

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER.

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
COVER SHEET

SEAL

PROJECT NUMBER
2305

DRAWING NUMBER:

G-000

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DESIGN REVIEW APPLICATION / SEPTEMBER 09, 2025

DESCRIPTION

3-4 STORY MULTI-FAMILY RESIDENCE WITH 12 UNITS (4 BUILDINGS) WITH 23 INTERIOR, PRIVATE GARAGE PARKING SPACES. SCOPE OF WORK INCLUDES NEW CONSTRUCTION OF FOUNDATION, ERECTION OF STRUCTURE, CIVIL, LANDSCAPING, HARDSCAPING AND FINISHES.

PROJECT ADDRESS

108 / 110 RITCHIE DRIVE KETCHUM, ID 83340

APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH:
2018 INTERNATIONAL BUILDING CODE*
2018 INTERNATIONAL RESIDENTIAL CODE*
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS*
2018 INTERNATIONAL ENERGY CONSERVATION CODE*
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
TITLE 15 KETCHUM MUNICIPAL CODE
APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM
ALL APPLICABLE COUNTY ORDINANCES

*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES

CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES

JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT

PROJECT DATA

PROJECT DATA
LOT AREA: 35,799 SF
ZONING DESIGNATION: T-3000 (TOURIST ZONE)
OCCUPANCY: MULTI-FAMILY (PRIVATE CONDOS)
CONSTRUCTION TYPE: TYPE V
CLIMATE ZONE: 6

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTOR/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.

2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.

3. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH DOES CONFORM TO THE GENERAL CONTRACT. THE SUBCONTRACTORS SHALL SUBMIT RESULTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.

5. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.

6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

7. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

8. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13D. CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM DESIGN AND SHOP DRAWINGS TO COMFORM TO THESE STANDARDS.



1	NTS	PROJECT DESCRIPTION	3	NTS	PROJECT NOTES	3	NTS	PROJECT LOCATION	©2025, RO ROCKETT DESIGN, INC.
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OWNER:

108-110 RITCHIE LLC
P O BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO J ROCKETT DESIGN
1000 W MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
5600 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

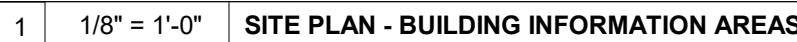
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SEAL:

DRAWING NUMBER:

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DWNER:

108-119 RITCHIE LLC
P.O. BOX : 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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CIVIL ENGINEER:

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
506 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE

DESCRIPTION

DATE

1

DESIGN REVIEW APPLICATION

25.09.09

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

SITE PLAN - BUILDING CODES

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-001

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RITCHIE DRIVE

OWNER:

BUILDING ARCHITECT:

STRUCTURAL ENGINEER:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

CODE REQUIREMENT: FAR

A. GENERAL REQUIREMENTS. ALL NEW BUILDINGS AND ALTERNATIONS TO EXISTING BUILDINGS IN THE GR-H, T, T-3000, T-4000, AND CC ZONING DISTRICTS, UNLESS OTHERWISE SPECIFIED IN THIS TITLE, SHALL BE SUBJECT TO THE MAXIMUM FLOOR AREA RATIO (FAR) DESCRIBED BELOW.

PERMITTED GROSS FAR: 0.5
INCLUSIONARY HOUSING INCENTIVE: 1.6

FLOOR AREA RATIO OR FAR: THE PRODUCT OF THE FLOOR AREA DIVIDED BY THE LOT AREA (EXAMPLE: 2,750 SF FLOOR AREA / 5,500 SF LOT AREA = 0.5 FAR)

THE PROPOSED DEVELOPMENT HAS A LOT AREA OF 35,799 SF, A PRIVATE STREET AND FIRE LANE EXCLUSIONARY AREA OF 5,897 SF AND A TOTAL GROSS BUILDING AREA OF 41,003 SF.

TOTAL LOT AREA: 35,799 SF

TOTAL EXCLUDED AREA: 5,897 SF

REVISED LOT AREA: 29,902 SF

ALLOWABLE AREA (0.5): 14,951 SF

PROPOSED FLOOR AREA: 41,003.00 SF (FAR: 1.37 - COMPLIANT)

17.124.180 - MINIMUM RESIDENTIAL DENSITIES AND COMMERCIAL REQUIREMENTS
A. GENERAL REQUIREMENTS. NEW DEVELOPMENT PROJECTS OR EXPANSIONS OF EXISTING BUILDINGS THAT EXCEED A TOTAL FLOOR AREA RATIO OF 0.5 FAR IN THE T, T-3000, T-4000, AND GR-H ZONING DISTRICTS MUST PROVIDE A MINIMUM NUMBER OF RESIDENTIAL UNITS AS FOLLOWS:

4 UNITS / 10,000 SF OF LOT AREA

THE PROPOSED DEVELOPMENT IS REQUIRED TO HAVE A MINIMUM OF 12 UNITS.

TOTAL LOT AREA: 35,799 SF

TOTAL EXCLUDED AREA: 5,897 SF

REVISED LOT AREA: 29,902 SF

29,902 SF / 10,000 SF = 2.9902

2.9902 X 4 UNITS = 12 UNITS (11.96)

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SITE PLAN - BUILDING FAR &
DENSITY

SEAL:

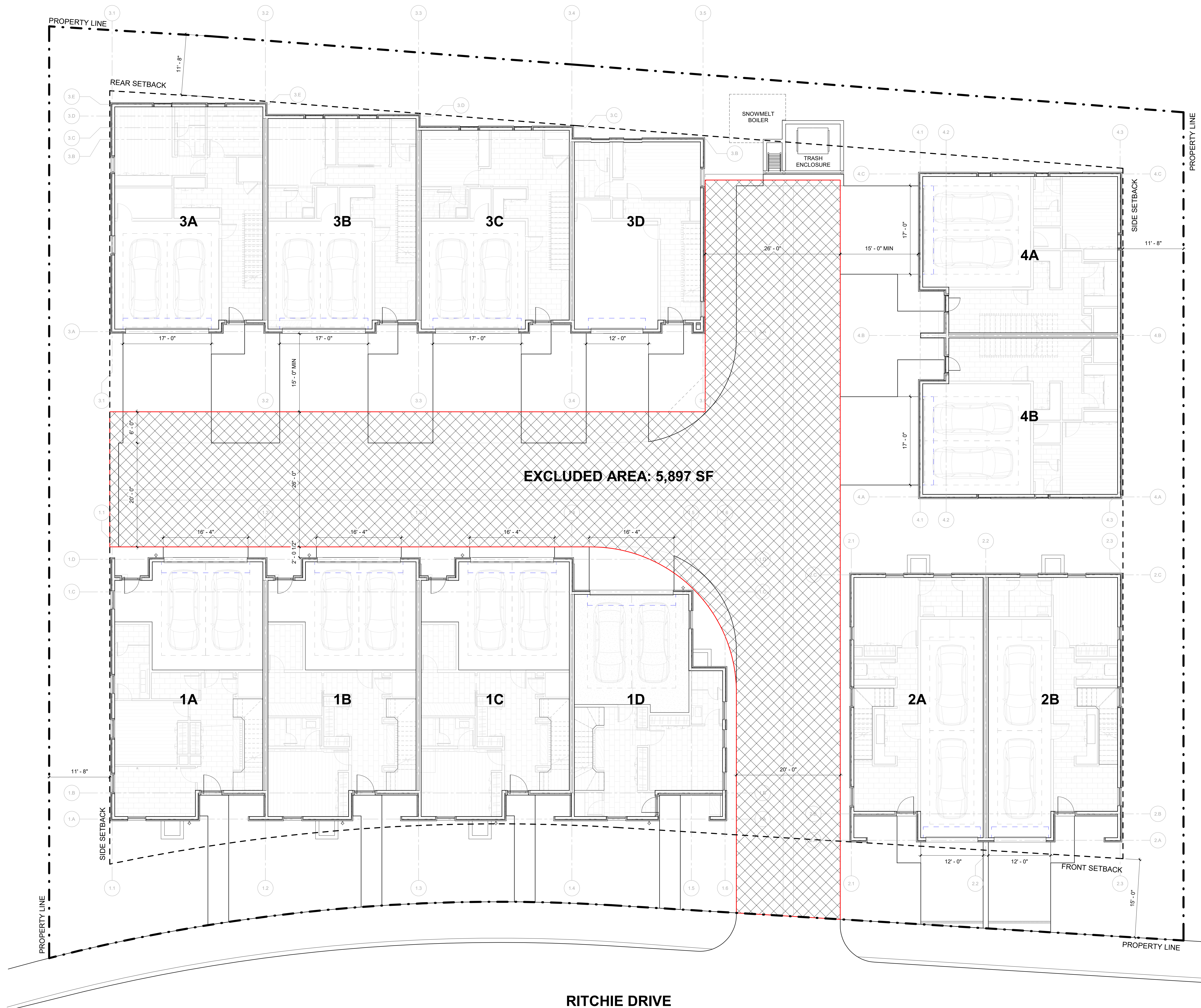
PROJECT NUMBER

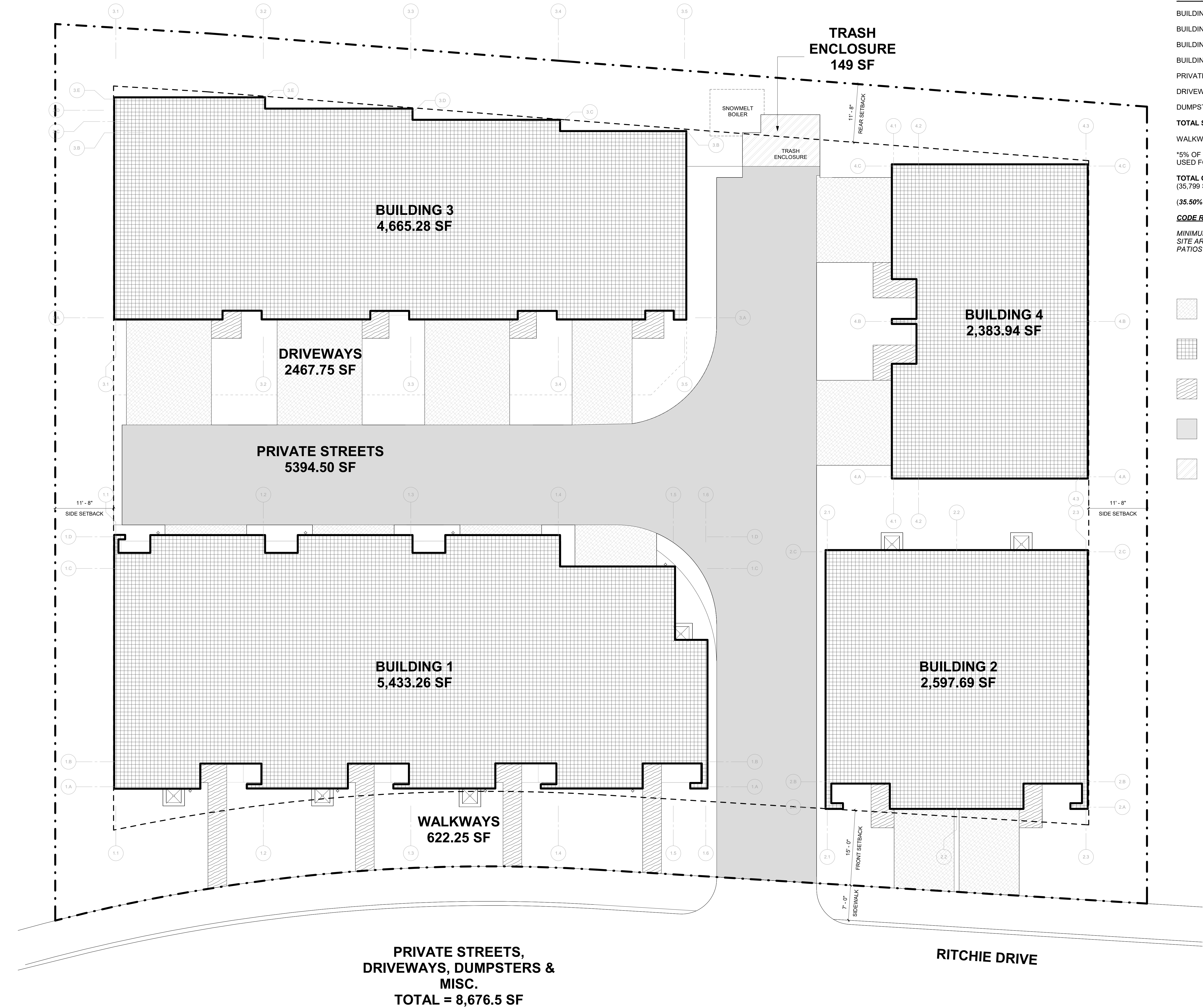
2305

DRAWING NUMBER:

A-002

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LOT AREA:	35,799.00 SF
OPEN SPACE REQ (35% LOT AREA):	12,529.65 SF
SITE COVERAGE AREAS:	
BUILDING 1:	5,433.26 SF
BUILDING 2:	2,597.69 SF
BUILDING 3:	4,665.28 SF
BUILDING 4:	2,383.94 SF
PRIVATE STREETS:	5,394.50 SF
DRIVEWAYS:	2,467.75 SF
DUMPSTERS:	149.0 SF
TOTAL SITE COVERAGE:	23,091.42 SF
WALKWAY AREA:	622.25 SF*
*5% OF REQ OPEN SPACE (12,529.65 SF) USED FOR WALKWAYS ALLOWABLE = 626.48 SF	
TOTAL OPEN SPACE AREA:	12,707.58 SF (35,799 SF LOT AREA - 23,091.42 SF SITE COVERAGE)
(35.50% - COMPLIANT, 177.93 SF SURPLUS)	
CODE REQUIREMENT: OPEN SPACE	
MINIMUM OPEN SPACE: 35% (A MAXIMUM OF 5% OPEN SITE AREA MAY BE USED FOR PRIVATE DECKS OR PATIOS AND WALKWAYS SUBJECT TO DESIGN REVIEW).	

- DRIVEWAYS
- BUILDINGS
- WALKWAYS
- PRIVATE STREETS
- TRASH ENCLOSURE

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:	108-110 RITCHIE LLC P.O. BOX 14001-174 KETCHUM, ID 83340 TEL: 603.801.0419
BUILDING ARCHITECT:	RO ROCKETT DESIGN 1031 W. MANCHESTER BLVD. UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014
STRUCTURAL ENGINEER:	ZFA STRUCTURAL ENGINEERS 601 MONTGOMERY STREET SUITE 1450 SAN FRANCISCO, CA 94111 TEL: 415.243.4091
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:	PROFICIENT ENGINEERING 4704 HARLAN STREET SUITE 620 DENVER, CO 80212 TEL: 720.779.3596
CIVIL ENGINEER:	GALENA BENCHMARK ASSOCIATES 100 BELL DRIVE SUITE C KETCHUM, ID 83340 TEL: 208.725.9512
LANDSCAPE ARCHITECT:	EGGERS ASSOCIATES 560 NORTH 2ND AVENUE KETCHUM, ID 83340 TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SITE PLAN - OPEN SPACE

SEAL:

PROJECT NUMBER
2305
DRAWING NUMBER:
A-003

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
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LANDSCAPE ARCHITECT:

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ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

SITE PLAN - FIRE ACCESS &
SNOWMELT

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-004

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CODE REQUIREMENT: FIRE ACCESS

APPENDIX D OF 2018 IFC, SECTION D105 - AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 - WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET, APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.

D105.2 - AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET, EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.

D105.3 - ONE OR MORE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED NOT LESS THAN 15 FEET AND NOT GREATER THAN 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. THE SIDE OF THE BUILDING ON WHICH THE AERIAL FIRE APPARATUS ACCESS ROAD IS POSITIONED SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.

THE PROPOSED DEVELOPMENT HAS A 20 FOOT WIDE PRIVATE ROAD THAT WOULD PROVIDE ACCESS TO THE INTERIOR OF THE SITE AND A DESIGNATED 20 FOOT WIDE PORTION OF THE ROAD FOR AERIAL FIRE ACCESS TO BUILDING 3 AND 4. ADDITIONALLY, BUILDING 3 AND 4 ARE SETBACK 15 FEET FROM THE EDGE OF THE FIRE ACCESS ROAD.



CODE REQUIREMENT: SNOWMELT

SNOWMELT

SNOW STORAGE

GRASS-CRETE PAVERS

H. SNOW STORAGE

1 - SNOW STORAGE AREAS SHALL NOT BE LESS THAN THIRTY PERCENT (30%) OF THE IMPROVED PARKING AND PEDESTRIAN CIRCULATION AREAS.

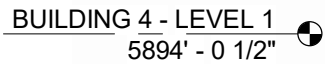
2 - SNOW STORAGE AREAS SHALL BE PROVIDED ON SITE.

3 - A DESIGNATED SNOW STORAGE AREA SHALL NOT HAVE ANY DIMENSION LESS THAN FIVE FEET (5') AND SHALL BE A MINIMUM OF TWENTY FIVE SQUARE FEET (25 SF)

4 - IN LIEU OF PROVIDING SNOW STORAGE AREAS, SNOWMELT AND HAULING OF SNOW MAY BE ALLOWED.

THE PROPOSED DEVELOPMENT WILL PROVIDE SITE SNOWMELT FOR ALL DRIVEWAYS, PATHWAYS, AND PRIVATE ROADS. SNOWMELT BOILER EQUIPMENT WILL BE SUBGRADE, LOCATED AT THE END OF THE PRIVATE ROAD AND SCREENED FROM VIEW OF NEIGHBORS. SEE MEP FOR DETAILED SNOWMELT PLANS.

THERE IS 638 SF OF GRASS-CRETE SCHEDULED FOR FIRE ACCESS THAT WILL NOT HAVE SNOWMELT. THESE AREAS WILL BE SHOVELED AND AN ADDITIONAL 884 SF OF SNOW STORAGE HAS BEEN DESIGNATED ON SITE.



NOTE

SCREENED TRASH ENCLOSURE WITH SNOWMELT BOILER ROOM. BOILER LOCATED FULLY SUBGRADE AND NOT VISIBLE. TRASH ENCLOSURE SLAB AND ACCESS WELL SCHEDULED TO BE SNOWMELTED TO ALLOW CLEAR ACCESS IN WINTER.



DUMPSTER ENCLOSURE - ENLARGED FLOOR PLAN



DUMPSTER ENCLOSURE - FLOOR PLAN

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNE

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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1031 W. MANCHESTER BLVD. UNIT 6
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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SNOWMELT VAULT &
DUMPSTER DETAILS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER

A-005

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PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340

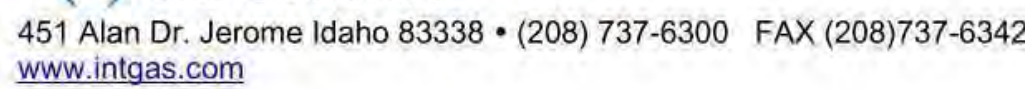
Re: 108 Richie Drive

Please consider this letter as a will serve for the above address. Attached to this email are plans for a 12-unit townhome project to be built. When built according to the plans the enclosure is ample for a dumpster to service the project.

- Snow and Ice removal to and inside of the enclosure
- Access to the enclosure and the turn around area for egress
- Gates maintained in working order

Respectfully,

.108 Richie Drive



May 13, 2024

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum, Idaho.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

Sincerely,

Lance D. McBride
Energy Services Representative Sr.
lance.mcbride@intgas.com
208-737-6314

From: Bennett, Cheryl <CBennett2@idahopower.com>
Sent: Friday, May 17, 2024 10:27 AM
To: Hank Moore
Cc: Erik de Bruijn
Subject: Will Serve Email

You can provide this email to the city of Ketchum for your application.

As this is in the preliminary stages, I have not finalized my design on the project. The proposed transformer locations may work, but I'll have to review when I get into my design phase. I have indicated where they may also be placed depending on the voltage drop, once I get into it. Additionally, we need 10' of clearance to the front of the transformers for safe electrical operation. They can be landscaped on side and rear, no matter where they are placed. We do have primary power on Ritchie Drive, but again, until I start my design, I will not know if I need another device to pick it up (sector) and/or have to cross Ritchie Drive to get to it.

Once the customer makes formal application for design the company will provide electrical service to the project subject to obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the company on file with the Idaho Public Utilities Commission (PUC), in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho PUC.

Below is the initial review I have made. Please let me know if you have additional questions or comments.

[illegible]

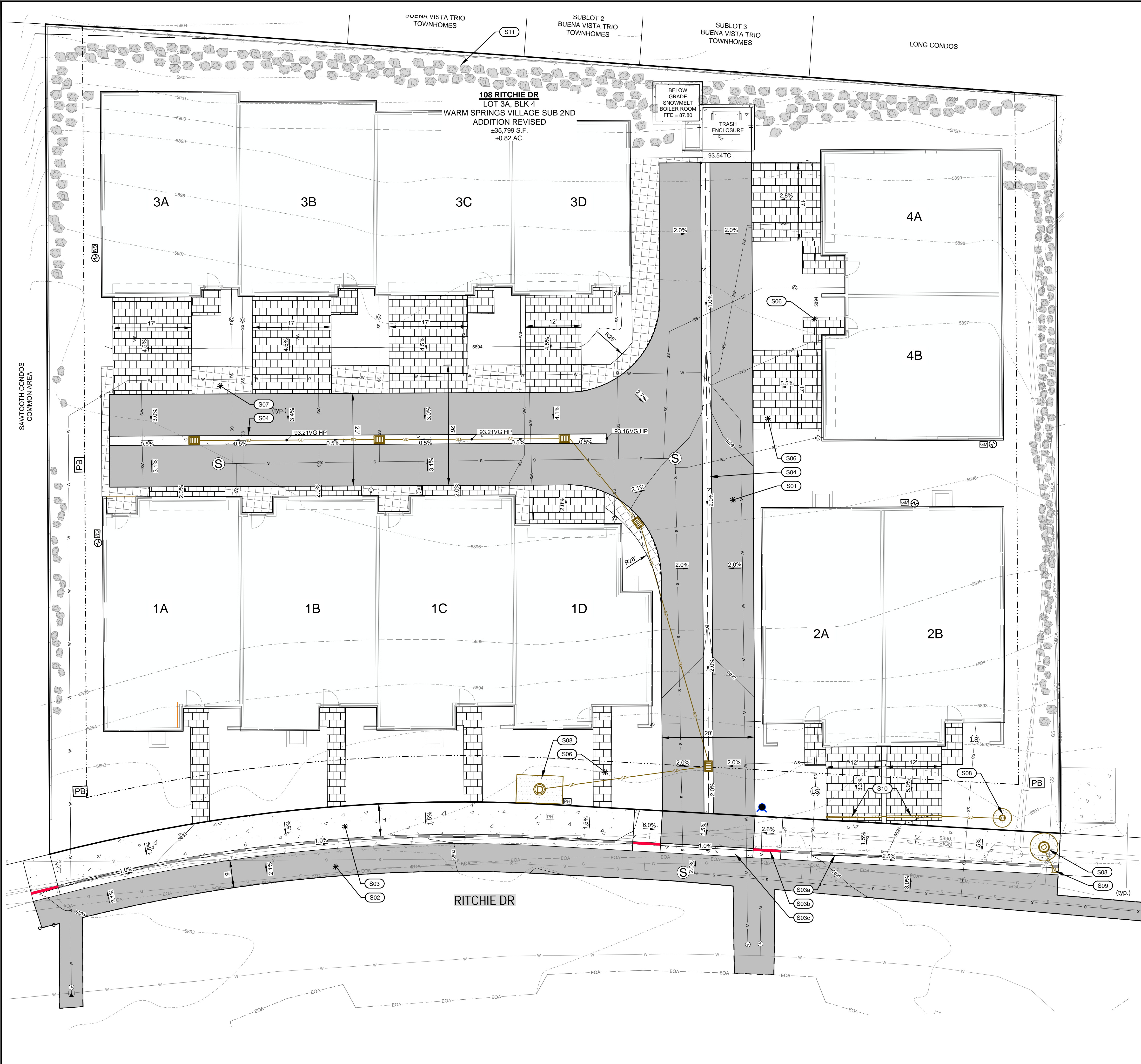
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SEAL

DRAWING NUMBER

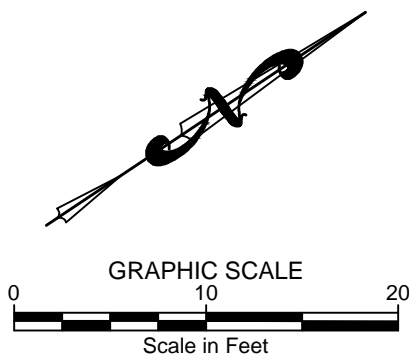
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- LEGEND**
- BLOCK BOUNDARY
 - ADJOINER'S LOT LINE
 - EASEMENT
 - ROAD CENTERLINE
 - 5' CONTOUR INTERVAL (EXISTING)
 - 1' CONTOUR INTERVAL (EXISTING)
 - FENCE LINE
 - RETAINING WALL
 - EOA
 - ASPHALT
 - STORM DRAIN PROPOSED
 - SAWCUT LINE
 - 5' CONTOUR INTERVAL
 - 1' CONTOUR INTERVAL

- SITE IMPROVEMENT KEY NOTES**
- S01 CONSTRUCT HEATED ASPHALT ROADWAY. SEE DETAIL TBD.
 - S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL TBD.
 - S03 CONSTRUCT CONCRETE SIDEWALK, CURB AND GUTTER.
 - a. 6" ROLLED C&G
 - b. CURB TRANSITION
 - c. ZERO REVEAL CURB AND GUTTER
 - S04 CONSTRUCT 24" WIDE HEATED CONCRETE VALLEY GUTTER
 - S06 INSTALL SITE PAVERS. SEE LANDSCAPE PLAN FOR DETAILS.
 - S07 INSTALL SITE GRASS PAVE. SEE LANDSCAPE PLAN FOR DETAILS.
 - S08 CONSTRUCT DRYWELL. SEE DETAIL TBD. PROVIDE MIN. 12-24" SOIL COVER FOR PLANTINGS. REFER TO LANDSCAPE PLANS FOR SOIL COVER REQUIREMENTS.
 - S09 CONSTRUCT 30" CATCH BASIN. SEE DETAIL TBD.
 - S10 INSTALL TRENCH DRAIN.
 - S11 SEE LANDSCAPE SHEETS FOR SITE GRADING AND BOULDER PLACEMENT.



PURPOSE: ISSUE FOR DESIGN REVIEW

NO. DATE BY REVISIONS

C1.00

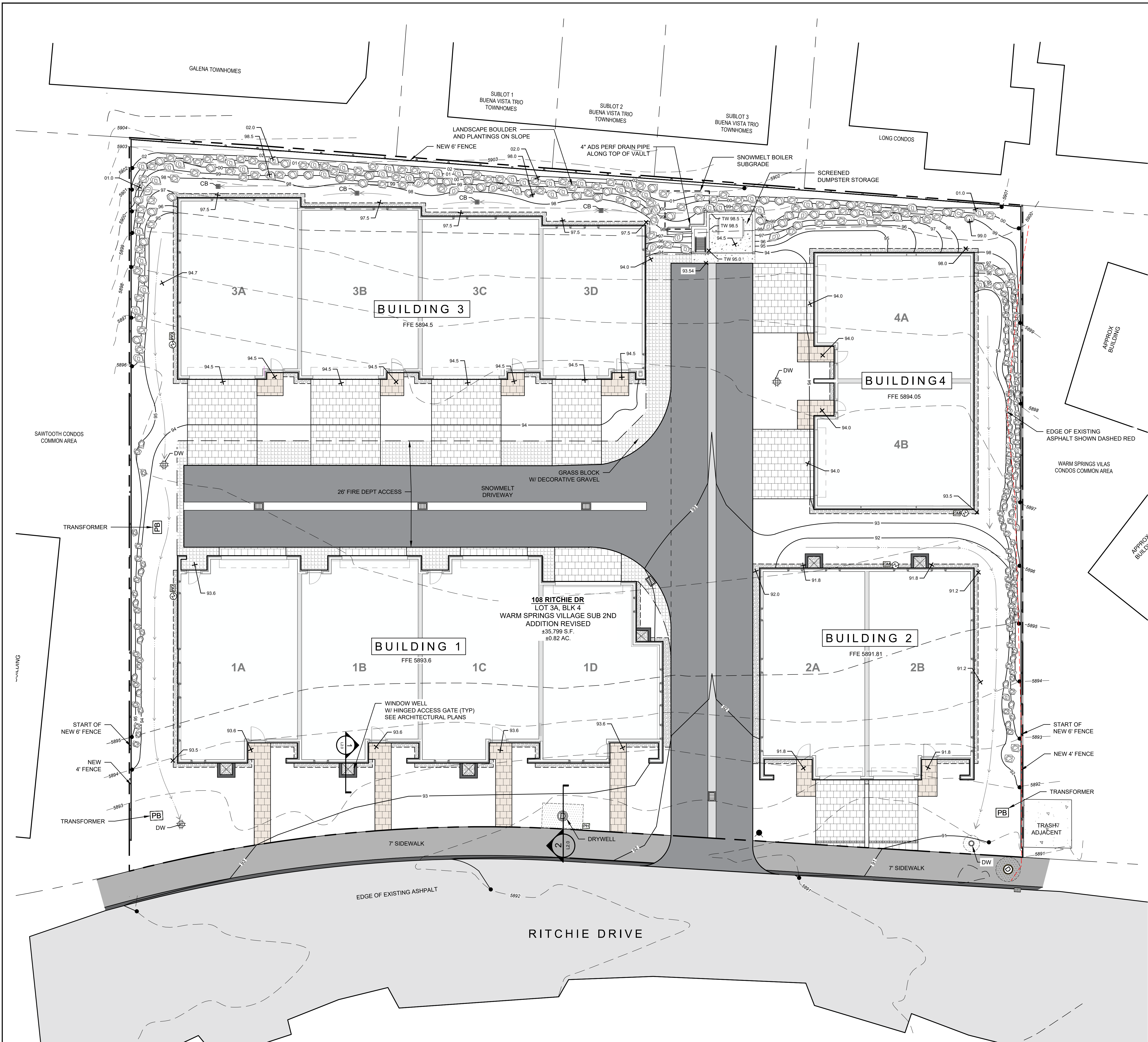
GALENA-BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

DESIGNED BY: SLS/MS
DRAWN BY: SLS/MS
CHECKED BY: MS
SURVEY DATE: 06/12/22

**PRELIMINARY
NOT FOR
CONSTRUCTION**

GRADING & DRAINAGE PLAN
WARM SPRINGS VILLAGE SUB 2ND ADD. REV.
BLOCK 4, LOT 3A
LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: PRESIDIO VISTA PROPERTIES

PROJECT INFORMATION
G:\BNA\Warm Springs Village\2nd Addition\REVISED\Block 4\2023\Lot 3A\108-110 Ritchie Dr\Grading\Construction\2023 CIVIL.dwg 08/04/25 2:03:47 PM

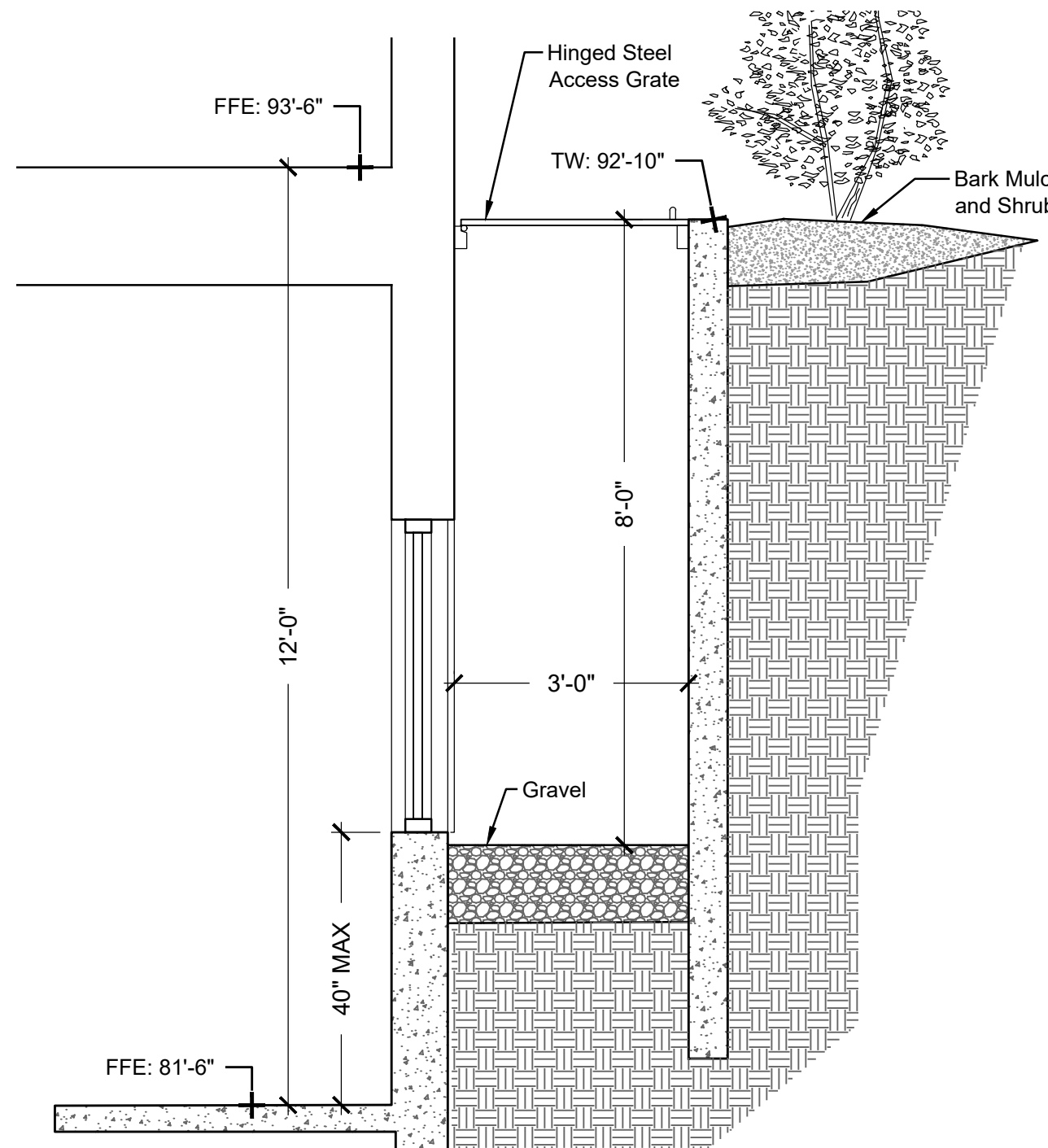


Plan Legend

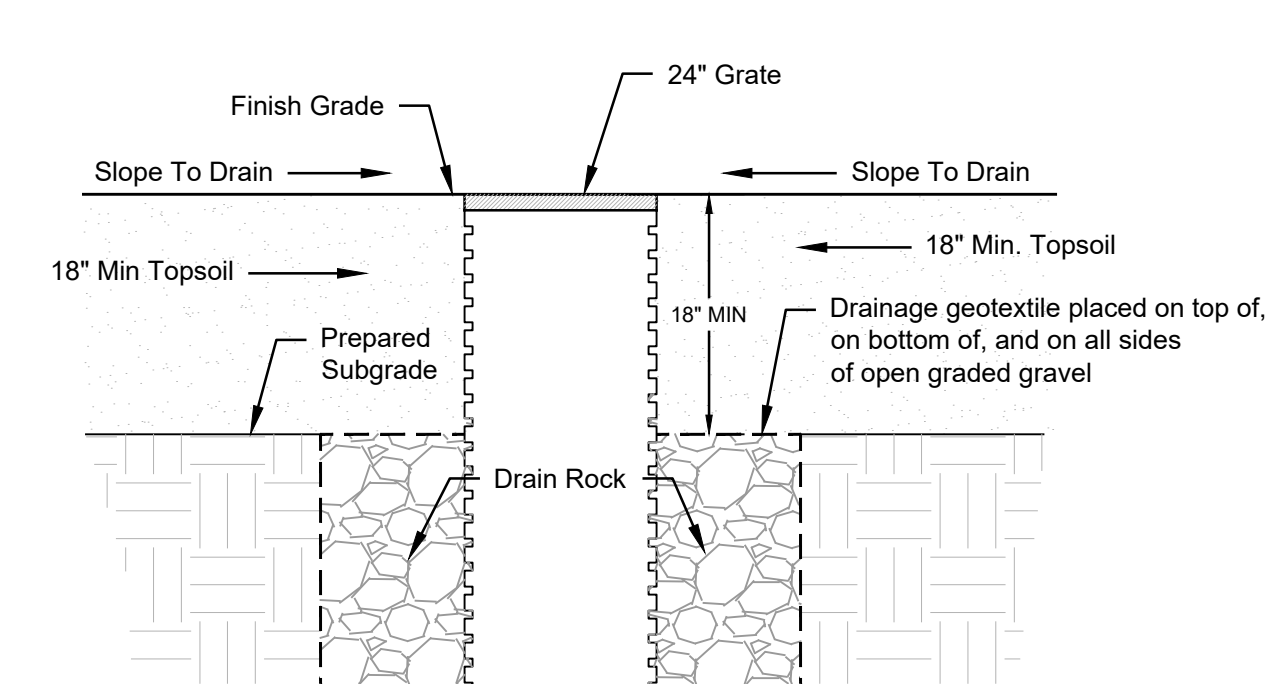
- Property Line
- Existing Contour
- Proposed Contour
- New Fence
- Boulder Retaining
- Grass Pave
- Pavers
- Concrete
- Gravel
- Lawn Grass
- Natural Grass
- Perennials and Groundcover
- Drywell
- Catch Basin
- Drainage Swale

Grading Abbreviations

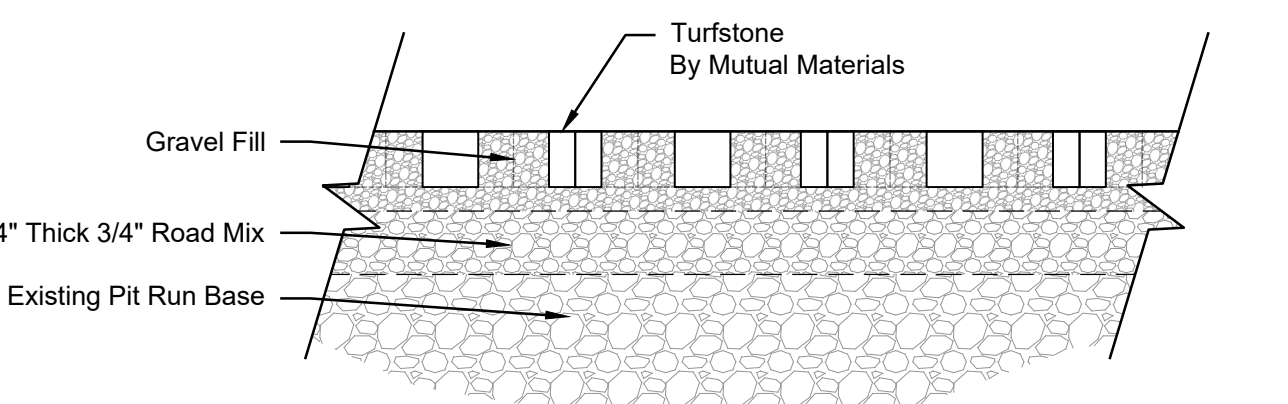
EL	SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
HP	HIGH POINT
HPS	HIGH POINT OF SWALE
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
DI	DRAIN INLET ELEVATION
DW	DRYWELL RIM ELEVATION
TC	TOP OF CURB
BC	BOTTOM OF CURB
FG	FINISHED GRADE



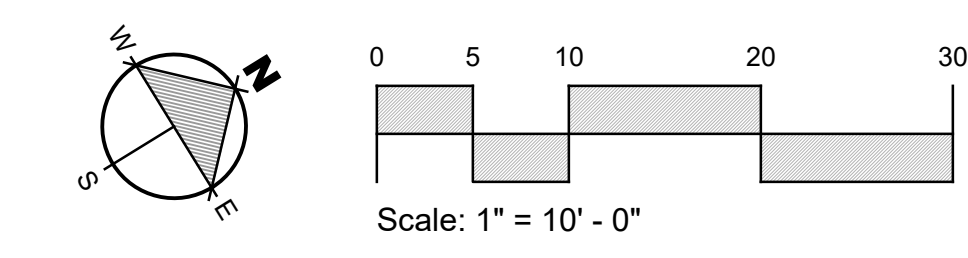
1 Section: Typical Window Well Scale: 1/2" = 1'-0"



2 Section: Drywell Landscape Integration Scale: 1/2" = 1'-0"



Detail: Turfstone (Grassblock) Scale: Not to Scale



Warm Springs

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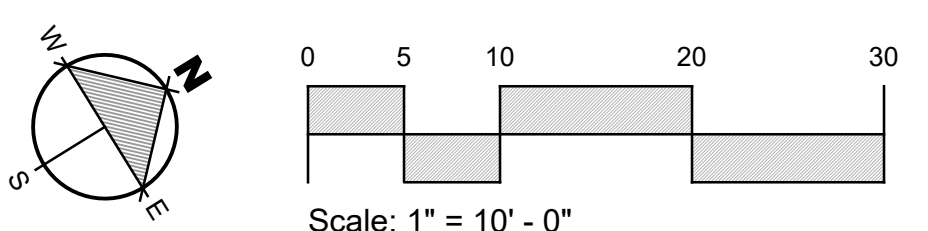
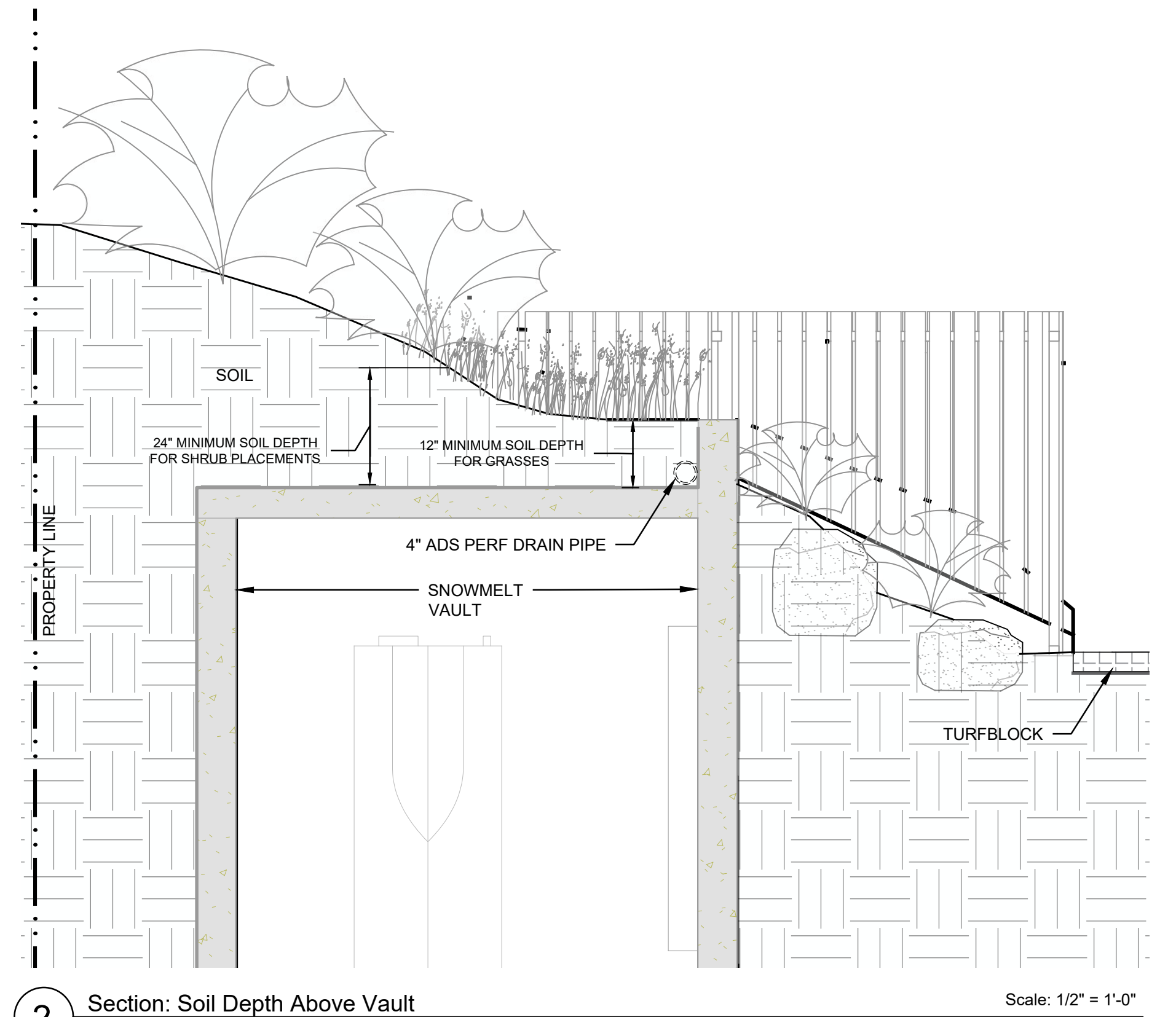
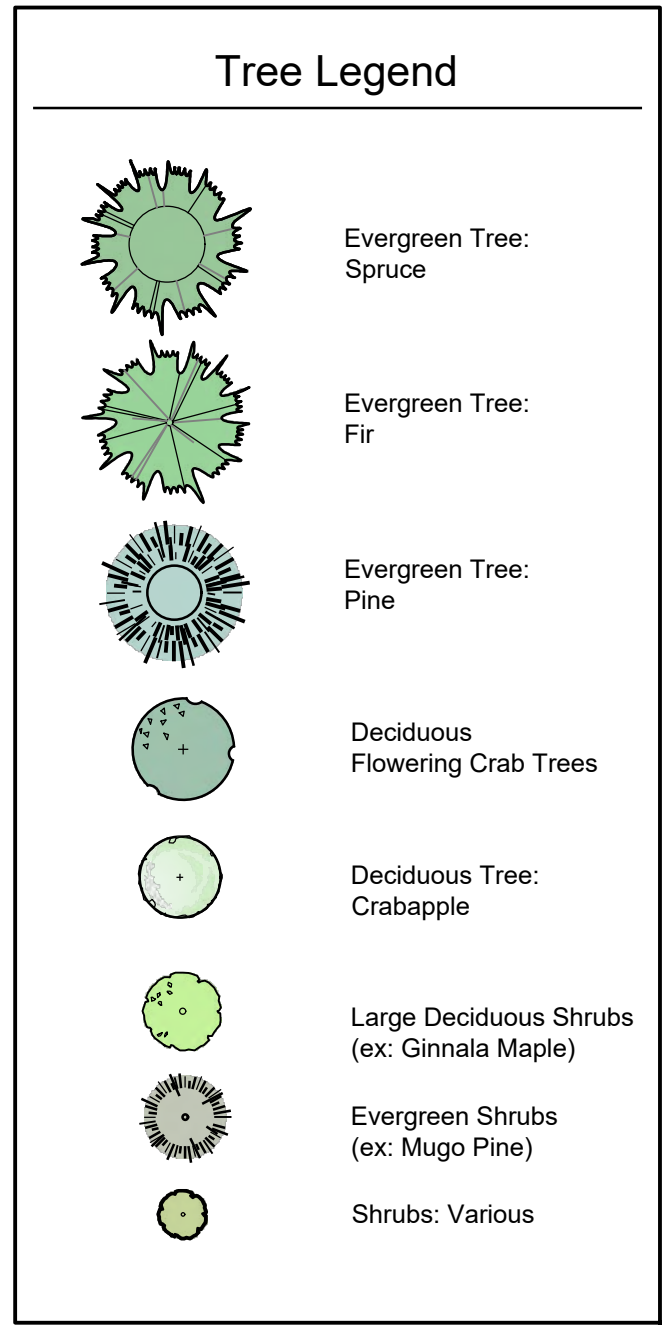
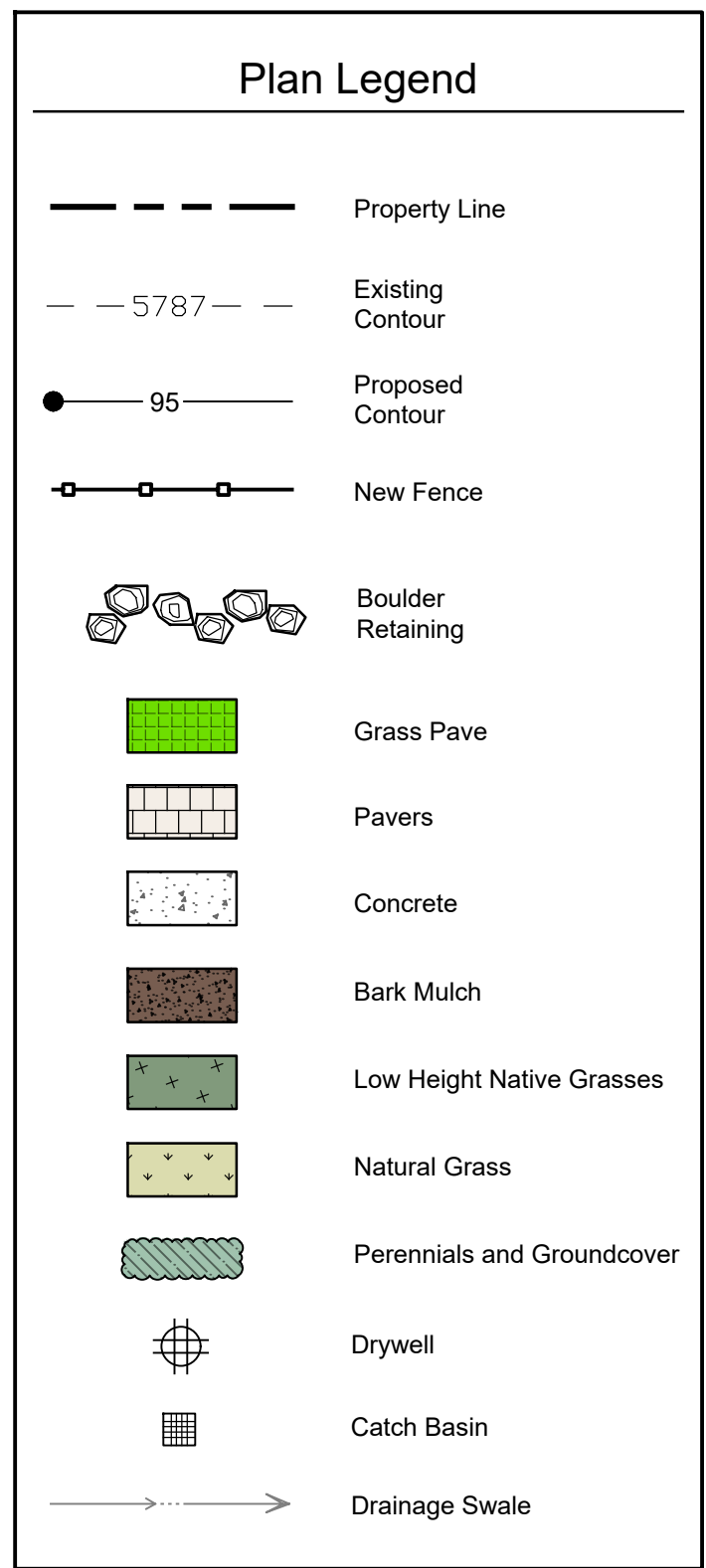
108 & 110 Ritchie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

Job No: 2331
Scale: 1"=10'-0"
Issue/Revisions Date:
Concept Update 07/10/24
Design Review 11/06/24
DR Resubmission 03/14/25
DR Resubmission 06/23/25
DR Resubmission 07/17/25
DR Resubmission 08/04/25

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STATE OF IDAHO
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LANDSCAPE ARCHITECT
NOV 21 2024

Sheet Title:
Grading Plan

Sheet No:
L2.0



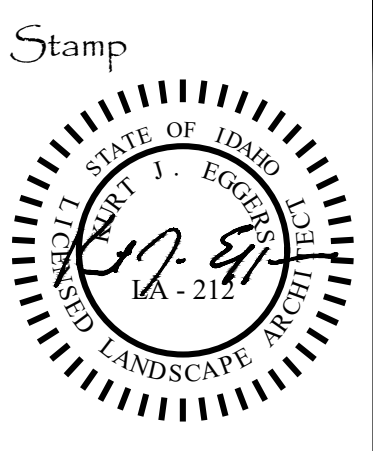
DESIGN REVIEW RESUBMITTAL - 08/04/25

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Ketchum, Idaho

Job No: 23.31
Scale: 1" = 10'-0"
Issue/Revisions Date:
Concept Update 07/10/24
Design Review 11/06/24
DR Resubmission 05/14/25
DR Resubmission 06/25/25
DR Resubmission 07/17/25
DR Resubmission 08/04/25



Sheet Title:
Landscape Plan

Sheet No:
L3.0



Plan Legend	
	Property Line
	Existing Contour
	Proposed Contour
	Grass Pave
	Pavers
	Concrete

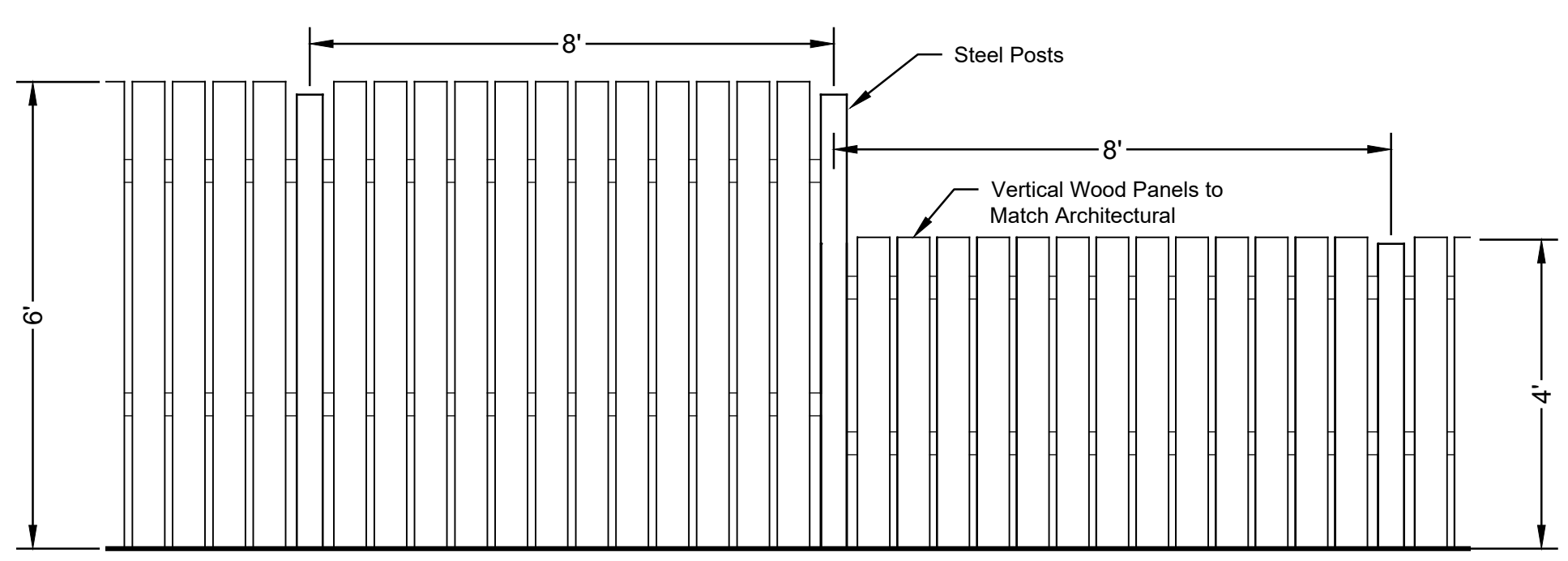
Fence Legend	
	6 Foot High Fence
	4 Foot High Fence

30' FROM PROPERTY LINE
4' HIGH FENCING

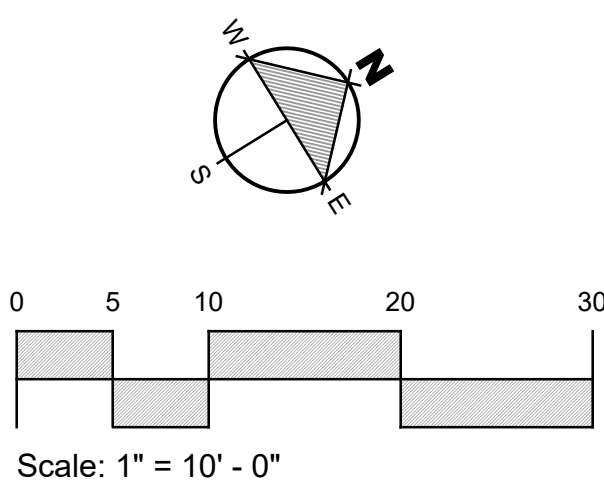
6' HIGH FENCING

6' HIGH FENCING

30' FROM PROPERTY LINE
4' HIGH FENCING



6' High Fence Concept Image



DESIGN REVIEW RESUBMITTAL - 08/04/25

Warm Springs

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Ketchum, Idaho

Job No: 23.31
Scale: 1"=10'-0"

Issue/Revisions	Date:
Concept Update	07/10/24
Design Review	11/06/24
DR Resubmission	03/14/25
DR Resubmission	06/23/25
DR Resubmission	07/17/25
DR Resubmission	08/04/25

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J. EGGERS
LANDSCAPE ARCHITECT
16-21

Sheet Title:
Fencing Plan

Sheet No:
L3.2



Flowering Crab Trees (8 Feet Installation Height)



Fir Tree (6 - 8 Feet Installation Height)



Spruce Tree (6 - 8 Feet Installation Height)



Mugo Pine Tree (6 - 8 Feet Installation Height)



Streetside Example: Low Natural Grass (Scottish Links)

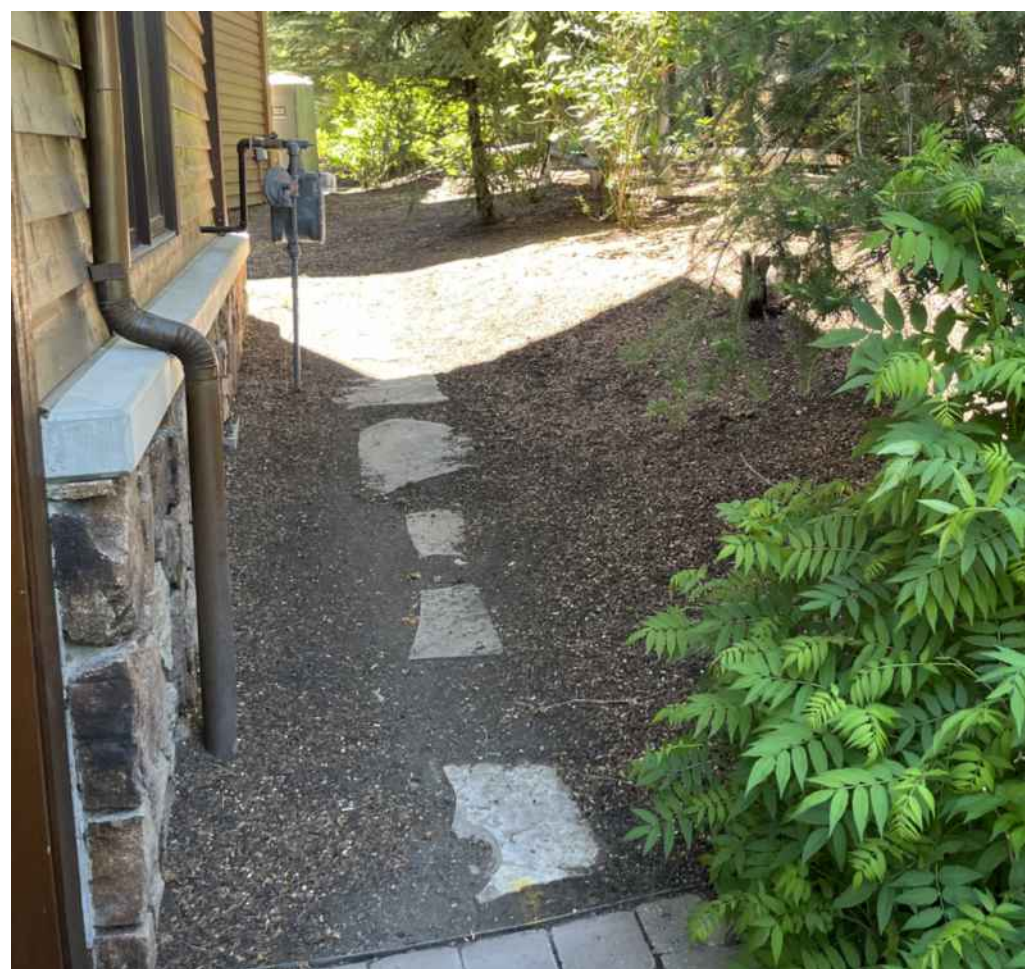
PLANT MATERIALS



STREET PLANTING EXAMPLES



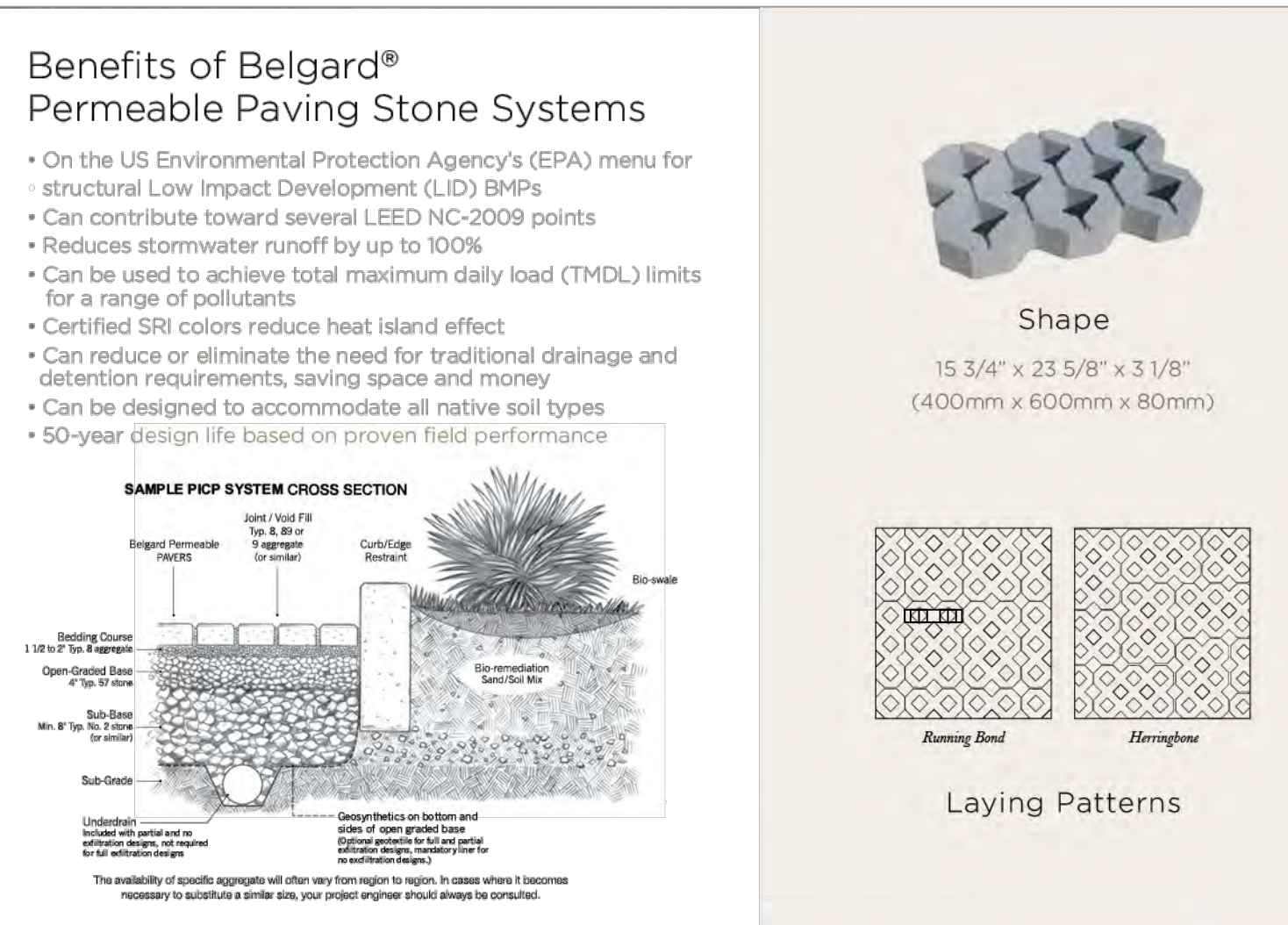
Transformer Screening



Bark Mulch and Path



Landscape Boulders With Plantings



Driveable Permeable Pavers / Filled with Decorative Gravel

Warm
Springs

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Ketchum, ID 83740

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Ketchum, Idaho

Job No: 23.31

Scale:

Issue/Revisions: Date:

Concept Update 07/10/24

Design Review 11/06/24

DR Resubmission 03/14/25

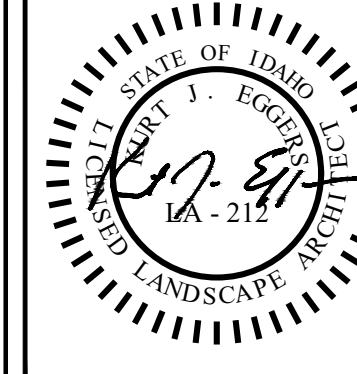
DR Resubmission 06/23/25

DR Resubmission 07/17/25

DR Resubmission 08/04/25

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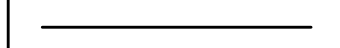
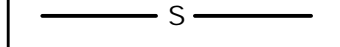
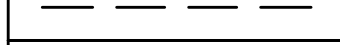
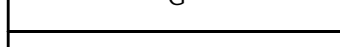
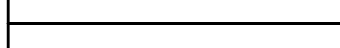
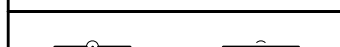

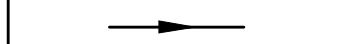


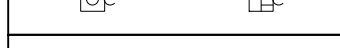
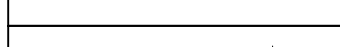
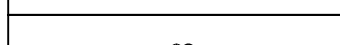
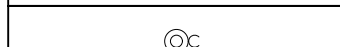




Sheet Title:
Plant
Materials

Sheet No:


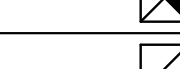

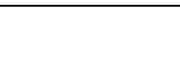
L4.0

ABBREVIATIONS			
CD	CONDENSATE DRAIN	MV	MIXING VALVE
CONT	CONTINUATION	O/H	OVERHEAD
CW	COLD WATER	G	NATURAL GAS
DN	DOWN	PD	PUMPED DISCHARGE
ET	EXPANSION TANK	PRV	PRESSURE REDUCING VALVE
EW	ELECTRIC WATER COOLER	RP	RECIRCULATION PUMP
ex.	EXISTING	S. SAN	SANITARY
FCO	FLOOR CLEANOUT	SH	SHOWER
FD	FLOOR DRAIN	SK	SINK
FHB	FREEZEPROOF HOSE BIBB	TP	TRAP PRIMER
FS	FLOOR SINK	TYP	TYPICAL
FRH	FREEZEPROOF ROOF HYDRANT	UR	URINAL
FWH	FREEZEPROOF WALL HYDRANT	V	VENT
GCO	GRADE CLEANOUT	VTR	VENT THROUGH ROOF
GI	GREASE INTERCEPTOR	WC	WATER CLOSET
HB	HOSE BIBB	W. C.	WATER COLUMN
HD	HUB DRAIN	WCO	WALL CLEANOUT
HWS	HOT WATER SUPPLY	WHA	WATER HAMMER ARRESTER
HWR	HOT WATER RETURN	WMB	WASHING MACHINE BOX

LEGEND

	COLD WATER PIPE
	HOT WATER PIPE
	HOT WATER RETURN PIPE
	SANITARY PIPE
	VENT PIPE
	NATURAL GAS PIPE
	GREASE WASTE PIPE
	PIPE UP / PIPE DOWN
	PIPE TEE FROM TOP / TEE FROM BOTTOM
	PIPE CAP / PIPE CONTINUATION
	DIRECTIONAL FLOW ARROW
	BALL VALVE / CHECK VALVE
	MIXING VALVE / PRESSURE REDUCING VALVE
	FLOOR DRAIN / FLOOR SINK
	GAS COCK / GAS SOLENOID VALVE
	P-TRAP
	HUB DRAIN
	FLOOR CLEANOUT / GRADE CLEANOUT
	VENT THROUGH ROOF
	PIPE CLEANOUT / WALL CLEANOUT

LEGEND

SYMBOLS	DESCRIPTION
	DUCT UP
	DUCT UP
	DUCT DOWN
	EQUIPMENT TYPE EQUIPMENT NUMBER. WHERE A LETTER IS USED, THERE ARE MULTIPLE INSTANCES.

SPECIFICATIONS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE LOCAL GAS UTILITY PROVIDER TO CONFIRM THE AVAILABILITY OF THE INDICATED DESIGN DELIVERY PRESSURE PRIOR TO COMMENCING WORK.

ALL GAS PIPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL FUEL GAS CODE AND NFPA 54.

ABOVE GRADE GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL (ASTM A53/A53M). FITTINGS SHALL BE ASME B16.3 MALLEABLE IRON OR ASTM A234/A234M WROUGHT STEEL WELDING TYPE. JOINTS SHALL BE THREADED OR WELDED TO ASME B31.1.

BELOW GRADE GAS PIPING SHALL BE FLEXIBLE POLYETHYLENE TUBING AND SHALL COMPLY WITH ASTM D2513.8 AND CSA B137.4, AND SHALL BE INSTALLED IN ACCORDANCE WITH IFGC SECTION 402.11.2. PROVIDE MANUFACTURED RISER ASSEMBLY TO TRANSITION FROM TUBING TO ABOVEGROUND METALLIC PIPING.

SHUTOFF VALVES SHALL BE PROVIDED AND LOCATED IN PLACES SO AS TO PROVIDE ACCESS FOR OPERATION AND SHALL BE INSTALLED SO AS TO BE PROTECTED FROM DAMAGE.

ALL GAS FIRED APPLIANCES ARE PROVIDED WITH A GAS PRESSURE OF 7" W.C. AT FINAL EQUIPMENT CONNECTION. IF 7" W.C. EXCEEDS EQUIPMENT'S SPECIFIC INLET PRESSURE REQUIREMENT, CONTRACTOR SHALL PROVIDE APPROPRIATE PRESSURE REGULATING VALVE.

GAS PIPING ON ROOF SURFACES SHALL BE ELEVATED NO LESS THAN 3/8" INCHES ABOVE ROOF SURFACE AND SHALL BE CLAMPED TO RUBBER CHANNEL SUPPORTS (M/FAB C10 SERIES OR EQUAL). PROVIDE SUPPORT AT EVERY ELBOW. THE MAXIMUM SPACING OF SUPPORTS SHALL BE: 1/2" PIPE: 5'-0"; 3/4" TO 1 1/4" PIPE: 6'-0"; 1 1/2" AND LARGER: 12'-0". VERTICAL PIPING SHALL BE SUPPORTED AT BASE, TOP AND AT 10' INTERVALS (MINIMUM).

ALL EXTERIOR GAS PIPING ON ROOF SHALL BE PRIMED AND PAINTED O.S.H.A. YELLOW. GAS PIPING RUNNING ON EXTERIOR WALLS SHALL BE PRIMED AND PAINTED TO MATCH BUILDING WALL.

EXPPOSED GAS PIPING SHALL BE IDENTIFIED BY A YELLOW LABEL MARKED 'GAS' IN BLACK LETTERS. ALL PIPING GREATER THAN 7" W.C. SERVICE PRESSURE SHALL BE IDENTIFIED BY A YELLOW LABEL WITH BLACK LETTERS INDICATING THE PIPING SYSTEM PRESSURE. THE SYSTEM SHALL BE MARKED AT THE BEGINNING, ALL ENDS AND AT INTERVALS NOT EXCEEDING 5 FEET ALONG ITS EXPOSED LENGTH.

BALL VALVES: THREE PIECE BODY, FULL PORT, CHROME PLATED BALL, BLOWOUT PROOF STEM, TFE SEATS, UL LISTED FOR FLAMMABLE LIQUIDS, 600 PSI WOG, THREADED ENDS.

PRESSURE REGULATOR VALVE: SINGLE STAGE AND SUITABLE FOR NATURAL GAS, STEEL JACKET AND CORROSION RESISTANT COMPONENTS, THREADED FOR REGULATORS NPS 2 AND SMALLER. PROVIDE SHUTOFF VALVE IMMEDIATELY AHEAD OF REGULATOR, AND INSTALL TEST PORTS ON EITHER SIDE REGULATOR, WITH UPSTREAM TEST PORT DOWNSTREAM OF SHUTOFF VALVE. REGULATORS SHALL BE INSTALLED PER IFGC SECTION 410. FOR 2PSI INLET, PROVIDE MAXITROL 325.1 SERIES. PROVIDE VENT PROTECTOR FOR EXTERIOR APPLICATIONS. FOR INTERIOR APPLICATIONS, VENT SHALL BE PIPED TO THE EXTERIOR WITH TURNDOWN AND SCREEN PROTECTOR (REGULATOR EQUIPPED WITH FACTORY PROVIDED VENT LIMITER IS ACCEPTABLE WHERE APPROVED BY THE LOCAL JURISDICTION).

SHUTOFF VALVES SHALL BE PROVIDED IN ACCORDANCE WITH IFGC 409. INSTALL MANUAL GAS SHUTOFF VALVE FOR EACH GAS APPLIANCE AHEAD OF CORRUGATED STAINLESS STEEL TUBING OR COPPER CONNECTOR. SHUTOFF SHALL BE WITHIN 6' OF APPLIANCE.

INSTALL UNIONS IN PIPES NPS 2 AND SMALLER, ADJACENT TO EACH VALVE, AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT.

ALL GAS PIPING INSTALLED BENEATH THE BUILDING SLAB SHALL BE ENCASED IN WROUGHT IRON CONDUIT. PIPING SHALL BE PROTECTED AND INSTALLED ACCORDING TO THE INTERNATIONAL FUEL GAS CODE SECTION 404.14.

TANK TYPE WATER HEATERS
WATER HEATERS SHALL BE U.L. LISTED AND SHALL MEET OR EXCEED THE STANDBY LOSS REQUIREMENTS OF U.S. DEPT. OF ENERGY AND CURRENT EDITION OF ASHRAE/IESNA 90.1.

WATER HEATERS SHALL HAVE 150PSI WORKING PRESSURE AND BE EQUIPPED WITH EXTRUDED HIGH DENSITY ANODE ROD AND HIGH TEMPERATURE CUTOFF SWITCH. WATER HEATERS SHALL BE THERMOSTATICALLY CONTROLLED AND SET TO 120° UNLESS OTHERWISE NOTED. WATER HEATERS SHALL BE INSTALLED ON SUSPENDED PLATFORM STEEL STAND OR CONCRETE PAD, AS INDICATED ON DRAWINGS.

WATER HEATERS SHALL HAVE A MINIMUM 3 YEAR LIMITED WARRANTY.

WATER HEATERS SHALL BE INSTALLED LEVEL AND PLUMB. FIELD COORDINATE EXACT WATER HEATER LOCATION. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES, AND INSTALL SUCH THAT CONTROLS AND DEVICES ARE ACCESSIBLE FOR SERVICING.

INSTALL SHUTOFF VALVES IN COLD WATER INLET AND HOT WATER OUTLET. INSTALL THERMOMETER ON HOT WATER OUTLET. WATER HEATER SHALL HAVE ASME RATED COMBINATION TEMPERATURE AND PRESSURE RELIEF VALVE IN TOP PORTION OF TANK (FACTORY OR FIELD INSTALLED). PIPE RELIEF VALVE OUTLET TO FLOOR DRAIN, MOP SINK, INDIRECT WASTE RECEPTOR OR TO EXTERIOR. MAINTAIN CONTINUOUS DOWNWARD PITCH TOWARD DISCHARGE LOCATION, AND PROVIDE AIR GAP AT DISCHARGE LOCATION. WHERE WATER HEATER DRAIN PAN IS INDICATED ON PLANS, ROUTE DRAIN TO SAME LOCATION AS RELIEF VALVE AND DISCHARGE WITH AIR GAP.

HANGERS AND SUPPORTS
HANGERS SHALL BE COMPLETE WITH RODS AND SUPPORTS PROPORTIONED TO THE SIZE OF PIPE TO BE SUPPORTED, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

SIZE HANGERS FOR INSULATED PIPING TO BEAR ON OUTSIDE OF INSULATION. PROVIDE INSULATION PROTECTORS AT HANGERS BEARING ON THE OUTSIDE OF INSULATION. PROVIDE A RIGID INSERT OR RIGID INSULATION AT EACH INSULATION PROTECTOR.

WHERE SEVERAL PIPES 3/4" AND SMALLER RUN PARALLEL AND IN THE SAME PLANE, THEY MAY BE SUPPORTED ON GANG OR MULTIPLE HANGERS. LARGER PIPING SHALL BE INDEPENDENTLY HUNG, RUN PARALLEL AND BE EQUALLY SPACED.

PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH IPC SECTION 308, AND SPACING OF HANGERS SHALL NOT EXCEED THE LIMITS SET FORTH IN TABLE 308.5. PIPES SHALL BE SUPPORTED WITHIN 1'-0" OF EACH ELBOW.

VERTICAL PIPE SUBJECT TO MOVEMENT SHALL BE SUPPORTED FROM THE WALL BY MEANS OF A PIPE CLAMP.

SUPPORT DOMESTIC WATER PIPING IN SPACES BEHIND PLUMBING FIXTURES BY BRACKETS AND U-BOLTS SECURED TO WASTE AND VENT STACKS. SIZE U-BOLTS TO BEAR ON THE PIPING.

AFTER HANGER RODS ARE INSTALLED IN FINISHED CONCRETE CEILING, FILL THE REMAINING OPENING WITH CEMENT SO THAT NO HOLE SHOWS AT THE CEILING.

WHERE COPPER PIPING IS USED, NONFERROUS METAL SUPPORT(S) OR PROPER ISOLATION BETWEEN DISSIMILAR MATERIALS SHALL BE PROVIDED.

PIPE HANGERS AND SUPPORTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN MANUFACTURER'S STANDARDIZATION SOCIETY STANDARD PRACTICES NO. SP-69 AND SP-58.

SLEEVES
SLEEVES SHALL BE PROVIDED WHERE PIPES PASS THROUGH WALLS, FLOORS AND ROOFS.
PROVIDE STANDARD WEIGHT STEEL SLEEVES IN CONCRETE AND MASONRY CONSTRUCTION. PROVIDE 26GA GALVANIZED SHEET METAL SLEEVES IN INTERIOR DRYWALL CONSTRUCTION. SLEEVES SHALL BE THE FULL THICKNESS OF WALLS AND SHALL ALLOW FOR THE FULL THICKNESS OF PIPE INSULATION, WHERE APPLICABLE.

SLEEVES MAY BE OMITTED WHEN OPENINGS ARE CORE DRILLED FOR CONCEALED VERTICAL AND HORIZONTAL PIPING. SLEEVES ARE NOT REQUIRED AT INDIVIDUAL PLUMBING FIXTURES OR IN CONCRETE FLOOR SLABS ON GRADE, UNLESS OTHERWISE NOTED.

SLEEVES FOR ALL PIPING PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE PROVIDED WITH 3M PIPE BARRIER NO. CP-25 FIRE PROOFING CAULKING, OR EQUAL, IN ANNULAR SPACE BETWEEN SLEEVE AND PIPING. CONTRACTOR SHALL VERIFY THE RATING OF THE WALL AND CONFIRM THE PENETRATION PROTECTION PROVIDED MEETS THAT RATING.

PENETRATIONS THROUGH OUTSIDE WALLS SHALL BE WATERTIGHT. CAULK BETWEEN PLUMBING PIPE AND SLEEVE. PACK WITH FIBERGLASS AND CAULK, 1" DEEP AT EACH FACE WITH NON-HARDENING SEALANT BETWEEN PIPE AND SLEEVE.

WASTE AND VENT PIPING SYSTEMS AND ACCESSORIES
SANITARY PIPING SHALL BE PVC SCHEDULE 40 SOLID WALL PIPE AND DWV FITTING SYSTEM.

PIPE AND FITTINGS SHALL BE MANUFACTURED FROM PVC COMPOUND WITH A CELL CLASS OF 12454 PER ASTM D-1784 AND CONFORM WITH NATIONAL SANITATION FOUNDATION (NSF) STANDARD 14. PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM D-1785 AND ASTM D-2665. INJECTION MOLDED FITTINGS SHALL CONFORM TO ASTM D-2665. FITTED FITTINGS SHALL CONFORM TO ASTM F-1866. SOLVENT CEMENTS SHALL CONFORM TO ASTM D-2564. PRIMER SHALL CONFORM TO ASTM F-656. BURIED PIPE SHALL CONFORM TO ASTM D-2321.

WASTE AND VENT PIPING SHALL BE TESTED IN ACCORDANCE WITH THE GOVERNING CODES. AT A MINIMUM, WASTE PIPING SHALL BE TESTED WITH AT LEAST 10 FOOT OF WATER HEAD PRESSURE APPLIED.

ALL VENTS THROUGH ROOF SHALL BE LOCATED AT LEAST 10'-0" AWAY FROM ANY AIR INTAKE, EVAPORATIVE COOLER, OR ANY OTHER DEVICE THAT WOULD DRAW AIR FROM THE VENT. FLASH AROUND ALL PIPES PENETRATING THROUGH ROOF WITH STANDARD MANUFACTURED FLASHINGS. FLASHING SHALL BE SHEET METAL WITH RUBBER GASKETS AND SHALL EXTEND INTO ROOFING AND UP PIPE DISTANCES IN ACCORDANCE WITH THE LOCAL CODE.

NO DOUBLE COMBINATION FITTINGS MAY BE UTILIZED IN THE HORIZONTAL.

WHERE TWO HORIZONTAL PIPES (BACK-TO-BACK WATER CLOSETS OR TWO SANITARY BRANCHES) COMBINE IN THE VERTICAL, A DOUBLE COMBINATION WYE EIGHTH BEND FITTING SHALL BE INSTALLED. DOUBLE SANITARY TEE OR SANITARY CROSS IS NOT ACCEPTABLE.

WHERE DRAWINGS REQUIRE CONNECTION TO EXISTING SANITARY SEWER PIPING IN BUILDING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD DETERMINE EXACT LOCATION, DEPTH AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER IF THERE IS A POTENTIAL ISSUE MAINTAINING PROPER SLOPE IN CONNECTING TO EXISTING, OR IF THERE IS A MORE DIRECT CONNECTION POSSIBLE. CONTRACTOR SHALL CONFIRM THAT ANY EXISTING PIPING TO BE REUSED IS CLEAN, FREE OF DEFECTS, ADEQUATELY SLOPED & 1/4" MINIMUM AND THAT THERE ARE NO DIPS THAT COULD HOLD WATER. PROVIDE CAMERA SCOPING TO DOCUMENT THIS INFORMATION. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER OF ANY DEFICIENCIES.

DOMESTIC WATER SYSTEMS AND ACCESSORIES
WATER PIPING ABOVE SLAB: TYPE 1 HARD DRAWN COPPER TUBING, ASTM B88, WROUGHT SOLDER JOINTS, ANSI B16.22.

WATER PIPING BELOW SLAB: TYPE K SOFT DRAWN COPPER TUBING, WITH NO JOINTS BELOW SLAB, ASTM B88.

ALL DOMESTIC HOT WATER PIPING SHALL HAVE A MINIMUM PRESSURE RATING OF 100PSI AT 180°F.

DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH ALL GOVERNING CODES. PIPING SHALL BE PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. PIPING TO BE FLUSHED AND STERILIZED IN ACCORDANCE WITH IPC 610.1 AND ALL APPLICABLE LOCAL AND STATE HEALTH DEPARTMENT STANDARDS.

BALL VALVES SHALL BE TWO-PIECE BRONZE BODY, LARGE PORT WITH SOLID, SMOOTH BORE CHROME PLATED BRASS BALL. SEATS SHALL BE REINFORCED TFE WITH TEFLON PACKING RING AND THREADED ADJUSTABLE PACKING NUT. PROVIDE STEM EXTENSION AS NEEDED TO PROVIDE HANDLE ON OUTSIDE OF PIPE INSULATION. VALVES SHALL BE APOLLO 70 OR EQUAL.

BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS FOR EASE OF TESTING AND SERVICING. FOR BACKFLOW PREVENTERS WITH VENT CONNECTIONS, ROUTE VENT LINE TO NEAREST DRAIN AND DISCHARGE WITH AIR GAP. BACKFLOW PREVENTERS SHALL BE TESTED IN ACCORDANCE WITH IPC 312.10.2. CONTRACTOR SHALL PROVIDE CERTIFICATIONS THAT STATE DEVICES HAVE BEEN TESTED AND APPROVED.

THERMOMETERS SHALL BE 9" ADJUSTABLE ANGLE, 30"-180°F RANGE (TERRICE BX9 OR EQUAL). PRESSURE GAUGES SHALL BE 4 1/2" DIA. SIZE, 0-160PSI (TERRICE 600CB OR EQUAL).

CONTRACTOR SHALL FIELD VERIFY INCOMING DOMESTIC WATER PRESSURE TO CONFIRM ADEQUATE PRESSURE TO SERVE THE DOMESTIC WATER SYSTEM. CONTRACTOR SHALL ALERT ENGINEER TO A POTENTIAL LOW PRESSURE CONDITION. WHERE PRESSURE EXCEEDS 80PSI, PROVIDE PRESSURE REGULATING VALVE (WATTS LF223) AND UPSTREAM STRAINER (WATTS LSF777).

CONTRACTOR SHALL FIELD COORDINATE LOCATION OF ACCESSIBLE ISOLATION VALVES ON DOMESTIC HOT & COLD WATER SUPPLIES TO FIXTURES OR GROUPS OF FIXTURES SUCH THAT THEY MAY BE SHUT OFF FOR SERVICING. SERVICE AND HOSE BIBB VALVES SHALL BE IDENTIFIED. ALL OTHER VALVES INSTALLED IN LOCATIONS THAT ARE NOT ADJACENT TO THE FIXTURE(S) SHALL BE IDENTIFIED, INDICATING THE FIXTURE(S) SERVED.

INSULATION
INSULATE ALL DOMESTIC HOT WATER AND HOT WATER RECIRCULATION PIPING IN ACCORDANCE WITH IECC TABLE C403.2.10. PIPE UP TO 1 1/4": 1" THICK INSULATION. PIPE 1 1/2" OR LARGER: 1 1/2" THICK INSULATION

INSULATE ALL HORIZONTAL COLD WATER PIPING LOCATED ABOVE CEILING. VERTICAL PIPING LOCATED IN AN EXTERIOR WALL, EXPOSED PIPING (I.E. MECH ROOMS). PIPE UP TO 1"-3/4" THICK. PIPING 1 1/2" AND OVER: 1" THICK INSULATION. ALL WATER AND DRAINAGE PIPING INSTALLED IN EXTERIOR WALLS SHALL BE WRAPPED IN 1" THICK PIPE INSULATION AND BE LOCATED ON THE INTERIOR SIDE OF THE BUILDING INSULATION. IF INSTALLED IN EXTERIOR BLOCK WALLS, INTERSTITIAL SPACES SHALL BE FILLED WITH FOAM INSULATION.

ALL JOINTS SHALL BE SEALED WITH MATCHING VAPOR BARRIER TAPE.

INSULATION SHALL HAVE A K-FACTOR (AVERAGE THERMAL CONDUCTIVITY) NOT TO EXCEED 0.27 BTU-IN/HR x SQFT x F.

PROTECTION OF PIPING
PIPING PASSING UNDER FOOTINGS OR THROUGH FOUNDATION WALLS SHALL BE PROVIDED WITH A SLEEVE TWICE THE DIAMETER OF THE PIPE. OPEN ENDS OF SLEEVES SHALL BE SEALED. PIPING PASSING THROUGH CONCRETE OR CINDER WALLS AND FLOORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED IN ACCORDANCE WITH IPC 305.1. ALL PIPING INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RATTERS OR SIMILAR MEMBERS SHALL BE PROTECTED BY STEEL SHIELD PLATES IN ACCORDANCE WITH IPC 305.6. VERTICAL STACKS IN WOOD CONSTRUCTION SHALL BE PROTECTED FROM BUILDING SETTLING WITH COMPRESSION/EXPANSION FITTINGS AND PIPE CLAMPS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS (FERNCO XI SERIES OR EQUAL).

SPECIFICATIONS

APPLICABLE CODES:

INTERNATIONAL FIRE CODE (IFC), 2018 EDITION
2020 IFC CO AMENDMENTS
INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION
2020 IPC CO AMENDMENTS
INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION
2020 IMC CO AMENDMENTS
INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION
2020 IFGC CO AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018 EDITION
2020 SUPPLEMENTS AND AMENDMENTS

GENERAL NOTES:

REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL CEILING MOUNTED EQUIPMENT.

ALL DUCT DIMENSIONS INDICATED IN THESE DOCUMENTS ARE INSIDE-CLEAR DIMENSIONS.

PORTIONS OF DUCTWORK OR PIPING VISIBLE THROUGH GRILLES AND REGISTERS IN FINISHED AREAS SHALL BE PAINTED FLAT BLACK. PAINT BLACK BEHIND ALL GRILLES.

ALL WIRING IN THE CEILING PLENUM SHALL BE PLENUM RATED CABLE.

MOUNTING FRAME OF CEILING MOUNTED AIR DISTRIBUTION DEVICES SHALL BE COMPATIBLE WITH CEILING TYPE. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPE.

ALL FIRE SEPARATIONS MUST BE PROTECTED WHEN APPLICABLE.

PROVIDE NEW FILTERS (MERV 7 OR BETTER PER OWNER) FOR ALL APPLICABLE HVAC EQUIPMENT AT THE END OF CONSTRUCTION.

ALL MATERIAL IN PLENUM MUST MEET FIRE AND SMOKE SPREAD AS REQUIRED BY NFPA 90A.

ALL ROOF PENETRATIONS TO BE 12" APART AND AT LEAST 12" AWAY FROM CURBS, WALLS, AND DRAIN SUMPS TO PROVIDE ROOFING CONTRACTOR WITH SUFFICIENT ACCESS FOR FLASHING EACH ROOF PENETRATION.

SUBSTITUTIONS MUST BE APPROVED IN WRITING BY ARCHITECT PRIOR TO BID SUBMISSION.

CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH THE SCOPE AND REQUIREMENTS OF THIS PROJECT. ANY DISCREPANCIES OR LACK OF CLARITY IN THE DOCUMENTS SHALL BE IDENTIFIED TO THE ARCHITECT OR ENGINEER PRIOR TO THE SUBMISSION OF PRICING BIDS. WITH A SUBMITTED BID, CONTRACTOR IS ACCEPTING THESE DOCUMENTS AS SUFFICIENT DEFINITION OF THE SCOPE OF WORK, AND ANY ADDITIONAL COSTS BASED ON UNCLEARITY OF CONTRACT DOCUMENTS WILL NOT BE CONSIDERED.

THE CONTRACTOR SHALL REFERENCE THE FULL SET OF CONSTRUCTION DOCUMENTS DURING PRICING AND CONSTRUCTION FOR COORDINATION BETWEEN DISCIPLINES RELATIVE TO THE MECHANICAL SCOPE.

EXISTING CONDITIONS:

CONTRACTOR SHALL VISIT THE SITE AND UNDERSTAND JOB CONDITIONS BEFORE SUBMITTING A PROPOSAL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITY SERVICES PRIOR TO SUBMITTING HIS PROPOSAL. NO CONSIDERATION WILL BE GIVEN TO CLAIMS FOR EXTRA COST ARISING FROM CONTRACTOR'S FAILURE TO BE FULLY COGNIZANT OF JOB OR SITE CONDITIONS EXISTING AT TIME OF ACCEPTANCE OF BID.

ACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, PROTECT, BRACE, SUPPORT EXISTING ACTIVE SEWERS, GAS AND OTHER SERVICES REQUIRED FOR PROPER EXECUTION OF WORK. IF EXISTING ACTIVE SERVICES ARE ENCOUNTERED THAT REQUIRE RELOCATION, RELOCATE AS APPROVED. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES THAT ARE TO REMAIN.

INACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, REMOVE, CAP OR PLUG INACTIVE SERVICES, AS INDICATED.

INTERRUPTION OF SERVICES: WHERE WORK MAKES TEMPORARY SHUT-DOWNS OF SERVICES UNAVOIDABLE, SHUT DOWN AT NIGHT, OR AT SUCH TIMES AS APPROVED BY OWNER, WHICH WILL CAUSE LEAST INTERFERENCE WITH ESTABLISHED OPERATING ROUTINE. ARRANGE WORK TO ASSURE THAT SERVICES WILL BE SHUT DOWN ONLY DURING TIME ACTUALLY REQUIRED TO MAKE NECESSARY CONNECTION TO EXISTING WORK.

WHERE EXISTING WALLS, CEILINGS, FLOORS, ETC., ARE CUT OR OTHERWISE DAMAGED DURING CONSTRUCTION, REPAIR ALL SURFACES TO THEIR ORIGINAL CONDITION.

SHOP DRAWINGS:

SUBMIT SHOP DRAWINGS FOR REVIEW. PDF FILES PREFERRED. SHOP DRAWINGS SHALL BE BOUND INTO VOLUMES (FILES), WITH EACH VOLUME (FILE) CONTAINING ONE COPY OF ALL SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED SIMULTANEOUSLY; NO SHOP DRAWINGS WILL BE CHECKED UNTIL ALL HAVE BEEN SUBMITTED.

SUBMITTALS SHALL BE SUPPORTED BY DESCRIPTIVE MATERIAL, SUCH AS CATALOG CUTS, DIAGRAMS, PERFORMANCE CURVES AND CHARTS PUBLISHED BY THE MANUFACTURER, TO SHOW CONFORMANCE TO SPECIFICATION AND DRAWING REQUIREMENTS. MODEL NUMBERS ALONE WILL NOT BE ACCEPTABLE. ALL LITERATURE SHALL CLEARLY INDICATE THE SPECIFIED MODEL NUMBER, DIMENSIONS, ARRANGEMENT, RATING AND CHARACTERISTICS OF THE PROPOSED EQUIPMENT. CAPACITIES AND RATINGS SHALL BE BASED ON CONDITIONS INDICATED OR SPECIFIED HEREIN. ANY DEVIATIONS FROM SPECIFIED EQUIPMENT (PARTICULARLY THOSE WHICH REQUIRE COORDINATION WITH OTHER TRADES) SHALL BE CLEARLY NOTED IN A CONCISE LIST ON A SEPARATE SHEET.

TEST AND BALANCE:

TEST AND BALANCE (TAB) CONTRACTOR SHALL HOLD A CURRENT NATIONAL BALANCING COUNCIL (NBO) CERTIFICATION AND POSSESS ACCURATE AND CALIBRATED INSTRUMENTS. TAB WORK AND REPORTS SHALL BE PER NBO PRACTICAL STANDARDS, PROCEDURES AND FORMS. ACCEPTABLE ALTERNATIVE TAB FIRM CERTIFICATIONS/PROCEDURES: NEBB, AABC, OR TABB.

PRIOR TO COMMENCEMENT OF THE TAB WORK, THE MECHANICAL SYSTEMS ARE TO BE STARTED AND FULLY FUNCTIONING. A CHECKLIST PRIOR TAB WORK IS TO BE SENT TO THE INSTALLING CONTRACTOR AND RETURNED ATTESTING TO THE READINESS OF THE SYSTEMS FOR BALANCING.

PREFERRED TAB FIRM: P-TAB.COM

GUARANTEE:

GUARANTEE THAT EACH PIECE OF APPARATUS SHALL BE OF THE CUSTOMARY STANDARD AND QUALITY FURNISHED BY THE DESIGNED MANUFACTURER FOR THAT CATALOG NUMBER.

GUARANTEE THAT THE AIR SYSTEMS SHALL OPERATE WITHOUT AERODYNAMIC NOISE GENERATED FROM THE FAULTY INSTALLATION OF DUCT WORK OR ANY COMPONENT OF THE AIR DISTRIBUTION SYSTEM.

GUARANTEE THAT ALL SYSTEMS AND COMPONENTS SHALL BE PROVIDED WITH A ONE YEAR WARRANTY FROM THE TIME OF DATE OF SUBSTANTIAL COMPLETION. THE WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP. DURING THIS WARRANTY PERIOD, ALL DEFECTS IN MATERIALS AND WORKMANSHIP SHALL BE CORRECTED BY REPAIR OR REPLACEMENT WITHOUT INCURRING ADDITIONS TO THE CONTRACT.

SNOW MELT BOILER WATER PIPING:

CONDENSER WATER PIPING SHALL BE SCHEDULE 40 STEEL PIPE: GROOVED, MECHANICAL JOINT COUPLING AND FITTINGS; AND GROOVED MECHANICAL JOINTS.

SNOW MELT BOILER WATER PIPING INSULATION:

CONDENSER WATER PIPING SHALL BE INSULATED WITH 1-1/2" CELLULAR GLASS WITH ALL SERVICE JACKET (ASJ) OR 1-1/2" MINERAL FIBER PREFORMED PIPE, TYPE I, WITH ASJ.



DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

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3	Design Review Resubmission	6/25/2025

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ISSUE

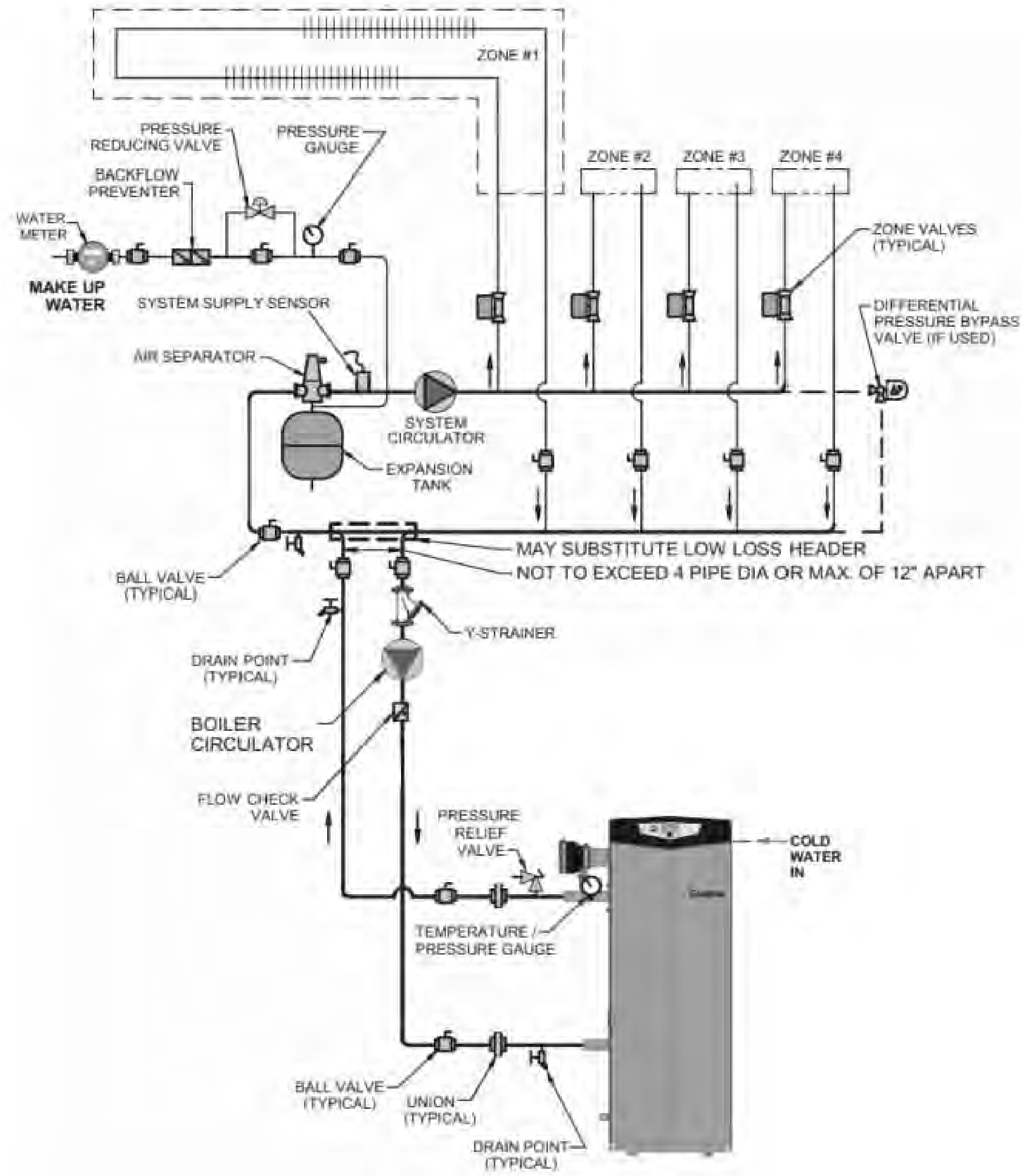
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SHEET TITLE

GENERAL

SHEET NO.

MO.1



BOILER INSTALLATION DETAIL
NO SCALE

HOT WATER BOILER

MARK	SERVES	BASIS OF DESIGN	WATER			HEATER		TURN DOWN	THERMAL EFFICIENCY (%)	OPERATING WEIGHT (LBS)	REMARKS									
			GPM	EWT (°F)	LWT (°F)	INPUT (MBH)	OUTPUT (MBH)				1	2	3	4	5	6	7	8	9	10
B-1	BUILDING B RAMP	FBI 751	145.0	40	121	1,751.0	1,694.0	25:1	96.2	250	X	X	X	X	X	X	X	X	X	
NOTES:											REMARKS:									
A. SELECTIONS ARE BASED ON LOCHINVAR, EQUAL PRODUCTS BY AERCO, PATTERSON KELLEY, HYDROTHERM.											1. SINGLE POINT POWER CONNECTION.									
B. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION.											2. DISCONNECT SWITCH PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.									
C. THERMAL EFFICIENCY IS BASED ON AHRI EFFICIENCY 80°F TO 180°F.											3. FACTORY PROVIDED MULTI-BOILER CONTROL SYSTEM.									
											4. OUTDOOR AIR RESET.									
											5. BAS INTERFACE (BACNET).									
											6. DIRECT VENT SEALED COMBUSTION CONFIGURATION.									
											7. CONCENTRIC VENT KIT.									
											8. HIGH & LOW GAS PRESSURE SWITCHES WITH MANUAL RESET.									
											9. 50%-50% PROPYLENE GLYCOL AND WATER SOLUTION. PROVIDE ADVANTAGE CONTROLS 55 GALLON E-GLYCOL FEEDER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE WITH BAS INTERFACE (BACNET).									

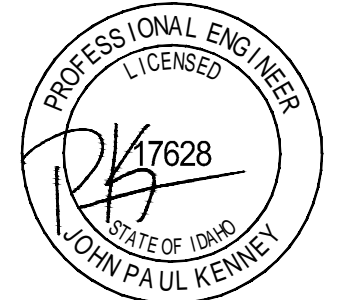
PUMP SCHEDULE

MARK	SERVICE / DUTY	TYPE	GPM	HEAD (FT)	IMPELLER DIAMETER (IN)	MAX NPSHR (PSI)	MOTOR (HP)	PUMP* SPEED (RPM)	PUMP EFF (%)	OPERATING WEIGHT (LBS)	BASIS OF DESIGN MODEL	REMARKS							
												1	2	3	4	5	6	7	8
P-1 A	B-4: PRIMARY LOOP	ECM HIGH-EFFICIENCY	145	11,000	10"	4.35	2.1	4760	36	52	TACO VR25MSP	X	X	X	X	X	X	X	X
P-1 B	B-4: SECONDARY LOOP	ECM HIGH-EFFICIENCY	145	13,900	10"	4.4	5	4400	63	72	TACO SKV3009D	X	X	X	X	X	X	X	X
NOTES (APPLY TO ALL):											REMARKS:								
A. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION											1. FLEXIBLE COUPLING.								
B. BASIS OF DESIGN: TACO AND GRUNDFOS											2. DISCONNECT SWITCH BY THE ELECTRICAL SUBCONTRACTOR.								
ACCEPTABLE ALTERNATES: BELL & GOSSETT, ARMSTRONG, AURORA.											3. SUCTION DIFFUSER WITH INTEGRAL STRAINER.								
											4. INVERTER DUTY MOTOR WITH VFD. VFD PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.								
											5. DDC CONTROL. INTERLOCK WITH BAS.								
											6. FIELD INSTALLED DIFFERENTIAL PRESSURE SENSOR AT MOST CRITICAL POINT.								
											7. PUMP & INERTIA BASE MOUNTED ON CONCRETE HOUSEKEEPING PAD PROVIDED BY OTHERS.								
											8. PUMP IS PROVIDED WITH BOILER AND IS SHOWN FOR REFERENCE ONLY								

MANIFOLD SCHEDULE

MARK	BOILER	CIRCUITS	GPM	REQUIRED TEMP (°F)	SUPPLIED TEMP (°F)	MANIFOLD TYPE (FT)	MANIFOLD HEAD LOSS (FT)	CIRCUIT HEAD LOSS (FT)	S/R HEAD LOSS (FT)	TOTAL HEAD LOSS (FT)
MANIFOLD 1	B-1	6	14.17	115	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	5.2	10.2	0	15
MANIFOLD 2	B-1	5	10.98	116	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	3.9	10.1	0	14
MANIFOLD 3	B-1	12	31.36	115	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	13.9	13.6	0	28
MANIFOLD 4	B-1	4	10.48	116	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	5.1	13.0	0	18
MANIFOLD 5	B-1	11	26.83	117	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	10.7	14.2	0	25
MANIFOLD 6	B-1	7	17.80	116	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	6.7	14.1	0	21
MANIFOLD 7	B-1	1	1.90	112	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	2.7	7.5	0	10
MANIFOLD 8	B-1	2	3.01	123	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	1.8	3.9	0	6
MANIFOLD 9	B-1	8	18.81	115	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	6.0	13.0	0	19
MANIFOLD 10	B-1	4	6.59	117	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	2.0	4.3	0	6
MANIFOLD 11	B-1	2	2.56	117	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	2.7	9.5	0	12
NOTES (APPLY TO ALL):										
A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION										

TOWN STAMP



DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION		
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3	Design Review Resubmission	6/25/2025
PROJECT NUMBER 324050		
ISSUE DATE 7/10/2024		
ISSUE		

DESIGN REVIEW APPLICATION

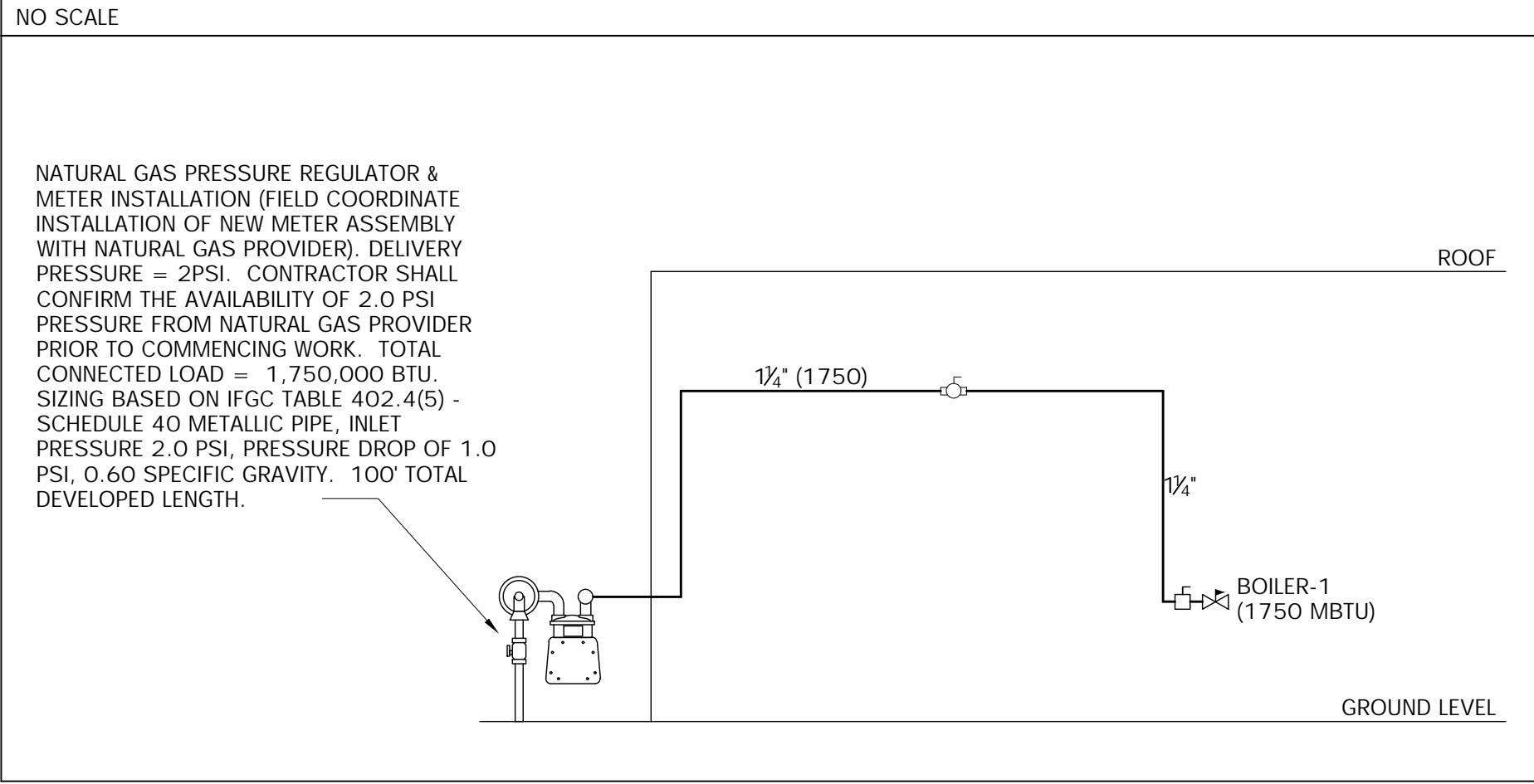
SHEET TITLE

SCHEDULES & DETAILS

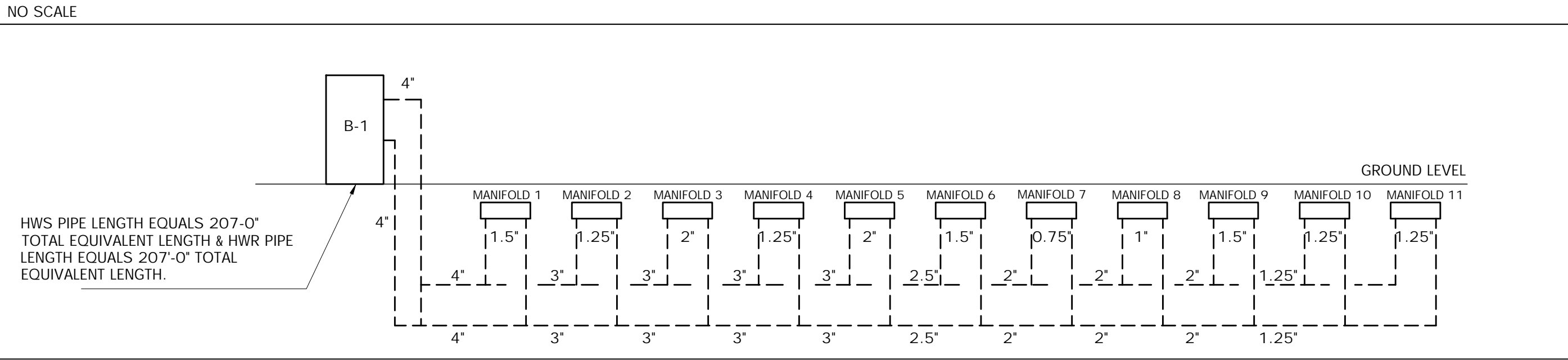
SHEET NO.

MO.2

NATURAL GAS RISER DIAGRAM



MANIFOLD PIPING DIAGRAM FOR BOILER 4



GENERAL NOTES

- A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION ON SNOW MELT PIPING AND MANIFOLDS.
- B. REFER TO MANIFOLD PIPING DIAGRAM FOR BOILER 1 ON THIS SHEET FOR MORE INFORMATION ON BOILER SYSTEM PIPE SIZES.

KEYNOTES

- ① NATURAL GAS DN TO BOILER WITH SHUTOFF VALVE, DIRT LEG & UNION. FIELD COORDINATE FINAL CONNECTION.
- ② 1" DOMESTIC WATER SERVICE BIG. SEE CIVIL DWG FOR CONT
- ③ BOILER FLUE VENT TO EXTERIOR WALL TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO MANUFACTURER'S REQUIRED CLEARANCES LISTED ON THIS SHEET.
- ④ ROUTE 4" HWS TO MANIFOLDS AND CONTINUE 4" HWR FROM MANIFOLDS BACK TO BOILER. REFER TO SNOW MELT SYSTEM LOOP DRAWING ON SHEET M3.0 FOR MANIFOLD LOCATIONS AND MANIFOLD PIPING DIAGRAM.
- ⑤ NATURAL GAS DN TO NEW METER/PRV INSTALLATION, COORDINATE WITH UTILITY PROVIDER. SET NATURAL GAS RISER DIAGRAM FOR ADDITIONAL INFORMATION AND SIZING CRITERIA.
- ⑥ BOILER COMBUSTION PIPE TO EXTERIOR WALL TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO MANUFACTURER'S REQUIRED CLEARANCES LISTED ON THIS SHEET.

BOILER VENT CLEARANCES:

- AT LEAST 6 FEET (1.8 M) FROM ADJACENT WALLS.
- NO CLOSER THAN 12 INCHES (305 MM) BELOW ROOF OVERHANG.
- AT LEAST 7 FEET (2.1 M) ABOVE ANY PUBLIC WALKWAY.
- AT LEAST 3 FEET (.9 M) ABOVE ANY FORCED AIR INTAKE WITHIN 10 FEET (3 M).
- NO CLOSER THAN 4 FEET (1.2 M) BELOW OR HORIZONTALLY FROM ANY DOOR OR WINDOW OR ANY OTHER GRAVITY AIR INLET.

B. AIR INLET MUST TERMINATE AT LEAST 12 INCHES (305 MM) ABOVE GRADE OR SNOW LINE; AT LEAST 3 FEET (.9 M) BELOW THE VENT TERMINATION (FIG. 4-1B); AND THE VENT PIPE MUST NOT EXTEND MORE THAN 24 INCHES (610 MM) VERTICALLY OUTSIDE THE BUILDING.

C. DO NOT TERMINATE CLOSER THAN 4 FEET (1.2 M) HORIZONTALLY FROM ANY ELECTRIC METER, GAS METER, REGULATOR, RELIEF VALVE, OR OTHER EQUIPMENT. NEVER TERMINATE ABOVE OR BELOW ANY OF THESE WITHIN 4 FEET (1.2 M) HORIZONTALLY.



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ISSUE

DESIGN REVIEW
APPLICATION

SHEET TITLE

SNOW MELT DESIGN

SHEET NO.

M1.0

1 FLOOR PLANS - LEVEL 1
1/8" = 1'-0"



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PROJECT: Warm Springs Snowmelt REV8
Quote#061725DPMEQ

CUSTOMER:

PROJECT NO.:
061725DPMEQ

SCALE:
3/16"=1'

DRAWING NAME:
Snow Melt

DRAWN BY:
Dylan Meyer

DATE:
6/17/2025

REVISIONS		
No	Desc	Date

REVISION	No.	Description	Date
	1	Design Review	11/5/2024
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	3	Design Review	6/25/2025

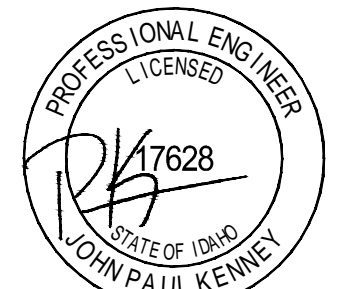
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DESIGN REVIEW
APPLICATION

PAGE NO.
1

North Arrow

TOWN STAMP



DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340




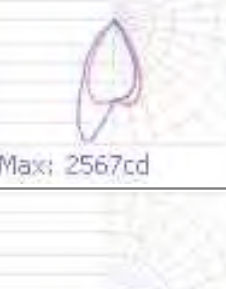

REVISION	No.	Description	Date
	1	Design Review	11/5/2024
	2	Design Review	3/14/2025
	3	Design Review	6/25/2025


PROJECT NUMBER 324050
ISSUE DATE 7/10/2024

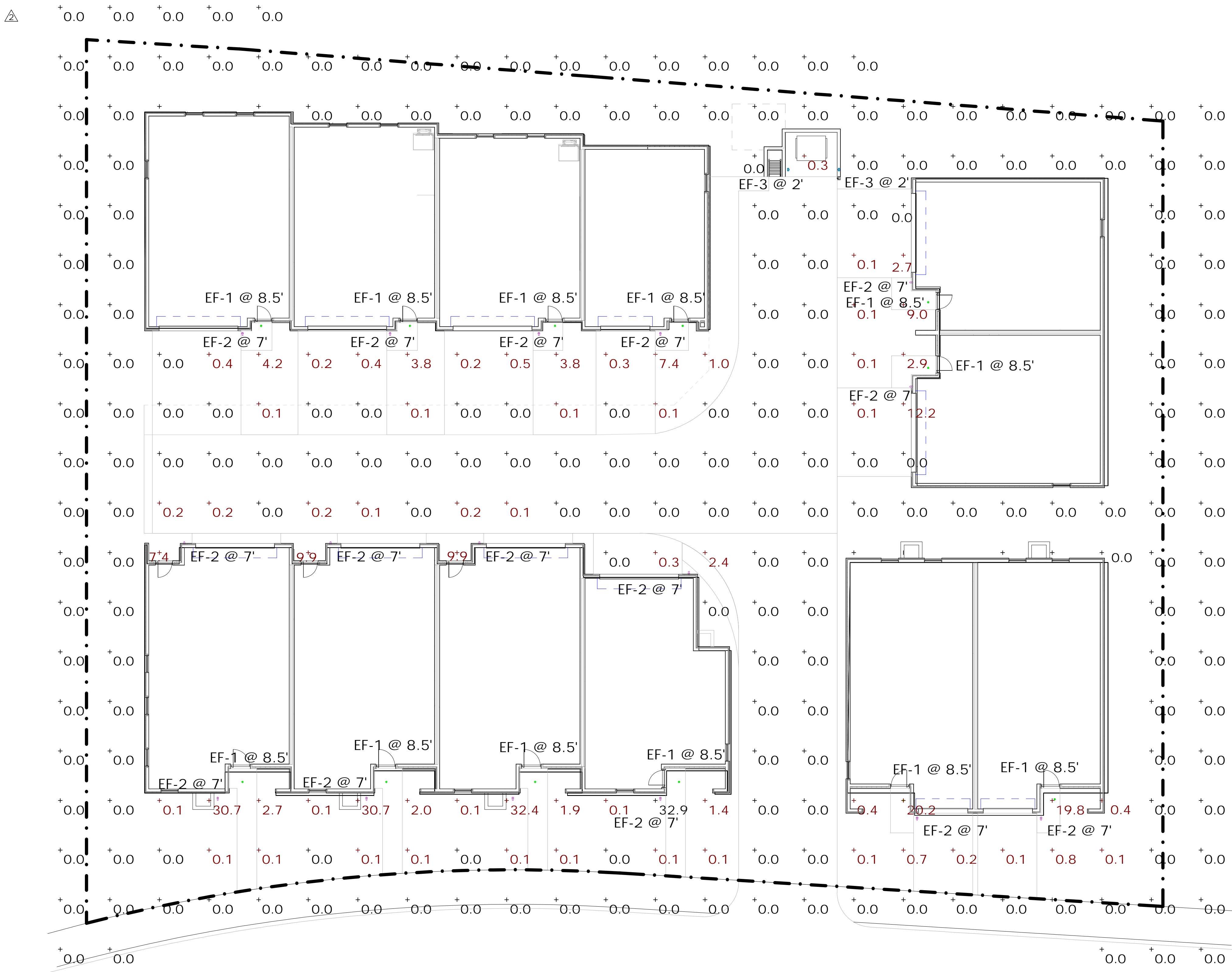
DESIGN REVIEW
APPLICATION

SHEET TITLE
SNOW MELT SYSTEM
LOOP


SHEET NO.
M3.0

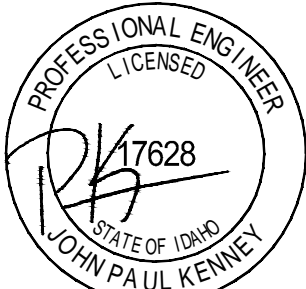
Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
	EF-1	12	WAC LIGHTING	R3CRDL-BK(N927)	Recessed-mounted Luminaires	R3CRDT-WT(N927).IES	1	842	13.5	
	EF-2	16	WAC LIGHTING	DS-WS0622-F927A-WT	Surface-mounted Luminaires	DS-WS0622-F927A-WT.IES	1	2034	21.8545	
	EF-3	2	WAC Lighting	WL-LED100-27-BK	LED Step light	WL-LED100-C-BK.IES	1	31	4	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1		0.9 fc	32.9 fc	0.0 fc	N/A	N/A



TOWN STAMP


PROFICIENT
ENGINEERING
4704 N. Harbor St Suite 420
Denver, Colorado 80212
720.779.3556
PROJECT # 324050


DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION		
No.	Description	Date
1	Design Review	11/5/2024
2	Design Review Resubmission	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER	324050
ISSUE DATE	7/10/2024
ISSUE	

DESIGN REVIEW
APPLICATION

SHEET TITLE

SITE PHOTOMETRIC

SHEET NO.

E0.10

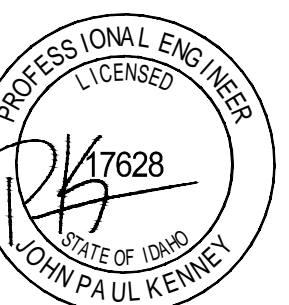
GENERAL NOTES
ALL SITE AND EXTERIOR BUILDING LIGHTING FIXTURES SHALL CONFORM TO DARK SKY REQUIREMENTS AS NECESSARY TO MEET LOCAL JURISDICTIONAL CODES.

ALL SITE AND EXTERIOR BUILDING LIGHTING FIXTURES SHALL CONFORM TO DARK SKY REQUIREMENTS AS NECESSARY TO MEET LOCAL JURISDICTIONAL CODES.

KEYNOTES

- 1 PROPOSED LOCATION FOR MAIN SERVICE DISCONNECT AND UNIT METERING STACK. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 2 PROPOSED UTILITY TRANSFORMER LOCATION. COORDINATE UTILITY TRANSFORMER LOCATION WITH UTILITY PROVIDER AND BUILDING SERVICE DISCONNECT LOCATION PRIOR TO ROUGH-IN.
- 3 PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2PNEUMA 3R DISCONNECT FOR PRIMARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- 4 PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2PNEUMA 3R DISCONNECT FOR SECONDARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- 5 PROVIDE 120V, 20A BRANCH CIRCUIT VIA PHOTOCELL FOR LUMINAIRIE CONTROL TO EXTERIOR LUMINAIRIE. CIRCUIT FROM TENANT PANEL.
- 6 PROVIDE 120V, 20A BRANCH CIRCUIT FOR BOILER POWER. CIRCUIT FROM NEAREST HOUSE PANEL.

- 1 PROPOSED LOCATION FOR MAIN SERVICE DISCONNECT AND UNIT METERING STACK. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 2 PROPOSED UTILITY TRANSFORMER LOCATION. COORDINATE UTILITY TRANSFORMER LOCATION WITH UTILITY PROVIDER AND BUILDING SERVICE DISCONNECT LOCATION TO ROUGH-IN.
- 3 PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR PRIMARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
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DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION		
No.	Description	Date
1	Design Review	11/5/2024
2	Resubmission	
2	Design Review	3/14/2025
3	Resubmission	
3	Design Review	6/25/2025
	Resubmission	

PROJECT NUMBER	324050
ISSUE DATE	7/10/20

ISSUE

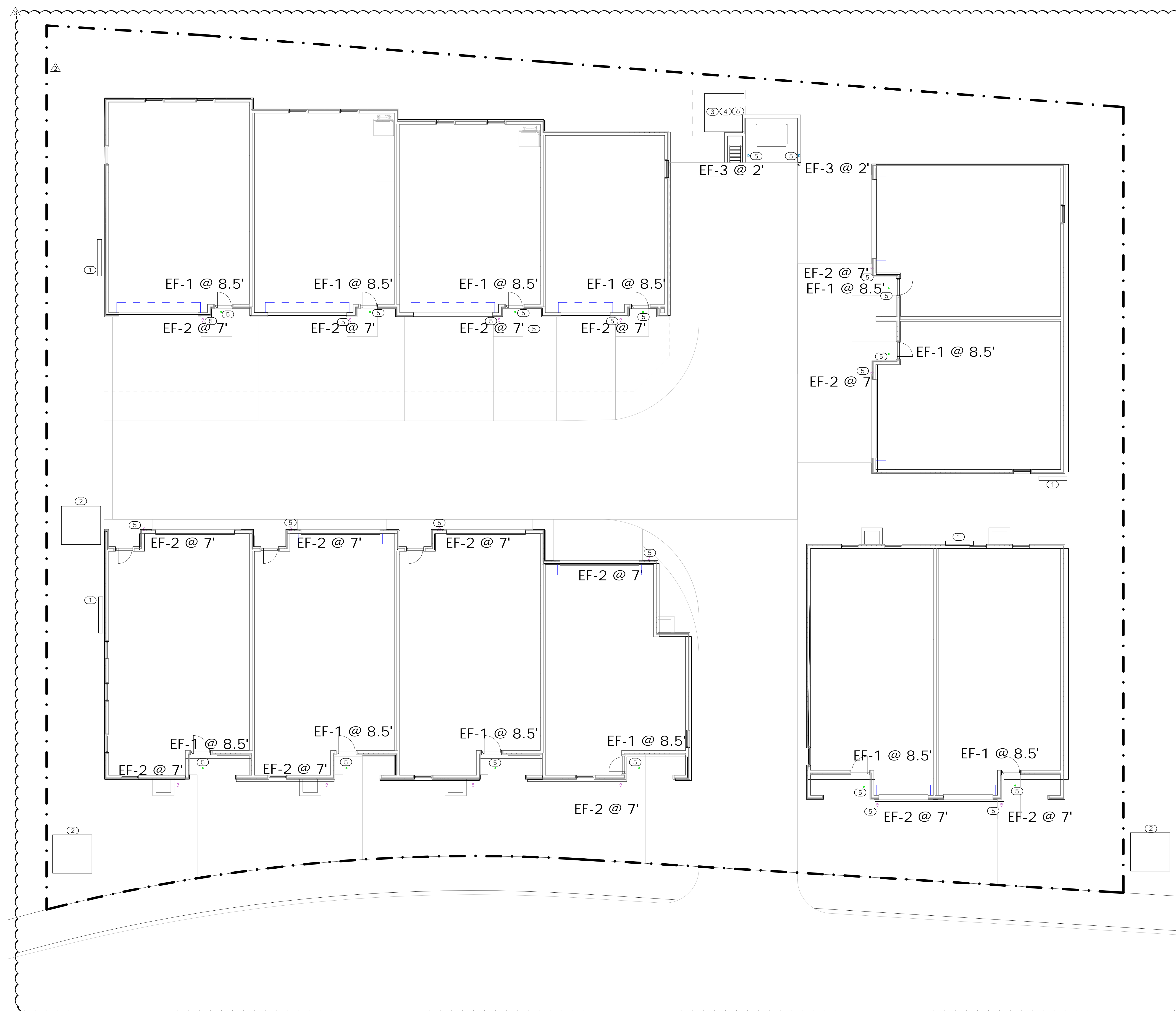
DESIGN REVIEW
APPLICATION

SHEET TITLE

SITE PLAN

SHEET NO.

EO.11



1 FLOOR PLANS - LEVEL 1
1/8" = 1'-0"

OCULARC 3.5
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING
Responsible Lighting®



Fixture Type: **EF-1**

Catalog Number: **R3CRDL-BK-N927**

Project:

Location:

- PRODUCT DESCRIPTION**
- Ocularc 3.5 offers performance features in a simple but versatile package for residential and commercial applications alike. One housing can be used for downlight, adjustable, pinhole, wall wash trims.
- FEATURES**
- 3 beam angle options included:
 - Narrow flood beam film pre-installed, interchangeable flood beam film supplied, remove film for spot beam.
 - IC-Rated, Airtight, New Construction
 - Adjustable LED light engine included with housing:
 - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
 - Shallow housing under 4" depth
 - 5 year warranty

SPECIFICATIONS

Construction: Die-cast aluminum trim and heat sink

Dimming: 100% - 5%, 0-10V

Input Power: 13.5W, 120V-277V 50/60Hz

Light Source: High output COB LED rated life of 50,000 hours.

Mounting: Retention clips firmly hold trim to housing. Cutout 4 1/4"

Finish: Powder coated white, enamel-coated haze.

Coiling Thickness: 1/2" - 1"

Standards: UL & cUL, Wet location listed, Energy Star® 2.0

Operating Temperature: -4°F to 104°F (-20°C to 40°C)

Trims (Order Housing Separately)	Model	Beam	Color Temp	Lumens	CRI	Finish
	R3CRDT Round Trim Downlight & Adjustable	Spot 16°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	
	R3CRDL Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	840	1463	HZW Haze/White
			930 3000K	905	1574	WT White
			935 3500K	920	1605	BK Black
			940 4000K	965	1683	
	R3CRDL Round Trimless Downlight & Adjustable	Spot 16°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	
	R3CRDL Round Trimless Downlight & Adjustable	Narrow Flood 36°	927 2700K	840	1463	HZ Haze
			930 3000K	905	1574	WT White
			935 3500K	920	1605	BK Black
			940 4000K	965	1683	
	R3CRDL Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	

R3CRD - -
Example: **R3CRDT-WT**

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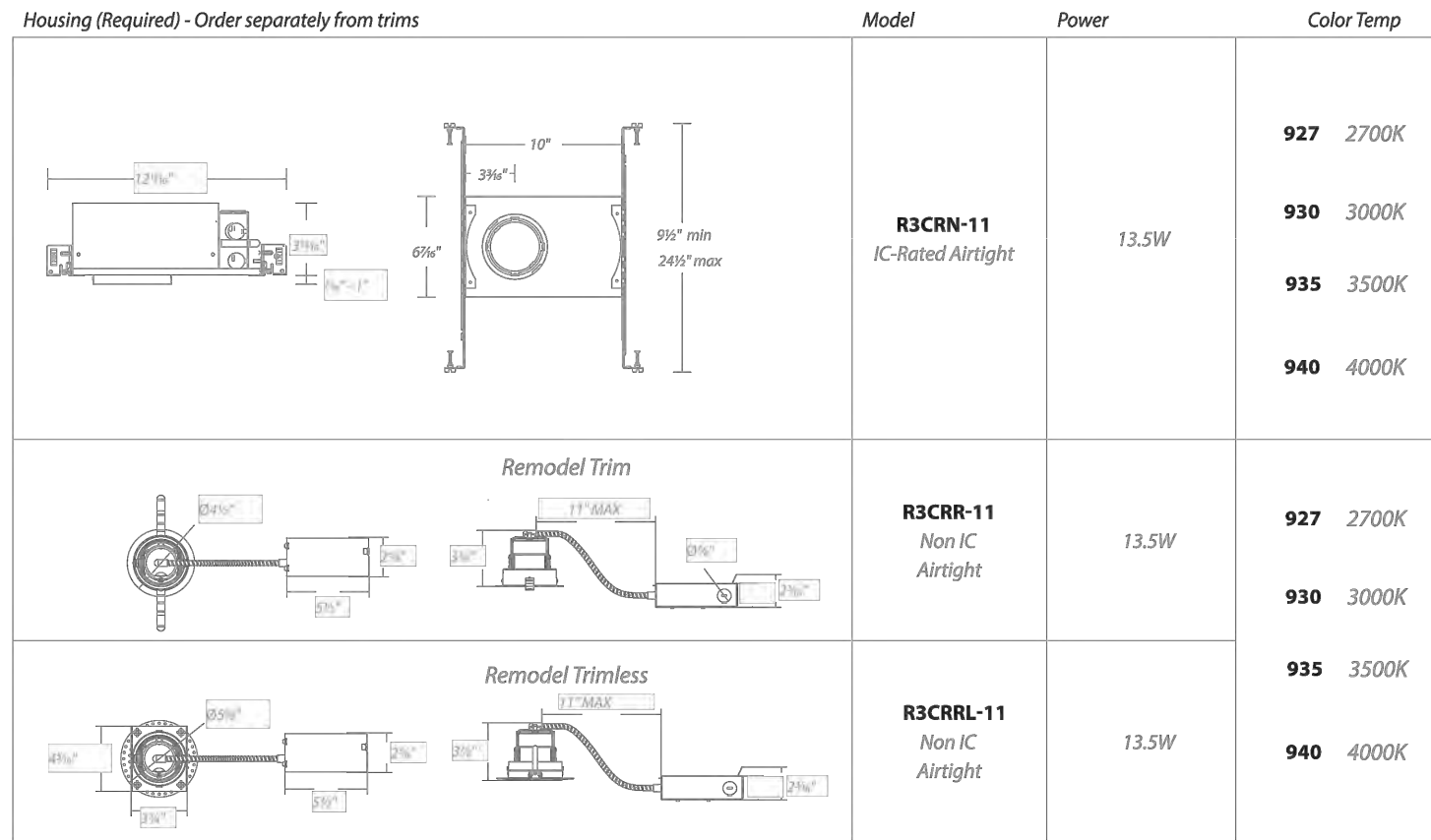
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Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

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OCULARC 3.5
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING
Responsible Lighting®



R3CR - 11
Example: **R3CRN-11-R27**

- FEATURES**
- Adjustable LED light engine included with housing:
 - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
 - Trim or trimless with die-cast spackle frame included.
 - Accepts one optional honeycomb louver or optical lens.

GLARE CONTROL ACCESSORIES sold separately

LENS-16 HCL Honeycomb Louver

LENS ACCESSORIES sold separately

AMB Amber
RED Red
FR Frosted
SPR Spread
BEL Beam Elongating

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TUBE ARCHITECTURAL DS-WS06
LED Wall Mounts



PRODUCT DESCRIPTION

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

- FEATURES**
- High performance exterior rated LED wall mount light
 - Fixture can install upside down to alter light distribution
 - Solid aluminum construction
 - 5 year warranty
- Light Source:**
- High output 3 Step Mac Adam Ellipse COB
 - Rated life of 60,000 hours at L70
 - Electrostatically powder coated, white, black, bronze and graphite
 - IP65 rated, ETL & cETL wet location listed
 - Energy Star® 2.2 rated Title 24 JAS-2016 Compliant
 - -13°F to 122°F (-23°C to 50°C)

ORDERING NUMBER									
Diameter	Watt	Beam Angle	Color Temp	CRI	Reference Output * Efficacy (lm/W)	Light Distribution	Finish		
DS-WS06	6" 35W	S Straight up or down	927S	2700K	90	2820 1842 81			
			27S	2700K	85	3385 3909 97			
			30S	3000K	90	2925 1954 84			
			35S	3500K	85	3535 2452 101			
			40S	4000K	85	3655 2449 105			
		N Straight up or down	927S	2700K	90	2820 7992 80			
			27S	2700K	85	3360 3589 96			
			30S	3000K	90	2920 8290 82			
			35S	3500K	85	3510 10024 100			
			40S	4000K	85	3635 10388 104			
DS-WS0622	6" 22W	F Straight up or down	927S	2700K	90	2825 5451 81		BK WT BE GR	Black White Bronze Graphite
			27S	2700K	85	3390 4540 97			
			30S	3000K	90	2930 5654 84			
			35S	3500K	85	3545 6836 101			
			40S	4000K	85	3675 7085 105			
		F Towards the wall	927A	2700K	90	2860 82			
			27A	2700K	85	3455 98			
			30A	3000K	90	2970 103			
			35A	3500K	85	3585 105			
			40A	4000K	85	3720 106			
	F Towards the wall	927B	2700K	90	2860 82				
		27B	2700K	85	3435 86				
		30B	3000K	90	2970 85				
		35B	3500K	85	3590 103				
		35B	3500K	85	3685 105				
		40B	4000K	85	3720 105				

DS-WS06 - -
Example: **DS-WS06-F930A-WT**

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Model: **WL-LED100**
LEDme® Step Light

WAC LIGHTING
Responsible Lighting®



Fixture Type: **EF-3**

Catalog Number: **WL-LED100-27-BK**

Project:

Location:

- PRODUCT DESCRIPTION**
- Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

- FEATURES**
- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
 - Direct wiring, no driver needed
 - Low profile, flush to wall aesthetics with no visible hardware
 - 54,000 hour rated life
 - Balanced lighting, free of shadows with minimum glare
 - IP66 rated. Protected against high pressure water jets
 - Up to 200 fixtures can be connected in parallel
 - 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC, 50/60Hz

Light Source: 2700K or 3000K CCT Samsung HW-AC High Power LED, CRI: 90

Optional color lenses. Total power consumption of 3.3W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3 1/4" x 2 1/4" x 2 1/4"

Includes bracket for J-Box mount.

Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vista NTELV-600, Lutron Nova-T NTELV-300P, Lutron Vista NTELV-600P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600

Standards: IP66, UL & cUL Listed for wet locations, Title 24 JAS-2016 Compliant.

ORDER NUMBER		Light Color		Finish		277V Model #	Light Color		Finish				
WL-LED100	120V	27	Warm	2700K	BK	Black on Aluminum	WL-LED100F	277V	C	White	3000K	BK	Black on Aluminum
		C	White	3000K	BL	Brushed Nickel on Aluminum			AM	Amber	610nm	BL	Black on Aluminum
		AM	Amber	610nm	RD	Red on Aluminum			RD	Red	640nm	RD	Red on Aluminum
		RD	Red	640nm	BL	Blue on Aluminum			BL	Blue	450nm	BL	Blue on Aluminum
WL-LED100	120V	BL	Blue	450nm	SS	Stainless Steel	WL-LED100F	277V	WT	White	on Aluminum	SS	Stainless Steel
		WT	White	on Aluminum	WT	White on Aluminum			WT	White on Aluminum			
		27	Warm	2700K	BRR	Brass on Brass			27	Warm	2700K	BRR	Brass on Brass
		C	White	3000K	AM	Amber			610nm	C	White	3000K	AM

*Brushed Nickel Finish is for interior use only

*Brushed Nickel Finish is for interior use only

Example: **WL-LED100F-BL-SS**

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PROFICIENT ENGINEERING

4704 N. Harbor St Suite 620 Denver, Colorado 80212 720.779.3556 PROJECT # 334850

DISCIPLINE STAMP

WARM SPRINGS TOWNHOMES 108 RITCHIE DRIVE KETCHUM, ID 83340

REVISION

No. Description Date

1 Design Review Resubmission 11/5/2024

2 Design Review Resubmission 3/14/2025

3 Design Review Resubmission 6/25/2025

PROJECT NUMBER 324050

ISSUE DATE 7/10/2024

ISSUE

DESIGN REVIEW APPLICATION

SCHEDULES

SHEET NO.

E0.12

OWNER:

108-110 RITCHIE LLC
P O BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO J ROCKETT DESIGN
1000 W MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4081

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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DENVER, CO 80212
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CIVIL ENGINEER:

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
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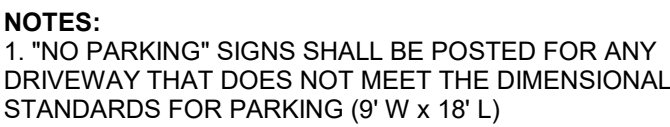
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DRAWING TITLE:
**LEVEL 01 OVERALL FLOOR
PLAN**

PROJECT NUMBER
2305

DRAWING NUMBER:
A-101

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DRAWING TITLE:
**LEVEL 02 OVERALL FLOOR
PLAN**

PROJECT NUMBER
2305

DRAWING NUMBER:

A-102

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

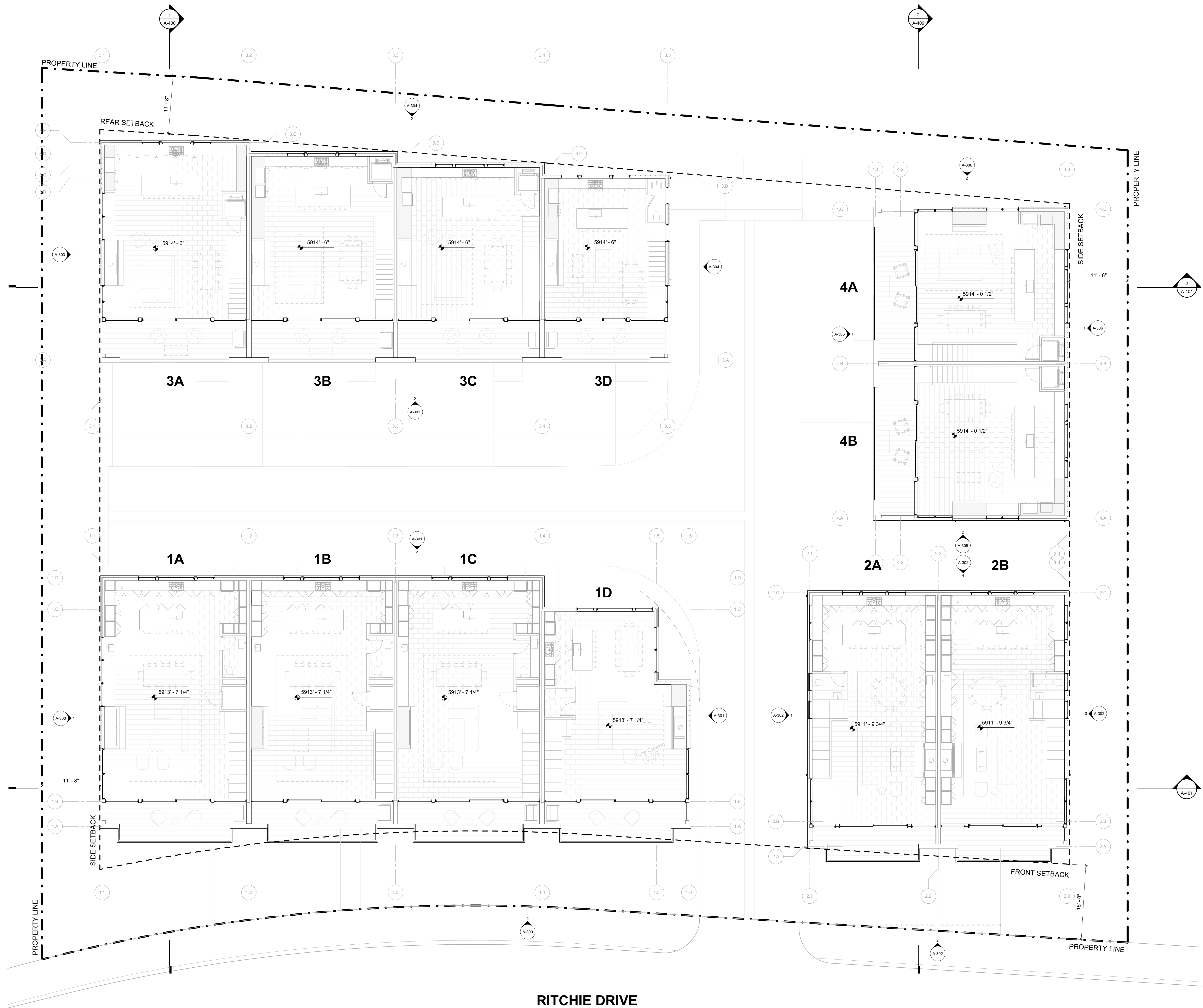
DRAWING TITLE:
**LEVEL 03 OVERALL FLOOR
PLAN**

SEAL: _____

PROJECT NUMBER
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A-103

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PROJECT:

**WARM SPRINGS TOWNHOMES
KETCHUM, ID**

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

OVERALL ROOF PLAN

SEAL:

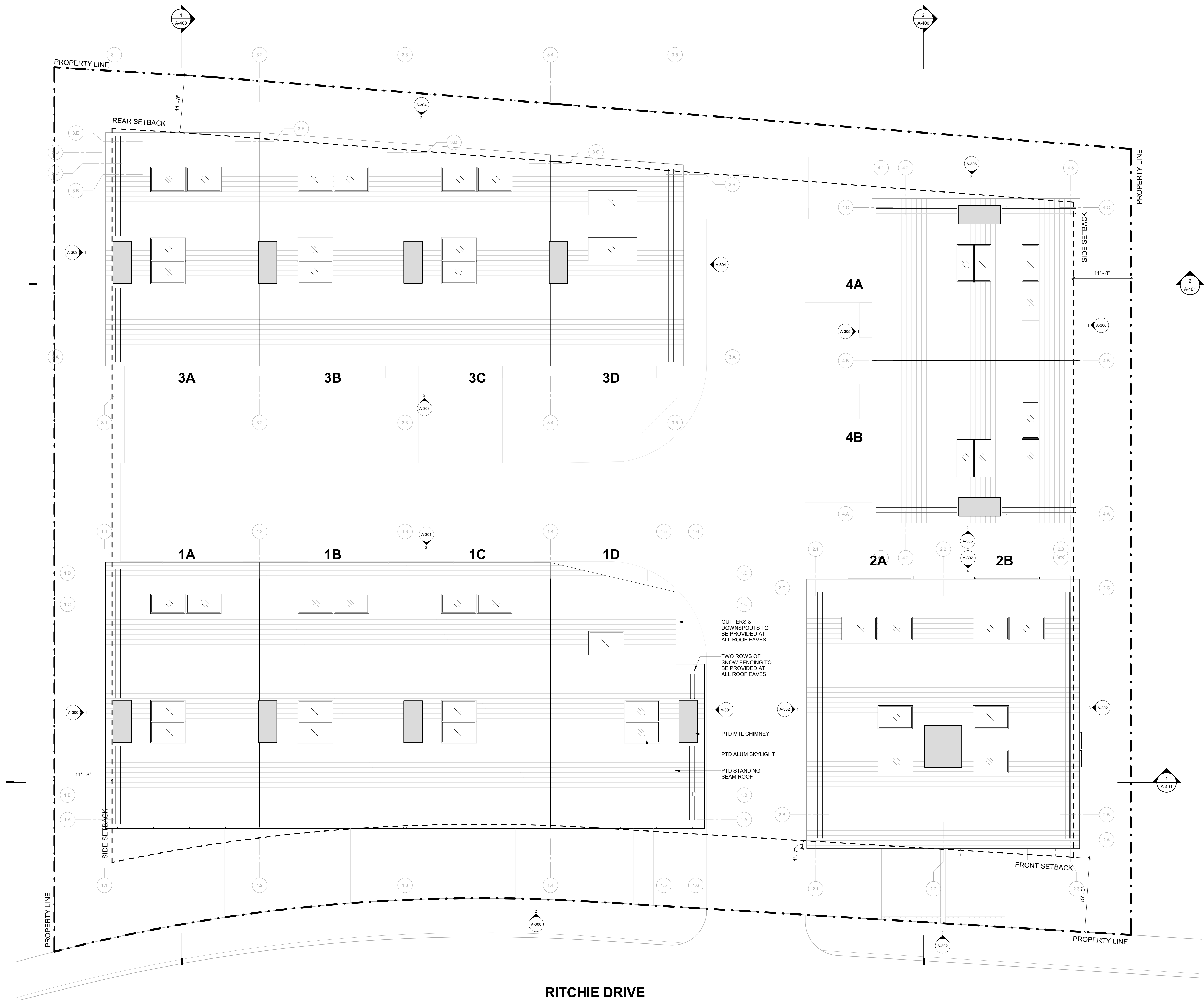
PROJECT NUMBER

2305

DRAWING NUMBER:

A-104

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TEL: 415.243.4081

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
5600 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

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SEAL: _____

DRAWING NUMBER:

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2 1/4" = 1'-0" BUILDING 1 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 1 / ELEVATION - NORTH

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 1

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-301

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WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

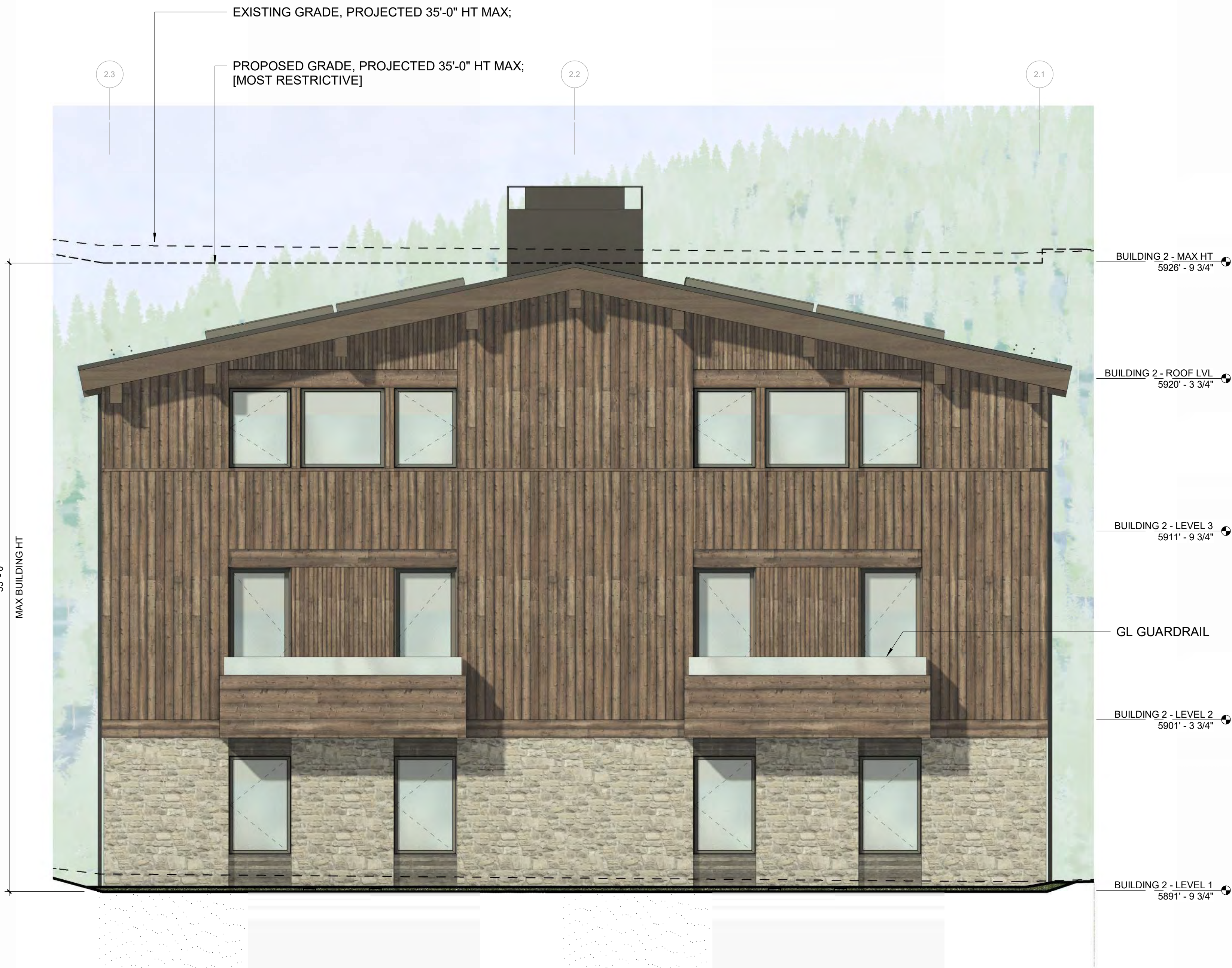
DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 2**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-302

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4 1/4" = 1'-0" BUILDING 2 / ELEVATION - WEST



2 1/4" = 1'-0" BUILDING 2 / ELEVATION - EAST



3 1/4" = 1'-0" BUILDING 2 / ELEVATION - NORTH



1 1/4" = 1'-0" BUILDING 2 / ELEVATION - SOUTH

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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4704 HARLAN STREET SUITE 620
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CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

[illegible]

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PROJECT:

**WARM SPRINGS TOWNHOMES
KETCHUM, ID**

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 3**

SEAL:

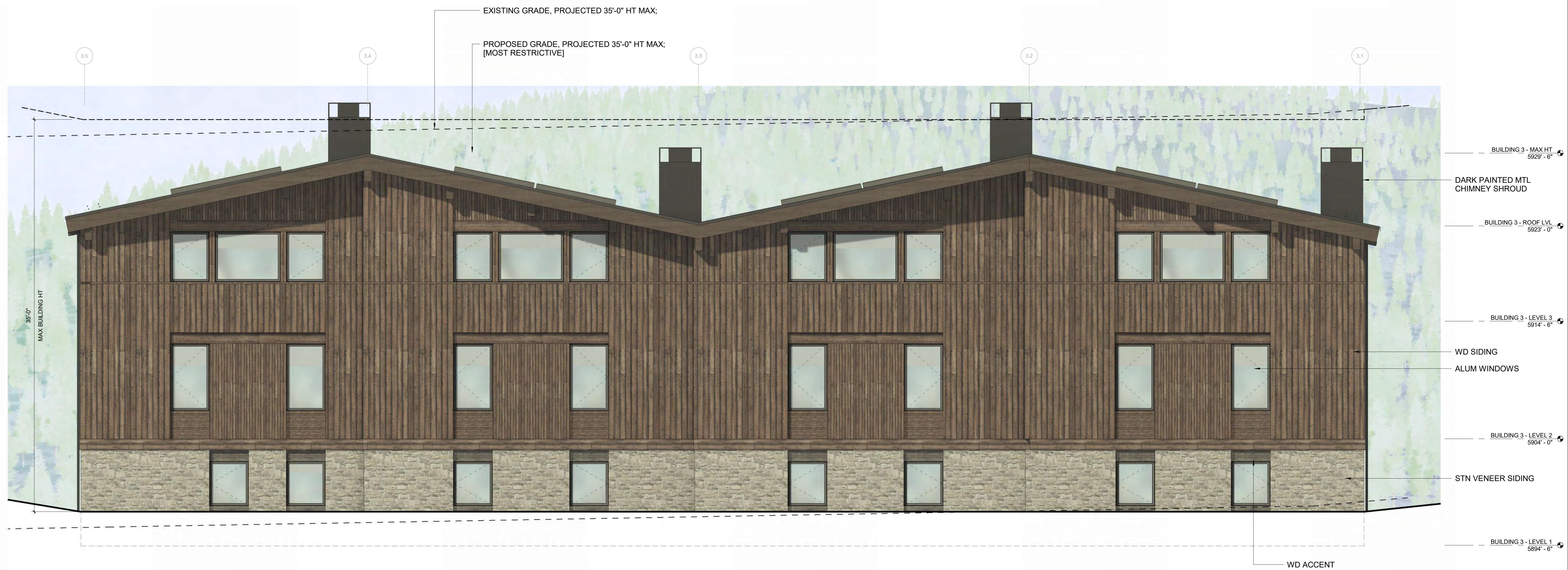
PROJECT NUMBER

2305

DRAWING NUMBER:

A-304

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2	1/4" = 1'-0"	BUILDING 3 / ELEVATION - WEST
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1	1/4" = 1'-0"	BUILDING 3 / ELEVATION - NORTH
---	--------------	--------------------------------

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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601 MONTGOMERY STREET SUITE 1450
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TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 4

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-305

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2 1/4" = 1'-0" BUILDING 4 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 4 / ELEVATION - SOUTH

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

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DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 4

SEAL:

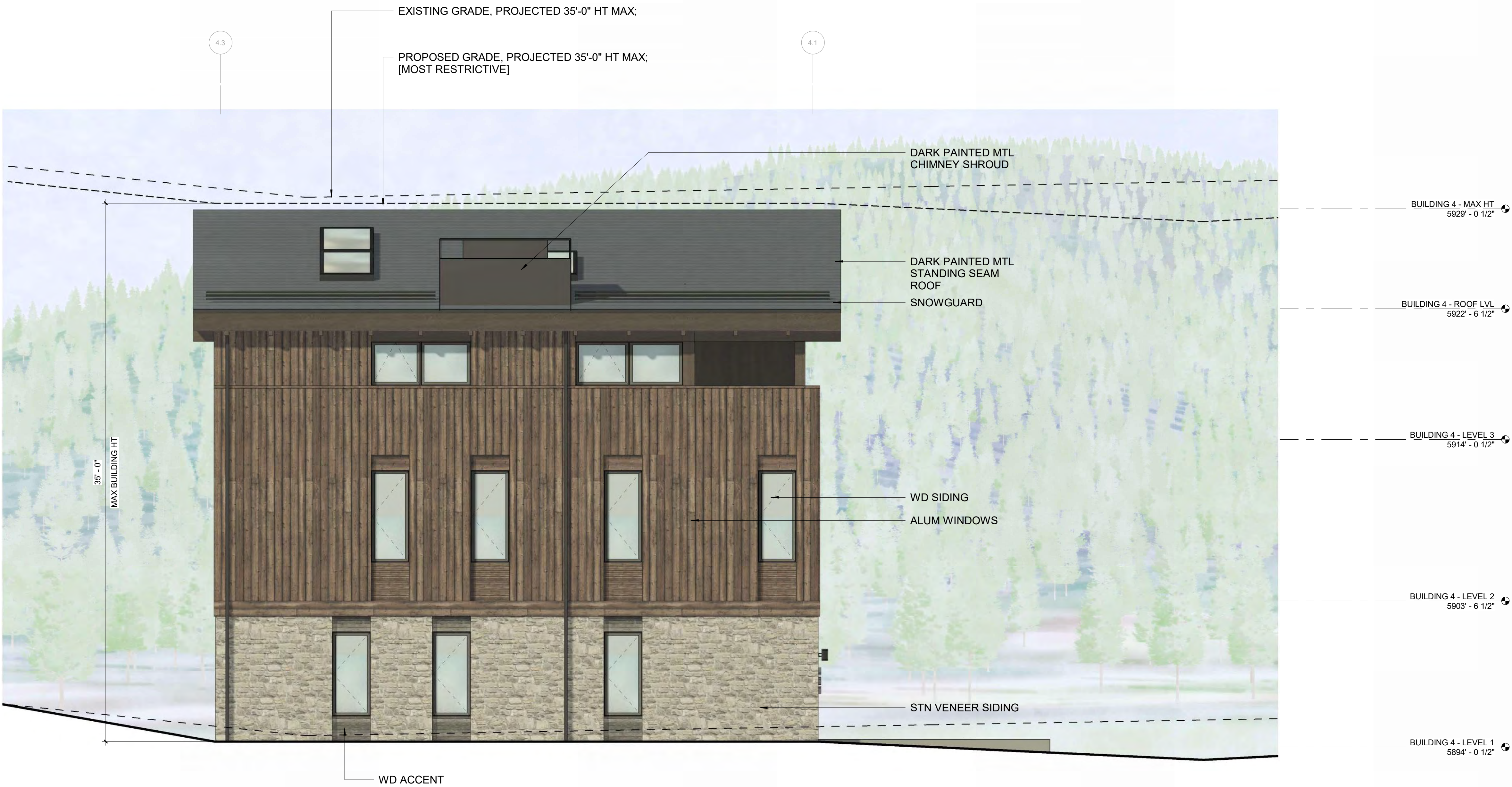
PROJECT NUMBER

2305

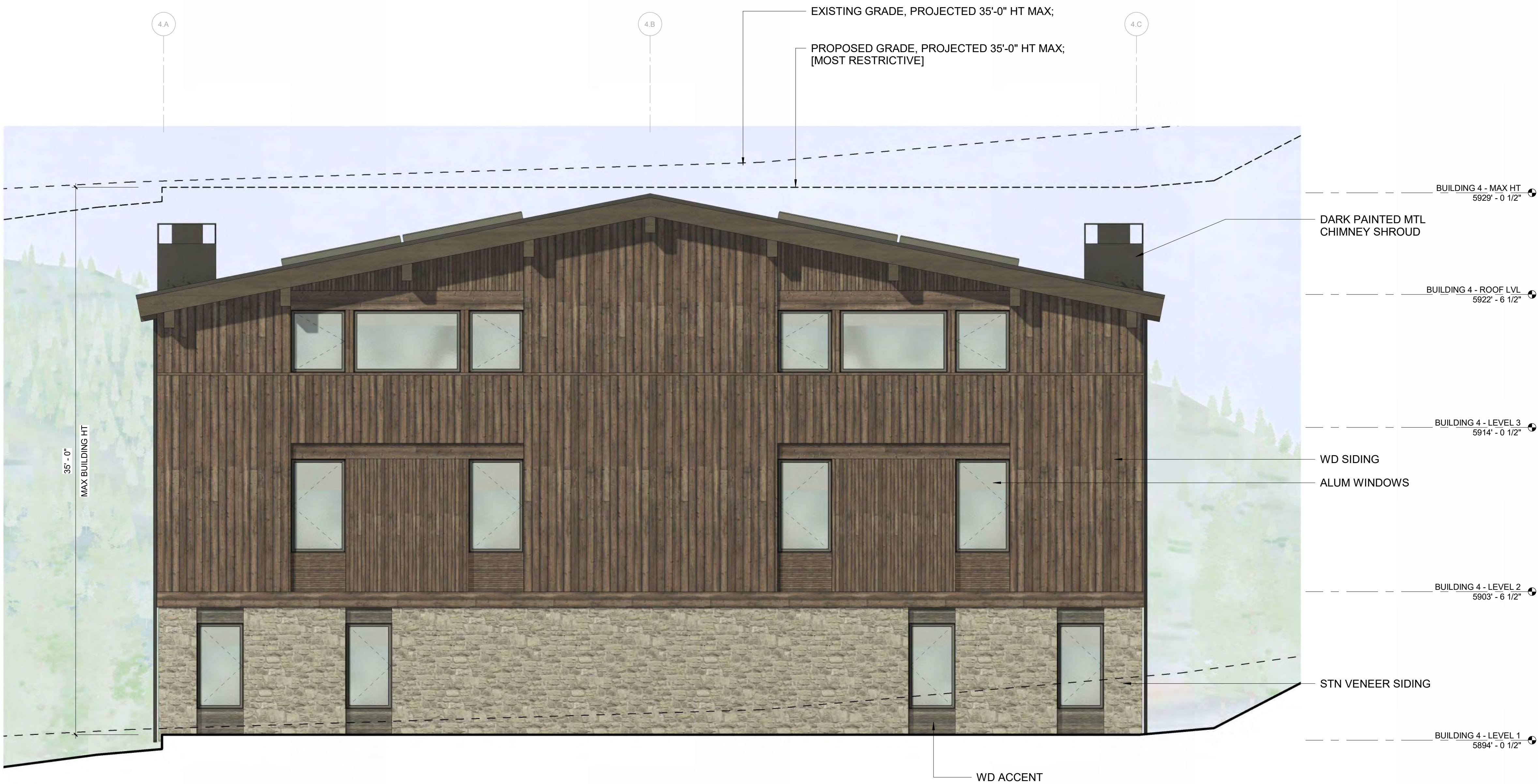
DRAWING NUMBER:

A-306

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2 1/4" = 1'-0" BUILDING 4 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 4 / ELEVATION - NORTH

OWNER:

108-110 RITCHIE LLC
P O BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO J ROCKETT DESIGN
1001 W. HANCOCK STREET BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
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TEL: 415.243.4081

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
5600 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



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SEAL:

DRAWING NUMBER

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OWNER:

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KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
101 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

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ZFA STRUCTURAL ENGINEERS
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SAN FRANCISCO, CA 94111
TEL: 415.243.4081

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.778.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH-2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



2	3/16" = 1'-0"	BUILDING SECTION - NS B
---	---------------	-------------------------



1	3/16" = 1'-0"	BUILDING SECTION - NS A
---	---------------	--------------------------------

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
BUILDING SECTIONS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-401

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WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:	108-110 RITCHIE LLC P.O. BOX 14001-174 KETCHUM, ID 83340 TEL: 803.801.0419
BUILDING ARCHITECT:	RO ROCKETT DESIGN 1031 W. MANCHESTER BLVD. UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014
STRUCTURAL ENGINEER:	ZFA STRUCTURAL ENGINEERS 601 MONTGOMERY STREET SUITE 1450 SAN FRANCISCO, CA 94111 TEL: 415.243.4091
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:	PROFICIENT ENGINEERING 4704 HARLAN STREET SUITE 620 DENVER, CO 80212 TEL: 720.779.3596
CIVIL ENGINEER:	GALENA BENCHMARK ASSOCIATES 100 BELL DRIVE SUITE C KETCHUM, ID 83340 TEL: 208.725.9512
LANDSCAPE ARCHITECT:	EGGERS ASSOCIATES 560 NORTH 2ND AVENUE KETCHUM, ID 83340 TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
MATERIALS

SEAL:

PROJECT NUMBER
2305
DRAWING NUMBER:
A-500



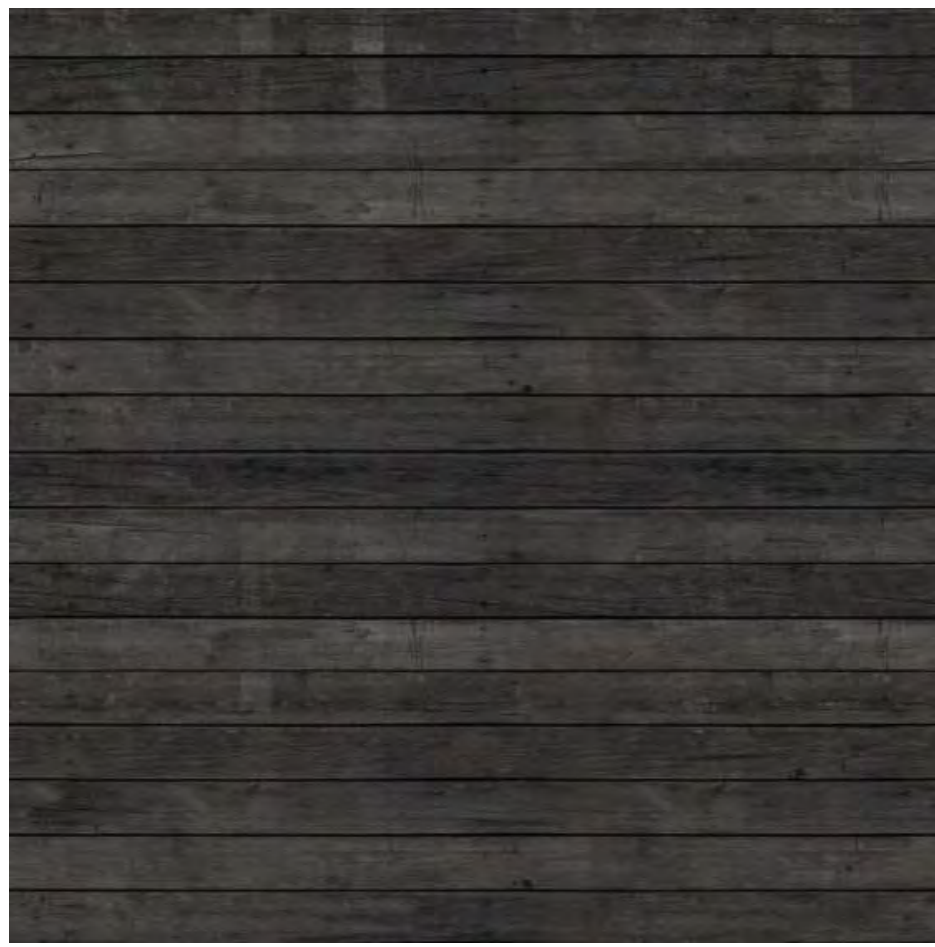
MEDIUM GREY, PARGED FIELD STONE



MEDIUM BROWN, RUSTIC TONGUE AND GROOVE WOOD SIDING W/ FACE NAILING



MEDIUM BROWN, RUSTIC WD BEAMS, FASCIA & ACCENTS



DARK, RUSTIC WD TONGUE AND GROOVE ACCENTS



DARK STANDING SEAM ROOF



DARK METAL TRIM & WINDOW FRAMES

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:
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INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:
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SAN FRANCISCO, CA 94111
TEL: 415.243.4091

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DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:
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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:
EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-501



2 12" = 1'-0" SITE ELEVATION - EAST



1 12" = 1'-0" SITE ELEVATION - SOUTH

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
RO | ROCKETT DESIGN
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INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:
ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
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DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:
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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:
EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-502



2 12" = 1'-0" SITE ELEVATION - WEST



1 12" = 1'-0" SITE ELEVATION - NORTH



VIEW FROM AERIAL PERSPECTIVE



VIEW FROM RITCHIE DRIVE - NORTH

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

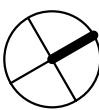
ISSUE	DESCRIPTION	DATE
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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO



DRAWING TITLE:

PERSPECTIVE RENDERINGS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-503



**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
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TEL: 415.243.4091

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DENVER, CO 80212
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CIVIL ENGINEER:

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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

[illegible]

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
PERSPECTIVE RENDERINGS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-504

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VIEW TO BUILDING 01 - REAR



VIEW TO BUILDING 03 - FRONT

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

PERSPECTIVE RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-505