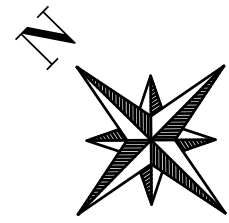


# A PRELIMINARY PLAT SHOWING THE BITTERROOT CONDOMINIUMS

WHEREIN BITTERROOT SQUARE CONDOMINIUMS ARE VACATED AND THE BITTERROOT CONDOMINIUMS ARE CREATED AS SHOWN HEREON  
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

MARCH 2026

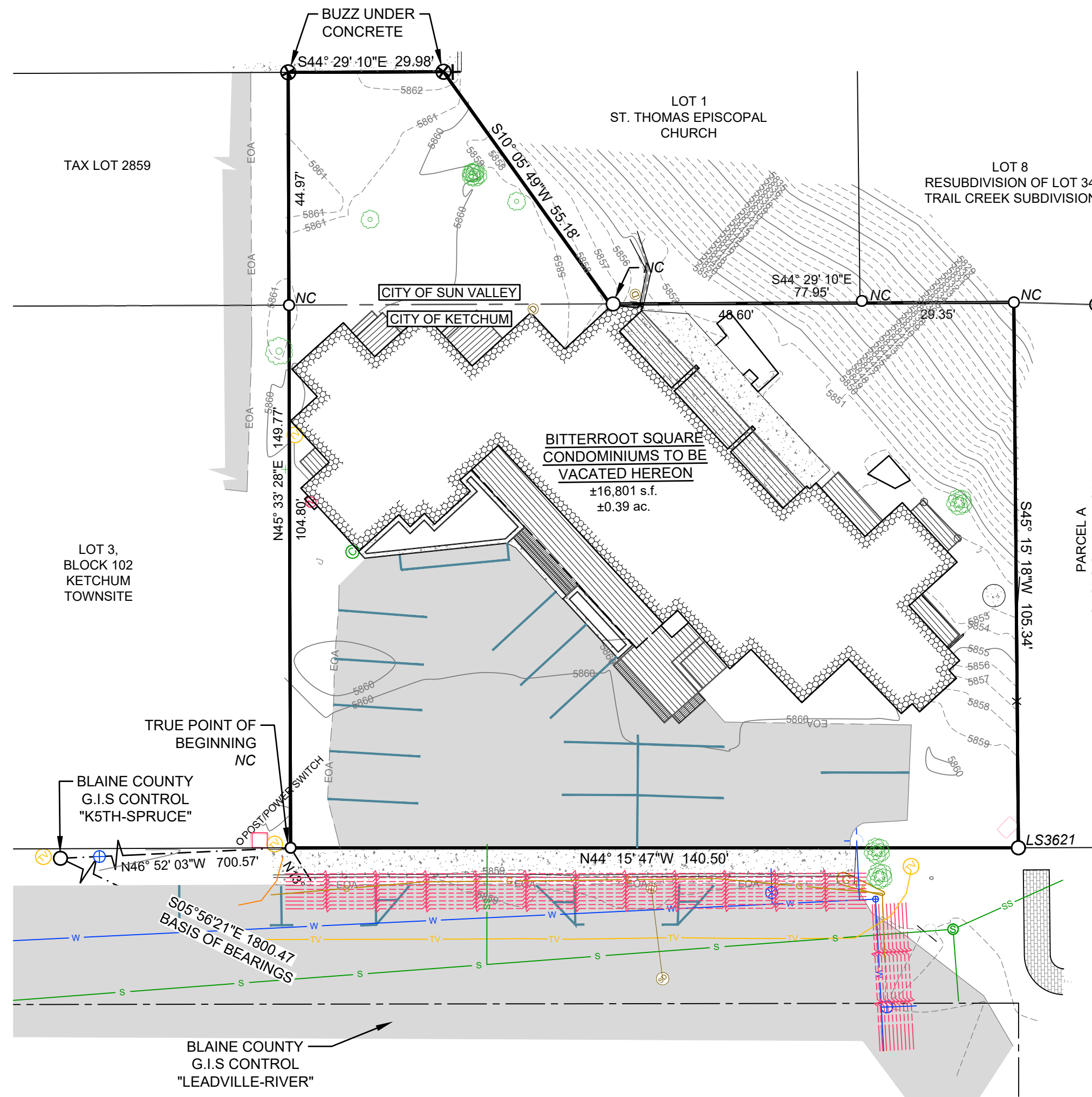


SCALE: 1" = 20'



## SURVEY NARRATIVE & NOTES

- The purpose of this survey is to show the monuments found during the boundary retracement of Bitterroot Square and condominiumize the property as shown hereon. The boundary shown is based on found monuments and the Final Plat showing Bitterroot Square, Instrument Number 215265, records of Blaine County, Idaho. All found monuments have been accepted.
- The distances shown are measured. Refer to the above referenced documents for the previous record data.
- Unless otherwise shown, this survey does not claim to reflect any of the following, which may be applicable to the subject real property, including but not limited to; Building Setbacks, Ditches, Easements, Encroachments, Natural Hazards, Covenants, Conditions, and Restrictions, Subdivision Restrictions, Wetlands, Zoning or any other Land Use Regulation.
- The owner/subdivider is Sundance R3 Devco, LLC, PO Box 5023, Ketchum, ID 83340. The surveyor/representative is Mark Phillips, Phillips Land Surveying, PLLC, 941 Cherry Creek Drive, Hailey, ID 83333.
- The current zoning is Community Core (CC). Refer to the City of Ketchum Zoning Ordinance for more specific information about these zone.
- In interpreting the Declaration, Plat or Plats, and Deeds, the existing physical boundaries of the unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the declaration, plat or plats, and/or deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the declaration, plat or plats, and/or deeds, and the actual boundaries of the units in the buildings.
- Dimensions shown hereon will be subject to slight variations owing to normal construction tolerances.
- A Lot Book Guarantee for the subject property has been issued by Stewart Title Guaranty Company, File Number 2526012, with a Commitment Date of September 9, 2025. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said title policy. Some of the encumbrances and easements listed in the title report are NOT plotted hereon. Review of specific documents is required, if further information is desired.
- Horizontal or sloping planes shown hereon are top of finished floor and bottom of finished ceiling; vertical planes are finished surfaces of interior walls. Some structural members extend into units and limited common areas.
- Property shown hereon is subject to terms, provisions, covenants, conditions, and restrictions, easements, charges, assessments, and liens provided by applicable Condominium Law or the Condominium Declaration recorded under Instrument Number \_\_\_\_\_, records of Blaine County, Idaho. Consult the Condominium Declarations for the definition of Common and Limited Common Area.



## LEGEND

- | EXISTING ITEMS |  |
|----------------|--|
|                | Property Line                              |
|                | Adjoiner's Lot Line                        |
|                | Centerline of Right of Way                 |
|                | City Limits Line                           |
|                | Covered Walkway                            |
|                | Existing Structure                         |
|                | Wood Deck                                  |
|                | Metal Grate Step                           |
|                | EOA = Edge of Asphalt                      |
|                | Asphalt                                    |
|                | Pavers                                     |
|                | Concrete                                   |
|                | 1' Contour Interval                        |
|                | 5' Contour Interval                        |
|                | Paint Striping                             |
|                | Wall Line                                  |
|                | FNC = Fence Line                           |
|                | Wood Planter Line                          |
|                | Buried Power Line                          |
|                | Water line per City of Ketchum Map         |
|                | Stormdrain Line                            |
|                | Sewermain Line per City of Ketchum Map     |
|                | Sewer Service Line per City of Ketchum Map |
|                | Buried Telephone Line                      |
|                | Buried Cable Television Line               |
|                | Gas Line                                   |
|                | Survey Control                             |
|                | Found 1/2" Rebar                           |
|                | Found 5/8" Rebar                           |
|                | Found Iron Pipe                            |
|                | Buzz Under Concrete                        |
|                | SGN = Sign                                 |
|                | SGN = Sign                                 |
|                | PBOX = Power Box                           |
|                | PHBOX = Telephone Riser                    |
|                | GMKR = Gas Marker                          |
|                | WV = Water Valve                           |
|                | FH = Fire Hydrant                          |
|                | CB = Catch Basin                           |
|                | DWELL LDSCP = Landscape Drywell            |
|                | SDMH = Stormdrain Manhole                  |
|                | TVBOX = Cable Television Riser             |
|                | SCO = Sewer Cleanout                       |
|                | SMH = Sewer Manhole                        |
|                | CT = Coniferous Tree                       |
|                | DT = Deciduous Tree                        |
|                | DT CLUSTER = Deciduous Cluster             |
|                | NC = No Cap                                |

SEE SHEET 2 FOR PROPOSED SITE IMPROVEMENTS  
SEE SHEETS 3, 4, 5, & 6 FOR SPECIFIC UNIT INFORMATION

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date \_\_\_\_\_ South Central District Health Dept., EHS

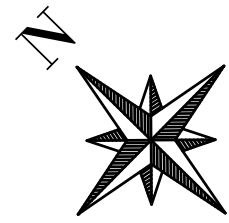
**PRELIMINARY**

MARK E. PHILLIPS,  
P.L.S. 16670

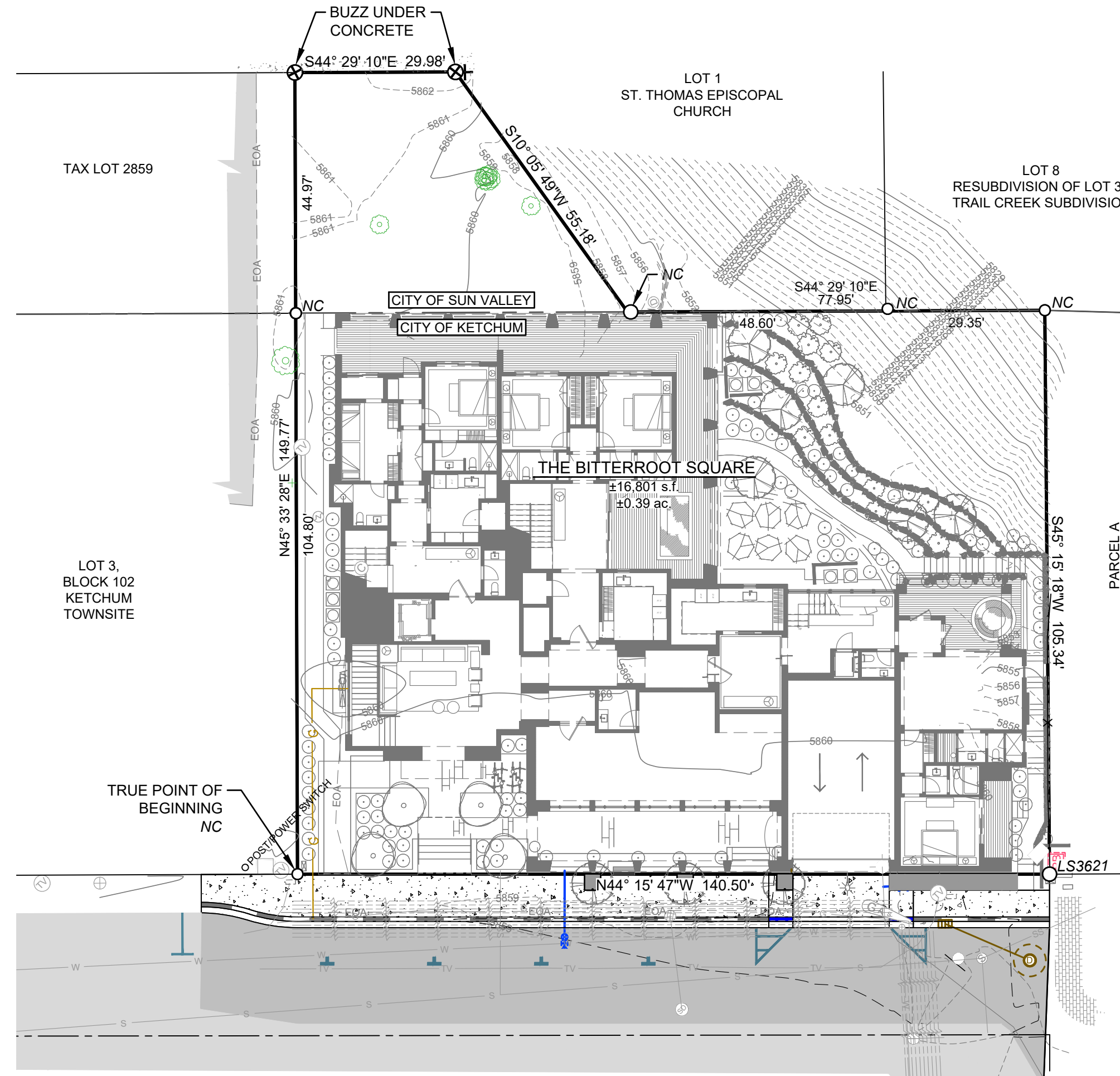
THE BITTERROOT CONDOMINIUMS  
PHILLIPS LAND SURVEYING, PLLC  
HAILEY, IDAHO  
1 OF 7  
PROJECT: 2023-77

# A PRELIMINARY PLAT SHOWING THE BITTERROOT CONDOMINIUMS

MARCH 2026



SCALE: 1" = 20'



LEGEND	
PROPOSED ITEMS	
	Asphalt
	Heated Concrete
	Concrete 6" Rolled Curb & Gutter
	Curb Transition
	Zero Reveal Curb & Gutter
	Catch Basin
	Storm Drain
	Drywell
	Water Service
	Mountain Hydrant
	Gas Service
	Power Transformer
	Road Striping
	Tree Well, See Landscape Plan

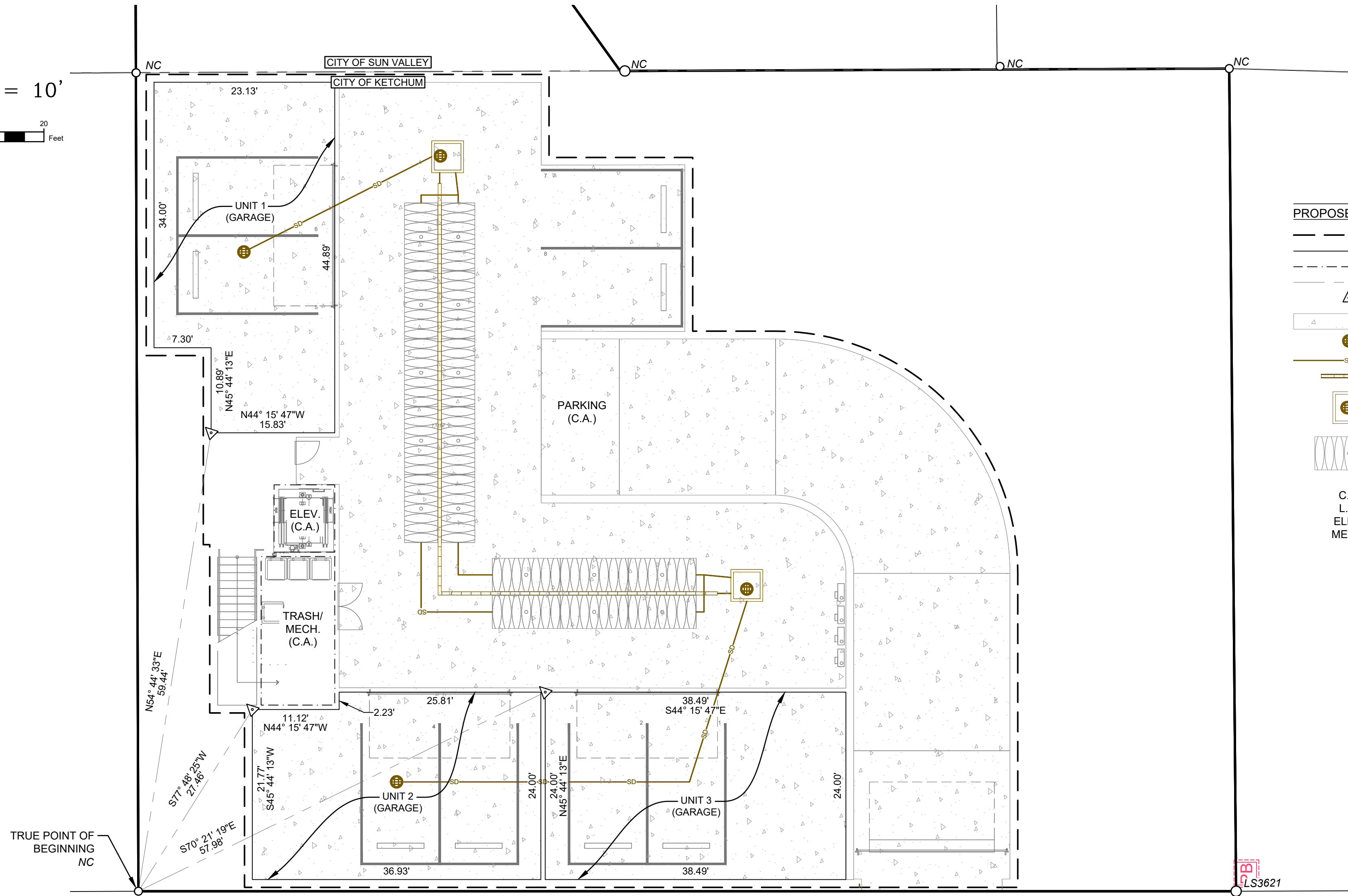
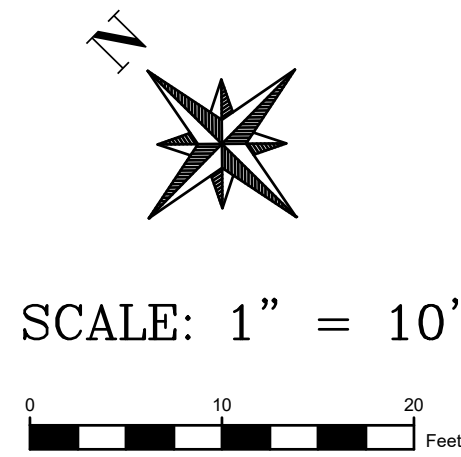
SEE SHEET 1 FOR LEGEND OF EXISTING ITEMS  
SEE SHEET 1 FOR SURVEY NARRATIVE & NOTES  
SEE SHEETS 3, 4, 5, & 6 FOR SPECIFIC UNIT INFORMATION

**PRELIMINARY**  
  
 MARK E. PHILLIPS,  
 P.L.S. 16670

THE BITTERROOT CONDOMINIUMS  
 PHILLIPS LAND SURVEYING, PLLC  
 HAILEY, IDAHO  
 2 OF 7  
 PROJECT: 2023-77

# A PRELIMINARY PLAT SHOWING THE BITTERROOT CONDOMINIUMS

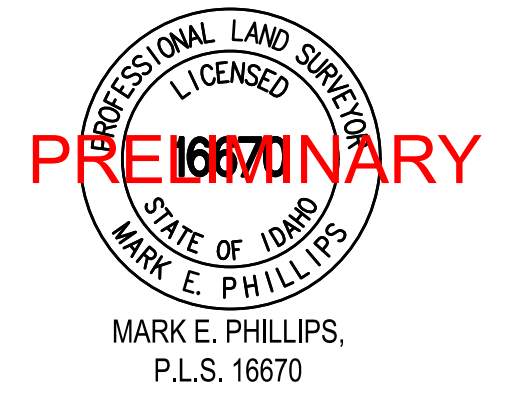
MARCH 2026



LEGEND	
PROPOSED ITEMS	
	Exterior Building Line
	Unit Line
	Common Area as Shown
	Unit Tie Line
	Calculated Point, Nothing Set
	Heated Concrete
	Catch Basin
	Storm Drain
	NDS Speed-D Channel
	Concrete Sand & Grease Trap
	16 DC-780 Stormtech Chambers
C.A.	Common Area
L.C.	Limited Common Area
ELEV.	Elevator
MECH.	Mechanical Room

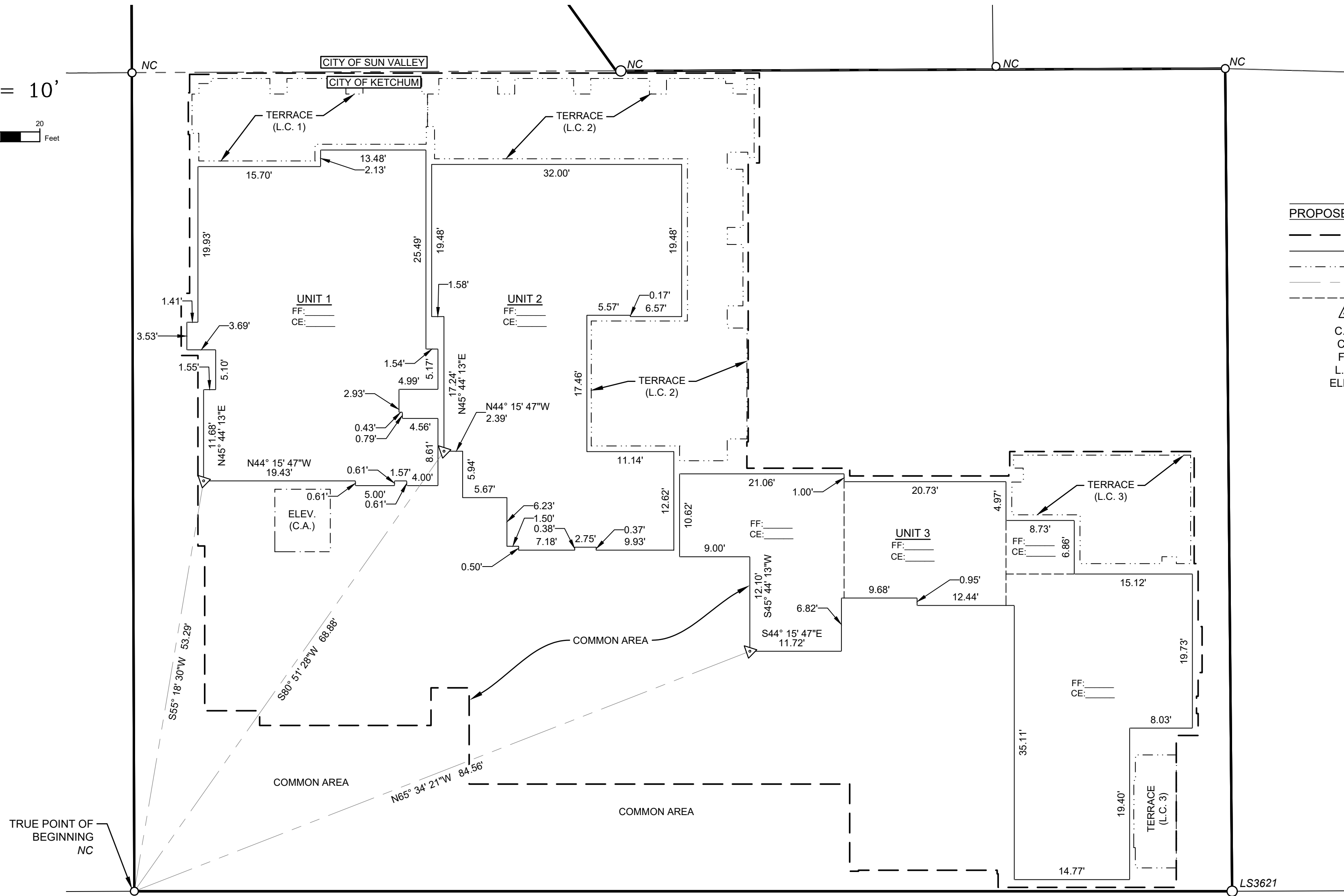
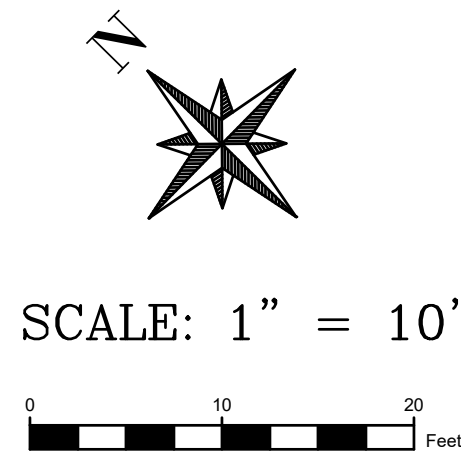
**BASEMENT**  
**FLOOR ELEVATION = 5851.0'**  
**CEILING ELEVATION = 5860.0'**

SEE SHEET 1 FOR LEGEND OF EXISTING ITEMS  
 SEE SHEET 1 FOR SURVEY NARRATIVE & NOTES  
 SEE SHEETS 3, 4, 5, & 6 FOR SPECIFIC UNIT INFORMATION



# A PRELIMINARY PLAT SHOWING THE BITTERROOT CONDOMINIUMS

MARCH 2026



LEGEND	
PROPOSED ITEMS	
	Exterior Building Line
	Unit Line
	Limited Common Area as Shown
	Unit Tie Line
	Finish Floor Elevation Change
	Calculated Point, Nothing Set
	Common Area
	Ceiling Elevation
	Finish Floor
	Limited Common Area Elevator

FIRST FLOOR (MAIN LEVEL)

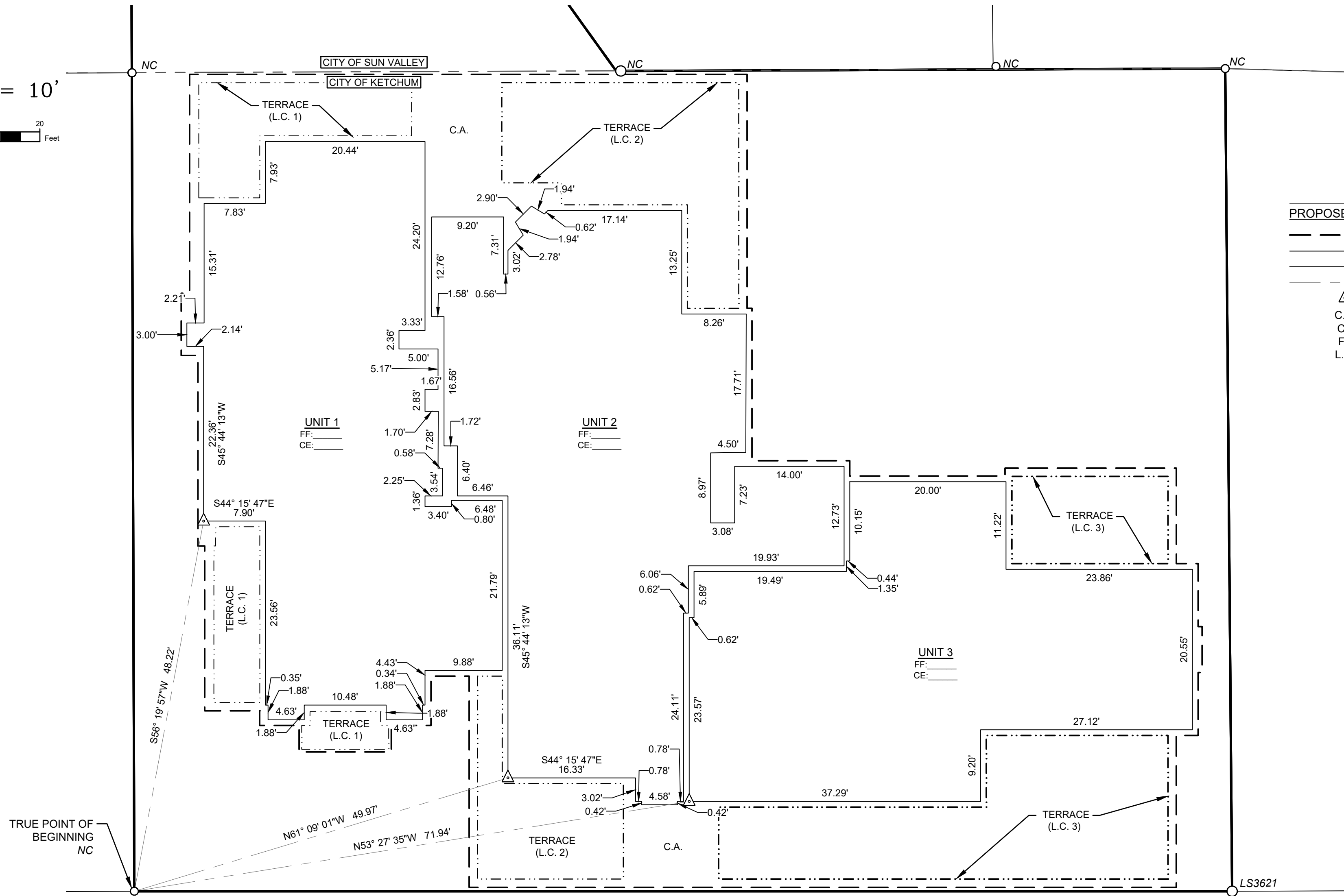
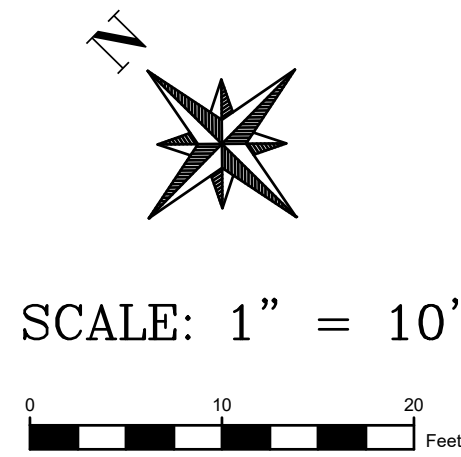
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SEE SHEET 1 FOR SURVEY NARRATIVE & NOTES  
SEE SHEETS 3, 4, 5, & 6 FOR SPECIFIC UNIT INFORMATION

**PRELIMINARY**

MARK E. PHILLIPS,  
P.L.S. 16670

# A PRELIMINARY PLAT SHOWING THE BITTERROOT CONDOMINIUMS

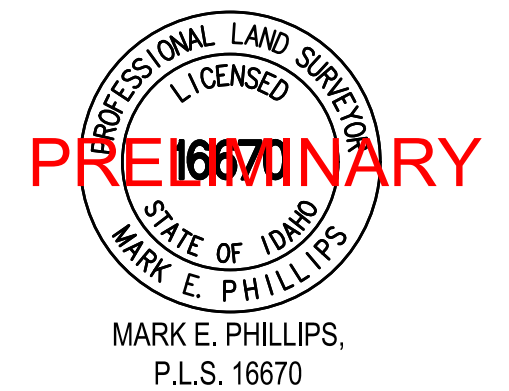
MARCH 2026



LEGEND	
PROPOSED ITEMS	
	Exterior Building Line
	Unit Line
	Limited Common Area as Shown
	Unit Tie Line
	Calculated Point, Nothing Set
C.A.	Common Area
CE	Ceiling Elevation
FF	Finish Floor
L.C.	Limited Common Area

## SECOND FLOOR

SEE SHEET 1 FOR LEGEND OF EXISTING ITEMS  
SEE SHEET 1 FOR SURVEY NARRATIVE & NOTES  
SEE SHEETS 3, 4, 5, & 6 FOR SPECIFIC UNIT INFORMATION



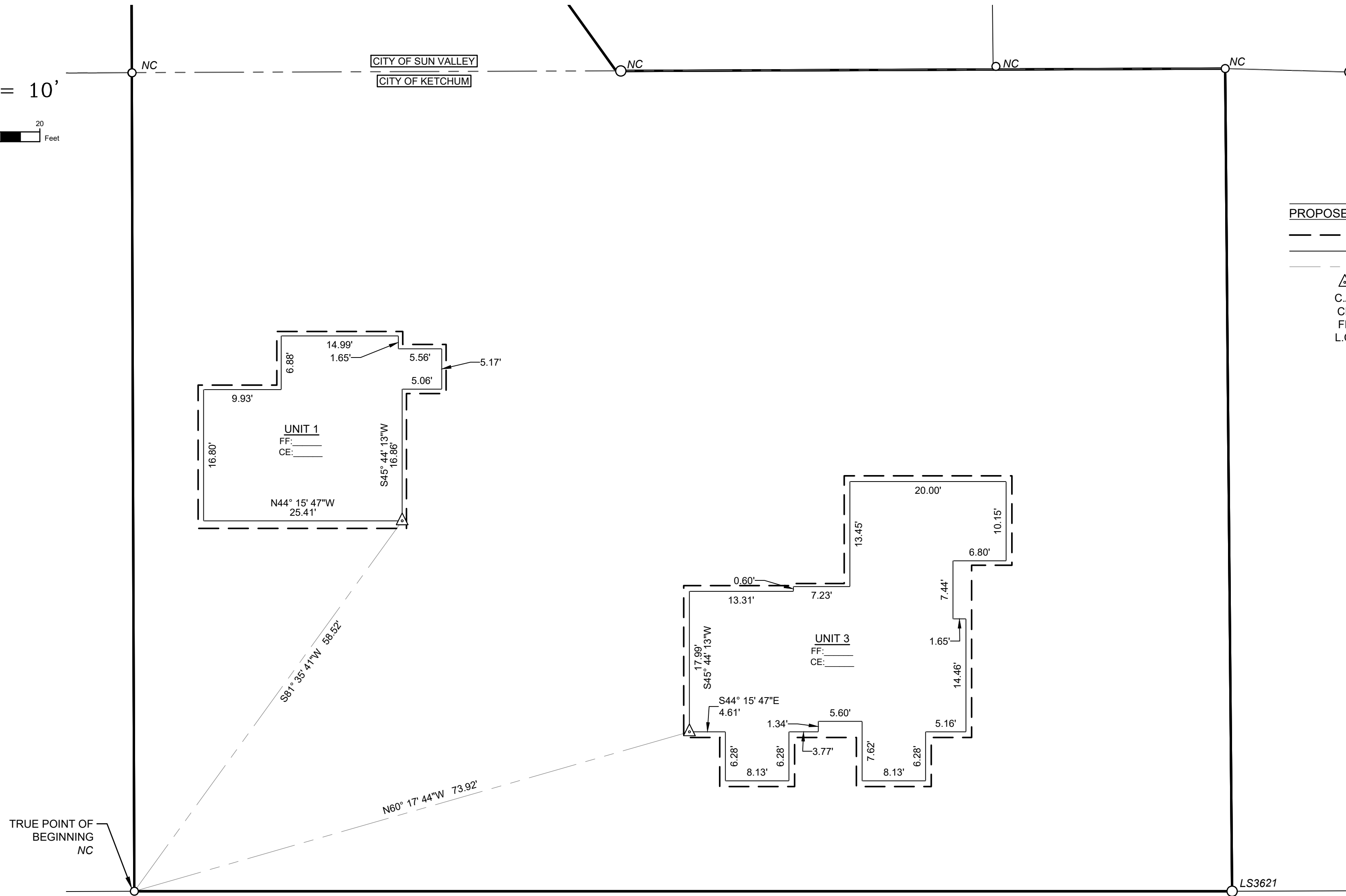
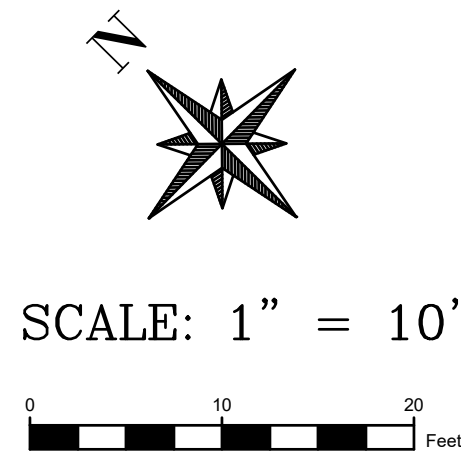
MARK E. PHILLIPS,  
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THE BITTERROOT CONDOMINIUMS  
PHILLIPS LAND SURVEYING, PLLC  
HAILEY, IDAHO

5 OF 7  
PROJECT: 2023-77

# A PRELIMINARY PLAT SHOWING THE BITTERROOT CONDOMINIUMS

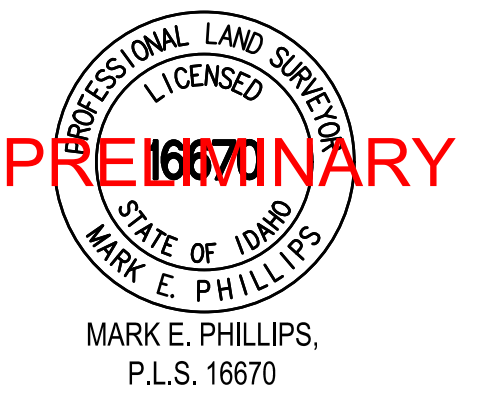
MARCH 2026



LEGEND	
PROPOSED ITEMS	
	Exterior Building Line
	Unit Line
	Unit Tie Line
	Calculated Point, Nothing Set
C.A.	Common Area
CE	Ceiling Elevation
FF	Finish Floor
L.C.	Limited Common Area

THIRD FLOOR

SEE SHEET 1 FOR LEGEND OF EXISTING ITEMS  
SEE SHEET 1 FOR SURVEY NARRATIVE & NOTES  
SEE SHEETS 3, 4, 5, & 6 FOR SPECIFIC UNIT INFORMATION



MARK E. PHILLIPS,  
P.L.S. 16670

THE BITTERROOT CONDOMINIUMS  
PHILLIPS LAND SURVEYING, PLLC  
HAILEY, IDAHO

6 OF 7  
PROJECT: 2023-77

CERTIFICATE OF OWNERSHIP

This is to certify that the undersigned are the owners in fee simple of the following described parcels of land:
Parcels of land located within Section 18, T.4N., R.18E., B.M., City of Ketchum, Blaine County, Idaho, more particularly
described as follows:

CONDOMINIUM UNITS 1, 2, 3, 4, 5, 6, 7, 8 AND 9 AS SHOWN ON THE CONDOMINIUMS MAP OF BITTERROOT SQUARE,
RECORDED AS INSTRUMENT NUMBER 215265 AND ADDENDUMS RECORDED AS INSTRUMENT NUMBER 222437 AND
224013 AND AS DEFINED AND DESCRIBED IN THE CONDOMINIUM DECLARATION FOR BITTERROOT SQUARE OWNER'S
ASSOCIATION, RECORDED AS INSTRUMENT NUMBER 215264 AND RECORDED AS INSTRUMENT NUMBER 224014, RECORD
OF BLAINE COUNTY, IDAHO.

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the
public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said
easements. We do hereby certify that all lots in this plat will be eligible to receive water services from and existing water
distribution system and that the existing water distribution system and that the water distribution system has agreed in writing to
serve all of the lots shown within this plat.

It is the intent of the owners to hereby include said land in this plat.

SUNDANCE R3 DEVCO LLC, AN IDAHO LIMITED LIABILITY COMPANY
BY: REID SANDBORN

ACKNOWLEDGMENT

STATE OF \_\_\_\_\_ }
COUNTY OF \_\_\_\_\_ } ss

On this \_\_\_\_ day of \_\_\_\_\_, 2026, before me, a Notary Public in and for said State, personally appeared
Reid Sanborn, Authorized Signatory for Sundance R3 Devco LLC, known or identified to me to be the person whose name
is subscribed to the foregoing instrument, and acknowledged to me that they executed the same on behalf of said Limited
Liability Company.

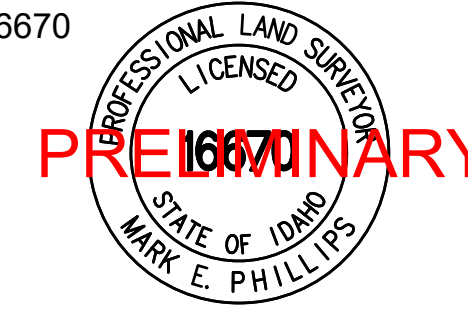
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first
above written.

Notary Public in and for said State
Residing in \_\_\_\_\_
My Commission Expires \_\_\_\_\_

SURVEYOR'S CERTIFICATE

I, Mark E. Phillips, a duly Licensed Professional Land Surveyor in the State of Idaho, do hereby certify that this plat is
a true and accurate map of the land and points surveyed under my direct supervision and that it is in accordance with the
Idaho State Code relating to Plats, Surveys, and the Corner Perpetuation and Filing Act, 55-1601 through 55-1612.

Mark E. Phillips, P.L.S. 16670



BLAINE COUNTY SURVEYOR'S APPROVAL

I, Sam Young County Surveyor for Blaine County, Idaho, do hereby certify that I have checked the foregoing Plat and
computations for making the same and have determined that they comply with the laws of the State of Idaho relating to
Plats and Surveys

Sam Young, P.L.S. 11577
Blaine County Surveyor
Date \_\_\_\_\_

KETCHUM CITY COUNCIL CERTIFICATE

I, the undersigned, City Clerk, in and for the City of Ketchum, Blaine County, Idaho, do hereby certify that at a regular
meeting of the City Council held on the \_\_\_\_ day of \_\_\_\_\_, 2026, this plat was duly accepted and approved.

Trent Dona, City Clerk, City of Ketchum

CITY ENGINEER CERTIFICATE

I, the undersigned, City Engineer in and for the City of Ketchum, Blaine County, Idaho do hereby approve this plat on
this \_\_\_\_ day of \_\_\_\_\_, 2026, and certify that it is in accordance with the City of Ketchum Subdivision ordinance.

Robyn Mattison, City Engineer, City of Ketchum

CITY PLANNER CERTIFICATE

I, the undersigned, Planner in and for the City of Ketchum, Blaine County, Idaho, do hereby approve this plat on
this \_\_\_\_ day of \_\_\_\_\_, 2026, and certify that it is in accordance with the City of Ketchum subdivision ordinance.

[TBD], City of Ketchum

BLAINE COUNTY TREASURER'S APPROVAL

I, the undersigned County Treasurer in and for Blaine County Treasurer in and for Blaine County, State of Idaho per
requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for
the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

Blaine County Treasurer
Date \_\_\_\_\_

BLAINE COUNTY RECORDER'S CERTIFICATE