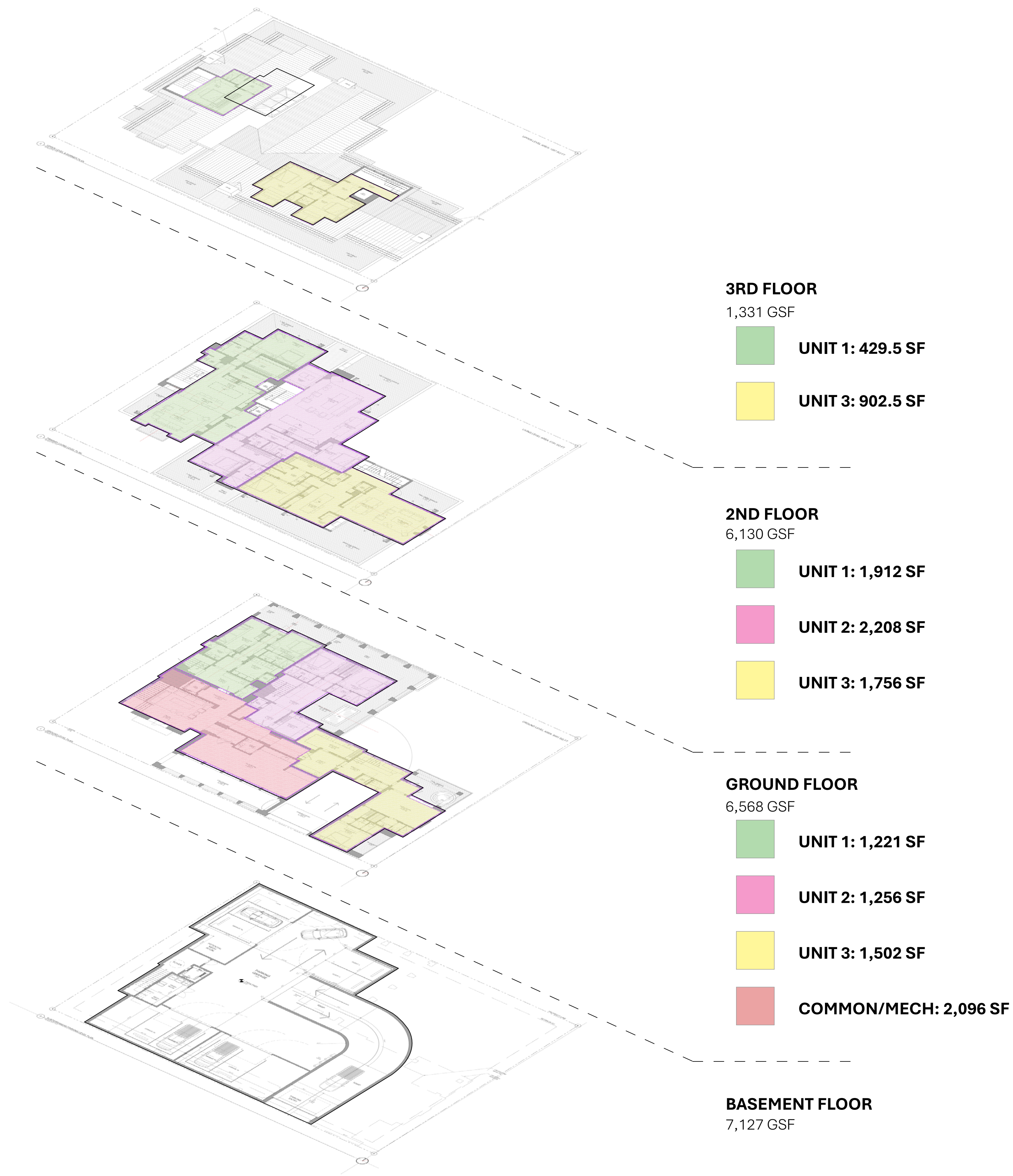
PROPOSED SITE PLAN & ZONING REQUIREMENTS



BUILDING HEIGHT LIMITATIONS

Zoning Parameters	Requirements	Proposed
Building Height Limitation:	42' - 0" max (<i>show in yellow</i>)	40'-5 5/8"
Allowable FAR:	1.0	0.952
Use Occupancy:	Residential: Group R-2 Parking: Group U/ S-2	

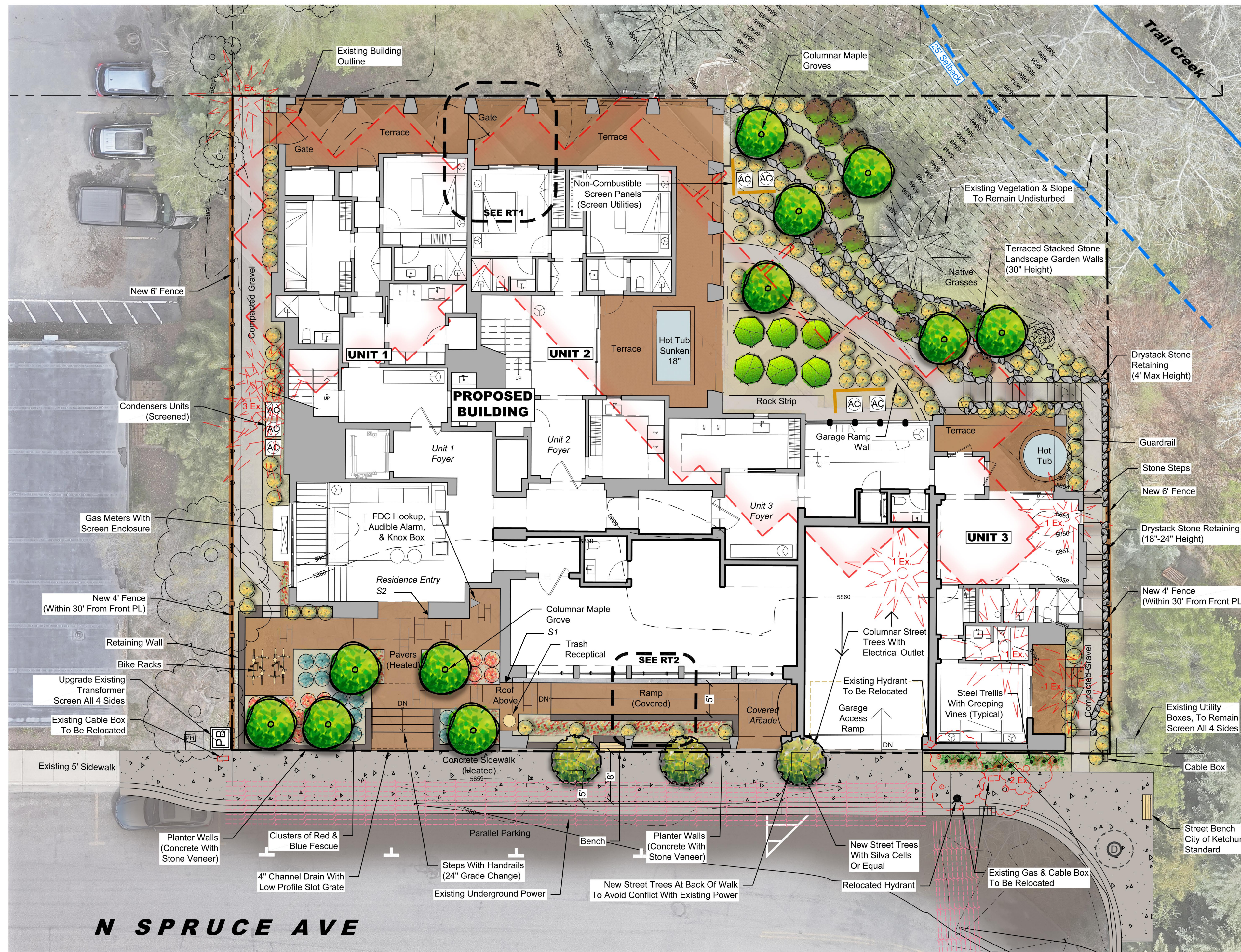




FAR DIAGRAM

INDIVIDUAL UNITS - FLOOR BY FLOOR

FLOOR	UNIT 1 (SF)	UNIT 2 (SF)	UNIT 3 (SF)	COMMON/MECH (SF)	TOTAL NET (SF)	GROSS SF
BASEMENT FLOOR	-	-	-	-	-	7,127
GROUND FLOOR	1,221	1,256	1,502	2,096	6,075	6,568
2ND FLOOR	1,912	2,208	1,756	-	5,876	6,130
3RD FLOOR	429.5	-	902.5	-	1,331	1,331
TOTALS BY UNIT	3561.5	3,464	4,161.5	2,096	13,282	14,029
TOTAL FAR AREA:	14,029 SF					
LOT AREA:	14,734 SF					
FAR:	0.952					



PLANT LEGEND

symbol	quan	description	planted size
Deciduous Trees			
	11	Columnar Armstrong Maple - <i>Acer rubrum 'Armstrong'</i>	(4) 3" Cal. (7) 2" Cal.
	3	New Horizon Elm - <i>Ulmus davidiana 'New Horizon'</i>	4" Cal.
	6	Accent Shrubs Ginnala Maple - <i>Acer tataricum</i>	15 Gal.
	13	Shrub Massing PekingCotoneaster - <i>Cotoneaster ilicoides</i> Diablo Ninebark - <i>Physocarpus opulifolius 'Diablo'</i> Snowmound Spirea - <i>Spiraea x nipponica 'Snowmound'</i> Tor Birchleaf Spirea - <i>Spiraea betulifolia 'Tor'</i> Common Snowberry - <i>Symphoricarpos albus</i>	5 Gal.
	124	Ornamental Grasses & Perennials Reed Grass - <i>Calamagrostis x a. 'Karl Foerster'</i> Flame Grass - <i>Miscanthus sinensis</i> Red Fescue - <i>Festuca rubra</i> Blue Oat Grass - <i>Helictotrichon sempervirens</i> Black Eye Susan - <i>Rudbeckia hirta</i> Lavender - <i>Lavandula</i> Salvia - <i>Salvia divinorum</i>	1 Gal.
	9	Steel Trellis With Vines Virginia Creeper - <i>Parthenocissus quinquefolia</i>	5 Gal.
	1,000 Sq.Ft.	Native Grasses Native Idaho Fescue Blend "Cabin Mix"	Hydroseed

EXISTING TREE LEGEND

	Existing Trees (To Remain)
	Existing Trees (To Be Removed - 10 Total For Mitigation)
	Existing Shrubs (To Be Removed)

PLAN LEGEND

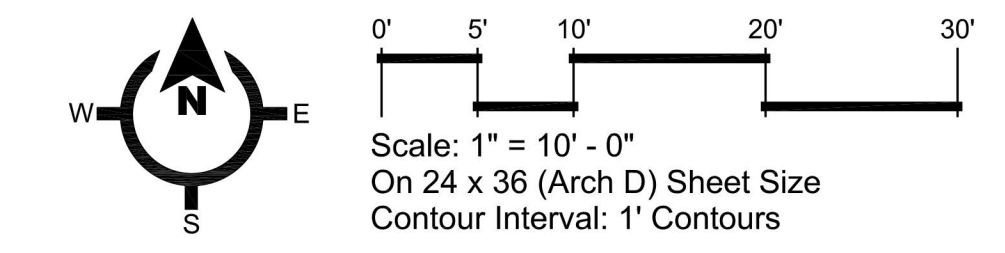
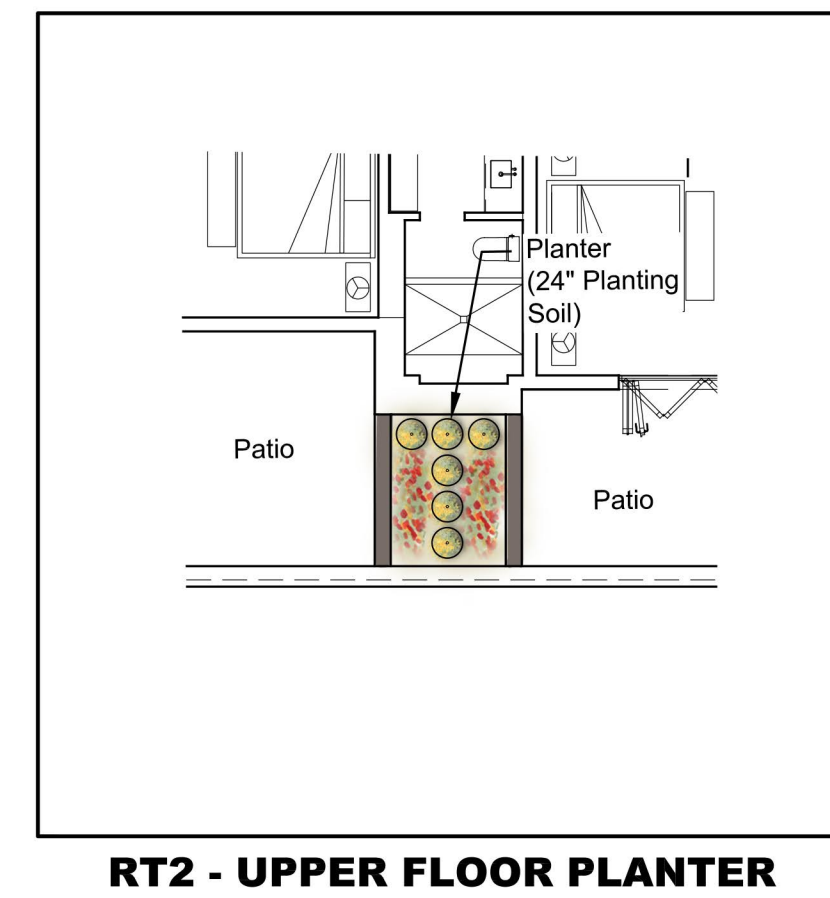
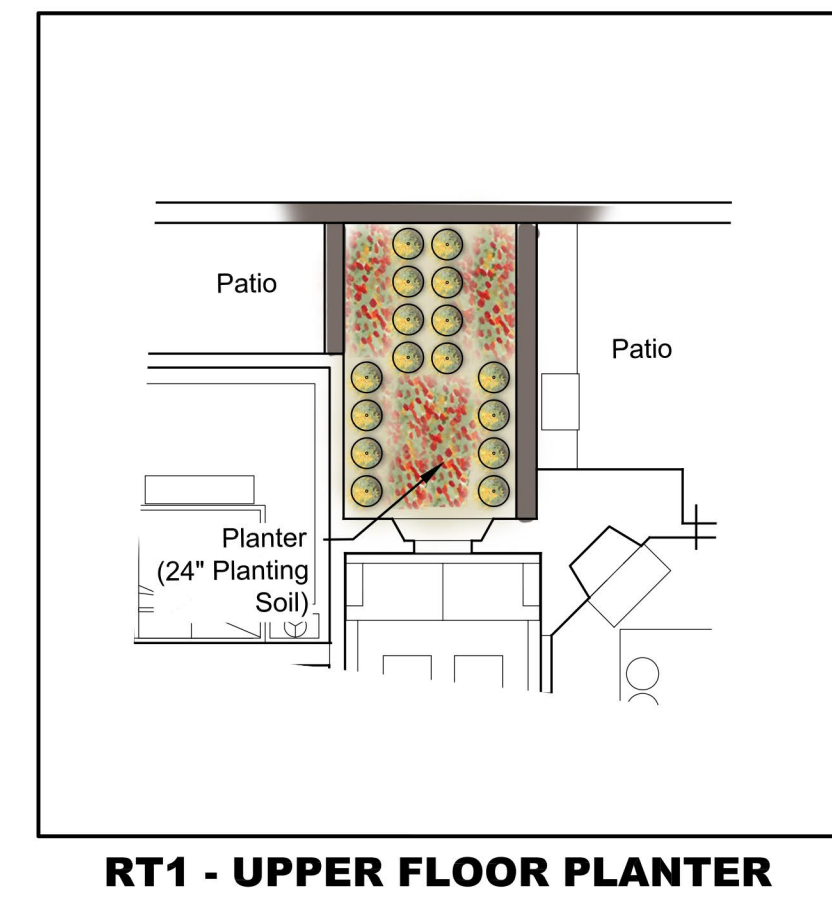
	Property Line (Per Survey)
	Existing 1' Contour (Per Survey)
	Existing To Be Removed
	Drystack Stone Wall (4' Max Height)
	Compacted Gravel Access
	Concrete Pavers
	Concrete

- ### LANDSCAPE NOTES
- All disturbed areas shall be landscaped and drip irrigated with an automatic underground irrigation system.
 - Native compatible plant material will be used to provide a drought tolerant, low water use, & low maintenance landscape to blend seamlessly with the surrounding landscape.
 - Planting beds shall have 3" of 'soil aid' bark.

- ### IRRIGATION NOTES
- Verify utility locations prior to starting irrigation.
 - Irrigation system to be automatically controlled with smart controller and rain sensor for a water wise system.
 - This is a Drip irrigation only system and shall be installed at the base of all plantings & trees.
 - Irrigation supply connected to the units domestic water system. The point of connection will include an approved backflow prevention device and water meter.

NOTE: ALL PATHWAYS TO BE HEATED, NO SNOW STORAGE REQUIRED.

Type	Description	Location	Notes
S1	Building Identification	Street-facing facade	Carved stone numerals
S2	Entry Call Box	Primary entry	Flush-mounted, dark finish



NS

CONSULTING, PLLC

landscape architecture & drone mapping

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PROJECT

THE BITTERROOT

Ketchum, Idaho

DOCUMENT DATE
February 24, 2026

DRAWN BY
Nathan Schutte

REVISION

No.	Date	Remark
04/28/26	Revised	

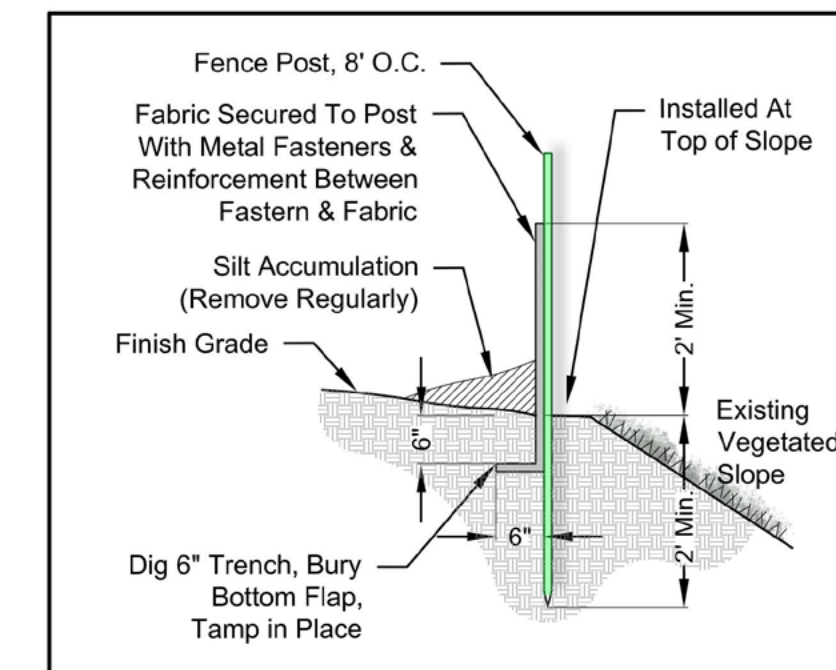
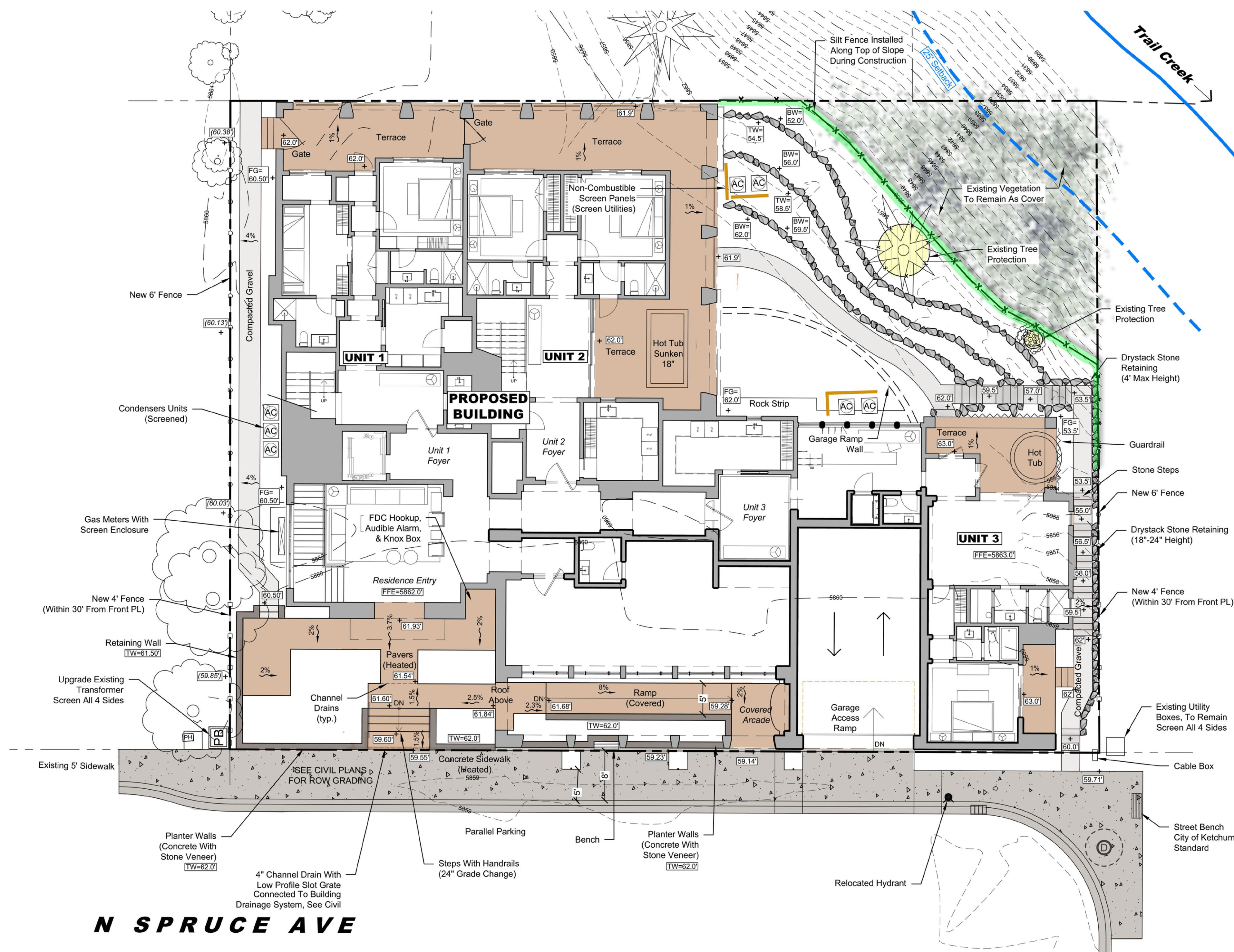
DESIGN REVIEW

LANDSCAPE PLAN

L1



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GRADING LEGEND

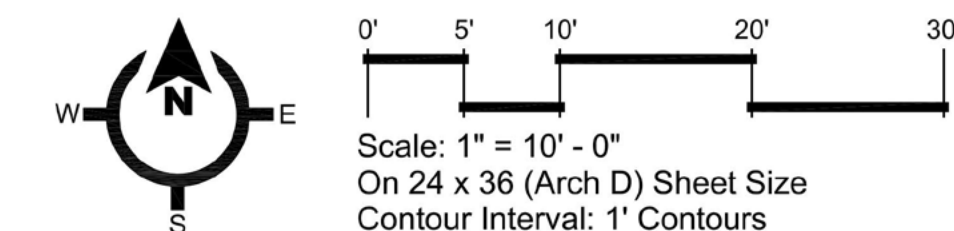
	Property Line (Per Survey)
	Existing 1' Contour (Per Drone Flight with Survey Ground Control)
	Silt Fence & Limits of Disturbance
	Existing Tree Protection (Green Construction Fencing)
	Proposed Drainage (Slope Percentage And Direction)
	Proposed Spot Elevation
	Existing Spot Elevation
	Drystack Stone Wall (4' Max Height)
	Compacted Gravel Access
	Concrete Pavers
	Concrete

GRADING NOTES

1. Landscape architect shall review grading on site prior to completion.
2. Existing topsoil shall be retained with vegetation and stockpiled for use in reestablishing revegetated areas.
3. The site is under 1 acre of disturbance so a SWPPP Plan is not required. However minor erosion control Best Management Practices (BMP's) will be used as needed.

GRADING ABBREVIATIONS

FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
TW	TOP OF WALL



PROJECT
THE BITTERROOT
Ketchum, Idaho

DOCUMENT DATE
February 24, 2026

DRAWN BY
Nathan Schutte

REVISION
No. Date Remark
04/28/26 Revised

DESIGN REVIEW
LANDSCAPE
GRADING PLAN

L2

ARCHITECTURAL INTENT

HISTORIC PRECEDENTS





2 SUN VALLEY ROAD ELEVATION (WEST ELEVATION)
SCALE: 3/16" = 1'-0"



1 SPRUCE STREET ELEVATION (SOUTH ELEVATION)
SCALE: 3/16" = 1'-0"

PROJECT
THE BITTERROOT
200 SPRUCE STREET
KETCHUM, IDAHO

CONTRACTOR
24160

DATE
01 May 2026

SCALE
3/16" = 1'-0"

DRAWING NO.
A.201.0

REVISIONS

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CONSULTANT

SIGNATURE



4 DOLLAR MOUNTAIN ELEVATION (EAST ELEVATION)
SCALE: 3/16" = 1'-0"



2 TRAIL CREEK ELEVATION (NORTH ELEVATION)
SCALE: 3/16" = 1'-0"

PROJECT
THE BITTERROOT
200 SPRUCE STREET
KETCHUM, IDAHO

DATE
01 May 2026

JOB NO.
24160

SCALE
3/8" = 1'-0"

DRAWING NO.
A.202.0

REVISIONS

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Christian Thomas, architect, its principals and employees waive any and all liability or responsibility for problems that may arise from the use of these drawings or specifications, and/or designs and footcords without the designers guidance with any omissions, or conflicts which are alleged.

CONSULTANT

PROPOSED COLOUR & MATERIAL PALETTE



STONE & TOOL STONE

Location: Exterior walls, interior walls

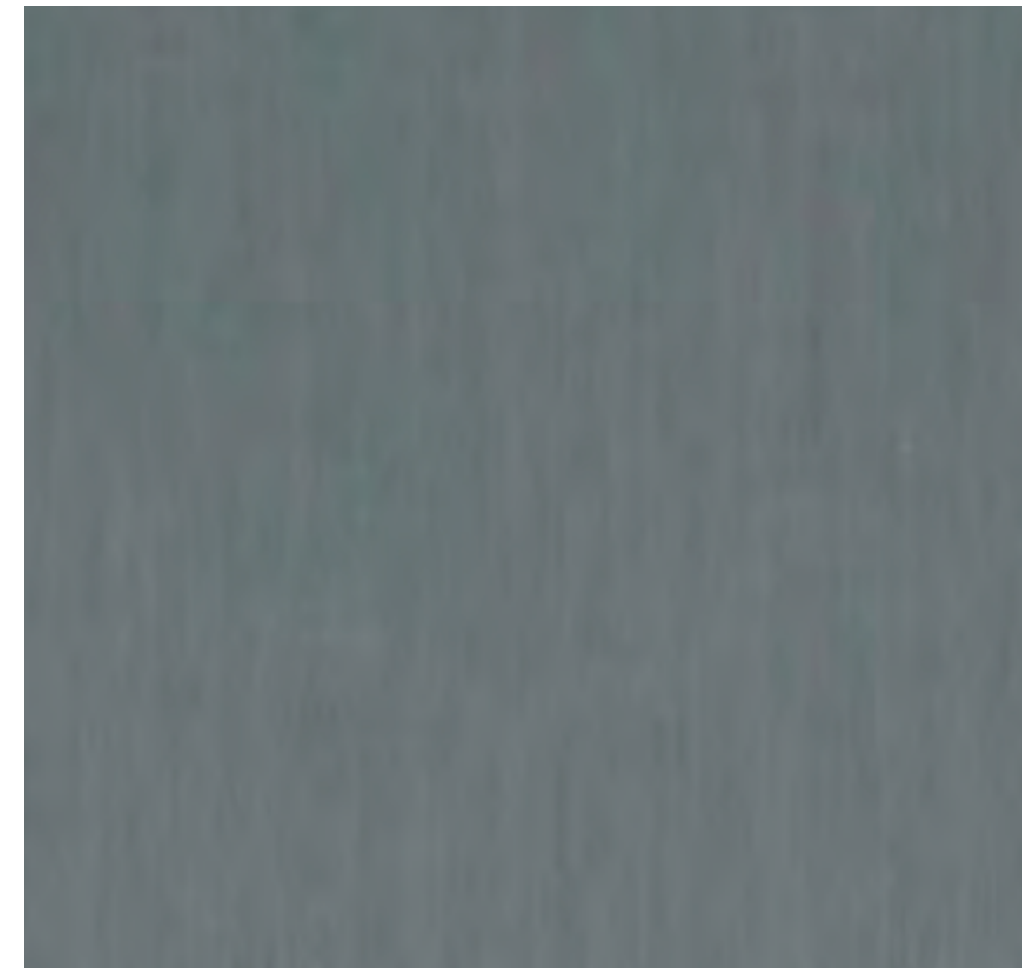
Descriptions:
Hayden Limestone | split & bedface
Tooled Stone



WOOD

Location: Exterior walls, interior walls

Descriptions:
ThermoWood Spruce | Rough Sawn



ZINC

Location: Roofing metal & accessories

Descriptions:
VMZinc Quartz-Zinc, standing seam



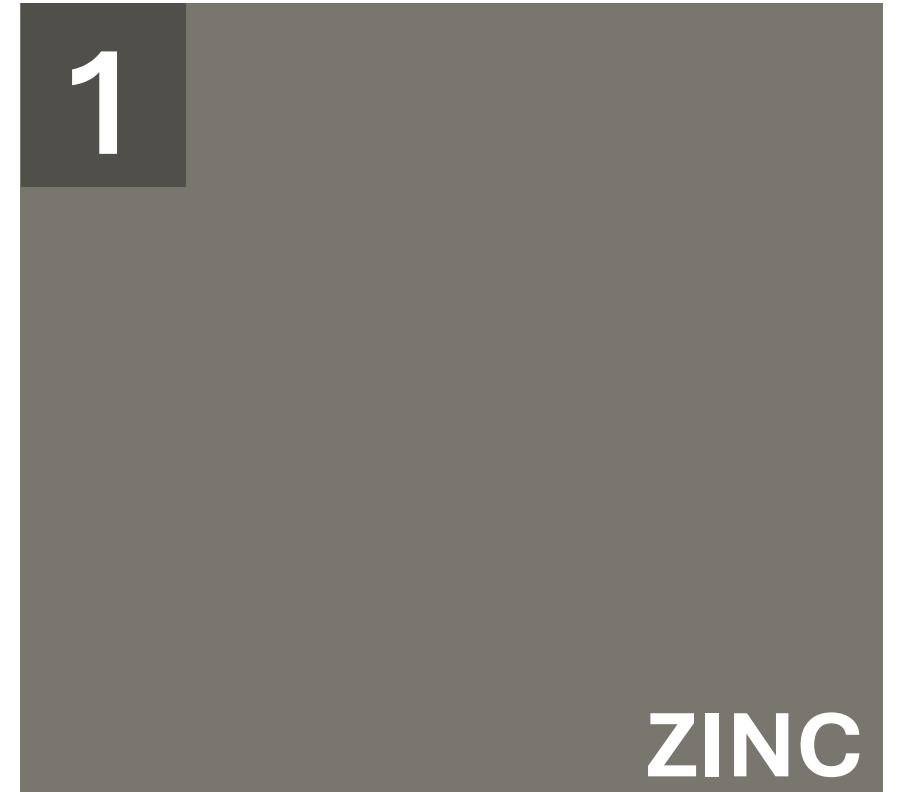
STEEL

Location: Fenestration frames, lintels,
chimney shrouds, miscellaneous

Descriptions:
Blackened cold rolled steel



PROPOSED ELEVATION - SPRUCE STREET



ZINC



STEEL



WOOD



TOOL STONE



FIELD STONE



4

5

1

3

5

2

PROPOSED ELEVATION - SUN VALLEY ROAD



4

1

5

3

5

2

PROPOSED ELEVATION - TRAIL CREEK



ZINC



STEEL



WOOD



TOOL STONE



FIELD STONE

- 4
- 5
- 1
- 5
- 3
- 5
- 2

PROPOSED ELEVATION - DOLLAR MOUNTAIN