



450 WOOD RIVER DRIVE FDP APPLICATION RESUBMITTAL DOCUMENTS.pdf

# 450 WOOD RIVER DR

## FLOODPLAIN DEVELOPMENT PERMIT APPLICATION RESUBMITTAL - 4.16.24

**DESCRIPTION**  
APPROX. 6,600 SF (CONDITIONED) NEW SINGLE-FAMILY RESIDENCE WITH 823 SF GARAGE. SCOPE OF WORK INCLUDES NEW CONSTRUCTION OF FOUNDATION, ERECTION OF STRUCTURE, CIVIL, LANDSCAPING, HARDSCAPING AND FINISHES.

**PROJECT ADDRESS**  
450 WOOD RIVER DR  
KETCHUM, ID 83340

**APPLICABLE CODES**

- All construction shall comply with:
- 2018 INTERNATIONAL BUILDING CODE\*
- 2018 INTERNATIONAL RESIDENTIAL CODE\*
- 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS\*
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE\*
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- NATIONAL GREEN BUILDING STANDARD [SILVER CERTIFICATION]
- TITLE 15 KETCHUM MUNICIPAL CODE
- APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM
- ALL APPLICABLE COUNTY ORDINANCES
- \*FULLY-SPRINKLERED NFPA 13D THROUGHOUT

\*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.

CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES.

JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT.

**DEFERRED SUBMITTALS**  
FIRE SPRINKLERS

**PROJECT DATA**

**LOCATION:**  
LOT AREA:  
ZONING DESIGNATION:  
LAND USE:  
OCCUPANCY:  
CONSTRUCTION TYPE:  
OVERLAYS:  
FLOOD ZONE (FEMA):

LOT 3, BK 1  
54,219 SF (1.24 AC.)  
GR-L GENERAL RESIDENTIAL LOW DENSITY  
120 (VACANT, SINGLE FAMILY)  
R-3 - SINGLE FAMILY DWELLING  
TYPE V  
FLOODPLAIN  
SFHA-ZONE AE

**PROPOSED DEVELOPMENT**

**BUILDING COVERAGE:**  
**MAXIMUM BUILDING HEIGHT:**  
**PARKING SPACES:**

10.0% (SEE G-011 FOR CALCULATIONS)  
ALLOWABLE - 35'-0"  
ACTUAL PROPOSED - 33'-2.5"  
3 (GARAGE)

GROSS FLOOR AREA	
LEVEL 01	4,668 SF
LEVEL 02	3,409 SF
<b>TOTAL</b>	<b>8,077 SF</b>

CONDITIONED FLOOR AREA	
LEVEL 01	3,365 SF
LEVEL 02	3,182 SF
<b>TOTAL</b>	<b>6,547 SF</b>
GARAGE	886 SF
MECH	643 SF

**REQUIRED SETBACKS**

FRONT YARD: 15'-0"  
SIDE YARD: 11'-0" (PER 17.20.030)  
REAR YARD: 11'-0" (PER 17.20.030)



PROJECT SITE

VICINITY MAP

### 450 WOOD RIVER

**OWNER:**

450-490 WOOD RIVER, LLC  
ATTN: FRAZIER CAVNESS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

**PROJECT ARCHITECT:**

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

**CONTRACTOR:**

**GEOTECHNICAL ENGINEER:**

BUTLER ASSOCIATES, INC.  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

**CIVIL ENGINEER:**

BENCHMARK ASSOCIATES  
100 BELL DRIVE  
KETCHUM, ID 83340  
TEL: 208.726.9512

**LANDSCAPE ARCHITECT:**

FIELD STUDIO LANDSCAPE ARCHITECTS  
722 N. ROUSE AVENUE  
BOZEMAN, MT 59715  
TEL: 406.551.2098

**STRUCTURAL ENGINEER:**

LABIB FUNK & ASSOCIATES  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

**MEP ENGINEER:**

CONSULTING ENGINEERING SERVICES (CES)  
1001 W OAK BLDG  
BOZEMAN, MT 59715  
TEL: 406.272.0352

**LIGHTING:**

KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

**AV:**

AUDIO VIDEO SYSTEMS, INC.  
2700 HOMESTEAD RD  
PARK CITY, UT 84098  
TEL: 801.649.5200

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**SEAL:**



NO	DATE	ISSUE
1	04.16.2024	FDP APP RESUBMITTAL
	12.13.2023	FDP APPLICATION

**PROJECT:**

450 WOOD RIVER  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

**PROJECT NUMBER:**

2108

**DRAWING TITLE:**

COVER SHEET

**DRAWING NUMBER:**

G-000

NOT FOR CONSTRUCTION

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**A. GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENT OF THE APPLICABLE CODES, LAWS & REQUIREMENTS APPLICABLE TO THE LOCATION OF THE PROJECT.
2. THE CONTRACTOR (AND THEIR SUB-CONTRACTORS) SHALL STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE OWNER/DESIGNER IN WRITING ALL ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING THE WORK. IF THE CONTRACTOR KNOWINGLY PROCEEDS WITH ANY OF THE WORK SO AFFECTED WITHOUT WRITING INSTRUCTION OF THE OWNER/DESIGNER, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN COST ANY RESULTING ERROR, DAMAGE, OR DEFECTS OR TIME DELAYS CAUSED. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK WITHOUT CONTRACT DOCUMENTS OR AS REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF WORK.
3. NO WORK TO COMMENCE ON SITE UNTIL PLAN HAS BEEN APPROVED AND PERMIT ISSUED BY THE DEPARTMENT OF BUILDINGS.
4. ALL STRUCTURAL WORK SHALL BE COORDINATED W/ DESIGN DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS AND APPLICABLE BUILDING CODES.
5. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE DESIGN BLDG. FILED BY THE CONTRACTOR. RELATED FINDINGS SHALL ALSO BE COORDINATED AND EXECUTED BY THE CONTRACTOR. ANY DISCREPANCIES BETWEEN THE ENGINEERED SYSTEMS AND THE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY, PRIOR TO ANY CONSTRUCTION OR PURCHASING OF MATERIAL.
6. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SHEETING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE. SHORING AND SHEETING SHALL BE DESIGNED BY A STATE OF CALIFORNIA LICENSED PROFESSIONAL ENGINEER HIRED BY THE CONTRACTOR, WHO SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.
7. DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGNER PRIOR TO THE BEGINNING OF RECORD FOR HIS EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.
8. PRODUCTS: TRADE NAMES OR MANUFACTURERS NOTED WITHIN DRAWINGS AND/OR SPECIFICATIONS ARE TO ESTABLISH A STANDARD OF QUALITY. CONTRACTOR MAY SUBMIT OTHER MANUFACTURERS PRODUCTS EQUAL TO THOSE SPECIFIED FOR APPROVAL.
9. THE CONTRACTOR SHALL MAKE NO DEVIATION FROM THE DRAWINGS WITHOUT WRITTEN APPROVAL OF THE DESIGNER.
10. THE CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR AFTER COMPLETION AND FINAL ACCEPTANCE BY THE OWNER.
11. THE CONTRACTOR SHALL INSPECT EXISTING CONDITIONS AT JOB SITE BEFORE SUBMITTING BID. CONTRACTOR WILL BE RESPONSIBLE FOR CONDITIONS ON SITE WHETHER INDICATED ON DRAWINGS OR NOT. SUBMISSION OF A PROPOSAL SHALL SIGNIFY THE CONTRACTOR'S ACCEPTANCE OF THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
12. CONTRACTOR MUST CONDUCT A PRE-DEMOLITION MEETING AND SITE WALKTHROUGH WITH THE OWNER AND ARCHITECT BEFORE THE COMMENCEMENT OF ANY DEMOLITION OR REMOVAL OF MATERIALS.
13. THE WORK TO BE PERFORMED CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, TOOLS, TRANSPORTATION, SUPPLIES, FEES, MATERIALS, AND SERVICES IN ACCORDANCE WITH THESE NOTES AND DRAWINGS; AND INCLUDES PERFORMING ALL OPERATIONS NECESSARY TO CONSTRUCT AND INSTALL COMPLETE, IN SUFFICIENCY CONDITION, THE VARIOUS MATERIALS AND EQUIPMENT AT THE LOCATION SHOWN.
14. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE BUILDING, ITS OCCUPANTS, AND THE GENERAL PUBLIC.
15. PROVIDE ALL WORK INDICATED OR IMPLIED BY THE DRAWINGS.
16. SUBMIT SHOP DRAWINGS TO DESIGNER FOR REVIEW. DO NOT COMMENCE WORK UNTIL REVIEW OF SHOP DRAWINGS HAS BEEN COMPLETED AND THE DRAWINGS APPROVED. ALLOW TEN (10) BUSINESS DAYS MIN FOR REVIEW.
17. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.
18. THE GENERAL CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND THE GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF WORKMANSHIP THROUGHOUT.
19. THE CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF MATERIALS.
20. BUILDING CONDITIONS, INCLUDING SIZE OF SERVICE ELEVATORS, DOORWAYS, STAIRS, CORRIDORS, WINDOW OPENINGS, ETC., SHALL BE CHECKED FOR ITEMS BEING DELIVERED.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE PREMISES EACH EVENING PRIOR TO LEAVING THE PREMISES UNLOCKED AND SECURED AT ALL TIMES WHEN THE GENERAL CONTRACTOR IS NOT ON SITE AND KEYS FOR THE SITE SHALL BE HELD BY THE GENERAL CONTRACTOR. NO UNSUPERVISED SUBCONTRACTORS SHALL HAVE KEYS OR ACCESS TO THE SITE WITHOUT THE OWNER'S PRIOR CONSENT.
22. PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL FURNISH A SCHEDULE SHOWING THE DURATION OF EACH PHASE OF THE PROJECT, THE SCHEDULED START AND ORDERING LEAD TIMES, LENGTH FOR EACH PHASE, ITS START AND COMPLETION AND A PROJECTED COMPLETION DATE FOR THE PROJECT.
23. ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK, AS A RESULT OF, BUT NOT LIMITED TO, INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE CONTRACTOR.
24. ALL RUBBISH AND WASTE MATERIALS CAUSED BY THE INSTALLATION OF THE WORK SHALL BE REMOVED FROM THE PREMISES PROMPTLY.
25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL RULES, REGULATIONS, CODES AND ALL AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL COMPLY WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES, CODES AND REQUIREMENTS. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND APPROVALS.
26. THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK AND PROVIDE NECESSARY TOUCH UP PAINTING OR WALL COVERING FOR PROTECTION.
27. THE CONTRACTOR SHALL INSPECT ALL EXISTING FINISHED SURFACES INCLUDING CORNER BEADS, STOPS, ETC. FOR CRACKS, HOLES, DAMAGED SURFACES AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW FIRST-CLASS FINISHED INSTALLATION. ALL DEFECTS SHALL BE REPAIRED, OR IF BEYOND REPAIR, THEN INSTALLED AND FINISHED TO THE SATISFACTION OF THE DESIGNER JUST PRIOR TO BEING TURNED OVER TO THE OWNER.
28. THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL LIGHT FIXTURES AND LENSES, A/C DIFFUSERS AND REGISTERS, FLOORS, BASES, DOORS, ETC. CONTRACTOR SHALL ALSO PROVIDE A FULL POST-CONSTRUCTION CLEAN PRIOR TO FINAL PROJECT ACCEPTANCE.
29. THIS PROJECT IS A CAPITAL IMPROVEMENT AND NO SALES TAX SHALL BE PAID FOR THE PURCHASE OF EQUIPMENT AND MATERIALS BY OWNER.
30. THE CONTRACTOR SHALL PROTECT ALL INSTALLED WORK AND EXISTING, EXTERIOR GLASS AGAINST ANY DAMAGE UNTIL PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.
31. REMOVE ALL EXISTING APPLIANCES AND PLUMBING FIXTURES FROM THE SITE. UNO.
32. PREPARE THE KITCHEN SURFACES FOR NEW EQUIPMENT AND CABINETS AND PROVIDE UTILITIES AS REQUIRED TO CONNECT ALL NEW APPLIANCES.
33. CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF APPLICABLE UTILITIES, INCLUDING GAS, WATER, POWER, TELEPHONE AND CABLE TV AND DETERMINE EXACT LOCATIONS AND AVAILABILITY OF UTILITIES AND DETERMINE CONDITION OF EXISTING SERVICE PRIOR TO COMMENCING WORK OR CONNECTING UTILITIES.
34. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT THE JOB SITE AS NECESSARY AND REQUIRED BY CODE.
35. CONTRACTOR SHALL PROTECT FLOOR SURFACES FROM DAMAGE WITH RAMBOARD AND EQUIP MOBILE EQUIPMENT WITH PNEUMATIC TIRES.
36. PRIOR TO ISSUANCE OF A BUILDING PERMIT THE CONTRACTOR SHALL HAVE THE FOLLOWING: 1) CERTIFICATE OF WORKER'S COMPENSATION INSURANCE MADE OUT TO THE CONTRACTOR'S STATE LICENSE BOARD 2) COPY OF BUSINESS TAX REGISTRATION CERTIFICATE OR A NEWLY PAID RECEIPT FOR ONE FOR APPLICABLE JURISDICTION. 3) NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS 4) COPY OF CONTRACTOR'S STATE LICENSE OR POCKET ID.

**B. DEMOLITION:**

1. AS REQUIRED TO INSTALL NEW SCOPE OF WORK.
2. ALL DEBRIS TO BE PROMPTLY REMOVED FROM SITE.
3. ANY DAMAGE DONE TO FLOORS, WALLS, ETC. DUE TO REMOVAL OF EXISTING PARTITIONS, PLUMBING FIXTURES, OR ANYTHING REMOVED IN ORDER TO COMPLETE THE SCOPE OF WORK AS INDICATED ON DRAWINGS SHOULD BE PATCHED TO MATCH EXISTING AND MEET DESIGNER'S AND OWNER'S APPROVAL.
4. SEAL ALL VENTS AND OPENINGS AS REQUIRED DURING DEMOLITION TO PREVENT DUST DAMAGE ACROSS ROOMS.
5. CONTRACTOR TO REMOVE ALL FURNITURE, APPLIANCES, ETC., IN ORDER TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
6. CONTRACTOR TO PROVIDE ALL SCAFFOLDING AND BRIDGING AS REQUIRED TO COMPLETE SCOPE OF WORK.
7. FOR ALL NEW STONE AND WOOD FLOORING, CONTRACTOR IS TO REMOVE ANY EXISTING SUBSTRATE AS REQUIRED TO KEEP FLOORS LEVEL AND TRUE.
8. WHEN DEMOLITION IS REQUIRED ON SITE: 1) ALL DEBRIS SHALL BE WET AT THE TIME OF HANDLING TO PREVENT DUST. 2) NO STRUCTURAL MEMBER OF ANY KIND SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED. 3) FREE FALL DUMPING OVER EXTERIOR WALL WILL NOT BE ALLOWED 4) DEMOLITION PERMIT SHALL BE OBTAINED BY A LICENSED WRECKER CONTRACTOR (CLASS C-21) OR A LICENSED GENERAL CONTRACTOR (CLASS B-1). 5) CONTRACTOR SHALL USE NEGATIVE PRESSURE MACHINES AND HEPA FILTERS THROUGHOUT DEMOLITION TO REDUCE AIRBORNE DUST.

**C. PRODUCT NOTES:**

1. ALL PRODUCTS SPECIFIED SHALL BE PROVIDED IN LOCATIONS INDICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
2. PROVIDE BLOCKING WITHIN ALL WALLS TO SECURE SHELVING WHERE REQUIRED.
3. GENERAL CONTRACTOR (GC) TO ENSURE THAT ALL APPLIANCES, TO INCLUDE CONDENSER AND AIR HANDLING UNITS, ARE OPERATIONAL BEFORE HANDING OVER TO OWNER, ENSURE THAT ALL POWER, WATER AND VENTILATION PROVIDE AS NECESSARY.
4. GC TO PROVIDE OWNER WITH PROJECT MANUALS AT CLOSE OF JOB INCLUDING ALL OWNERS MANUALS AND WARRANTIES FOR ALL EQUIPMENT AND APPLIANCES INSTALLED WITHIN THE SCOPE OF WORK.

**D. POWER AND TELEPHONE NOTES:**

1. PROVIDE ALL ELECTRICAL WORK AS INDICATED ON OR IMPLIED BY THE CONTRACT DOCUMENTS.
2. PROVIDE ALL ELECTRICAL POWER AS REQUIRED BY TELEPHONE COMPANY. PROVIDE TELEPHONE AND DATA WIRING IN LOCATIONS INDICATED AND ALL NECESSARY CONDUIT. VOICE WIRING TO BE CAT3, DATA WIRING TO BE CAT6. PATCH PANEL TO BE PROVIDED IN LOCATION INDICATED.
3. ALL ELECTRICAL WORK SHALL BE PROVIDED BY GC AT LOCATIONS INDICATED. TELEPHONE EQUIPMENT TO BE PROVIDED BY OTHERS.
3. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
4. ALL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENT OF ALL AUTHORITIES HAVING JURISDICTION.
5. ALL ELECTRICAL, SPEAKER AND TELEPHONE WIRING SHALL BE CONCEALED IN DRYWALL AND/OR CEILING. INSTALL SPEAKER WIRE IN LOCATIONS INDICATED. TERMINATIONS AND SPEAKER INSTALLATION ARE BY OTHERS.
6. ALL ELECTRICAL, SPEAKER AND LIGHTING WORK IN CONJUNCTION WITH CABINET WORK SHALL BE COORDINATED WITH THE MILLWORK CONTRACTOR.
7. REFER TO ELEVATIONS FOR DIMENSIONED LOCATIONS OF SWITCHES, PLATES, AND OTHER EQUIPMENT.
8. ALL 125-V RECEPTACLES IN GARAGE (INCLUDING ANY CEILING OUTLETS) SHALL HAVE GFCI PROTECTION.
9. ALL 125-V RECEPTACLES SERVING COUNTER TOP SURFACES IN THE KITCHEN SHALL HAVE GFCI PROTECTION.
10. ALL 125-V BRANCH CIRCUITS SUPPLYING OUTLETS IN CLOSETS, HALLWAYS, BEDROOMS AND OTHER HABITABLE ROOMS (EXCEPT KITCHEN) SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI).
11. RECEPTACLE OUTLETS IN HABITABLE ROOMS SHALL BE SPACED 12" O.C. MAXIMUM AND SHALL BE LOCATED WITHIN 6' OF WALL ENDS, DOOR OPENINGS, AND AT EVERY 2' OR WIDER WALL.
12. RECEPTACLE OUTLETS IN HALLWAYS AND HALLWAY-TOPS SHALL BE SPACED AT 4' O.C. MAXIMUM AND WITHIN 2' OF ENDS/BREAKS OF COUNTERS.
13. PROVIDE AT LEAST ONE OUTDOOR RECEPTACLE OUTLET WITH WEATHER PROOF COVER AND GFCI AT FRONT AND REAR OF DWELLING UNIT AND AT DECK/BALCONY (EXCEPTION: DECK/BALCONY WITH USABLE AREA LESS THAN 20 SQ FT).
14. ALL RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE.
15. BATHROOM RECEPTACLES SHALL BE SERVED BY A DEDICATED 20 AMP CIRCUIT.
16. PROVIDE A WALL SWITCHED-CONTROLLED LIGHTING OUTLET ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS.

**E. CEILING & LIGHTING NOTES:**

1. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING LIGHTING AT JOB SITE. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCIES IN FIELD.
2. PROVIDE LIGHTING FIXTURES INCLUDING RELATED ELECTRICAL WORK AND LAMPING OF TYPES AND INSTALL AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS IN LOCATIONS AS INDICATED ON THE DRAWINGS.
3. SUBMIT CUTS OF ALL LIGHTING FIXTURES FOR DESIGNER'S REVIEW AND APPROVAL PRIOR TO INSTALLATION.
4. ALL FIXTURES SHALL BE REMOTE SWITCHED UNLESS OTHERWISE NOTED.
5. ALL CEILING WORK SHALL BE SQUARE AND LEVEL.
6. PROVIDE CUTOITS IN CEILING AS REQUIRED FOR NEW CONDUITS.
7. ALL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION AND WITH CEILING MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.
8. ALL ACCESS PANELS TO BE RECESSED ACCESS DOORS FOR DRYWALL SURFACES.
9. REFER TO DESIGNER OR REFLECTED CEILING PLANS FOR LOCATIONS OF SPEAKERS. WHERE DIMENSIONED NOT NOTED, GC TO COORDINATE PLACEMENT WITH DESIGNER.
10. COORDINATE CEILING FRAMEWORK ALL TRADES.
11. ALL REVEALS IN CEILINGS TO BE FRY REGLET EXTRUDED ALUMINUM AS NOTED IN CEILING DETAILS.
12. REFER TO DESIGN ELEVATIONS FOR DIMENSIONED LOCATIONS OF SWITCHES. WHERE DIMENSIONED LOCATIONS ARE NOT NOTED, GC TO COORDINATE PLACEMENT WITH DESIGNER.

**F. MILLWORK:**

1. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCIES IN FIELD.
2. CONTRACTOR SHALL CHECK JOB PROGRESS AND COORDINATE WITH OTHER TRADES INVOLVED.
3. PERFORM ALL FABRICATION FROM FIELD MEASUREMENT WITH PROVISION FOR SCRIBING AS REQUIRED TO MEET BUILT-IN CONDITIONS.
4. ALL MILLWORK TO INCLUDE INSTALLATION SHALL BE AWI 'PREMIUM GRADE.'
5. GRAINBOARD DIRECTION SHALL BE INDICATED ON FLOOR PLAN.
6. GROUNDS, FURRING, STRAPPING AND BLOCKING SHALL BE FREE FROM KNOTS WHICH WOULD AFFECT THE STRENGTH OR RENDER NAILING DIFFICULT.
7. ALL MATERIALS FOR WOODWORK SHALL BE THOROUGHLY KILN-DRIED.
8. ALL FINISHED WORK SHALL AS FAR AS PRACTICABLE, BE ASSEMBLED AND FINISHED IN THE SHOP AND ON SITE. ALL FINISHED WORK SHALL BE ASSEMBLED AND FINISHED IN THE SHOP AND ON SITE.
9. ALL WORK SHALL BE FABRICATED, ASSEMBLED, FINISHED AND ERECTED IN ACCORDANCE WITH AWI 'PREMIUM GRADE' STANDARDS. SURFACES AND ARISES SHALL BE TRUE, STRAIGHT, AND FREE FROM ALL MACHINE AND TOOL MARKINGS, BRUISES, INDENTATIONS, CHIPS OR ABRASIONS.
10. WHERE MEMBERS ARE MITERED OR BUTTED, THEY SHALL BE JOINED AND IN A MANNER TO INSURE AGAINST THE JOINT OPENING.
11. PROVIDE ALL CABINET DOOR AND SHELVING WORK HARDWARE AS REQUIRED FOR A COMPLETE INSTALLATION. REFER TO HARDWARE SCHEDULE.
12. AFTER TOTAL COMPLETION OF ERECTION, ALL NAIL HOLES, SCRATCHES AND OPEN JOINTS SHALL BE FILED AND TOUCHED UP SO AS TO BE INVISIBLE.
13. ALL WET WALL LACQUER MID AND WOOD GREYER PLYWOOD TO RECEIVE SOLID EDGE BANDING TO CONCEAL LAMINATION. EDGE BANDING TO BE VENEER THICK UNLESS OTHERWISE NOTED.
14. FLITCHES TO BE MAXIMUM PRACTICABLE WIDTHS AND FULL HEIGHT IN SEQUENTIAL BOOK MATCH PATTERN OR AS NOTED BY ARCHITECT. GRAIN DIRECTION ON WALL PANELS AND CABINET FACES TO BE VERTICAL UNLESS OTHERWISE NOTED. ARCHITECT TO SELECT ALL FLITCHES.
15. FABRICATE UNITS IN LARGEST PRACTICABLE SECTIONS. ASSEMBLE IN THE SHOP FOR TRIAL FIT. DISASSEMBLE FOR SHIPMENT AND REASSEMBLE WITH CONCEALED FASTENERS.
16. MAINTAIN RELATIVE HUMIDITY AND TEMPERATURE DURING FABRICATION, STORAGE AND FINISHING OPERATIONS MATCHING THAT OF THE AREAS OF INSTALLATION.
17. FACTORY FINISH ALL ITEMS WHERE POSSIBLE. DEFER FINAL TOUCH-UP, CLEANING AND POLISHING UNTIL AFTER DELIVERY AND INSTALLATION.
18. PANELING- PROVIDE CONCEALED WOOD BLOCKING AND FRAMING, ANCHORS, CLIPS, SPLINES, SUPPORTING AND ATTACHING DEVICES. PROVIDE CUT-OUTS TO RECEIVE ATTACHMENTS, MECHANICAL AND ELECTRICAL WORK AS REQUIRED.
19. MAKE ALL JOINTS HAIRLINE TIGHT, FITTED ACCURATELY AND JOINTED WITH HARDWOOD SPLINES OR DOWELS, GLUED TOGETHER OR BY OTHER METHOD APPROVED BY DESIGNER. USE SCREWS, NOT NAILS, FOR FASTENING TO GYPSUM BOARD.
20. ALL DRAWERS SHALL BE MAXIMUM DEPTH OF THE HOUSE CABINET W/ FULL EXTENSION, SOFT CLOSING SLIDES, 100 LBS MIN CAPACITY, UNO.
21. ALL CABINET DOORS SHALL HAVE SOFT CLOSING CONCEALED ERO HINGES, UNO. WHEN THE DOOR OPEN ADJACENT TO A PERPENDICULAR WALL CONTRACTOR SHALL PROVIDE LIMITER CLIPS TO PREVENT CLASHING DOOR W/ WALL HINGE AT MAX 1/4" G.C.
22. ALL DRAWERS & CABINET DOOR PANELS SHALL BE FITTED W/ (4) FOUR 1/8" THK CLEAR SELF-ADHESIVE BUMPERS AS EACH CORNER.
23. ALL REVEAL JOINTS BETWEEN CABINET & DRAWER PANELS SHALL ALIGN + BE LEVEL + PLUMB.

**G. GYPSUM BOARD WORK:**

1. GYPSUM BOARD PARTITIONS SHALL TYPICALLY CONSIST OF 2X6 WOOD STUDS AT 16" O.C. WITHOUT EXCEPTION, STUDS SHALL BE FIRMLY ANCHORED TO THE FLOOR AND CEILING PLATES. THE FLOOR AND CEILING PLATES SHALL IN TURN BE ANCHORED TO THE FLOOR AND CEILING STRUCTURES WITH TWO CONTINUOUS BEADS OF ACOUSTIC/FIRE SEALANT BETWEEN SUBSTRUCTURE & RUNNER.
2. ALL GYPSUM BOARD WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION AND WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS. ALL NEW GYPSUM SURFACES TO BE LEVEL 4 DRYWALL FINISH AND BOARDS TO HAVE TAPERED EDGES.
3. PROVIDE ALL REQUIRED FASTENERS, ANCHORS, ADHESIVES, COMPOUNDS, ETC. AS INDICATED PER GYPSUM BOARD MANUFACTURER'S AND AS REQUIRED FOR A COMPLETE INSTALLATION.
4. ALL EXPOSED EDGES AND/OR CORNERS OF GYPSUM BOARD SHALL RECEIVE A HOT-DIPPED GALVANIZED METAL CORNER BEAD AND ALL EDGES OF A GYPSUM BOARD BUTTING OTHER MATERIAL SHALL RECEIVE A HOT-DIPPED GALVANIZED METAL CASING BEAD, TAPED AND SPACKLED SMOOTH.
5. PROVIDE NEW SPECIAL WATER RESISTANT TYPE GYPSUM BOARD IN ALL WET LOCATIONS SUCH AS BATHROOMS. PROVIDE CEMENT BOARD SUCH AS DUROCK AT ALL SHOWER AND BATH AREAS OVER MEMBRANE WATER PROOFING.
6. WALLS SHOWN ALIGNED WITH EXISTING BUILDING CONSTRUCTION SHALL BE FLUSH AND SMOOTH WITH EXISTING BUILDING CONSTRUCTION UNLESS OTHERWISE INDICATED.
7. ALL PARTITIONS SHALL BE FURNISHED WITH BASES AS INDICATED IN THE CONTRACT DOCUMENTS.
8. ALL NEW PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED.
9. WHERE SPECIFIED, PLYWOOD UNDERLAYMENT TO HAVE STAGGERED JOINTS. GWB OVERLAY ALSO STAGGERED SO THAT PLYWOOD JOINTS DO NOT TELEGRAPH THROUGH TO SURFACE OF GWB.
10. AT EXISTING PARTITIONS, CONTRACTOR TO PROBE WALL TO LOCATE STUDS AND COORDINATE WITH NEW CONSTRUCTION.
11. PROVIDE A FULL SKIM COAT OF COMPOUND AT ALL EXISTING AND NEW GWB SURFACES THAT ARE NOT SMOOTH AND TRUE.
12. ALL DRYWALL SURFACES ABUTTING FINISH CASEWORK SHALL RECEIVE SKIM COATING AS REQUIRED TO MAKE SURFACE LEVEL AND PLUMB.

**H. SHOP DRAWINGS & SAMPLES:**

1. SUBMIT SHOP DRAWINGS FOR DESIGNERS APPROVAL FOR THE FOLLOWING ITEMS: CABINETRY/MILLWORK, ALL DOOR & WINDOW ASSEMBLIES, ALL METAL WORK & STRUCTURAL STEEL, TILE LAYOUT DETAILS WITH STARTING POINTS AND JOINT LAYOUT, CUSTOM CONCRETE, MECHANICAL DUCTWORK, ELECTRICAL WORK, GLAZED ASSEMBLIES.
2. CONTRACTOR SHALL SUBMIT ALL FINISH MATERIALS, INCLUDING BUT NOT LIMITED TO, TILE, GLASS, STONE, WOOD VENEER FOR DESIGNER/OWNER REVIEW. SAMPLES MAY BE REVIEWED ON SITE. SEE PROJECT MANUAL.

**I. HVAC:**

1. CONTRACTOR TO TEST ANY FANS, EXHAUSTS, MECHANICAL EQUIPMENT PRIOR TO HANDOVER OF PROJECT TO OWNER.
2. NEW DWELLING UNIT SHALL HAVE A MECHANICAL VENTILATION SYSTEM.

**J. PAINTING:**

1. ALL AREAS RECEIVING PAINT, AS INDICATED IN FINISH SCHEDULE, SHALL BE PAINTED IN ACCORDANCE WITH PAINT MANUFACTURE'S WRITTEN INSTRUCTIONS.
2. WALLS SCHEDULED TO BE PAINTED SHALL INCLUDE SURFACES FROM FLOOR TO CEILING INCLUDING CEILING TRIM, FASCIAS, DOORS, BUCKS, REVEALS, AND ALL SURFACES NOT INCLUDING FLOOR AND CEILINGS.
3. PAINT GYPSUM CEILINGS AND WALLS AS PER FINISH SCHEDULE.
4. PAINT COLORS AND TEXTURES SHALL BE SELECTED AND SPECIFIED IN FINISH SCHEDULE, AND CONTRACTOR SHALL SUBMIT THREE 18"x18" SAMPLES OF EACH SELECTED COLOR AND TEXTURE FOR DESIGNER'S REVIEW.
5. ALL WALLS AND CEILINGS SHALL BE PROPERLY PREPARED, SPACKLED, SANDED, ETC., TO PROVIDE A PERFECTLY SMOOTH SURFACE TO RECEIVE PAINT, SKIM COAT, ETC. AS REQUIRED.
6. ALL PAINT SHALL BE WATER BASED PAINT, PROVIDE ONE (1) PRIMER COAT AND TWO (2) FINISH COATS OF PAINT AS SPECIFIED IN FINISH SCHEDULE.
7. ALL ROOMS TO BE BENJAMIN MOORE AURA, DUNN EDWARDS SUPREMA OR APPROVED EQUAL. COLORS & FINISH TBD BY DESIGNER.

**K. PLUMBING NOTES:**

1. PROVIDE ALL PLUMBING ROUGHING AS INDICATED OR IMPLIED BY CONTRACT DOCUMENTS.
2. ALL FIXTURES AND ACCESSORIES TO BE PROVIDED AND INSTALLED BY CONTRACTOR AS PER MANUFACTURER'S GUIDELINES. IF CONTRACTOR FINDS THAT COMPONENTS OR ITEMS ARE MISSING WHICH ARE REQUIRED FOR THE COMPLETE INSTALLATION AS IMPLIED IN THE CONTRACT DOCUMENTS THE GC SHALL NOTIFY THE DESIGNER IMMEDIATELY FOR COORDINATION.
3. PLUMBING WORK SHALL BE COORDINATED WITH ALL OTHER TRADES.
4. ALL VALVES TO BE INSTALLED AS SPECIFIED IN THE APPROVED ALL VALVES AS INDICATED ON THE DRAWINGS OR AS MAY BE REQUIRED FOR THE PROPER CONTROL OF THE VARIOUS APPARATUS AND PIPELINES SO THAT ANY OF THE FIXTURE, LINES OR PIECES OF APPARATUS MAY BE CUT OFF FOR REPAIR WITHOUT INTERFERING OR INTERRUPTING SERVICE TO THE REST OF THE PROJECT. ALL VALVES SHALL BE DESIGNED FOR REPACKING WHEN WIDE OPEN UNDER PRESSURE.
5. BEFORE BEING COVERED OR BUILT IN, ATED PIPING SHALL BE TESTED AS REQUESTED BY THE AUTHORITIES HAVING JURISDICTION AND WITNESS BY THE OWNER, DESIGNER AND OR BUILDING ENGINEER.
6. DIVERSION OF PLUMBING SHALL NOT INTERRUPT DRAINAGE SERVICE IN ANY WAY.
7. REMOVE ANY DORMANT PIPES DISCOVERED.
8. CONTRACTOR TO ENSURE THAT ANY EXISTING PIPES ARE IN GOOD CONDITION OR REMEDY OR REPLACE EXISTING PIPES.
9. IDENTIFY ALL ITEMS REQUIRING SERVICE ACCESS AND PROVIDE APPROVED TYPE ACCESS DOORS. SUCH LOCATIONS TO BE COORDINATED AND APPROVED BY DESIGNER. ACCESS DOOR TO BE RECESSED FOR DRYWALL SURFACES.
10. IF REQUIRED A NEW WATER METER SHALL BE INSTALLED TO MEET CAPACITY OF THE NEW DOMESTIC AND SPRINKLER CAPACITY DEMAND.
11. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE.
12. THE WATER METER BOX MUST BE PURCHASED FORM THE CITY AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.

**L. WOOD FLOORING:**

1. GENERAL STANDARDS TO COMPLY WITH RECOMMENDATIONS OF NATIONAL FLOORING MANUFACTURER'S ASSOCIATION (NOFMA).
2. ALL FLOORING TO BE INSTALLED AS SPECIFIED IN FINISH SCHEDULE AND AS PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
3. PROTECT FLOORING FROM EXCESSIVE MOISTURE IN SHIPMENT, STORAGE AND HANDLING. DELIVER IN UNOPENED CARTONS OR BUNDLES AND STORE IN A DRY PLACE WITH ADEQUATE AIR CIRCULATION. DO NOT DELIVER MATERIAL TO BUILDING UNTIL WET WORK SUCH AS CONCRETE HAVE BEEN COMPLETED AND CURED TO FULL STRENGTH.
4. PROVIDE MOCK-UP OF WOOD 4'X4' SQUARE ON SITE (TO BE REPLACED WITH FINAL FLOORING) FOR DESIGNER AND OWNER REVIEW AND APPROVE.
5. WHERE THE SUBFLOOR IS NOT LEVEL, THE CONTRACTOR SHALL TAKE MEASURES TO LEVEL THE SUBSTRATE WITHOUT AFFECTING THE INSTALLATION OF FLOOR.
6. GRAINBOARD DIRECTION SHALL BE INDICATED ON FLOOR PLAN.
7. CONTRACTOR SHALL PROVIDE MANUFACTURER RECOMMENDED VAPOR BARRIER OVER SUBFLOOR THROUGHOUT PROJECT AND PROVIDE 1/4" FLOOR UNDERLAYMENT.
8. CONTRACTOR SHALL STORE WOOD FLOOR ON SITE FOR MINIMUM OF TWO WEEKS TO ALLOW WOOD TO ACCLIMATE PRIOR TO INSTALLATION. BOARDS SHALL BE SPACED OUT TO ALLOW AIR FLOW ACROSS ALL FACES OF EACH BOARD.
9. ADHESIVE AND FASTENING AGENTS USED TO INSTALL FLOORING SHALL BE MANUFACTURER APPROVED ONLY.
10. CONTRACTOR SHALL COORDINATE AND ALLOW FOR (IF ANY) THERMAL EXPANSION TO PREVENT PLANKS FROM BUCKLING.
11. BOARDS SHALL BE A MINIMUM OF 60" IN LENGTH AND SHALL NOT ACCOUNT FOR MORE THAN 25% OF THE BOARD MIX. REMAINING MIX OF BOARDS SHALL BE AT MINIMUM 25% 5'-8", 25% 8'-10" & 25% 10'-0" AND LONGER.
12. SEE FINISH AND MATERIAL SCHEDULE FOR MORE INFORMATION.

**M. DOOR NOTES:**

1. ALL DOORS TO BE 1-3/4" SOLID LUMBER CORE FLUSH WHITE OAK VENEER DOORS W/ 'A' FACE ON BOTH SIDES OR APPROVED EQUAL. DOORS IN EXCESS OF 36" IN WIDTH AND/OR 96" IN HEIGHT SHALL BE 2" IN THICKNESS.
2. DOORS SHALL BE MANUFACTURED BY WEYERHAEUSER, ALGOMA OR EGGER'S HARDWOOD PRODUCTS
3. DOORS WHEN INSTALLED SHALL NOT BOW OR BECOME OUT OF PLANE. ALL DOORS SHALL BE FABRICATED TO ACCOMMODATE SELF WEIGHT AND THE DISTRIBUTION OF WEIGHT SPECIFIC TO OPERATION AND ATTACHMENT OF ASSIGNED HARDWARE EACH DOOR.
4. ALL DOOR STOPS SHALL BE LOCATED IN THE FIELD W/ DESIGNER & OWNER PRIOR TO INSTALLATION.

**N. STONE NOTES:**

1. A WATERPROOFING MEMBRANE SHALL BE PLACED OVER ALL PORTIONS OF SUBFLOOR AT BATHROOMS AND RUN UP VERTICAL AT ALL WALLS AS HIGH AS POSSIBLE, BUT A MINIMUM OF 12" ABOVE FINISHED FLR, WHILE REMAINING CONCEALED BEHIND THE WALL BASE TRIM AND OR WALL CLADDING MATERIAL.
2. ANY STONE OR TILE SHALL BE SET LEVEL, PLUMB AND FLUSH ALIGNED. JOINTS SHALL BE 1/8" MAX AND 1/16" MIN.
3. GROUT COLOR SHALL BE AS PER FINISH SCHEDULE AND A SAMPLE MEASURING 12"x12" SHALL BE SUBMITTED FOR DESIGNER AND OWNER APPROVAL.
4. FINAL STONE TILE INSTALLATION SHALL BE FREE OF CHIPS, SCRATCHES, GROUT HAZE OR STAINS.
5. ALL EXPOSED EDGES ON COUNTERTOPS SHALL BE SLIGHTLY EASED, 1/8" MAX AT ALL UNDERMOUNT SINKS AND TUBS AND 1/16" MAX AT ALL OTHER LOCATIONS. CONTRACTOR SHALL SUBMIT AN EASED EDGE SAMPLE FOR DESIGNER'S REVIEW.
6. ALL STONE TO BE FINISHED WITH DRY TREAT LEVEL SEALER OR SUPPLIER RECOMMENDED SEALER.
7. CONTRACTOR SHALL CLEAN, PATCH AND BRND THE SUBFLOOR AS REQUIRED FOR ALL TILESTONE FLOORING.

**O. GLASS NOTES:**

1. ALL GLASS SHALL BE SIZE CRITICAL BASED ON FIELD DIMENSIONS
2. ALL GLASS, UNO, SHALL BE WATER WHITE GLASS AND TEMPERED WHERE REQUIRED BY CODE

**P. TEMPORARY MEASURES:**

1. GC SHALL MAINTAIN A COMPUTER & INTERNET CONNECTION TO RECEIVE SKETCHES & TRANSMISSIONS ON SITE DURING CONSTRUCTION. GC SHALL ALSO PROVIDE THE DESIGNER WITH A TELEPHONE NUMBER FOR THE JOB SITE WHETHER WIRED OR MOBILE.
2. GC TO PROVIDE A FIRE EXTINGUISHER AND FIRST AID KIT ON SITE DURING CONSTRUCTION.
3. GC SHALL PROVIDE A NEST WEBCAM OR APPROVED EQUIVALENT FOR REMOTE VIEWING OF SITE FROM TWO LOCATIONS. OWNER SHALL INSTALL & PAY COST OF INTERNET BANDWIDTH TO SUPPORT CONTINUOUS CAMERA FEED.

**Q. LANDSCAPE & LANDSCAPE IRRIGATION:**

1. ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT JURISDICTION'S REQUIREMENTS FOR PROPER INSTALLATION.

**R. FIRE DEPARTMENT NOTES:**

1. GC TO REFER TO APPLICABLE FIRE CODE NOTES RELEVANT TO NEW CONSTRUCTION OF SINGLE FAMILY RESIDENCE.
2. PROJECT CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS OF THE MOST CURRENT BUILDING AND MUNICIPAL CODES AS ADOPTED BY GOVERNING JURISDICTIONS OF THE PROJECT LOCATION AT TIME OF INITIAL FILING.
3. A SET OF PLANS MUST REMAIN ON THE JOB SITE AT ALL TIMES. APPOINTMENTS FOR INSPECTIONS, IF REQUIRED, SHOULD BE MADE AT LEAST TWO DAYS IN ADVANCE OF THE REQUIRED INSPECTION.
4. AN APPROVED KEY BOX SHALL BE INSTALLED, WITH THE APPROPRIATE KEYS, FOR EMERGENCY FIRE DEPARTMENT ACCESS IN A LOCATION APPROVED BY THE FIRE DEPARTMENT. THE KEY BOX SHALL BE A KNOX BOX BRAND AN DSIZED TO ACCOMMODATE KEYS TO EVERY DOOR OF THE PROJECT.
5. FIRE EXTINGUISHERS SHALL BE INSTALLED AND MAINTAINED PER 2018 IFC SECTION 908 BOTH DURING CONSTRUCTION AND UPON OCCUPANCY OF THE BUILDING. DURING CONSTRUCTION, FIRE EXTINGUISHERS SHALL BE PLACED IN A CONSPICUOUS, EASY TO ACCESS, UNOBSTRUCTED LOCATION THAT IS LESS THAN 75' TRAVEL DISTANCE TO ANY COMBUSTIBLES ON SITE, 30' TO ANY HOT WORK. EXTINGUISHERS SHALL BE MOUNTED IN A CONSPICUOUS, EASY TO ACCESS, UNOBSTRUCTED LOCATION UPON COMPLETION OF PROJECT. RESIDENCE SHALL HAVE A MINIMUM OF ONE EXTINGUISHER PER GARAGE AND ONE EXTINGUISHER PER KITCHEN AREA.
6. APPROVED ADDRESS NUMBERS SHALL BE PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROAD FRONTING THE PROPERTY. NUMBERS AND LETTERS SHALL BE A MINIMUM OF FOUR (4) INCHES TALL, HAVE A MINIMUM 1/2" BRUSH STROKE, CONTRAST WITH THEIR BACKGROUND, AND BE POSITIONED A MINIMUM OF FORTY-EIGHT (48) INCHES ABOVE FINAL GRADE.
7. VEHICLE PARKING AND MATERIAL STORAGE DURING CONSTRUCTION SHALL NOT RESTRICT OR OBSTRUCT PUBLIC STREETS OR ACCESS TO ANY BUILDING. A MINIMUM TWENTY FOOT TRAVEL LANE FOR EMERGENCY VEHICLE ACCESS SHALL BE MAINTAINED CLEAR AND UNOBSTRUCTED AT ALL TIMES. ALL REQUIRED FIRE LANES, INCLUDING WITHIN 15 FEET OF FIRE HYDRANTS, SHALL BE MAINTAINED CLEAR AND UNOBSTRUCTED AT ALL TIMES.
8. PROVIDE FIRE HYDRANT FOR THE PROPERTY AS REQ'D PER NLTFD REQUIREMENTS AND IFC Table C102.1 (IFC Appendix C).
9. ALL BUILDINGS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL HAVE A MONITORED FIRE ALARM PER (IFC 903.4) PLANS AND INSTALLATION OF 13R FIRE SPRINKLER AND MONITORED FIRE ALARM SYSTEM UNDER SEPARATE PERMIT PER RESOLUTION 16-1.

**S. FIRE PROTECTION**

1. (IFC 907.2.1): INTERCONNECTED SMOKE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING AND WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY IN THE DWELLING UNIT INCLUDING BASEMENTS BUT NOT CRAWL SPACES, UNINHABITED ATTICS AND GARAGES.
2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF ALL BEDROOMS AND IN THE IMMEDIATE VICINITY OF BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED, AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
3. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED.
4. CUT SHEETS OF ALL DEVICES SHALL BE SUBMITTED TO ARCHITECT PRIOR TO PURCHASE AND INSTALLATION.
5. FIRE SUPPRESSION SHALL BE PROVIDED IN NEW DWELLING UNIT, ATTACHED GARAGE AND ANY CRAWL SPACES IF APPLICABLE. THE AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM WILL COMPLY WITH NFPA 13R, MONITORED BY AN APPROVED FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA 72, AND PER REQ'S OF AUTHORITY HAVING JURISDICTION.

**T. COUNTY RIGHT-OF-WAY**

1. AN EXCAVATION AND ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY IMPROVEMENTS N THE COUNTY RIGHT-OF-WAY. PERMIT MUST BE OBTAIN BY COUNTY APPROVED CONTRACTOR.
2. A REVOCABLE OCCUPANCY PERMIT MUST BE OBTAINED SHALL THE BEAR BOX LOCATION BE WITHIN 12' OF EDGE OF PAVEMENT.

**U. FLOODPLAIN NOTES**

1. ALL NEW CONSTRUCTION, SUBSTANTIAL IMPROVEMENTS, AND DEVELOPMENT SHALL BE CONSTRUCTED WITH MATERIALS AND UTILITY EQUIPMENT RESISTANT TO FLOOD DAMAGE IN ACCORDANCE WITH FEMA TECHNICAL BULLETIN 2. FLOOD DAMAGE-RESISTANT MATERIALS REQUIREMENTS. ALL MATERIALS LOCATED BELOW THE BASE FLOOD ELEVATION SHALL MEET THE REQUIREMENT OF BEING FLOOD RESISTANT.
2. ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS SHALL BE ANCHORED TO PREVENT FLOTATION, COLLAPSE, OR LATERAL MOVMENT OF THE STRUCTURE RESULTING FROM HYDRODYNAMIC AND HYDROSTATIC LOADS, INCLUDING THE EFFECTS OF BUOYANCY.
3. ALL NEW AND REPLACEMENT ELECTRICAL, HEATING, VENTILATION, PLUMBING, AIR CONDITIONING EQUIPMENT, AND OTHER SERVICE FACILITIES SHALL BE DESIGNED AND/OR LOCATED SO AS TO PREVENT WATER FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS DURING CONDITIONS OF FLOODING TO THE FLOOD PROTECTION ELEVATION. THESE INCLUDE, BUT ARE NOT LIMITED TO, HVAC EQUIPMENT, WATER SOUTENER UNITS, BATH/KITCHEN FIXTURES, DUCTWORK, ELECTRIC/GAS METER PANELS/BOXES, UTILITY/CABLE BOXES, HOT WATER HEATERS, AND ELECTRIC OUTLETS/SWITCHES.

**450 WOOD RIVER**

**OWNER:**

**450-490 WOOD RIVER, LLC**  
ATT: FRAZIER CAVNESS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

**PROJECT ARCHITECT:**

**RO | ROCKETT DESIGN,**  
101 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

**CONTRACTOR:**

**BUTLER ASSOCIATES, INC.**  
411 W. MAIN STREET  
KETCHUM, ID 83340  
TEL: 208.720.6432

**GEOTECHNICAL ENGINEER:**

**BUTLER ASSOCIATES, INC.**  
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**CIVIL ENGINEER:**

**BENCHMARK ASSOCIATES**  
100 BELL DRIVE  
KETCHUM, ID 83340  
TEL: 208.726.9512

**LANDSCAPE ARCHITECT:**

**FIELD STUDIO LANDSCAPE ARCHITECTS**  
722 N. ROUSE AVENUE  
BOZEMAN, MT 59

Ketchum Fire Department

FIRE COMMENTS MEMO

To: Frazier Cavness
CC: Ketchum Building
From: Seth Martin, Assistant Chief / Fire Marshal
Date: December 26, 2023
Subject: 450 Wood River Dr

It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1217 requirements in addition to all City of Ketchum requirements in effect at the time of Building Permit issuance.

The above project shall meet all 2018 International Fire Code requirements in addition to specific City Building and Fire Ordinances.

An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1217 (www.ketchumfire.org) and the National Fire Protection Association Standard 13.

NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshals office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems.

An approved monitored fire detection system shall be installed per City of Ketchum Ordinance #1217 (www.ketchumfire.org) and the requirements of NFPA 72.

An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1217 (www.ketchumfire.org) and the requirements of NFPA 72.

An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department.

An approved access roadway per 2018 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site.

Smoke and Carbon Monoxide Detectors shall be installed per NFPA and the International Fire Code. Smoke detectors shall be installed inside each bedroom, within 21' of each sleeping area.

Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building.

Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property.

Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building.

This project shall comply with the City of Ketchum Fire Protection and defensible space characteristics. Exterior windows, window walls, glazed doors, windows within exterior doors, and skylights shall be tempered glass.

resistive vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations.

Note: Additional requirements may be added upon final plan review.

450 WOOD RIVER

OWNER:
450-490 WOOD RIVER, LLC
ATTN: FRAZIER CAVNESS
P.O. BOX 14001-174
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LABIB FUNK & ASSOCIATES
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EL SEGUNDO, CA 90245
TEL: 213.239.9700

MEP ENGINEER:

CONSULTING ENGINEERING SERVICES (CES)
1001 W OAK BLDG
BOZEMAN, MT 59715
TEL: 406.272.0352

LIGHTING:

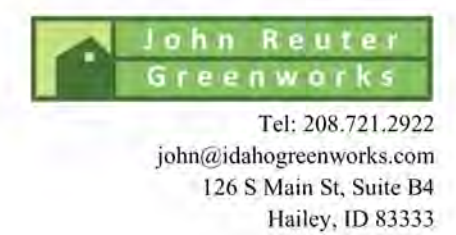
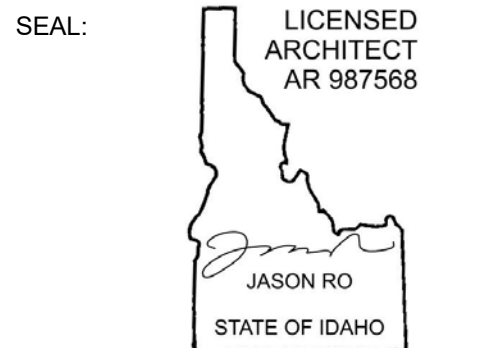
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450 Wood River Drive
2018 IECC Prescriptive Path with Idaho Amendment
August 18, 2023

The new residence at 450 Wood River Drive, Ketchum, ID intends to use the 2018 IECC prescriptive path with Idaho amendment for insulation and fenestration requirements for climate zone 6, as shown in the table below:

Table with 11 columns: Climate Zone, Fenestration U-Factor, Skylight U-factor, Glazed Fenestration SHGC, Ceiling R-Value, Wood Frame Wall R-Value, Mass Wall R-Value, Floor R-Value, Basement Wall R-Value, Slab R-Value & Depth, Crawlspace Wall R-Value. Rows for Climate Zones 5 and 6.

Source: Division of Building Safety, 2020, Idaho Statutes and Administrative Rules, page 8

Specifically, this project intends to use the following components:

Table with 3 columns: Building Component, Insulation Type, R-value / U-value. Rows for Slab, Floors Overhangs and over Garage, Above Grade Walls, Windows and Glass Doors, Solid Doors, Ceilings.

Handwritten signature of John Reuter.

PROJECT NUMBER

2108

DRAWING TITLE:

ENERGY & FIRE DEPT DOCUMENTS

DRAWING NUMBER:

G-005

NOT FOR CONSTRUCTION

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5 SCALE: NTS N ELEVATION



3 SCALE: NTS S ELEVATION



4 SCALE: NTS SE PERSPECTIVE / BACKYARD



2 SCALE: NTS SW PERSPECTIVE / BACKYARD



[A] INTEGRALLY COLORED CONCRETE TO MATCH GRANITE



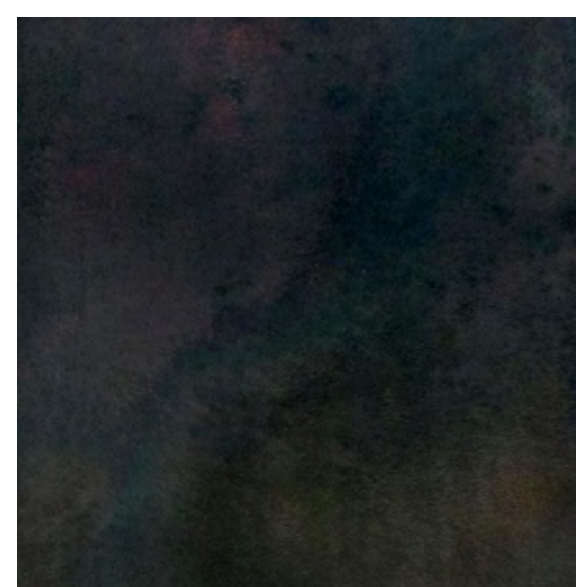
[B] STAINED SAWN CEDAR



[C] FREEFORM NATURAL STONE



[D] LIGHT GRAY PAVERS



[E] BLACK POWDER-COATED METAL

1 SCALE: NTS MATERIALS

**BUILDING ELEVATION NOTES:**  
1. NOTE: PLEASE SEE SHEET G-010 FOR PERMISSIBLE BUILDING HEIGHT DETERMINATION.  
2. ALL MATERIALS TO BE NON-GLARE FINISH, TYP  
3. SEE G-013 FOR BUILDING MATERIALS.

**450 WOOD RIVER**

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**450-490 WOOD RIVER, LLC**  
ATTN: FRAZIER CAVNESS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

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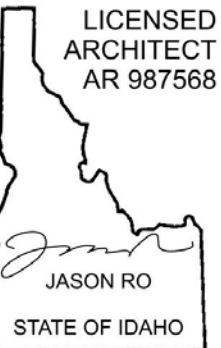
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SEAL: **LICENSED ARCHITECT AR 987568**  
  
JASON RO  
STATE OF IDAHO

NO	DATE	ISSUE
1	04.16.2024	FDP APP RESUBMITTAL
	12.13.2023	FDP APPLICATION

PROJECT:  
**450 WOOD RIVER**  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

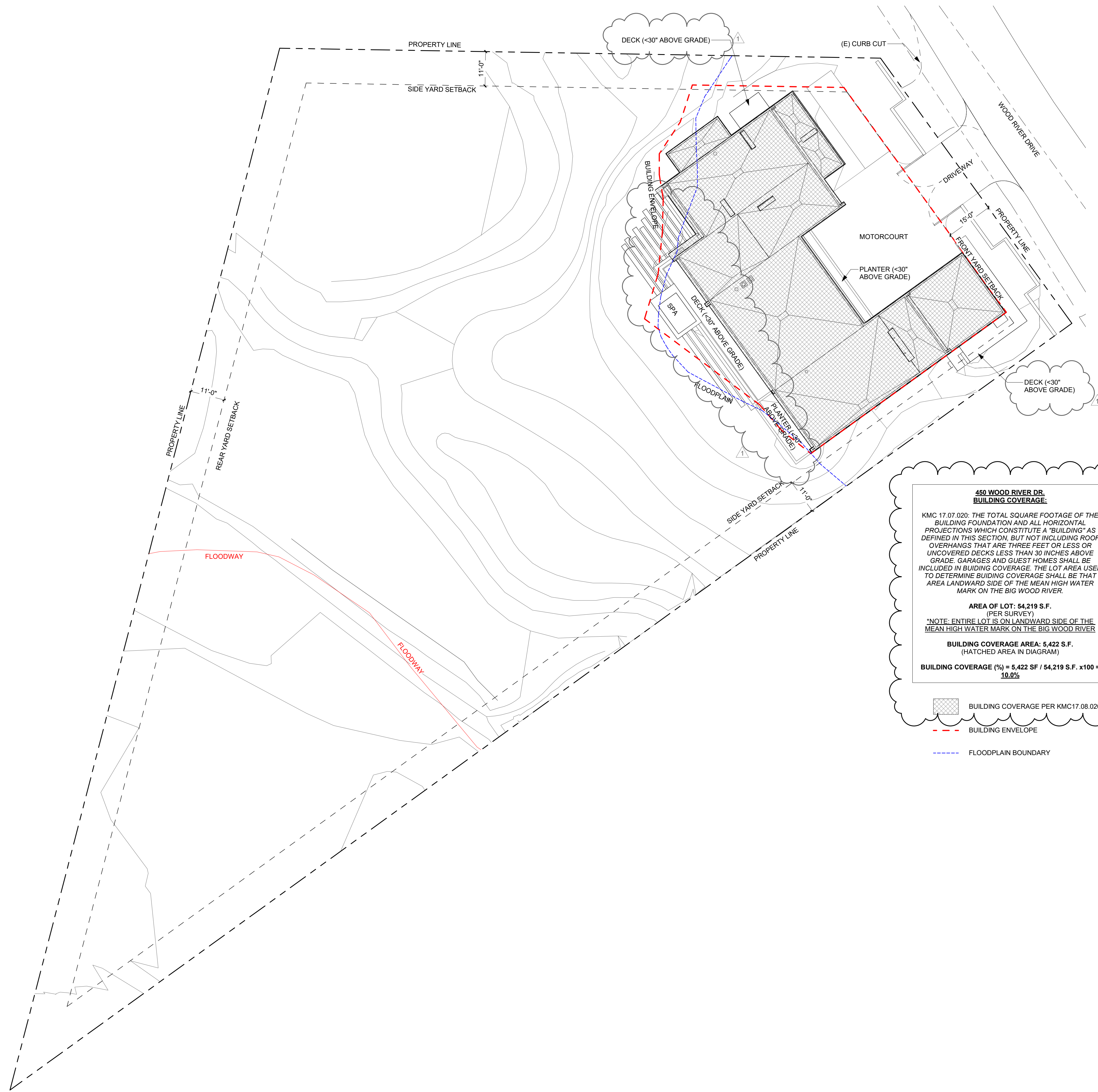
PROJECT NUMBER:  
**2108**

DRAWING TITLE:  
**PERSPECTIVE VIEWS & MATERIALS**

DRAWING NUMBER:  
**G-010**

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**450 WOOD RIVER DR.  
BUILDING COVERAGE:**

KMC 17.07.020: THE TOTAL SQUARE FOOTAGE OF THE BUILDING FOUNDATION AND ALL HORIZONTAL PROJECTIONS WHICH CONSTITUTE A "BUILDING" AS DEFINED IN THIS SECTION, BUT NOT INCLUDING ROOF OVERHANGS THAT ARE THREE FEET OR LESS OR UNCOVERED DECKS LESS THAN 30 INCHES ABOVE GRADE. GARAGES AND GUEST HOMES SHALL BE INCLUDED IN BUILDING COVERAGE. THE LOT AREA USED TO DETERMINE BUILDING COVERAGE SHALL BE THAT AREA LANDWARD SIDE OF THE MEAN HIGH WATER MARK ON THE BIG WOOD RIVER.

**AREA OF LOT: 54,219 S.F.**  
(PER SURVEY)  
\*NOTE: ENTIRE LOT IS ON LANDWARD SIDE OF THE MEAN HIGH WATER MARK ON THE BIG WOOD RIVER

**BUILDING COVERAGE AREA: 5,422 S.F.**  
(HATCHED AREA IN DIAGRAM)

**BUILDING COVERAGE (%) = 5,422 SF / 54,219 S.F. x100 = 10.0%**

BUILDING COVERAGE PER KMC17.08.020  
 BUILDING ENVELOPE  
 FLOODPLAIN BOUNDARY

**450 WOOD RIVER**

OWNER:  
**450-490 WOOD RIVER, LLC**  
 ATTN: MATT SCOGGINS  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD. UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

CONTRACTOR:

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES**  
 100 BELL DRIVE  
 KETCHUM, ID 83340  
 TEL: 208.726.9512

LANDSCAPE ARCHITECT:  
**FIELD STUDIO LANDSCAPE ARCHITECTS**  
 722 N. ROUSE AVENUE  
 BOZEMAN, MT 59715  
 TEL: 406.551.2098

STRUCTURAL ENGINEER:  
**LABIB FUNK & ASSOCIATES**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

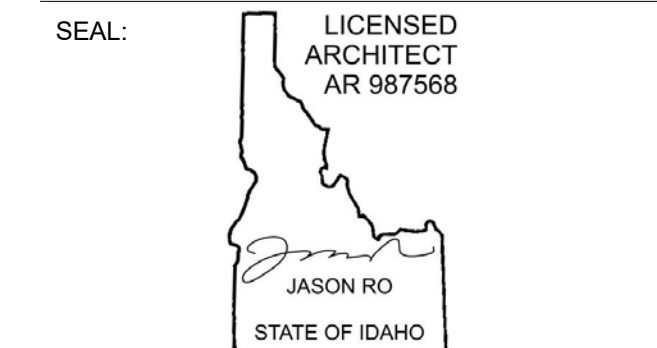
MEP ENGINEER:  
**CONSULTING ENGINEERING SERVICES (CES)**  
 1001 W OAK BLDG  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

AV:  
**AUDIO VIDEO SYSTEMS, INC.**  
 2700 HOMESTEAD RD  
 PARK CITY, UT 84098  
 TEL: 801.649.5200

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1	04.16.2024	FDP APP RESUBMITTAL
	12.13.2023	FDP APPLICATION
NO	DATE	ISSUE

PROJECT:  
**450 WOOD RIVER**  
 450 WOOD RIVER DRIVE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**2108**

DRAWING TITLE:  
**BUILDING COVERAGE CALCULATIONS**

DRAWING NUMBER:  
**G-011**

**NOT FOR CONSTRUCTION**

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Tue 04/16/24 9:17:56 AM

SCHEDULE - FINISH MATERIALS

IDENTIFIER	DESCRIPTION	LOCATION	MANUFACTURER	MODEL	DIMENSIONS	SPECIES/COLOR	FINISH	COMMENTS
BRK-1	FIREBRICK	RM 101 FP-1, RM 111 FP-2, DECK FP-4	ISOKERN	FIRE BRICK	9" x 4.5" x 1.25"	BLACK - SPLIT	MATTE	CUT FIREBRICK IN HALF ALONG LONG EDGE AND INSTALL IN A STACKED BOND W/ GROUT TO MATCH. FINISHED SIZE 9" x 2" x 1.25"
EPX-1	EPOXY RESIN	RM 106, 113, 204, 214 MECH ROOMS	PENNTEK EVOLUTION COATINGS	POLYASPARTIC POLYUREA CHIP SYSTEM	-	TBD	TBD	PROVIDE 1/16" CUSTOM COLOR FLAKE MIX
GL-1	TEMPERED GLASS	ALL SHOWER DOORS	VITRO OR APPROVED EQ	STARPHIRE	1/2" THICK	CLEAR WATER WHITE	POLISHED / (1) ACID ETCHED ONE SIDE / (2) ACID ETCHED BOTH SIDES	SIZE CRITICAL, FLAT POLISHED EDGES, TEMPERED AS REQ BY APPLICATION AND CODE
GL-2	FROSTED TEMPERED GLASS	VARIES	CUSTOM	-	PER MANUF	SEE WINDOW SCHEDULE	FROSTED	SEE WINDOW SCHEDULE
GL-4	TEMPERED MIRROR GLASS	ALL BATHROOMS	VITRO OR APPROVED EQ	STARPHIRE	1/4" THK	MIRROR	POLISHED	SIZE CRITICAL, FLAT POLISHED EDGES
GL-5	TINTED TEMPERED MIRROR GLASS	RM 113 POWDER	BENDHEIM OR APPROVED EQ	-	1/2" THK	BRONZE TINTED MIRROR	ANTI-GLARE	SIZE CRITICAL, FLAT POLISHED EDGES
LTH-1	LEATHER	ENTRY DOOR PULL	EDELMAN	TBD	-	BROWN	SMOOTH	PROVIDE SADDLE STITCHING
MTL-1	PTD SHEET METAL	EXTERIOR FLASHING & REVEALS	DREXEL OR EQUAL	TBD	22 GA	TBD	LOW GLOSS	-
MTL-2	PTD PLATE STEEL / BAR STOCK	VARIES	CUSTOM	CUSTOM COLD ROLLED	-	SEE DWGS	PRIMED + PAINTED	-
PLAM-1	ACRYLIC LAMINATE	RM 213 LAUNDRY CSWK OUTERS	FENIX OR APPROVED EQ	J0032 BIANCO KOS	-	WHITE	WHITE	-
PLAM-2	MELAMINE ON MDF	RM 213 LAUNDRY CSWK INNERS	-	-	-	WHITE	WHITE	-
PLAS-1	GWB PLASTER FINISH WET LOCATION	ALL BATHROOMS	TEXSTON	HYDROLIME 125	-	CM-6918-REG-SDGNS-031822	MATTE	TROWEL SMOOTH, PROVIDE WATERPROOF ADDITIVE TO MIX, MATCH BENJAMIN MOORE OC-17 WHITE DOVE
PNT-1	GWB PAINT FINISH	INT WALLS & CEILINGS	BENJIMAN MOORE OR APPROVED EQ	AURA	-	OC-17 WHITE DOVE	EGGSHELL @ WALLS & DAMP / FLAT @ CLGNS	PROVIDE PRIMER & TWO COATS
SSM-1	SOLID SURFACE	SHOWER NICHE, TYP	DUPONT	CORIAN	1/2" THK	RICE PAPER	HONED	-
SSM-2	SOLID SURFACE	RM 213 LAUNDRY COUNTERTOP	DUPONT	CORIAN	1/2" THK	GLACIER WHITE	HONED	-
STN-1	STONE FLOOR TILE	LEVEL 01 & LEVEL 02 FLOORS	MATERIAL BESPOKE STONE + TILE	AVALON KAHLA GREY	12"x24"	KAHLA GREY	FLAMED	3/16" GROUT JOINT, COLOR TBD
STN-2	FREIFORM STONE WALL	RM 101 FP-1 & DECK FP-4 WALLS	SELECT STONE	MUDDY CREEK TUMBLED ASHLAR	VARIES / 2" THK	MUDDY CREEK	NATURAL CLEFT	RANDOMIZED INSTALLATION W/ OVERGROUTED JOINTS, COLOR TBD BY ARCHITECT
STN-3	ROUGH STONE SLAB	RM 113 POWDER; RM 101 FP MANTLE	SELECT STONE	NIAGARA DOLOMITE	3/4" THK UNO	LIMESTONE	SPLITFACE	-
STN-4	DARK STONE SLAB	RM 102 KITCHEN & RM 111 REC	STONELAND	TBD	3/4" THK UNO	TBD	HONED	PROVIDE \$80/SF MATERIAL COST ALLOWANCE, STONE TO BE SHIPPED FROM LOS ANGELES
STN-5	STONE SLAB	RM 108, 208, 212, 216 TYP BATH COUNTER & WALLS	STONELAND	TBD	3/4" THK UNO	TBD	HONED	PROVIDE \$40/SF MATERIAL COST ALLOWANCE, STONE TO BE SHIPPED FROM LOS ANGELES
STN-6	HONED STONE SLAB	RM 113 POWDER	SELECT STONE	NIAGARA DOLOMITE	3/4" THK UNO	LIMESTONE	HONED	3/16" GROUT JOINT, COLOR TBD
STN-7	STONE SLAB	RM 206 PRIMARY BATH WALLS & COUNTERS	STONELAND	TBD	3/4" THK UNO	TBD	HONED	PROVIDE \$80/SF MATERIAL COST ALLOWANCE, STONE TO BE SHIPPED FROM LOS ANGELES
STN-8	RIVER ROCK ROOF BALLAST	LOW ROOFS	SELECT STONE	-	1.5" MIN DIAMETER	GRAY RIVER ROCK	SMOOTH, ROUNDED	-
STN-9	EXT STONE FLOOR TILE	LEVEL 02 EXTERIOR SLIDING DOOR SILLS	STONELAND	TBD	3/4" THK UNO	BLACK GRANITE	TBD	-
TL-1	CERAMIC TILE	RM 213 LAUNDRY BACKSPLASH	ANN SACKS	ELEMENTS FIELD TILE	1.75" x 11"	WHITE	MATTE	STACKED BOND 1/8" NON-SANDED GROUT JOINT, COLOR TBD
TXT-1	UPHOLSTERY	RM 100 FOYER & RM 104 MUD	TBD	TBD	TBD	TBD	TBD	PROVIDE MATERIAL ALLOWANCE OF \$150/YD
WD-1	WOOD SIDING - INTERIOR	INTERIOR WD WALLS & CEILINGS	MADERA	WALL / CEILING PANELING	3/4" x 6"	ENGINEERED PLAIN SAWN AMERICAN WHITE OAK T&G PANELS	MATTE	CONCEALED FASTENERS. SEE INT ELEVATIONS FOR ORIENTATION. PROVIDE MATERIAL ALLOWANCE OF \$20/SF.
WD-1E	WOOD SIDING - EXTERIOR	EXTERIOR WD WALLS & CEILINGS	RESAWN LUMBER	TAKU - T&G SIDING	3/4" x 6"	WEATHERED ALASKAN YELLOW CEDAR	TAKU	SEAL ALL SIDES. CONCEALED / BLIND SS FASTENERS. SEE EXT ELEVATIONS FOR SIDING ORIENTATION.
WD-2	EXTERIOR WOOD SLAT	EXTERIOR SCREENS	RESAWN LUMBER	TAKU - SOLID STOCK	SEE DWGS	WEATHERED ALASKAN YELLOW CEDAR	TAKU	SEAL ALL SIDES. CONCEALED / BLIND SS FASTENERS. SEE EXT ELEVATIONS FOR SIDING ORIENTATION.
WD-3	SOLID WOOD	INTERIOR SLATS / SCREENS / DOOR FRAMES	CUSTOM	-	SEE DWGS	LIVE SAWN AMERICAN WHITE OAK, MATCH WD-1	CLEAR MATTE POLYURETHANE	-
WD-4	WOOD FLOORING	BED 1 & LEVEL 02 FLOOR	MADERA	TBD	3/4" x 8"	LIVE SAWN WHITE OAK	DANIELLE	-
WD-5	WOOD VENEER	CASEWORK / DOORS / WALL PANELS	GL VENEER	-	-	TO BE SELECTED BY ARCHITECT	TO BE SELECTED BY ARCHITECT	CLEAR PREMIUM GRADE; SOLID WOOD TRANSITION PIECES AS NEEDED; ARCHITECT TO SELECT VENEERS AND LAYOUT; SOURCED FROM GL VENEERS IN LOS ANGELES. CA VENEERS TO BE LAID UP IN SEQUENCE PER ARCHITECT INSTRUCTIONS AND CUSTOM MOUNTED TO BALTIC BIRCH PLYWOOD; BOOKMATCHED AND USED IN SEQUENCE THROUGHOUT ROOMS

450 WOOD RIVER

OWNER:

450-490 WOOD RIVER, LLC  
ATTN: FRAZIER CAVNESS  
P.O. BOX 1400174  
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

CONTRACTOR:

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P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

CIVIL ENGINEER:

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100 BELL DRIVE  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO LANDSCAPE ARCHITECTS  
722 N. ROUSE AVENUE  
BOZEMAN, MT 59715  
TEL: 406.551.2098

STRUCTURAL ENGINEER:

LABIB FUNK & ASSOCIATES  
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EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:

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1001 W OAK BLDG  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING:

KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

AV:

AUDIO VIDEO SYSTEMS, INC.  
2700 HOMESTEAD RD  
PARK CITY, UT 84098  
TEL: 801.649.5200

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SEAL:



NO	DATE	FDP APPLICATION ISSUE
12.13.2023		

PROJECT:

450 WOOD RIVER  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

PROJECT NUMBER

2108

DRAWING TITLE:

FINISH MATERIAL  
SCHEDULE

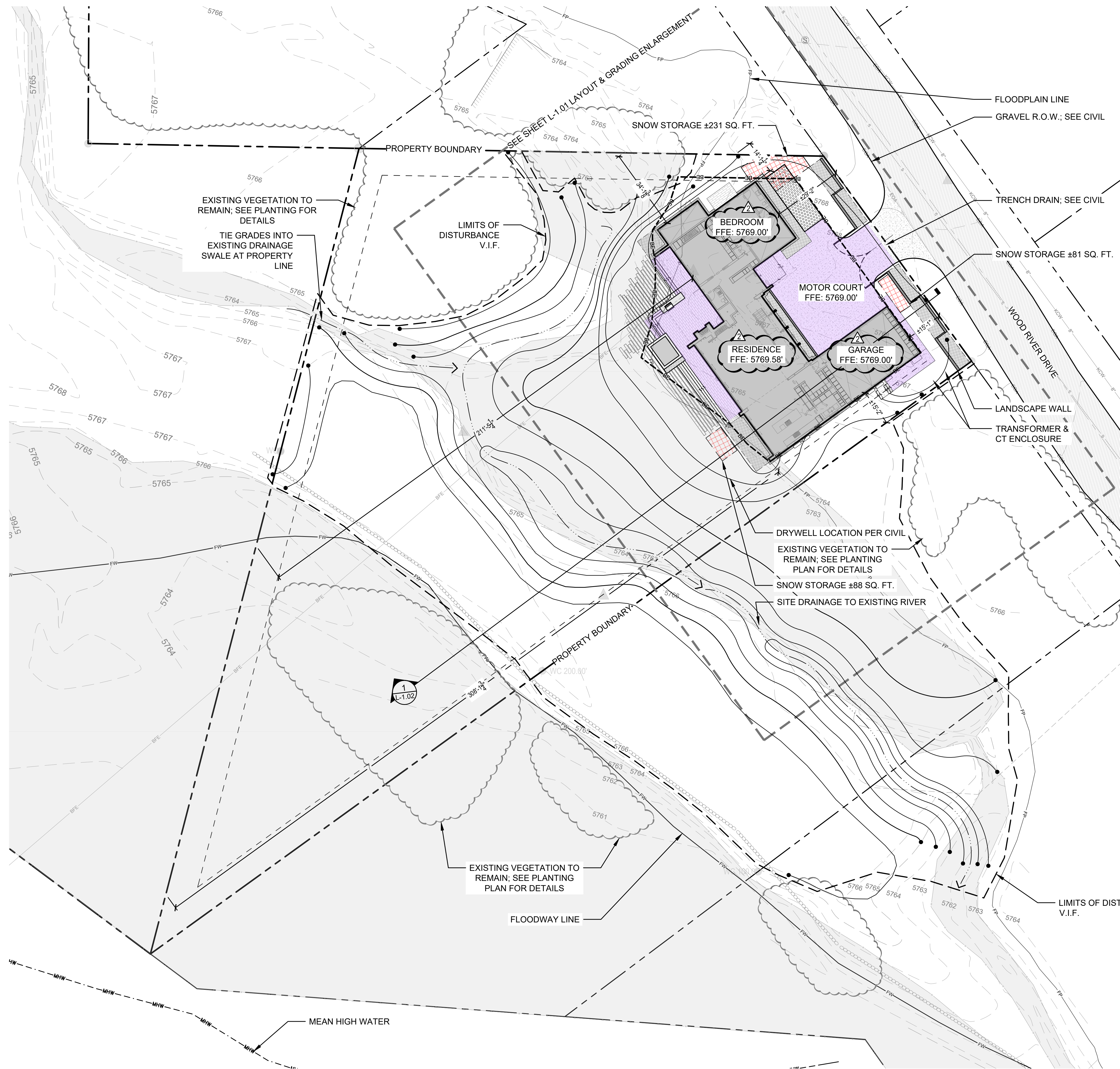
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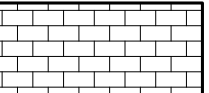
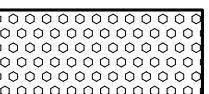
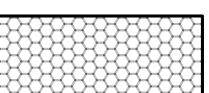
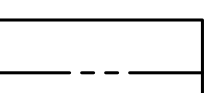
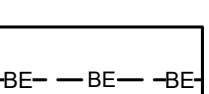
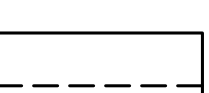

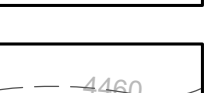
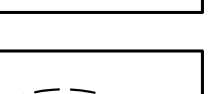

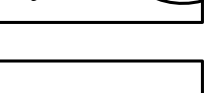


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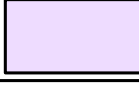

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**LEGEND**

-  CONCRETE, ±2,353 SF, V.I.F
-  STONE PAVER; ±1,714 SF, V.I.F.
-  PAVERS WITH PLANTED JOINTS; ±260 SF, V.I.F.
-  12" HORIZONTAL CRUSHED AGGREGATE
-  PROPERTY BOUNDARY
-  BUILDING ENVELOPE
-  LIMITS OF DISTURBANCE
-  VEGETATION TO REMAIN
-  EXISTING CONTOURS
-  SWALE
-  PROPOSED CONTOUR
-  LANDSCAPE WALL
-  PLANTING AREA; SEE PLANTING PLANS
-  JURISDICTIONAL WETLAND; ±98,465 SF SEE ARMY CORP JOINT APPLICATION TO RESTORATION PLAN

SNOW STORAGE CALCULATIONS	
SNOW STORAGE PROVIDED (AS PERCENTAGE OF DRIVEWAY/PEDESTRIAN AREA)	30.00%
DRIVEWAY & PEDESTRIAN AREA	±4,067 SQ. FT.
 SNOWMELT AREA	±2,840 SQ. FT.
NON-SNOWMELT AREA	±1,226 SQ. FT.
SNOW STORAGE REQUIRED	±368 SQ. FT.
 SNOW STORAGE PROVIDED - SEE DIMENSIONS ON L-1.01	±400 SQ. FT.

THESE CALCULATIONS ARE IN COMPLIANCE WITH CITY OF KETCHUM CODE

**FIELD STUDIO**  
LANDSCAPE ARCHITECTS

722 N. ROUSE AVE.  
BOZEMAN, MT 59715  
(406) 551-2098  
www.fieldstudiola.com

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PROJECT NUMBER: 2219

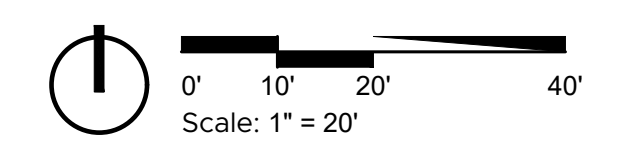
450 WOOD RIVER DRIVE  
KETCHUM, ID

DATE	ISSUE
2023.11.29	FDP SET
2024.02.14	FDP REV.
2024.04.15	FDP REV.

SHEET TITLE

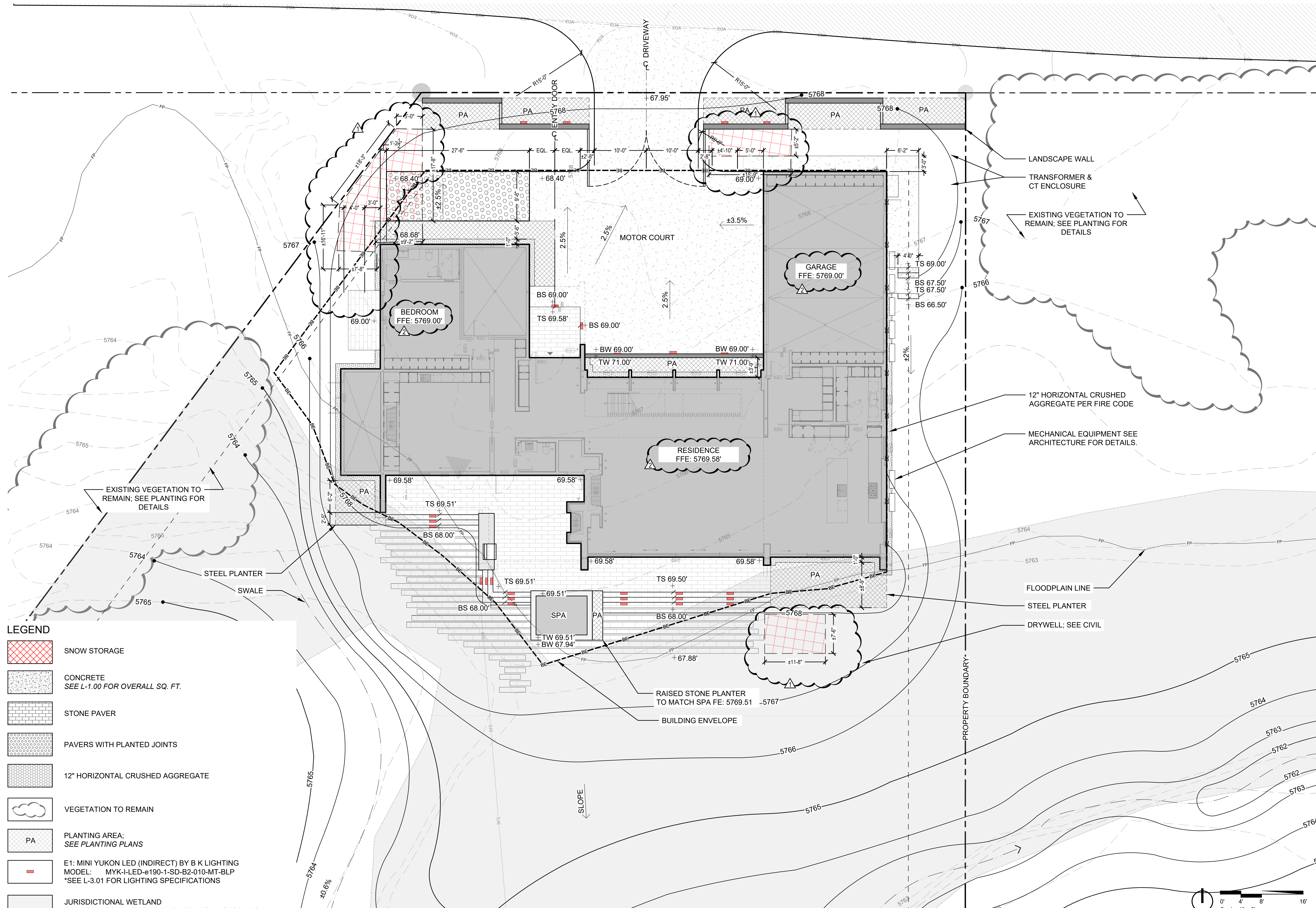
OVERALL MATERIALS & GRADING

SHEET 1 OF 6  
**L-1.00**





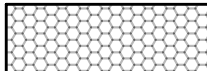


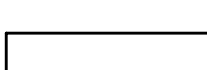
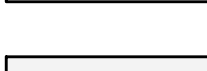


PRELIMINARY • NOT FOR CONSTRUCTION





**LEGEND**

-  SNOW STORAGE
-  CONCRETE  
SEE L-1.00 FOR OVERALL SQ. FT.
-  STONE PAVER
-  PAVERS WITH PLANTED JOINTS
-  12" HORIZONTAL CRUSHED AGGREGATE
-  VEGETATION TO REMAIN
-  PLANTING AREA;  
SEE PLANTING PLANS
-  E1: MINI YUKON LED (INDIRECT) BY B K LIGHTING  
MODEL: MYK-I-LED-e190-1-SD-B2-010-MT-BLP  
\*SEE L-3.01 FOR LIGHTING SPECIFICATIONS
-  JURISDICTIONAL WETLAND  
SEE ARMY CORP JOINT APPLICATION TO RESTORATION PLAN

LANDSCAPE WALL

TRANSFORMER & CT ENCLOSURE

EXISTING VEGETATION TO REMAIN; SEE PLANTING FOR DETAILS

12" HORIZONTAL CRUSHED AGGREGATE PER FIRE CODE

MECHANICAL EQUIPMENT SEE ARCHITECTURE FOR DETAILS.

FLOODPLAIN LINE

STEEL PLANTER

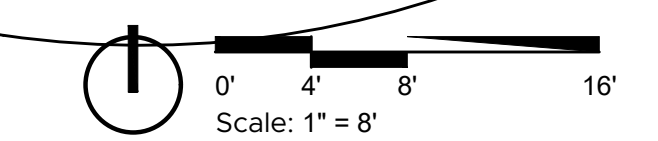
DRYWELL; SEE CIVIL

PROPERTY BOUNDARY

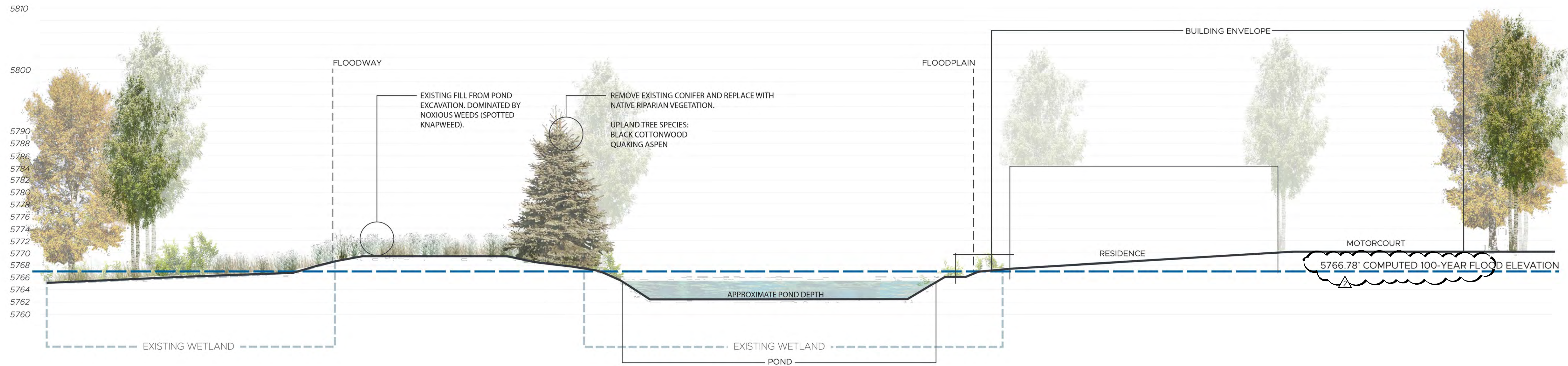
DATE	ISSUE
2023.11.29	FDP SET
2024.02.14	FDP REV.
2024.04.15	FDP REV.

SHEET TITLE

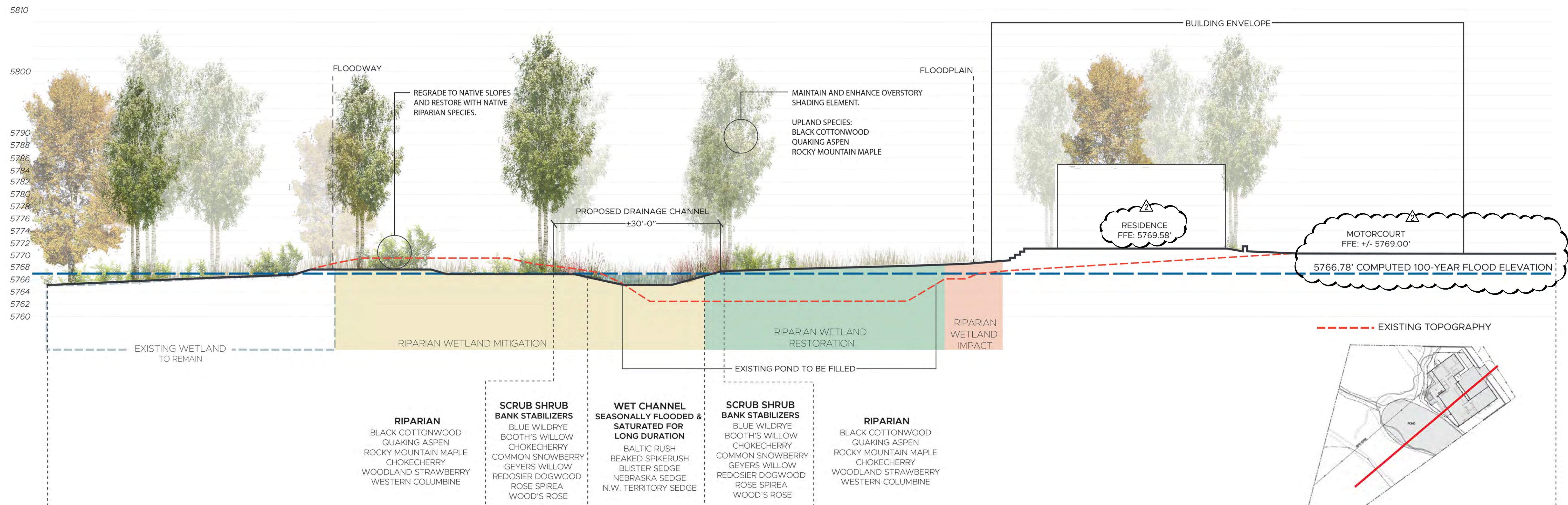
**LAYOUT & GRADING ENLARGEMENT**



**EXISTING CONDITIONS**



**PROPOSED CONDITIONS**



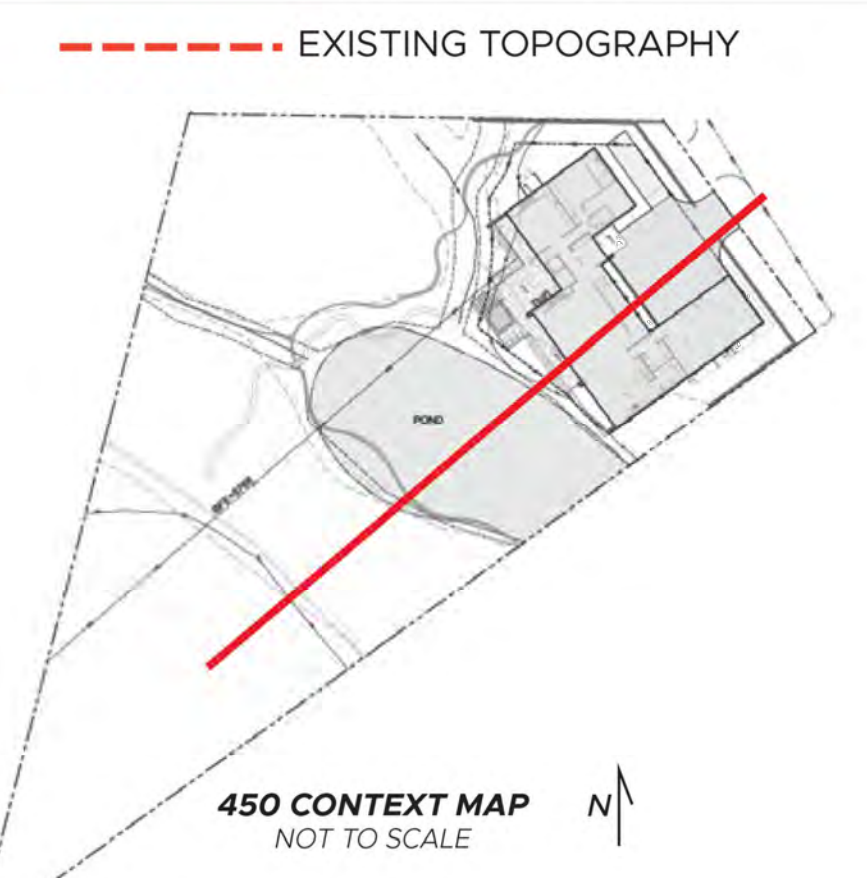
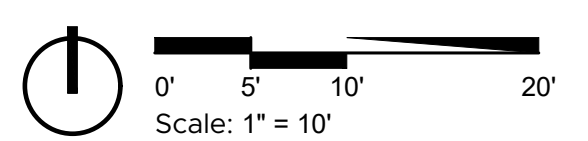
**RIPARIAN**  
BLACK COTTONWOOD  
QUAKING ASPEN  
ROCKY MOUNTAIN MAPLE  
CHOKECHERRY  
WOODLAND STRAWBERRY  
WESTERN COLUMBINE

**SCRUB SHRUB BANK STABILIZERS**  
BLUE WILDRIE  
BOOTH'S WILLOW  
CHOKECHERRY  
COMMON SNOWBERRY  
GEYERS WILLOW  
REDOSIER DOGWOOD  
ROSE SPIREA  
WOOD'S ROSE

**WET CHANNEL SEASONALLY FLOODED & SATURATED FOR LONG DURATION**  
BAL TIC RUSH  
BEAKED SPIKERUSH  
BLISTER SEDGE  
NEBRASKA SEDGE  
N.W. TERRITORY SEDGE

**SCRUB SHRUB BANK STABILIZERS**  
BLUE WILDRIE  
BOOTH'S WILLOW  
CHOKECHERRY  
COMMON SNOWBERRY  
GEYERS WILLOW  
REDOSIER DOGWOOD  
ROSE SPIREA  
WOOD'S ROSE

**RIPARIAN**  
BLACK COTTONWOOD  
QUAKING ASPEN  
ROCKY MOUNTAIN MAPLE  
CHOKECHERRY  
WOODLAND STRAWBERRY  
WESTERN COLUMBINE



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PROJECT NUMBER: 2219

**450 WOOD RIVER DRIVE**  
KETCHUM, ID

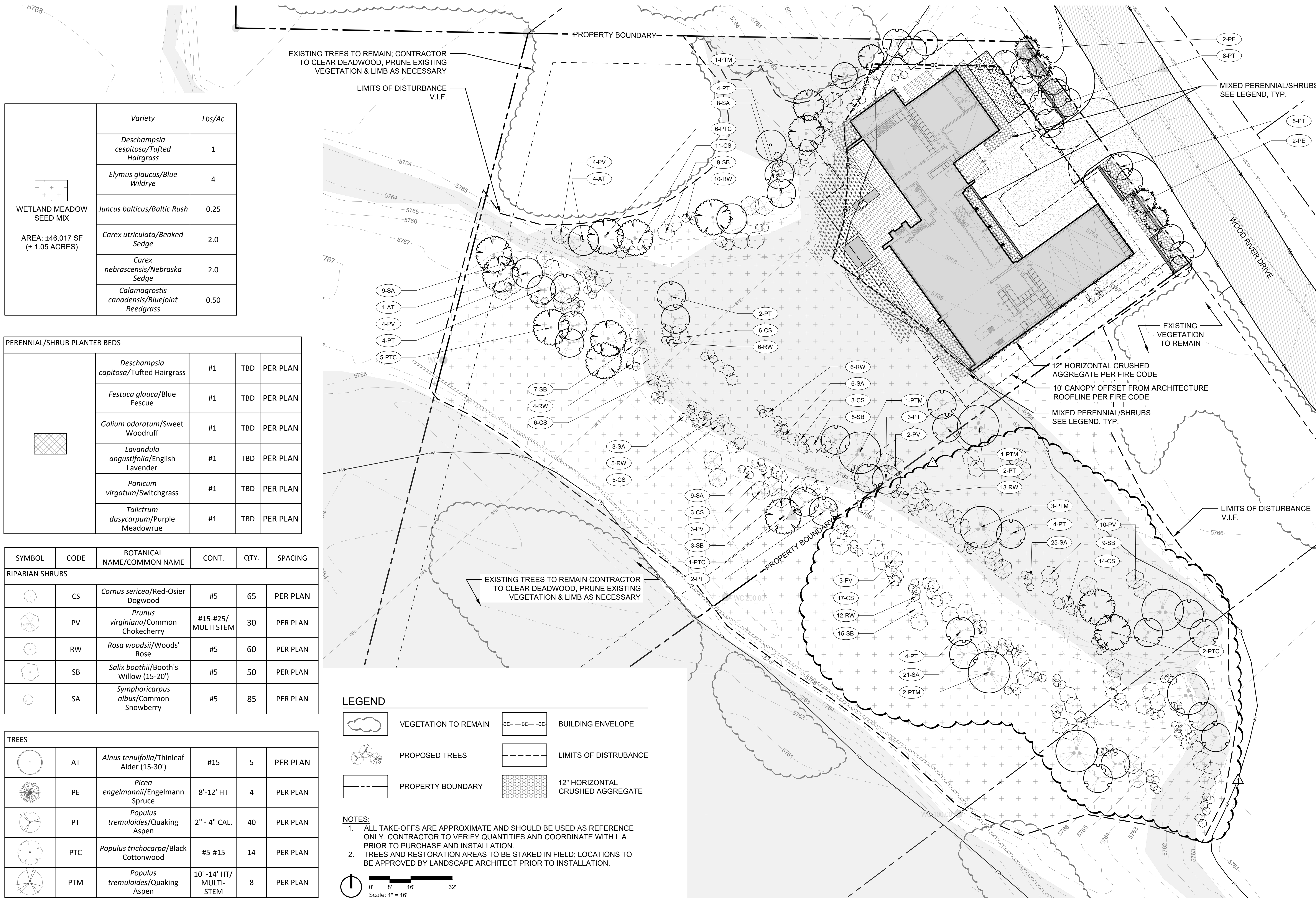
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2024.04.15	FDP REV.

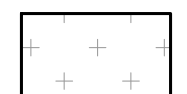
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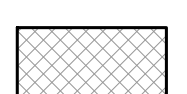
CROSS SECTION






SHEET 3 OF 6  
**L-1.02**



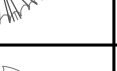


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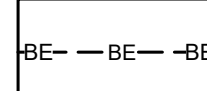

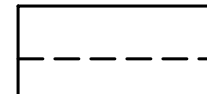
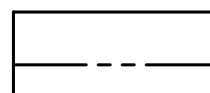
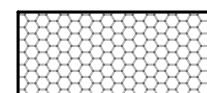
	Variety	Lbs/Ac
 <b>WETLAND MEADOW SEED MIX</b> AREA: ±46,017 SF (± 1.05 ACRES)	<i>Deschampsia cespitosa</i> /Tufted Hairgrass	1
	<i>Elymus glaucus</i> /Blue Wildrye	4
	<i>Juncus balticus</i> /Baltic Rush	0.25
	<i>Carex utriculata</i> /Beaked Sedge	2.0
	<i>Carex nebrascensis</i> /Nebraska Sedge	2.0
	<i>Calamagrostis canadensis</i> /Bluejoint Reedgrass	0.50

PERENNIAL/SHRUB PLANTER BEDS				
	<i>Deschampsia caputosa</i> /Tufted Hairgrass	#1	TBD	PER PLAN
	<i>Festuca glauca</i> /Blue Fescue	#1	TBD	PER PLAN
	<i>Galium odoratum</i> /Sweet Woodruff	#1	TBD	PER PLAN
	<i>Lavandula angustifolia</i> /English Lavender	#1	TBD	PER PLAN
	<i>Panicum virgatum</i> /Switchgrass	#1	TBD	PER PLAN
	<i>Talictum dasycarpum</i> /Purple Meadowrue	#1	TBD	PER PLAN

SYMBOL	CODE	BOTANICAL NAME/COMMON NAME	CONT.	QTY.	SPACING
<b>RIPARIAN SHRUBS</b>					
	CS	<i>Cornus sericea</i> /Red-Osier Dogwood	#5	65	PER PLAN
	PV	<i>Prunus virginiana</i> /Common Chokecherry	#15-#25/ MULTI STEM	30	PER PLAN
	RW	<i>Rosa woodsii</i> /Woods' Rose	#5	60	PER PLAN
	SB	<i>Salix boothii</i> /Booth's Willow (15-20')	#5	50	PER PLAN
	SA	<i>Symphoricarpus albus</i> /Common Snowberry	#5	85	PER PLAN

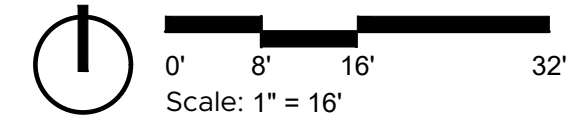
<b>TREES</b>					
	AT	<i>Alnus tenuifolia</i> /Thinleaf Alder (15-30')	#15	5	PER PLAN
	PE	<i>Picea engelmannii</i> /Engelmann Spruce	8'-12' HT	4	PER PLAN
	PT	<i>Populus tremuloides</i> /Quaking Aspen	2" - 4" CAL.	40	PER PLAN
	PTC	<i>Populus trichocarpa</i> /Black Cottonwood	#5-#15	14	PER PLAN
	PTM	<i>Populus tremuloides</i> /Quaking Aspen	10' - 14' HT/ MULTI-STEM	8	PER PLAN

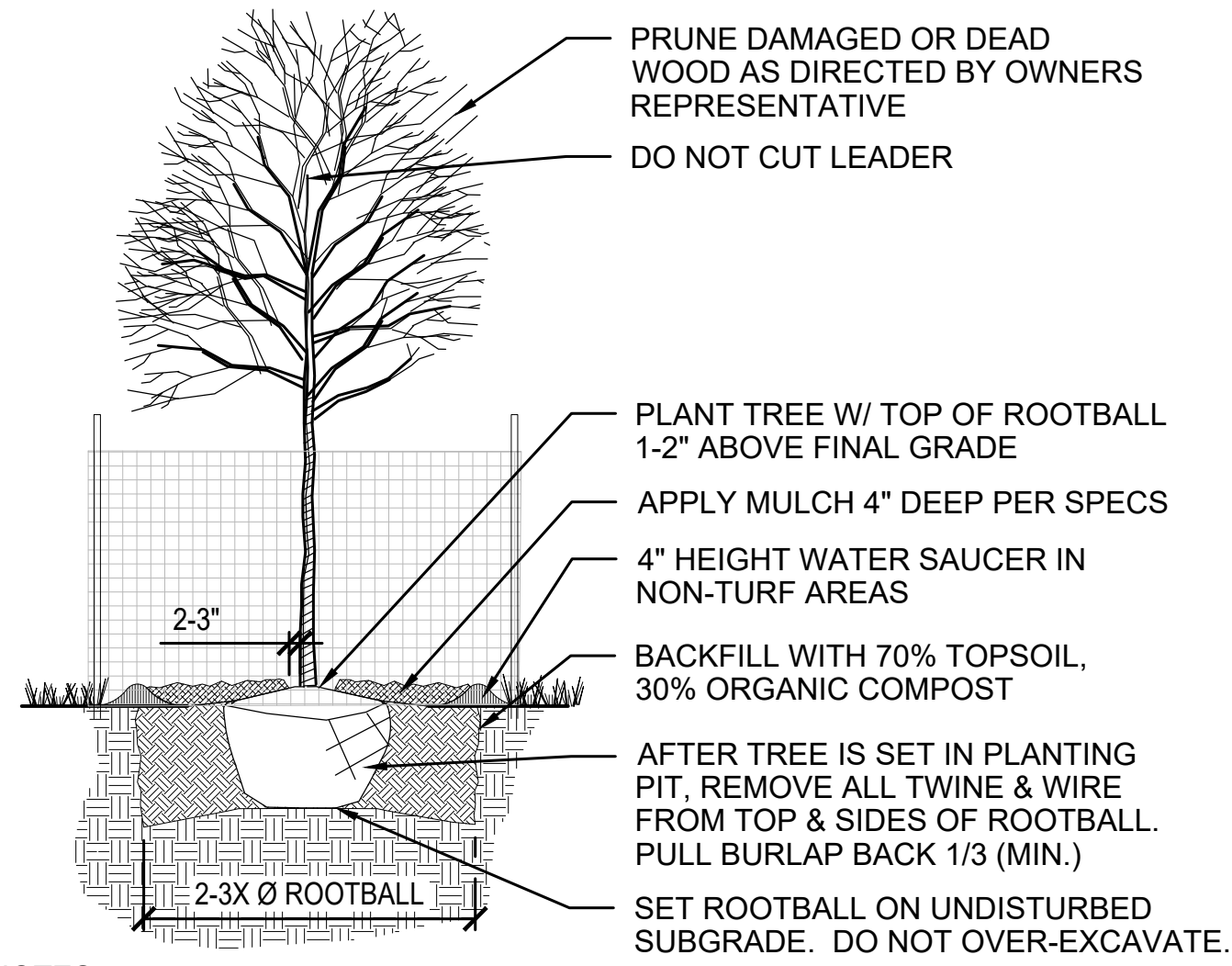
**LEGEND**

	VEGETATION TO REMAIN		BUILDING ENVELOPE
	PROPOSED TREES		LIMITS OF DISTURBANCE
	PROPERTY BOUNDARY		12" HORIZONTAL CRUSHED AGGREGATE

**NOTES:**

- ALL TAKE-OFFS ARE APPROXIMATE AND SHOULD BE USED AS REFERENCE ONLY. CONTRACTOR TO VERIFY QUANTITIES AND COORDINATE WITH L.A. PRIOR TO PURCHASE AND INSTALLATION.
- TREES AND RESTORATION AREAS TO BE STAKED IN FIELD; LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

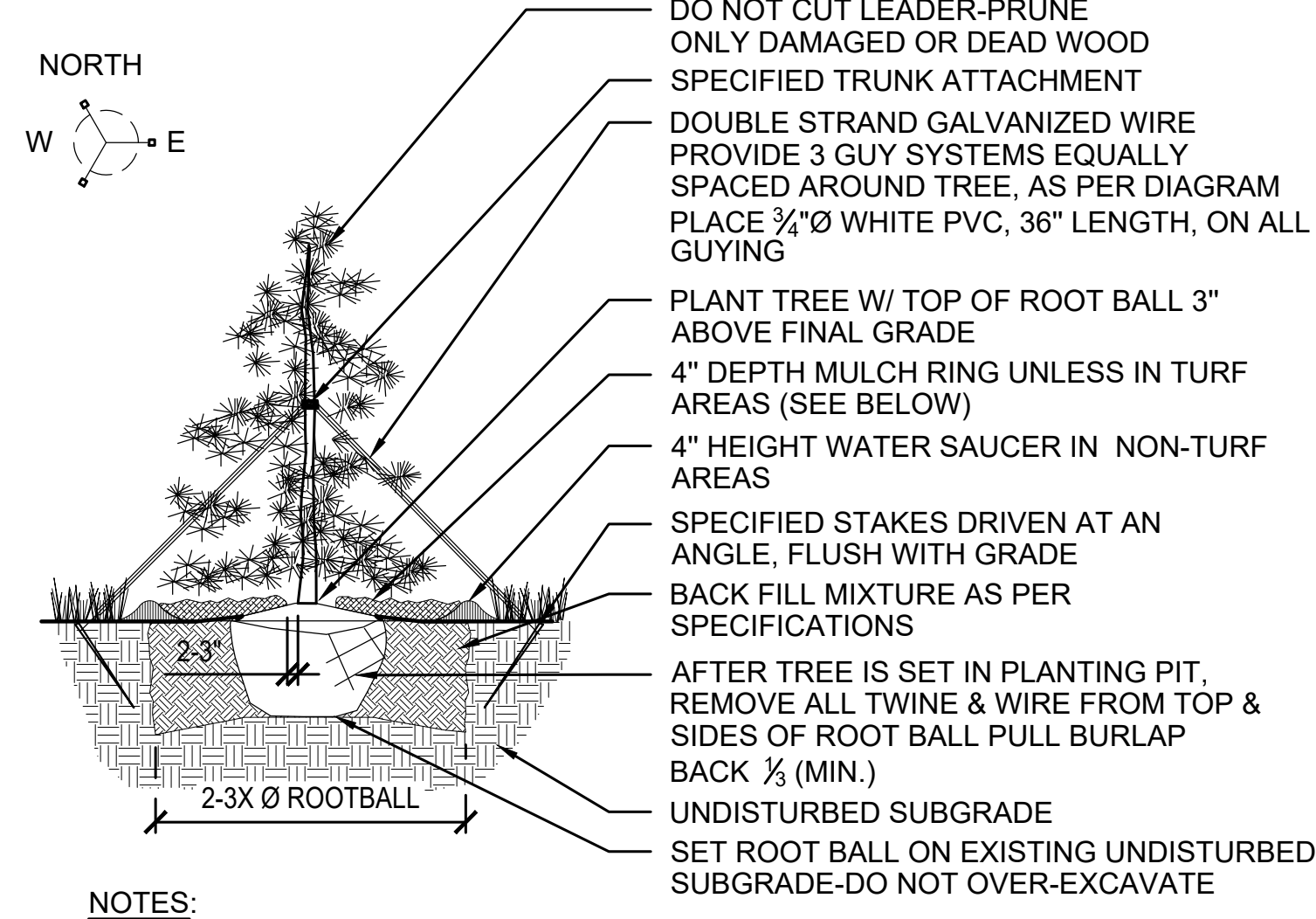




- NOTES:
- MULCH SHOULD BE 4" DEEP.
  - ALL TREES 3" DIAMETER OR LARGER MAY BE STAKED FOR ONE YEAR IF PROPOSED BY LANDSCAPE CONTRACTOR AND/OR APPROVED BY OWNER'S REPRESENTATIVE.

1 DECIDUOUS TREE PLANTING

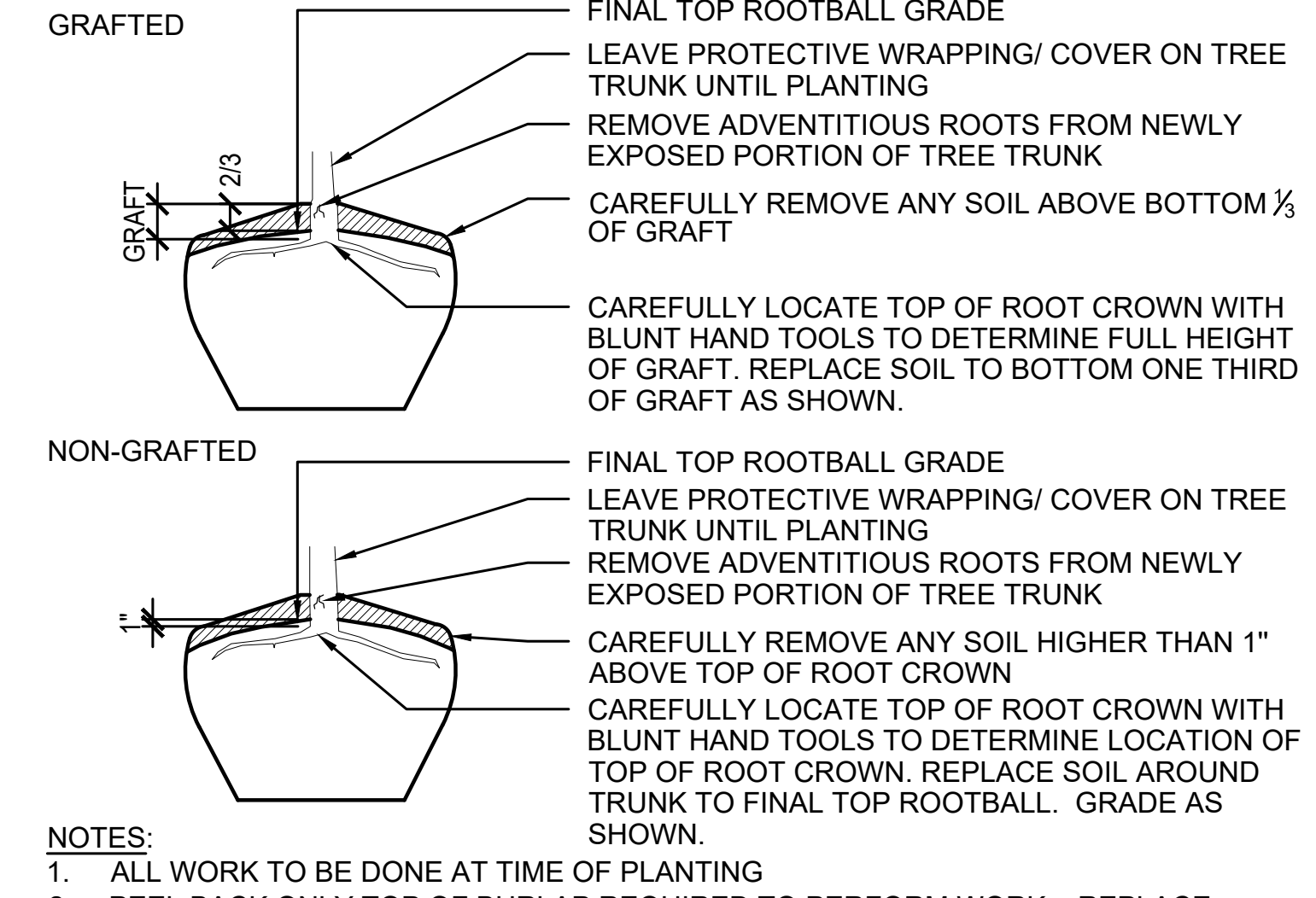
SCALE: 1/4" = 1'-0"



- NOTES:
- PULL MULCH BACK 2" TO 3" FROM TRUNK OF TREE
  - INSTALL SPECIFIED MULCH TO DRIP LINE OF TREE WHERE PLANTED IN LAWN AREAS. MULCH TO BE 2" DEEP IN LAWN AREAS.
  - DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS.

2 EVERGREEN TREE PLANTING

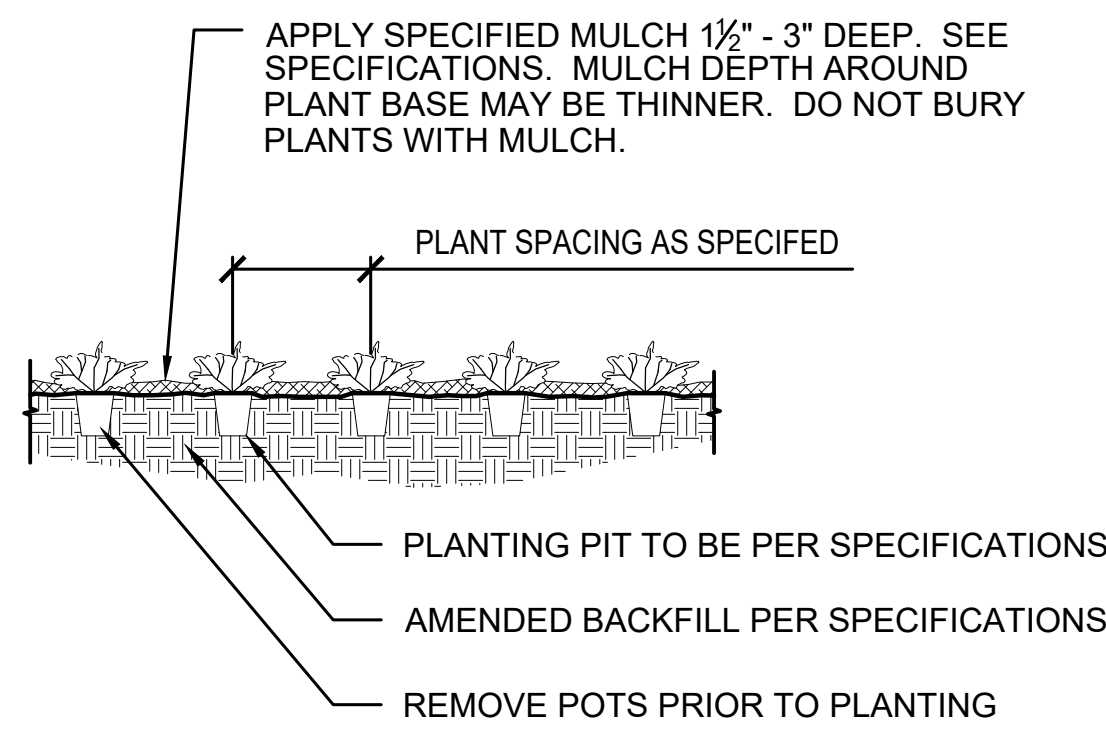
SCALE: 1/4" = 1'-0"



- NOTES:
- ALL WORK TO BE DONE AT TIME OF PLANTING
  - PEEL BACK ONLY TOP OF BURLAP REQUIRED TO PERFORM WORK. REPLACE BURLAP BEFORE MOVING TREE INTO PLANTING PIT. DO NOT REMOVE WIRE BASKET UNTIL INSIDE PLANTING PIT.
  - MEASURE NEW HEIGHT OF ROOTBALL AND DIG PLANTING PIT SO FINAL TOP ROOTBALL GRADE IS 3" ABOVE FINAL GRADE SURROUNDING BALL.

3 FINAL TOP OF ROOTBALL GRADE

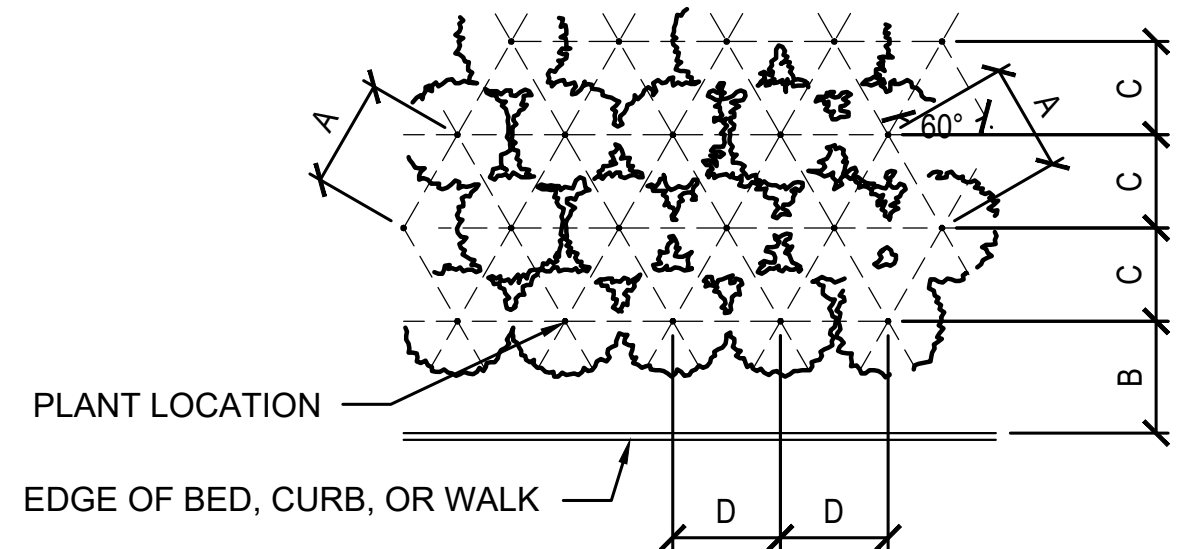
SCALE: 1/2" = 1'-0"



4 PERENNIALS AND GROUNDCOVERS

SCALE: 1/4" = 1'-0"

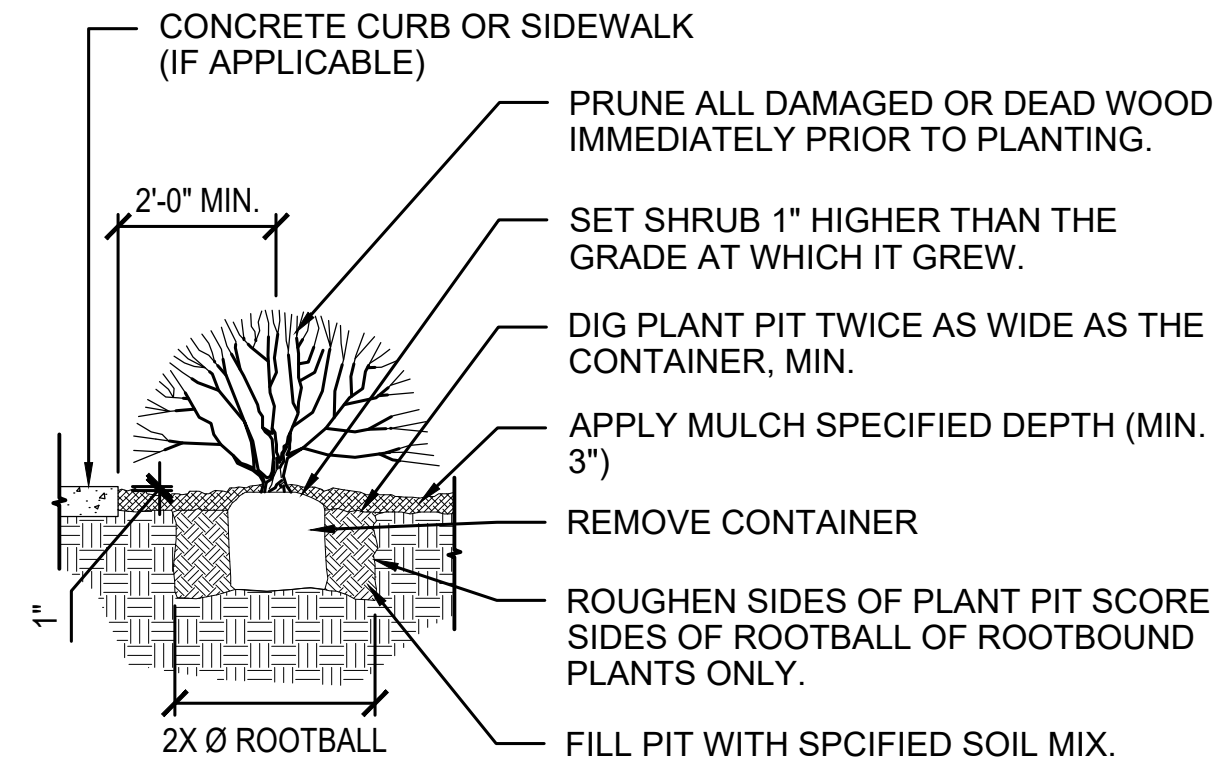
PLANT SPACING	A	B	C	D
6"	6"	6"	5"	6"
8"	8"	6"	7"	8"
12"	12"	8"	10"	12"
18"	18"	9"	15 1/2"	18"
24"	24"	18"	21"	24"
30"	30"	15"	26"	30"
36"	36"	30"	31"	36"
48"	48"	30"	42"	48"
60"	60"	36"	52"	60"



- NOTES:
- ALIGN FRONT ROW PARALLEL TO BED LINE

7 TRIANGULAR SPACING FOR PLANTING LAYOUT

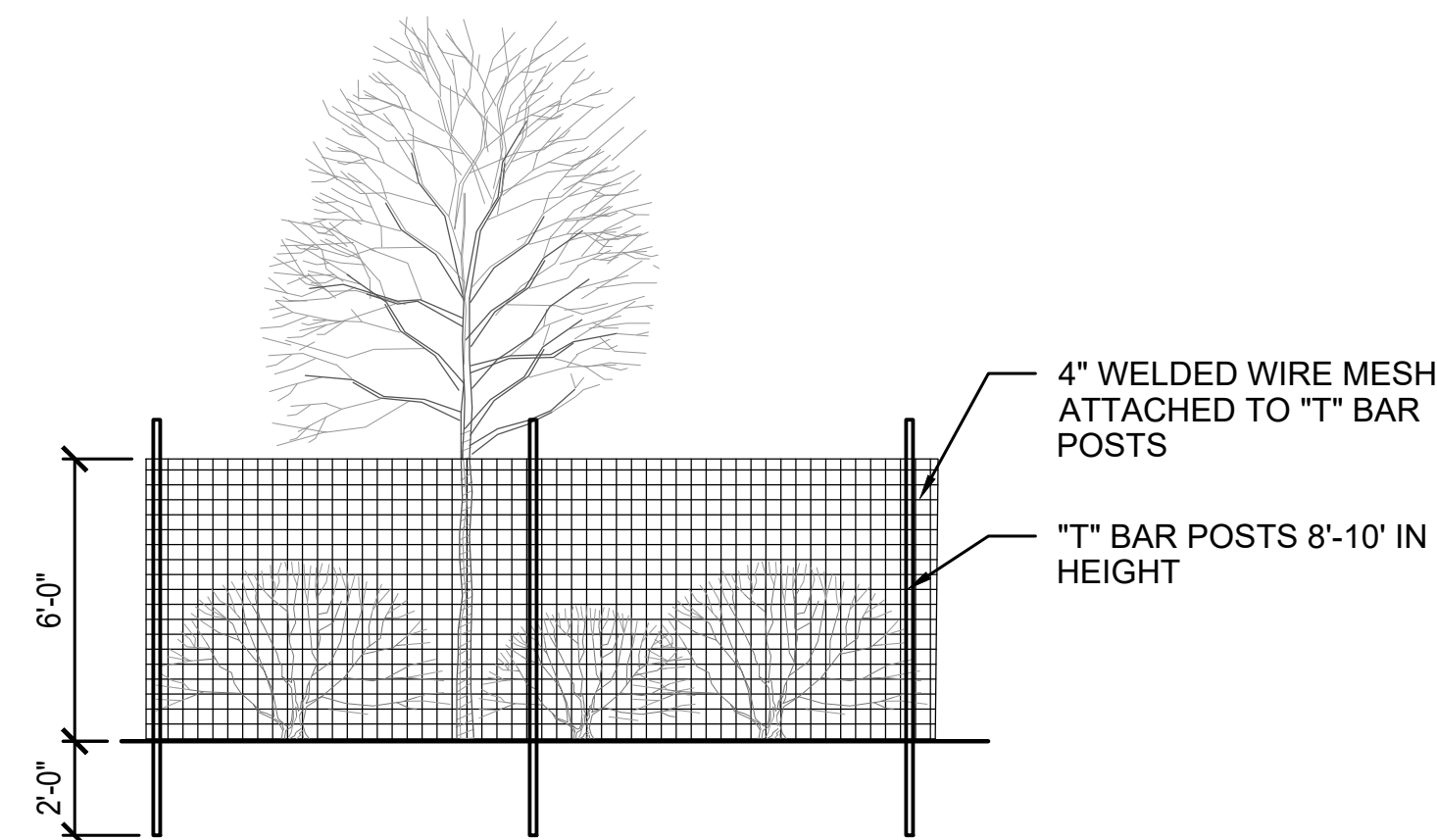
SCALE: 1/4" = 1'-0"



- NOTES:
- ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
  - REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
  - HOLD GRADE 1" BELOW EDGE OF WALK OR CURB

5 SHRUB PLANTING

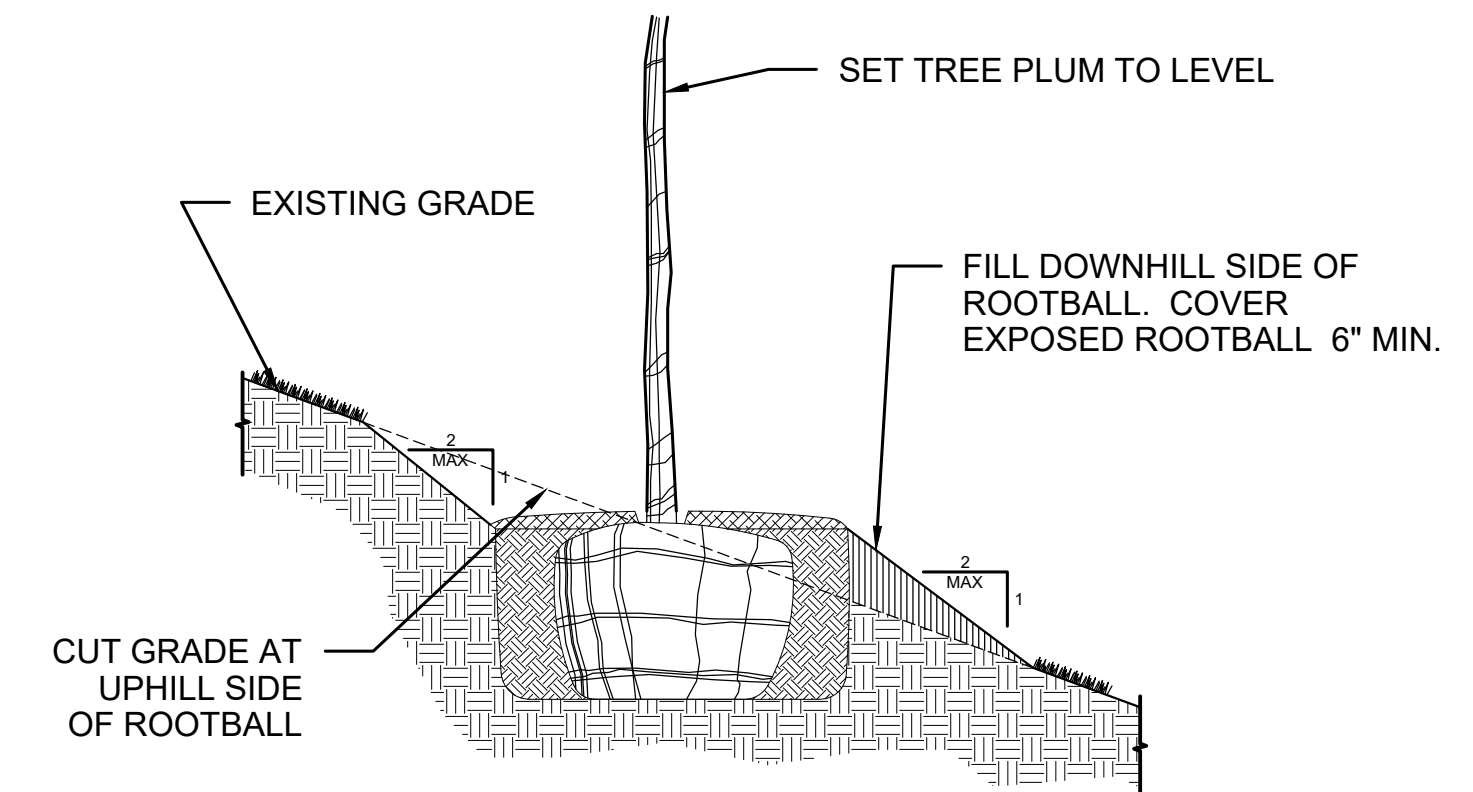
SCALE: 1/4" = 1'-0"



- NOTES:
- FINAL DESIGN AND LOCATION TO BE COORDINATED AND APPROVED IN FIELD BY LANDSCAPE ARCHITECT
  - "T" BAR POSTS TO BE SPACED APPROPRIATELY TO ENSURE INTEGRITY OF FENCE.
  - ALL TREES 2" DIAMETER OR LARGER MAY BE STAKED FOR ONE YEAR

8 WILDLIFE PROTECTION FENCING

SCALE: 1/4" = 1'-0"



- NOTES:
- REFER TO VARIOUS SPECIFIC TREE INSTALLATION DETAILS FOR STAKING, GUYING, MULCHING, ETC.
  - THIS INSTALLATION SHALL APPLY TO ALL TREE TYPES AND SIZES PLANTED ON SLOPES LESS THAN 2:1.

6 TREE PLANTING ON SLOPE

SCALE: 1/4" = 1'-0"

DATE	ISSUE
2023.11.29	FDP SET
2024.02.14	FDP REV.
2024.04.15	FDP REV.
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450 WOOD RIVER

OWNER:

450-490 WOOD RIVER, LLC  
ATTN: MATT SCOGGINS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

CONTRACTOR:

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES  
100 BELL DRIVE  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO LANDSCAPE ARCHITECTS  
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BOZEMAN, MT 59715  
TEL: 406.551.2098

STRUCTURAL ENGINEER:

LABIB FUNK & ASSOCIATES  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:

CONSULTING ENGINEERING SERVICES (CES)  
1001 W OAK BLDG  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING:

KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

AV:

AUDIO VIDEO SYSTEMS, INC.  
2700 HOMESTEAD RD  
PARK CITY, UT 84098  
TEL: 801.649.5200

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SEAL: LICENSED ARCHITECT AR 987568



1	04.16.2024	FDP APP RESUBMITTAL
	12.13.2023	FDP APPLICATION
NO	DATE	ISSUE

PROJECT:  
**450 WOOD RIVER**  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**2108**

DRAWING TITLE:  
**SITE PLAN**

DRAWING NUMBER:

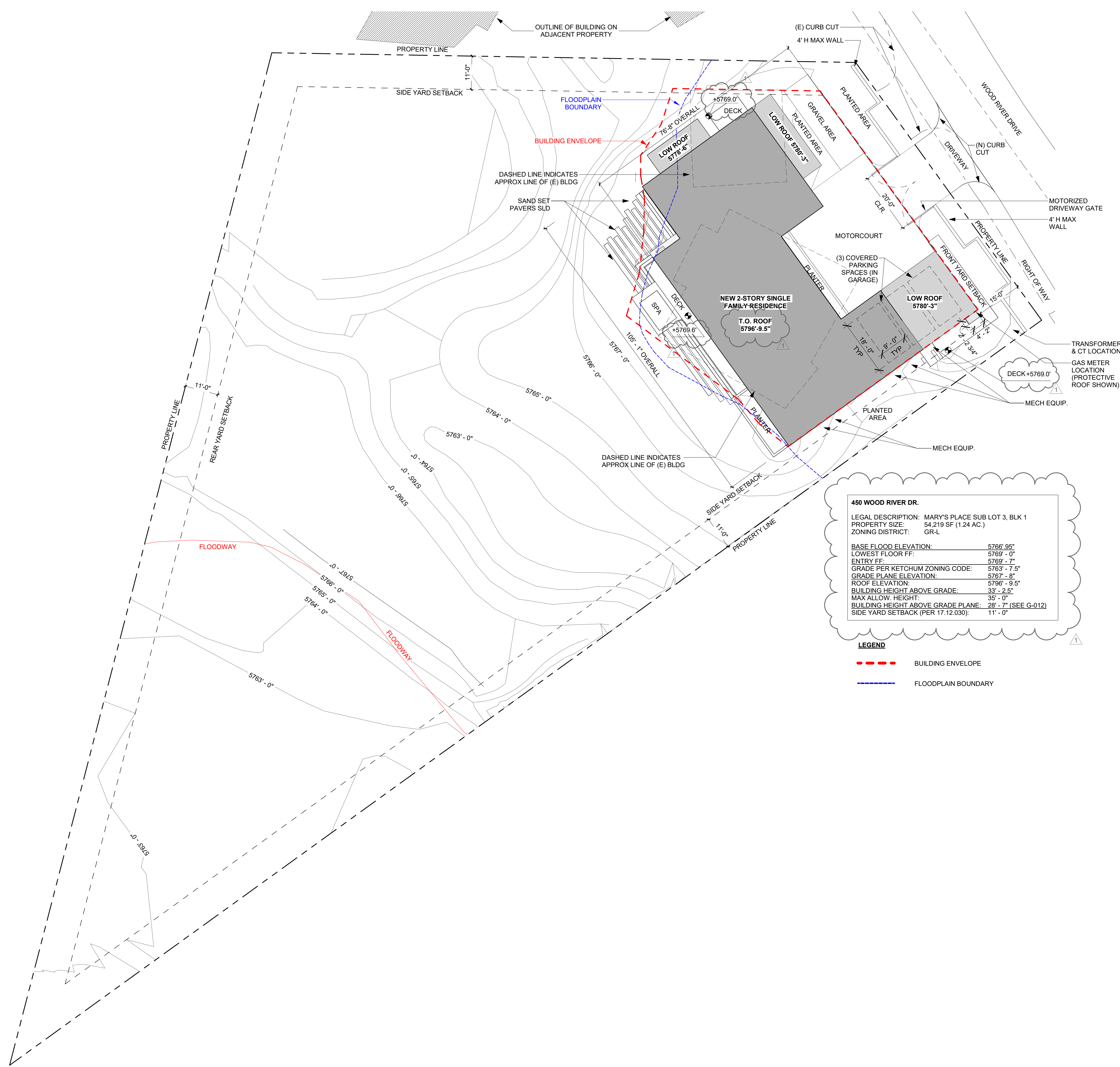
**A-000**

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SITE PLAN NOTES:

- SEE LANDSCAPE PLAN FOR (E) AND (N) TREE LOCATIONS
- SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION
- SEE ROOF PLAN FOR MORE ROOF INFORMATION
- SEE G-010 & G-011 FOR SITE COVERAGE AND HEIGHT CALCULATIONS
- SEE G-013 FOR TRPA SCENIC ANALYSIS
- LAKE PIER UNDER SEPARATE PERMIT, SHOWN FOR REFERENCE ONLY
- ALL MATERIALS TO BE NON-GLARE FINISH.
- SEE GENERAL CONTRACTOR STAGING PLAN FOR ALL STAGING INFORMATION.
- PER DEED RESTRICTION, THE TOTAL COVERAGE FOR ALL THREE PARCELS CANNOT EXCEED 5,091 SF OF BASE ALLOWABLE IPES COVERAGE.
- PER WASHOE COUNTY 438.45 ALL RETAINING WALLS WITHIN THE FRONT YARD SET BACK LIMITED TO 4.5', ALL RETAINING WALLS WITHIN THE SIDEYARD SETBACK LIMITED TO 6', CONTACT ARCH FOR ANY ON-SITE DISCREPANCIES.
- AN EXCAVATION AND ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY IMPROVEMENTS N THE COUNTY RIGHT-OF-WAY, PERMIT MUST BE OBTAIN BY COUNTY APPROVED CONTRACTOR.



**450 WOOD RIVER DR.**

LEGAL DESCRIPTION: MARY'S PLACE SUB LOT 3, BLK 1  
 PROPERTY SIZE: 54,219 SF (1.24 AC.)  
 ZONING DISTRICT: GR-L

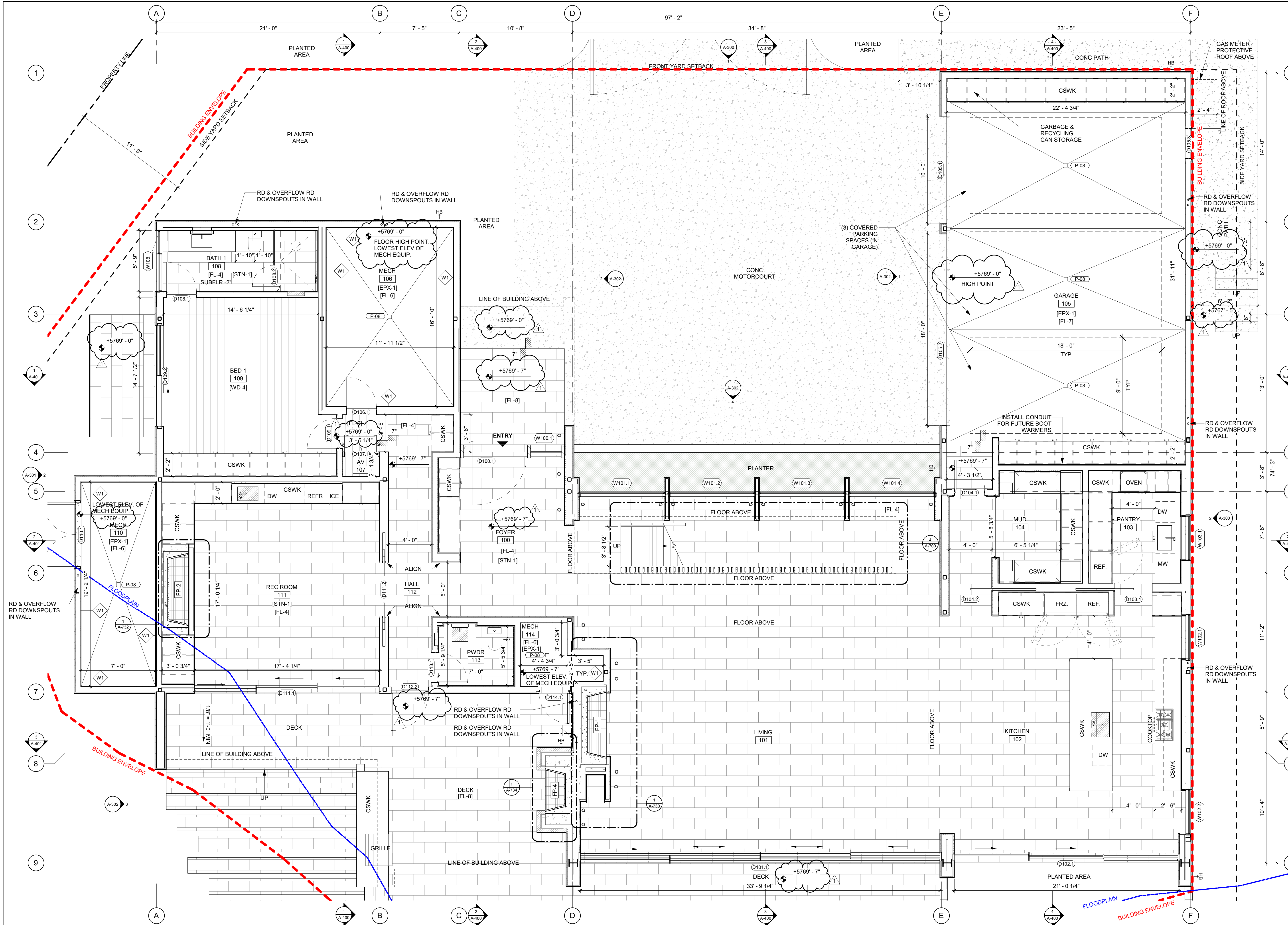
BASE FLOOD ELEVATION:	5766'-9.5"
LOWEST FLOOR FF:	5769'-0"
ENTRY FF:	5769'-7"
GRADE PER KETCHUM ZONING CODE:	5763'-7.5"
GRADE PLANE ELEVATION:	5767'-8"
ROOF ELEVATION:	5796'-9.5"
BUILDING HEIGHT ABOVE GRADE:	33'-2.5"
MAX ALLOW. HEIGHT:	35'-0"
BUILDING HEIGHT ABOVE GRADE PLANE:	28'-7" (SEE G-012)
SIDE YARD SETBACK (PER 17.12.030):	11'-0"

**LEGEND**

--- BUILDING ENVELOPE

--- FLOODPLAIN BOUNDARY

Tue 04/16/24 9:17:36 AM



1 1/4" = 1'-0" FLOOR PLAN - LEVEL 01

**FLOOR PLAN NOTES:**

1. ALL DIMENSIONS TAKEN FROM FINISH FACE, UNO
2. SEE FRAMING PLANS FOR FRAMING AND LAYOUT
3. SEE STRUCTURAL DRAWINGS FOR EXACT SIZE AND LOCATION OF STRUCTURAL COLUMNS, BEAMS, GIRDERS, ETC.
4. SEE G-200 AND G-201 FOR WALL AND FLOOR ASSEMBLIES
5. CONTACT ARCHITECT WITH ANY FINISH ALIGNMENT ISSUES
6. SEE A-800S ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS
7. SEE G-108 FOR FIREPLACE SCHEDULE.

**450 WOOD RIVER**

OWNER:  
**450-490 WOOD RIVER, LLC**  
 ATTN: FRAZIER CAVNESS  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
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 TEL: 213.784.0014

CONTRACTOR:

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES**  
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MEP ENGINEER:  
**CONSULTING ENGINEERING SERVICES (CES)**  
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 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

AV:  
**AUDIO VIDEO SYSTEMS, INC.**  
 2700 HOMESTEAD RD  
 PARK CITY, UT 84098  
 TEL: 801.649.5200

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SEAL: **LICENSED ARCHITECT AR 987568**  


1	04.16.2024	FDP APP RESUBMITTAL
NO	DATE	FDP APPLICATION
		ISSUE

PROJECT:  
**450 WOOD RIVER**  
 450 WOOD RIVER DRIVE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**2108**

DRAWING TITLE:  
**FLOOR PLAN / LEVEL 01**

DRAWING NUMBER:  
**A-101**

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# 450 WOOD RIVER

OWNER:  
**450-490 WOOD RIVER, LLC**  
ATTN: FRAZIER CAVNESS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
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TEL: 213.784.0014

CONTRACTOR:

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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TEL: 208.720.6432

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TEL: 208.726.9512

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SEAL: **LICENSED ARCHITECT AR 987568**  
JASON RO  
STATE OF IDAHO

1	04.16.2024	FDP APP RESUBMITTAL
	12.13.2023	FDP APPLICATION
NO	DATE	ISSUE

PROJECT:  
**450 WOOD RIVER**  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

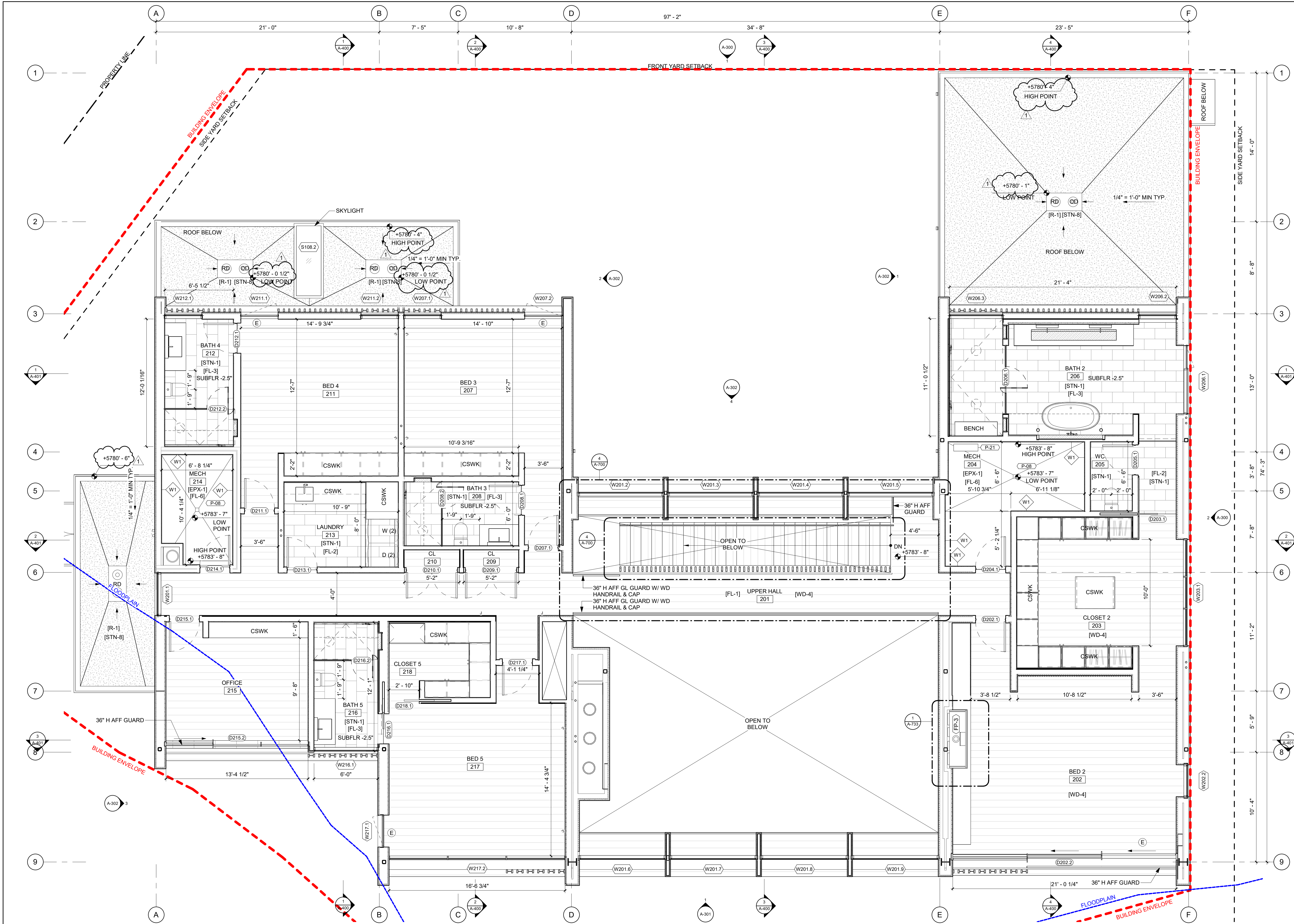
PROJECT NUMBER:  
**2108**

DRAWING TITLE:  
**FLOOR PLAN / LEVEL 02**

DRAWING NUMBER:  
**A-102**

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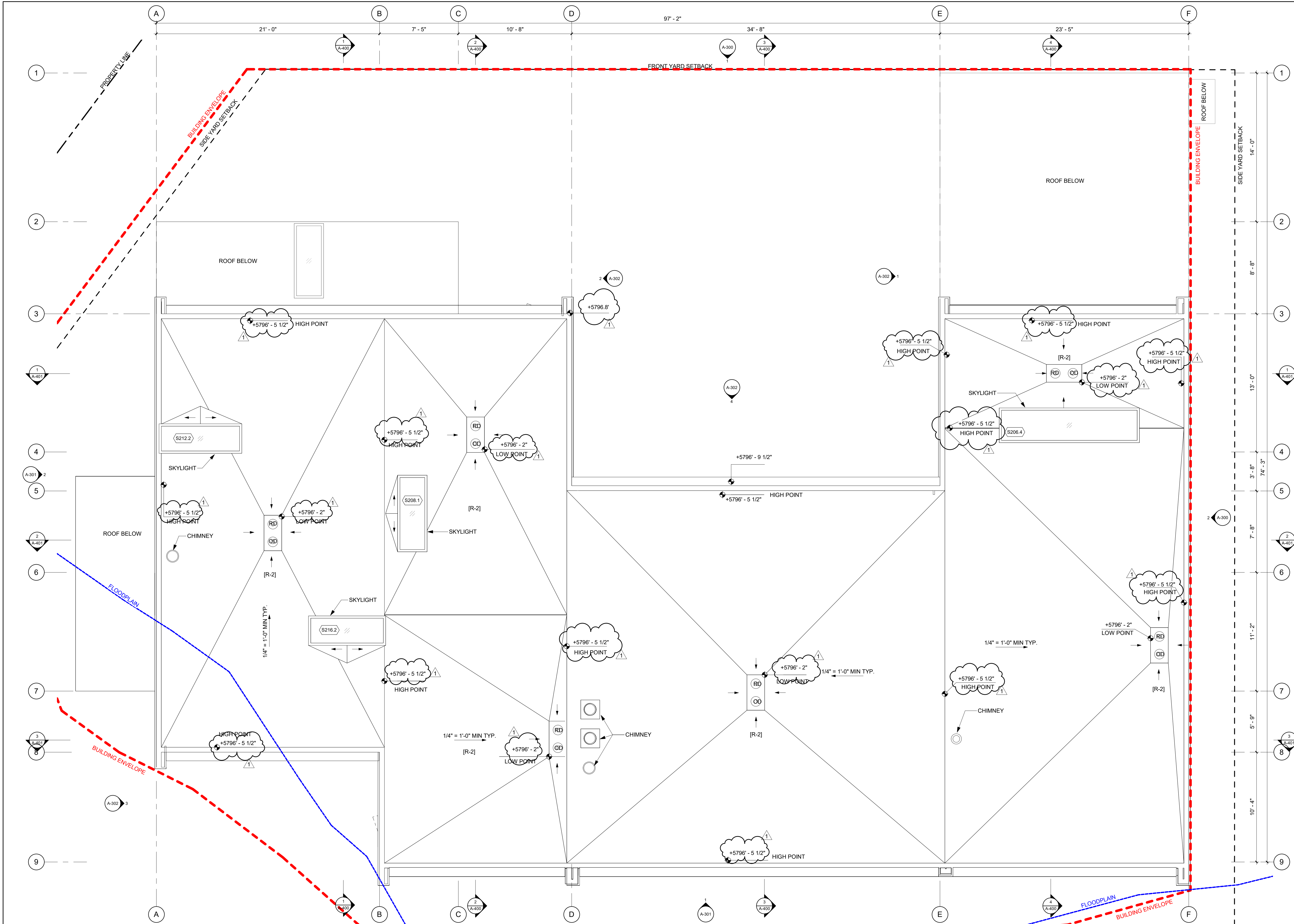


1 1/4" = 1'-0" FLOOR PLAN - LEVEL 02

### FLOOR PLAN NOTES:

1. ALL DIMENSIONS TAKEN FROM FINISH FACE, UNO
2. SEE FRAMING PLANS FOR FRAMING AND LAYOUT
3. SEE STRUCTURAL DRAWINGS FOR EXACT SIZE AND LOCATION OF STRUCTURAL COLUMNS, BEAMS, GIRDERS, ETC.
4. SEE G-200 AND G-201 FOR WALL AND FLOOR ASSEMBLIES
5. CONTACT ARCHITECT WITH ANY FINISH ALIGNMENT ISSUES
6. SEE A-800S ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS
7. SEE G-108 FOR FIREPLACE SCHEDULE.

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1 1/4" = 1'-0" ROOF PLAN

**FLOOR PLAN NOTES:**

1. ALL DIMENSIONS TAKEN FROM FINISH FACE, UNO
2. SEE FRAMING PLANS FOR FRAMING AND LAYOUT
3. SEE STRUCTURAL DRAWINGS FOR EXACT SIZE AND LOCATION OF STRUCTURAL COLUMNS, BEAMS, GIRDERS, ETC.
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5. CONTACT ARCHITECT WITH ANY FINISH ALIGNMENT ISSUES
6. SEE A-800S ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS
7. SEE G-108 FOR FIREPLACE SCHEDULE.

**450 WOOD RIVER**

OWNER:  
**450-490 WOOD RIVER, LLC**  
 ATTN: FRAZIER CAVNESS  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
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 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

CONTRACTOR:  
**BUTLER ASSOCIATES, INC.**  
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 KETCHUM, ID 83340  
 TEL: 208.726.6432

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES**  
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LANDSCAPE ARCHITECT:  
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**LABIB FUNK & ASSOCIATES**  
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 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700


MEP ENGINEER:  
**CONSULTING ENGINEERING SERVICES (CES)**  
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 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING:  
**KGM ARCHITECTURAL LIGHTING**  
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 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

AV:  
**AUDIO VIDEO SYSTEMS, INC.**  
 2700 HOMESTEAD RD  
 PARK CITY, UT 84098  
 TEL: 801.649.5200

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SEAL: **LICENSED ARCHITECT AR 987568**  
  
**JASON RO**  
 STATE OF IDAHO

NO	DATE	ISSUE
1	04.16.2024	FDP APP RESUBMITTAL
2	12.13.2023	FDP APPLICATION
3		ISSUE

PROJECT:  
**450 WOOD RIVER**  
 450 WOOD RIVER DRIVE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**2108**

DRAWING TITLE:  
**ROOF PLAN**

DRAWING NUMBER:  
**A-103**

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# 450 WOOD RIVER

OWNER:

450-490 WOOD RIVER, LLC  
ATTN: FRAZIER CAVNESS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:

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TEL: 213.784.0014

CONTRACTOR:

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES  
100 BELL DRIVE  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO LANDSCAPE ARCHITECTS  
722 N. ROUSE AVENUE  
BOZEMAN, MT 59715  
TEL: 406.551.2098

STRUCTURAL ENGINEER:

LABIB FUNK & ASSOCIATES  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:

CONSULTING ENGINEERING SERVICES (CES)  
1001 W OAK BLDG  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING:

KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

AV:

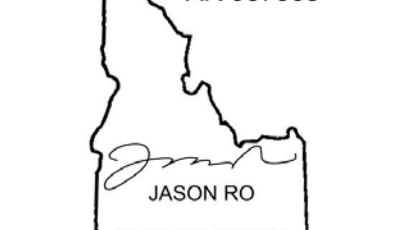
AUDIO VIDEO SYSTEMS, INC.  
2700 HOMESTEAD RD  
PARK CITY, UT 84098  
TEL: 801.649.5200

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SEAL:

LICENSED ARCHITECT AR 987568



1 04.16.2024 FDP APP RESUBMITTAL  
12.13.2023 FDP APPLICATION  
NO DATE ISSUE

PROJECT:  
**450 WOOD RIVER**  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

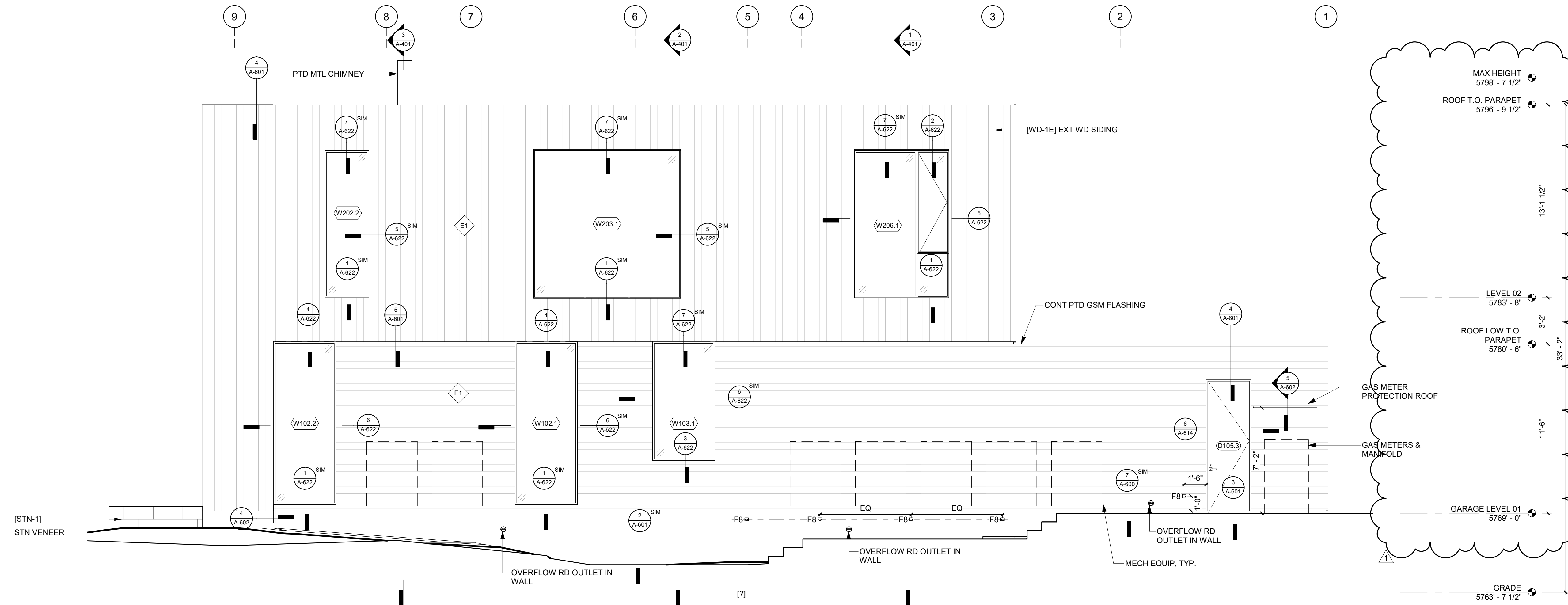
PROJECT NUMBER:  
**2108**

DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

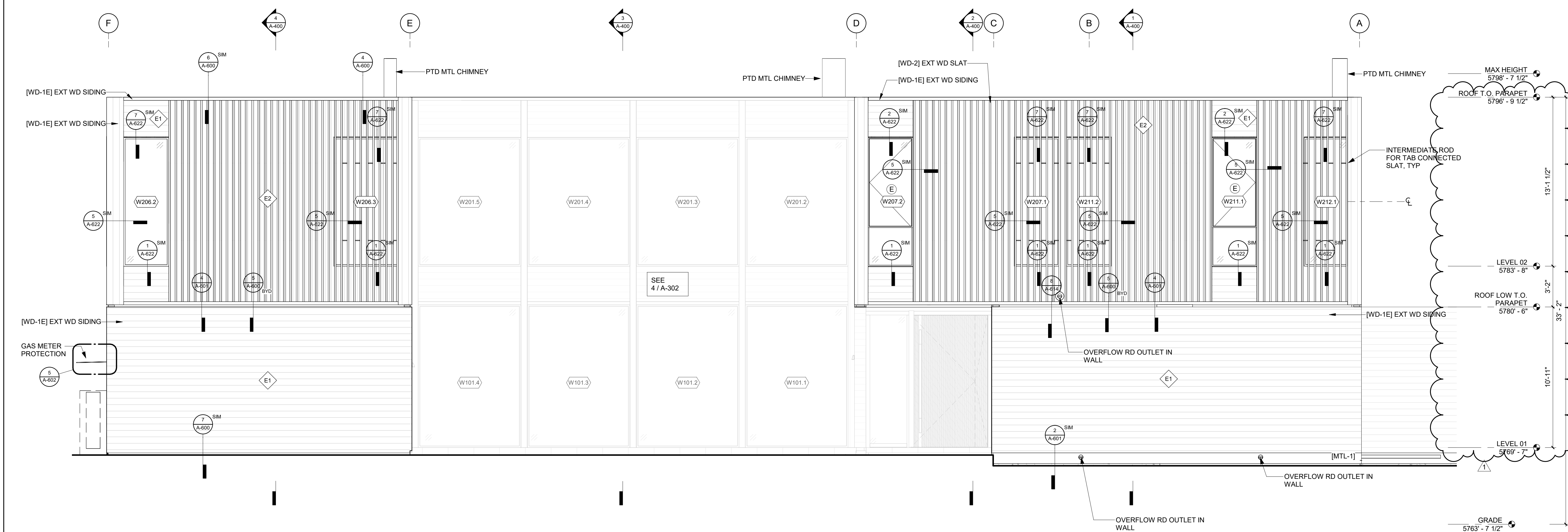
DRAWING NUMBER:  
**A-300**

NOT FOR CONSTRUCTION

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2 1/4" = 1'-0" EXTERIOR ELEVATION - EAST



1 1/4" = 1'-0" EXTERIOR ELEVATION - NORTH

Tue 04/16/24 9:17:45 AM

# 450 WOOD RIVER

OWNER:

450-490 WOOD RIVER, LLC  
ATTN: FRAZIER CAVNESS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

CONTRACTOR:

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

CIVIL ENGINEER:

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100 BELL DRIVE  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO LANDSCAPE ARCHITECTS  
722 N. ROUSE AVENUE  
BOZEMAN, MT 59715  
TEL: 406.551.2098

STRUCTURAL ENGINEER:

LABIK FUNK & ASSOCIATES  
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EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:

CONSULTING ENGINEERING SERVICES (CES)  
1001 W OAK BLDG  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING:

KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

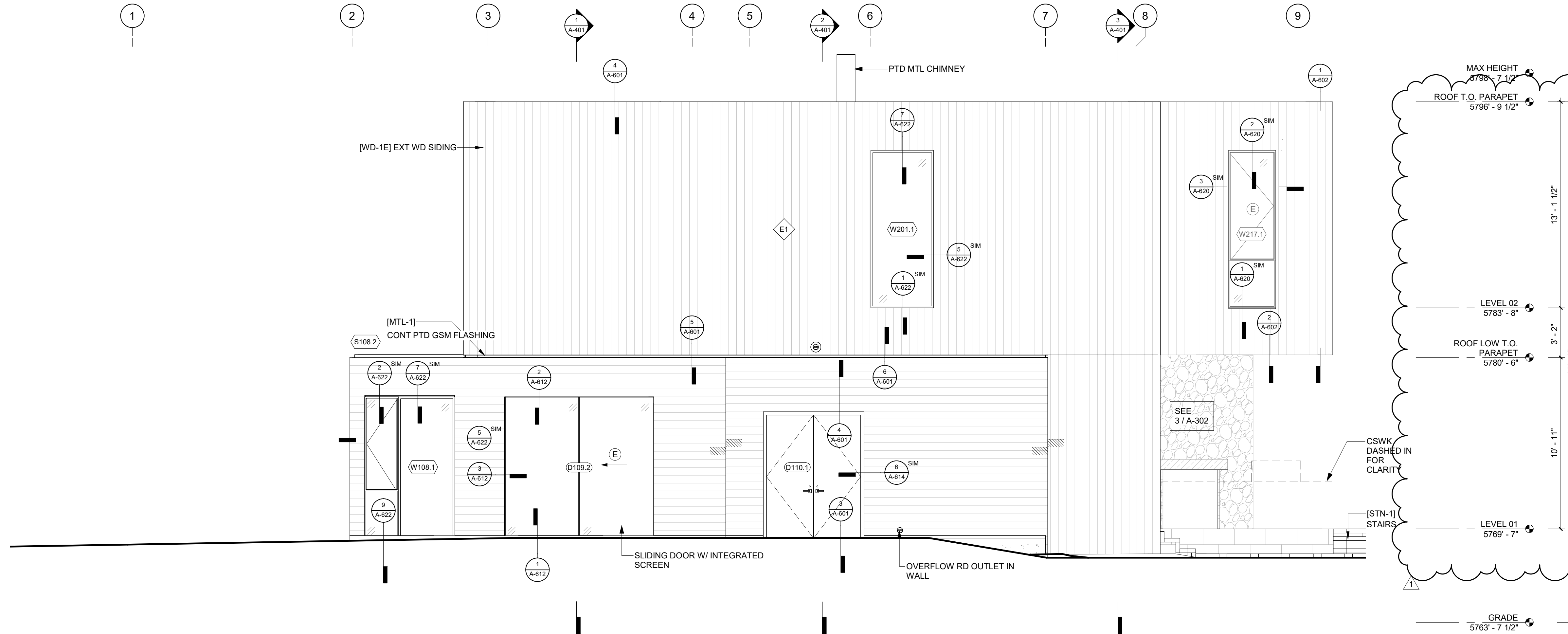
AV:

AUDIO VIDEO SYSTEMS, INC.  
2700 HOMESTEAD RD  
PARK CITY, UT 84098  
TEL: 801.649.5200

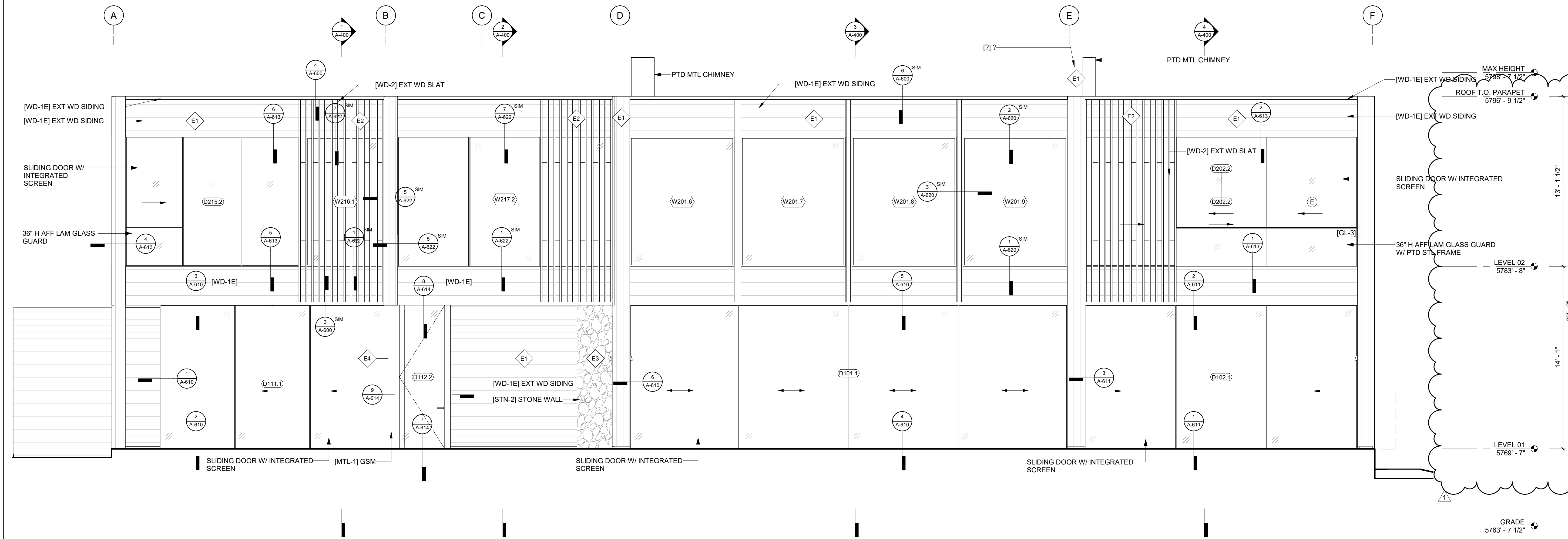
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SEAL:



2 1/4" = 1'-0" EXTERIOR ELEVATION - WEST



1 1/4" = 1'-0" EXTERIOR ELEVATION - SOUTH

NO	DATE	ISSUE
1	04.16.2024	FDP APP RESUBMITTAL
12	12.13.2023	FDP APPLICATION

PROJECT:  
**450 WOOD RIVER**  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**2108**

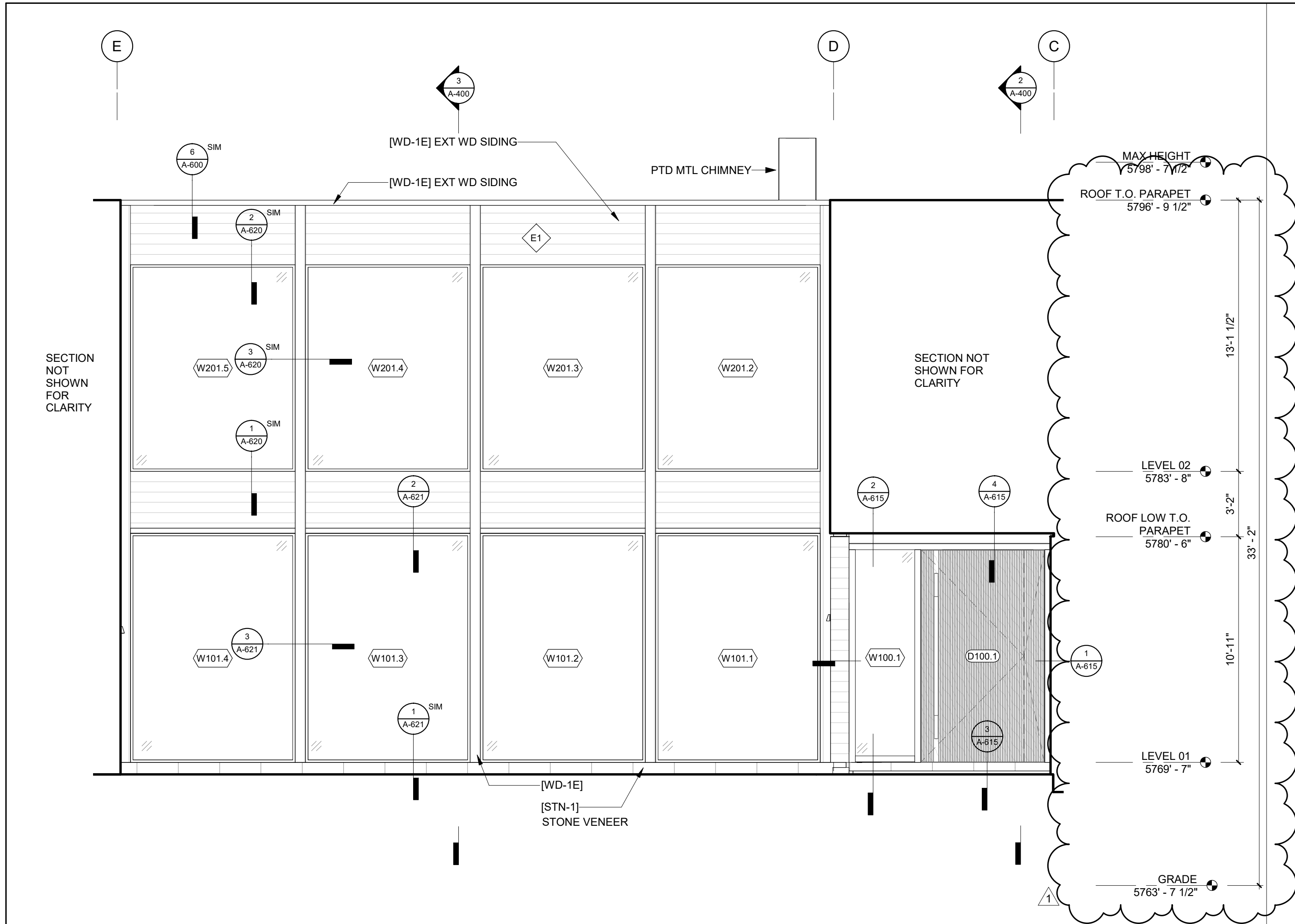
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**EXTERIOR ELEVATIONS**

DRAWING NUMBER:  
**A-301**

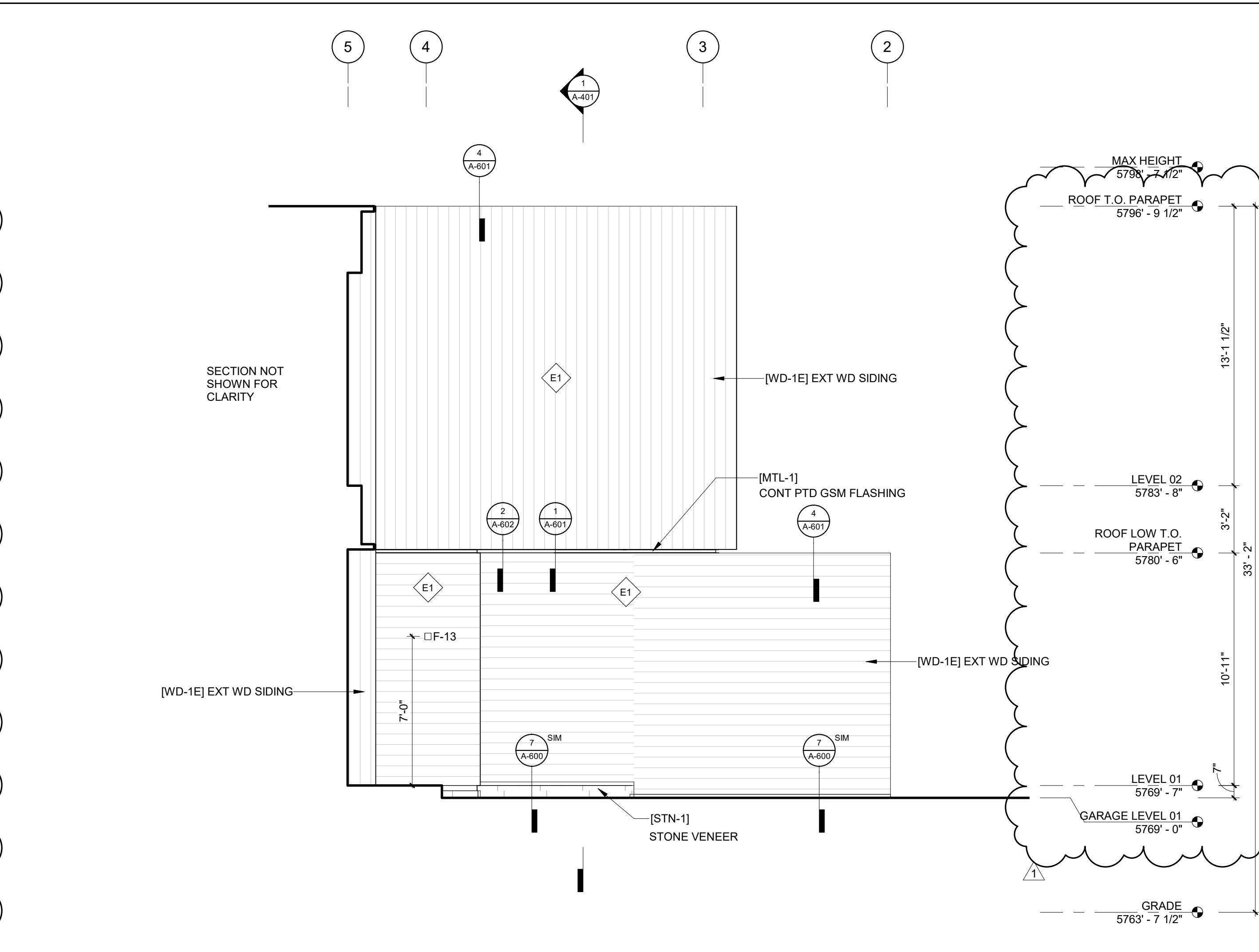
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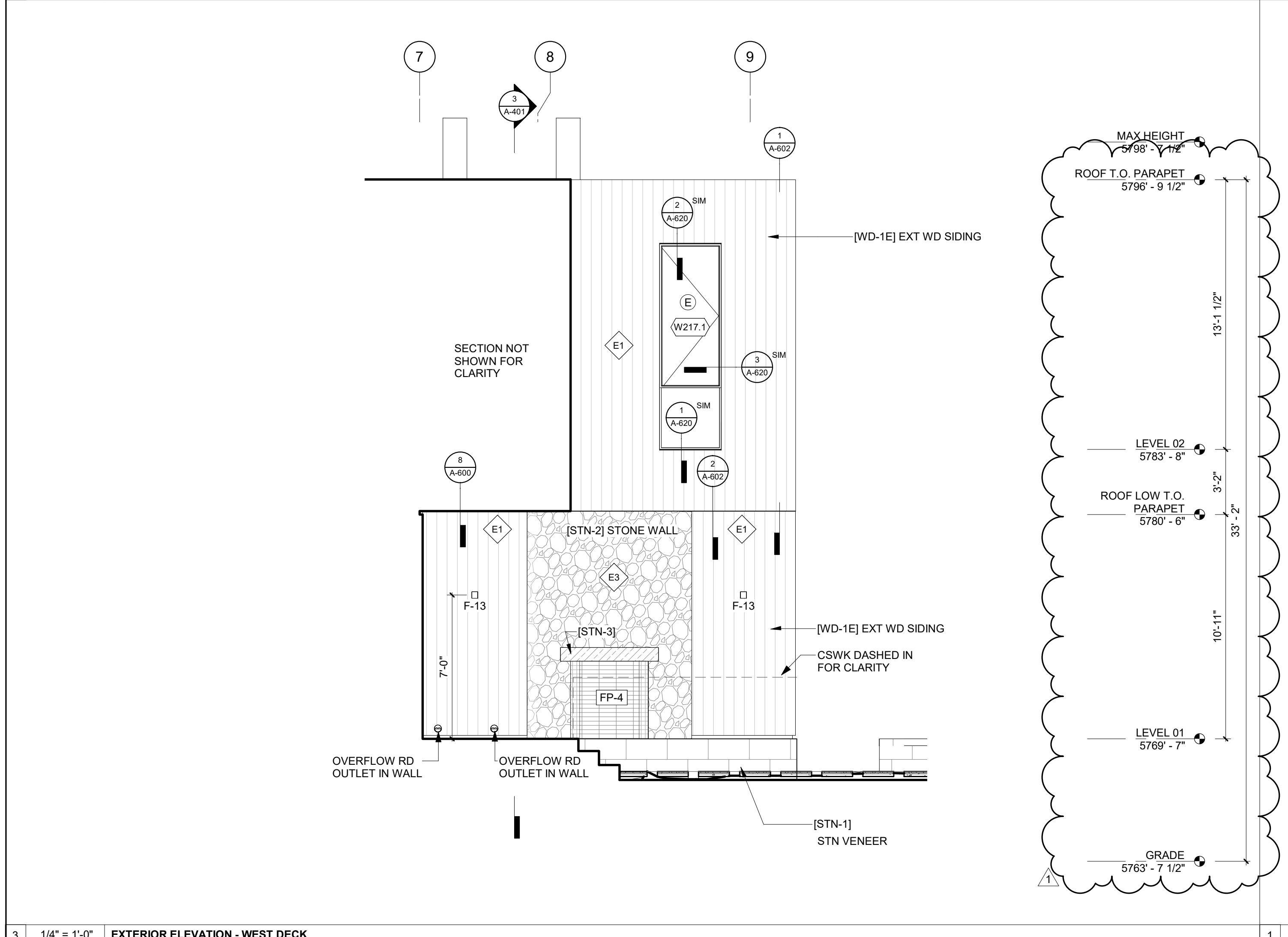
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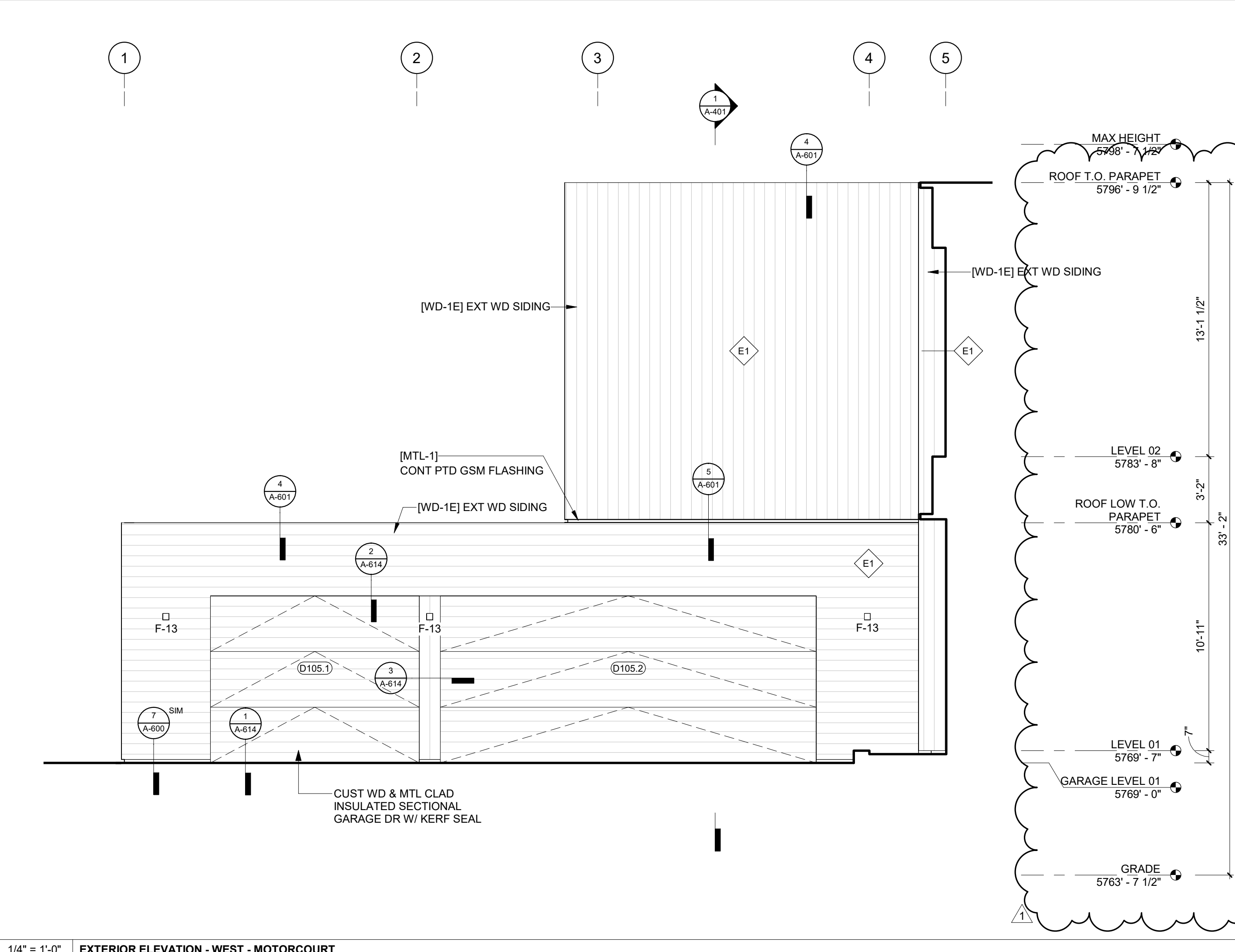
4 1/4" = 1'-0" EXTERIOR ELEVATION - NORTH ENTRANCE



2 1/4" = 1'-0" EXTERIOR ELEVATION - EAST - MOTORCOURT



3 1/4" = 1'-0" EXTERIOR ELEVATION - WEST DECK



1 1/4" = 1'-0" EXTERIOR ELEVATION - WEST - MOTORCOURT

### 450 WOOD RIVER

OWNER:  
**450-490 WOOD RIVER, LLC**  
 ATTN: FRAZIER CAVNESS  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD. UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

CONTRACTOR:  
**BUTLER ASSOCIATES, INC.**  
 100 BELL DRIVE  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES**  
 100 BELL DRIVE  
 KETCHUM, ID 83340  
 TEL: 208.726.9512

LANDSCAPE ARCHITECT:  
**FIELD STUDIO LANDSCAPE ARCHITECTS**  
 722 N. ROUSE AVENUE  
 BOZEMAN, MT 59715  
 TEL: 406.551.2098

STRUCTURAL ENGINEER:  
**LABIB FUNK & ASSOCIATES**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

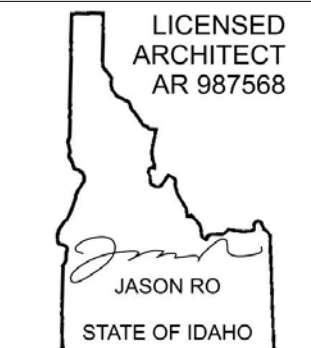
MEP ENGINEER:  
**CONSULTING ENGINEERING SERVICES (CES)**  
 1001 W OAK BLDG  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

AV:  
**AUDIO VIDEO SYSTEMS, INC.**  
 2700 HOMESTEAD RD  
 PARK CITY, UT 84098  
 TEL: 801.649.5200

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SEAL: **LICENSED ARCHITECT AR 987568**  


1 04.16.2024 FDP APP RESUBMITTAL  
 12.13.2023 FDP APPLICATION  
 NO DATE ISSUE

PROJECT:  
**450 WOOD RIVER**  
 450 WOOD RIVER DRIVE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**2108**

DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

DRAWING NUMBER:  
**A-302**

**NOT FOR CONSTRUCTION**

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# 450 WOOD RIVER

OWNER:

450-490 WOOD RIVER, LLC  
ATTN: FRAZIER CAVNESS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

CONTRACTOR:

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES  
100 BELL DRIVE  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO LANDSCAPE ARCHITECTS  
722 N. ROUSE AVENUE  
BOZEMAN, MT 59715  
TEL: 406.551.2098

STRUCTURAL ENGINEER:

LABIB FUNK & ASSOCIATES  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:

CONSULTING ENGINEERING SERVICES (CES)  
1001 W OAK BLDG  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING:

KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

AV:

AUDIO VIDEO SYSTEMS, INC.  
2700 HOMESTEAD RD  
PARK CITY, UT 84098  
TEL: 801.649.5200

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SEAL:



NO	DATE	ISSUE
1	04.16.2024	FDP APP RESUBMITTAL
12	12.13.2023	FDP APPLICATION

PROJECT:  
**450 WOOD RIVER**  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

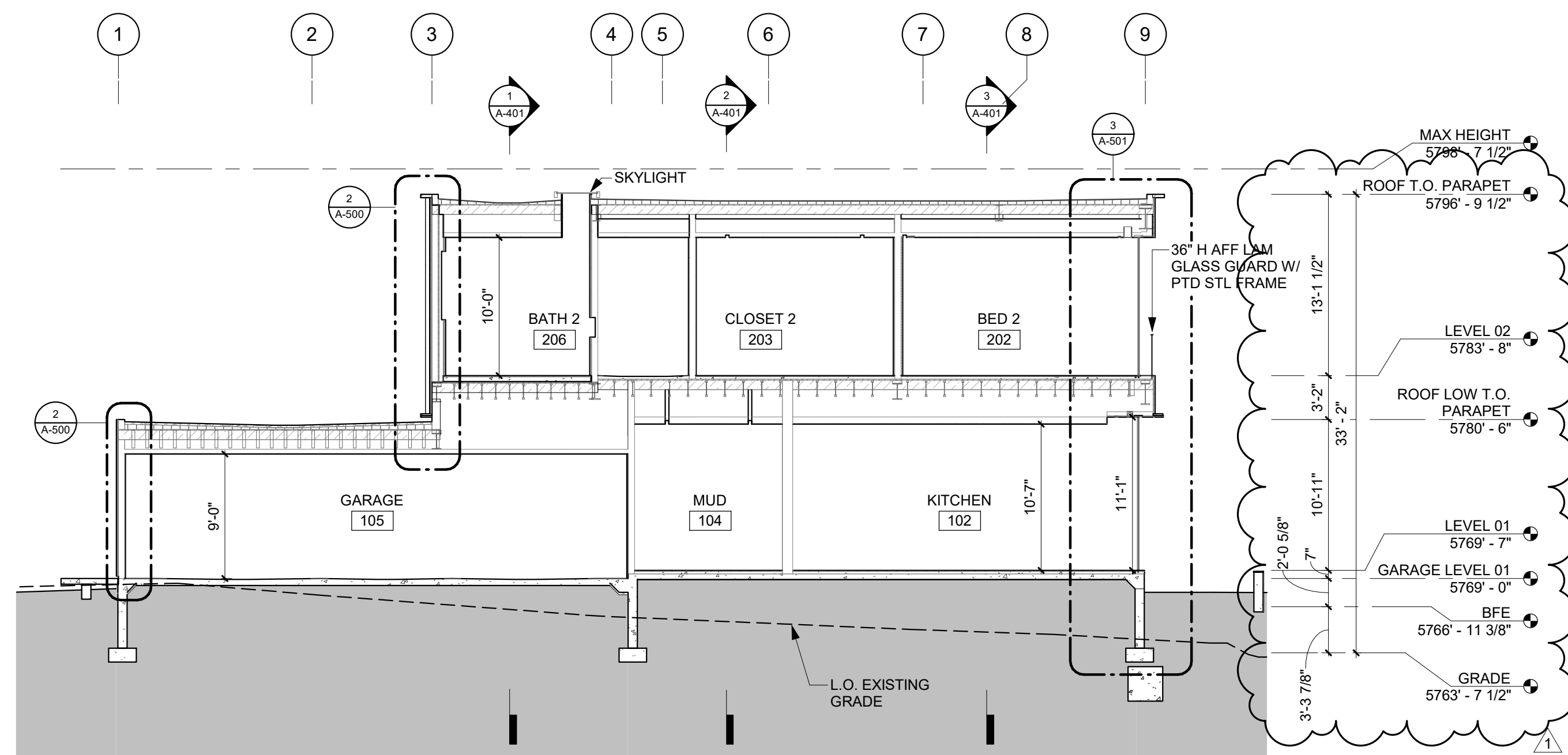
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**2108**

DRAWING TITLE:  
**BUILDING SECTIONS**

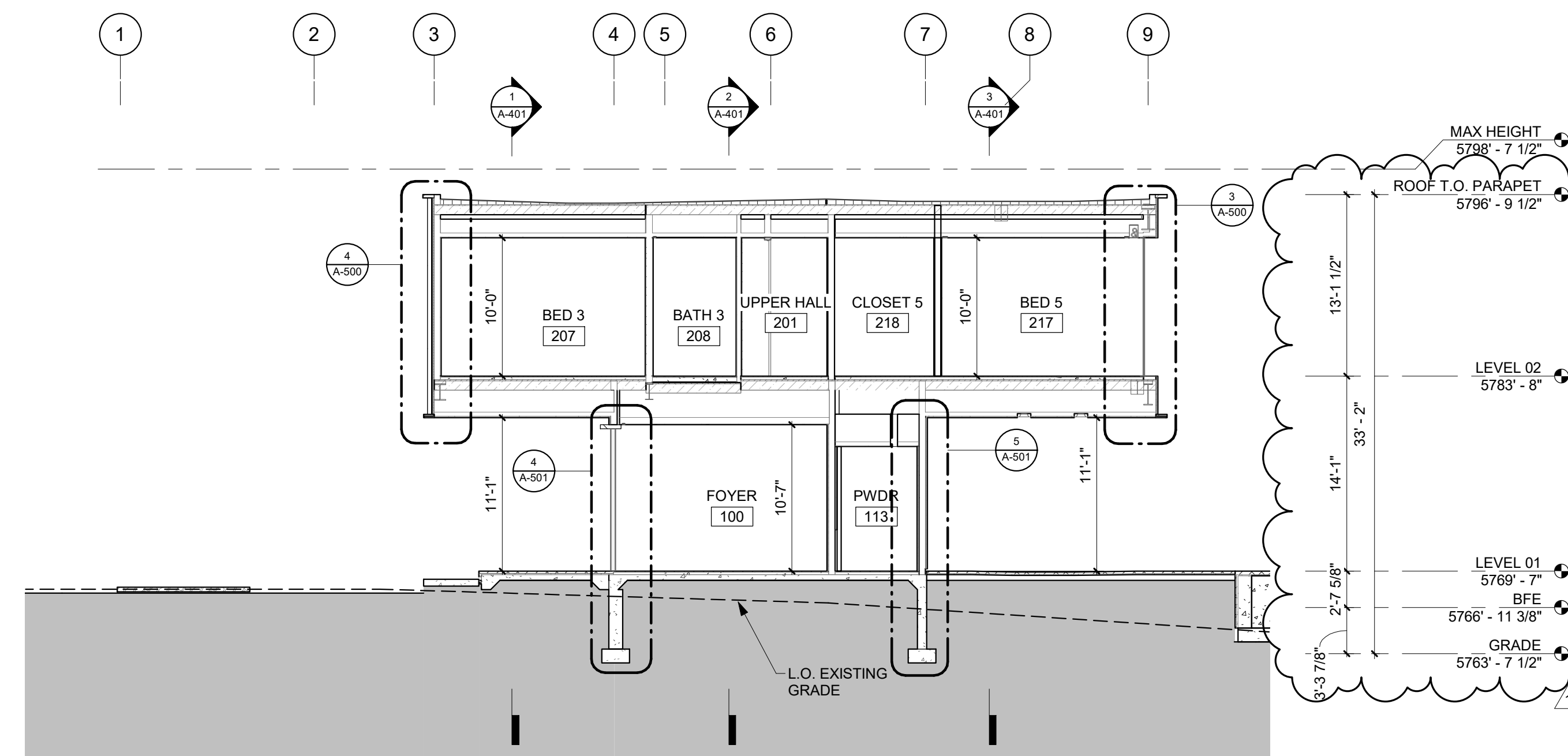
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**A-400**

NOT FOR CONSTRUCTION

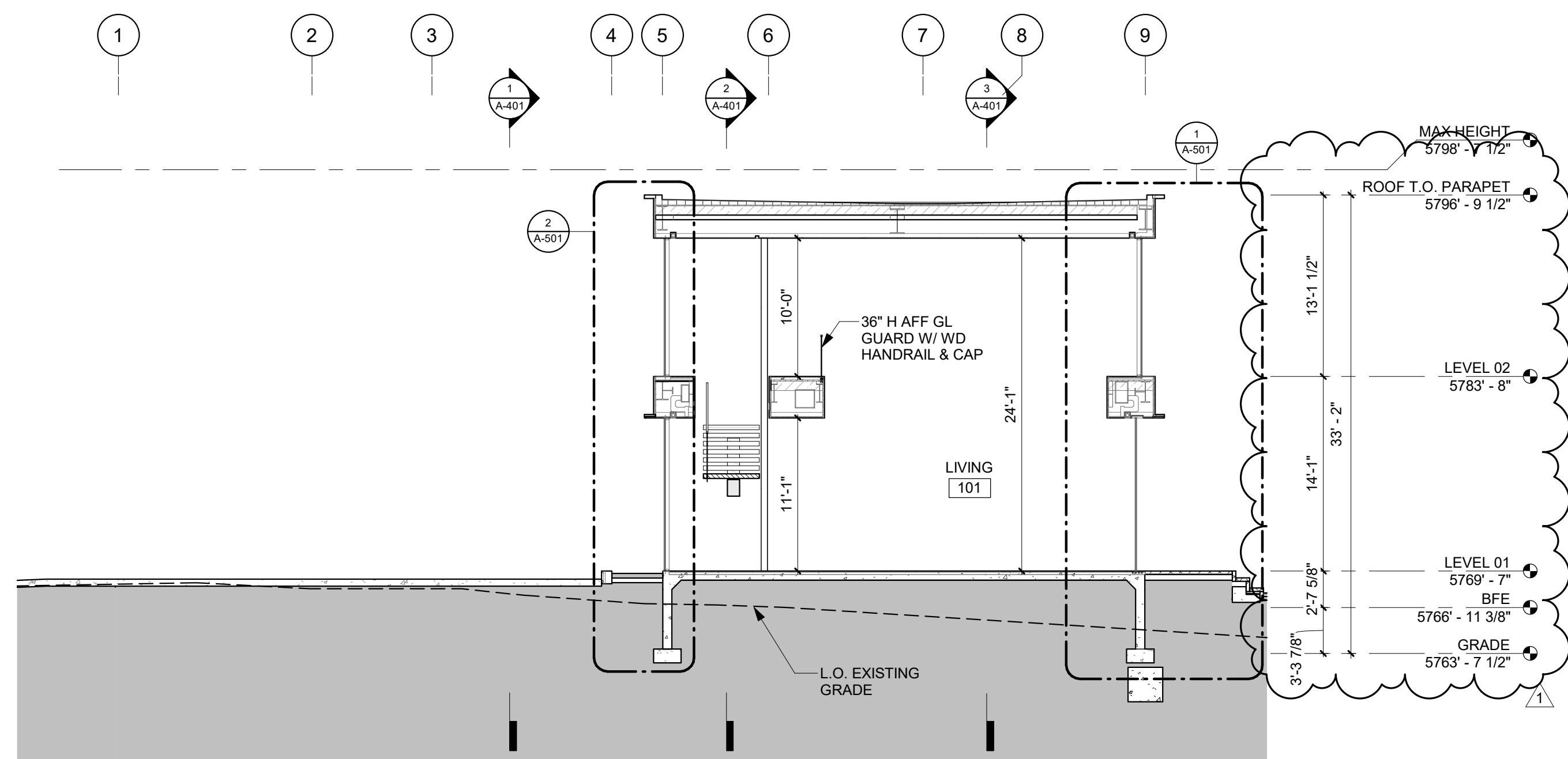
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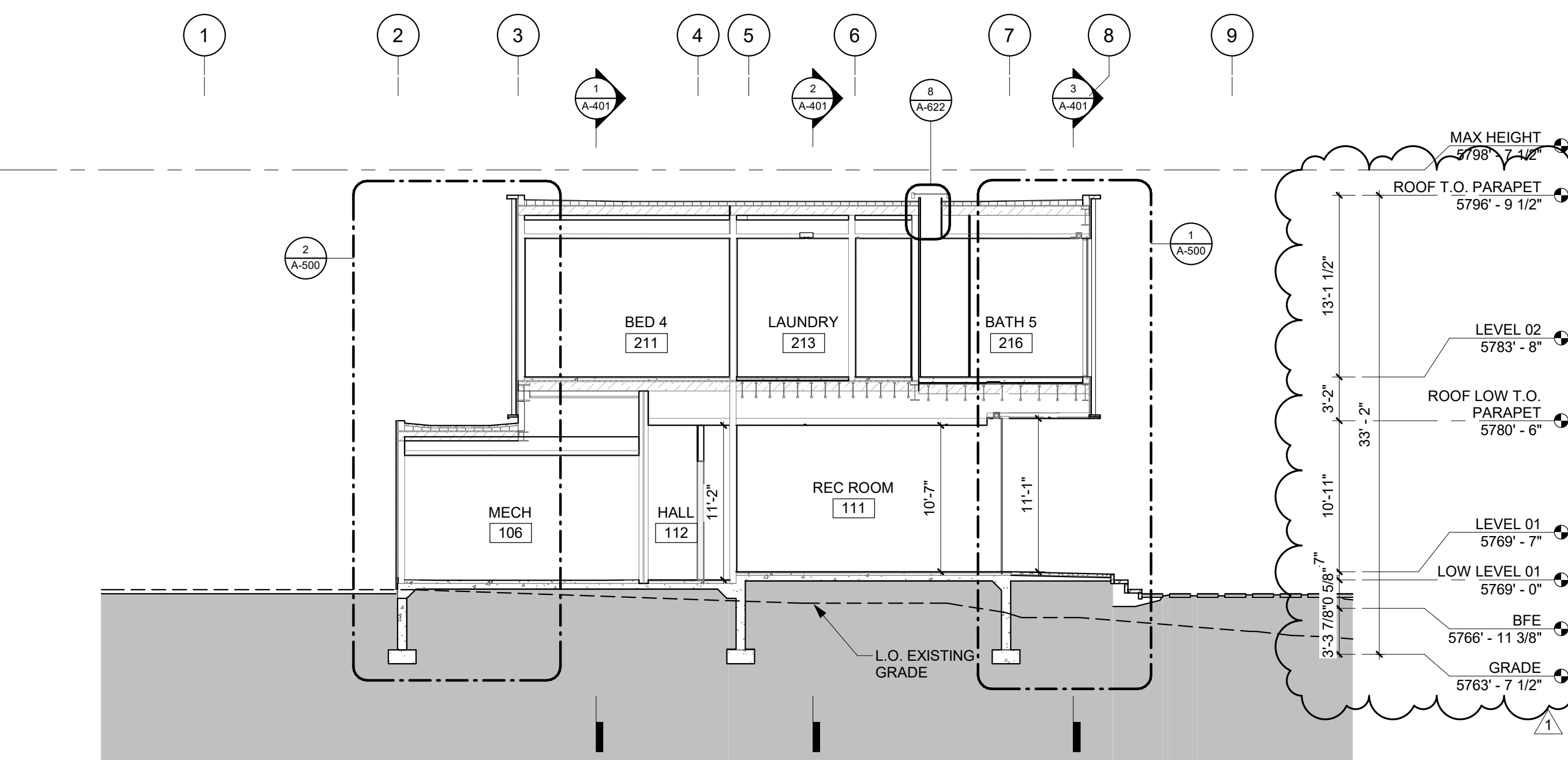
4 1/8" = 1'-0" BUILDING SECTION - EAST



2 1/8" = 1'-0" BUILDING SECTION - ENTRY



3 1/8" = 1'-0" BUILDING SECTION - LIVING N-S



1 1/8" = 1'-0" BUILDING SECTION - WEST

# 450 WOOD RIVER

OWNER:

450-490 WOOD RIVER, LLC  
ATTN: FRAZIER CAVNESS  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

CONTRACTOR:

GEOTECHNICAL ENGINEER:

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P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES  
100 BELL DRIVE  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO LANDSCAPE ARCHITECTS  
722 N. ROUSE AVENUE  
BOZEMAN, MT 59715  
TEL: 406.551.2098

STRUCTURAL ENGINEER:

LABIB FUNK & ASSOCIATES  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:

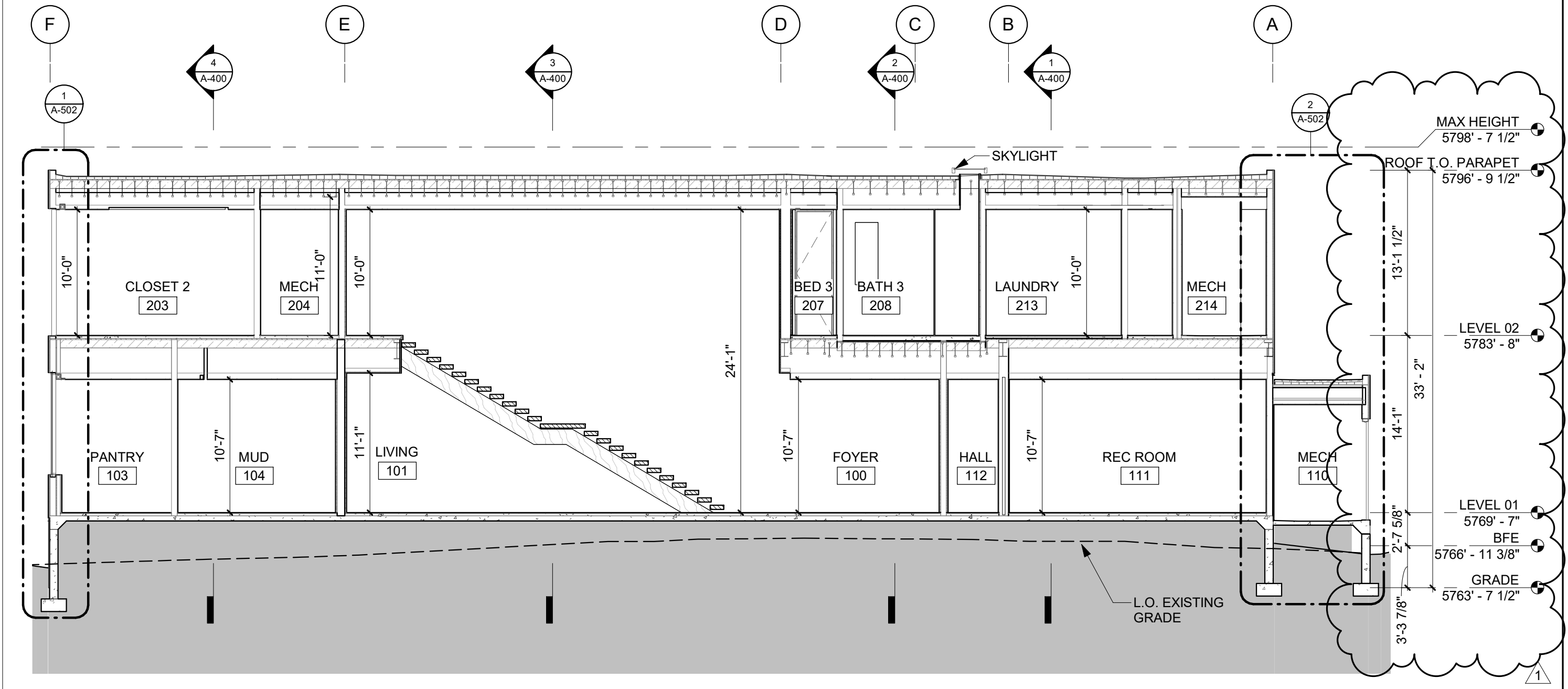
CONSULTING ENGINEERING SERVICES (CES)  
1001 W OAK BLDG  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING:

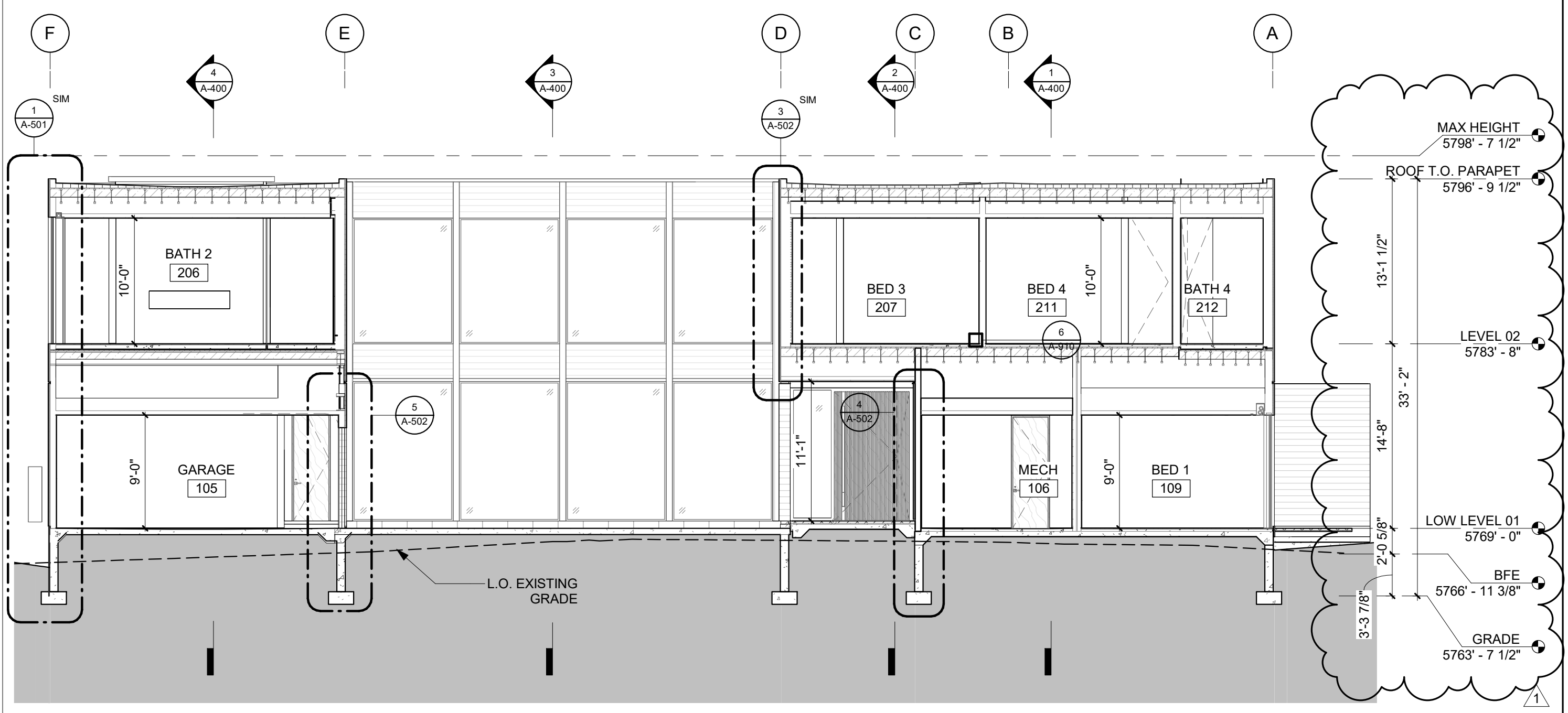
KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

AV:

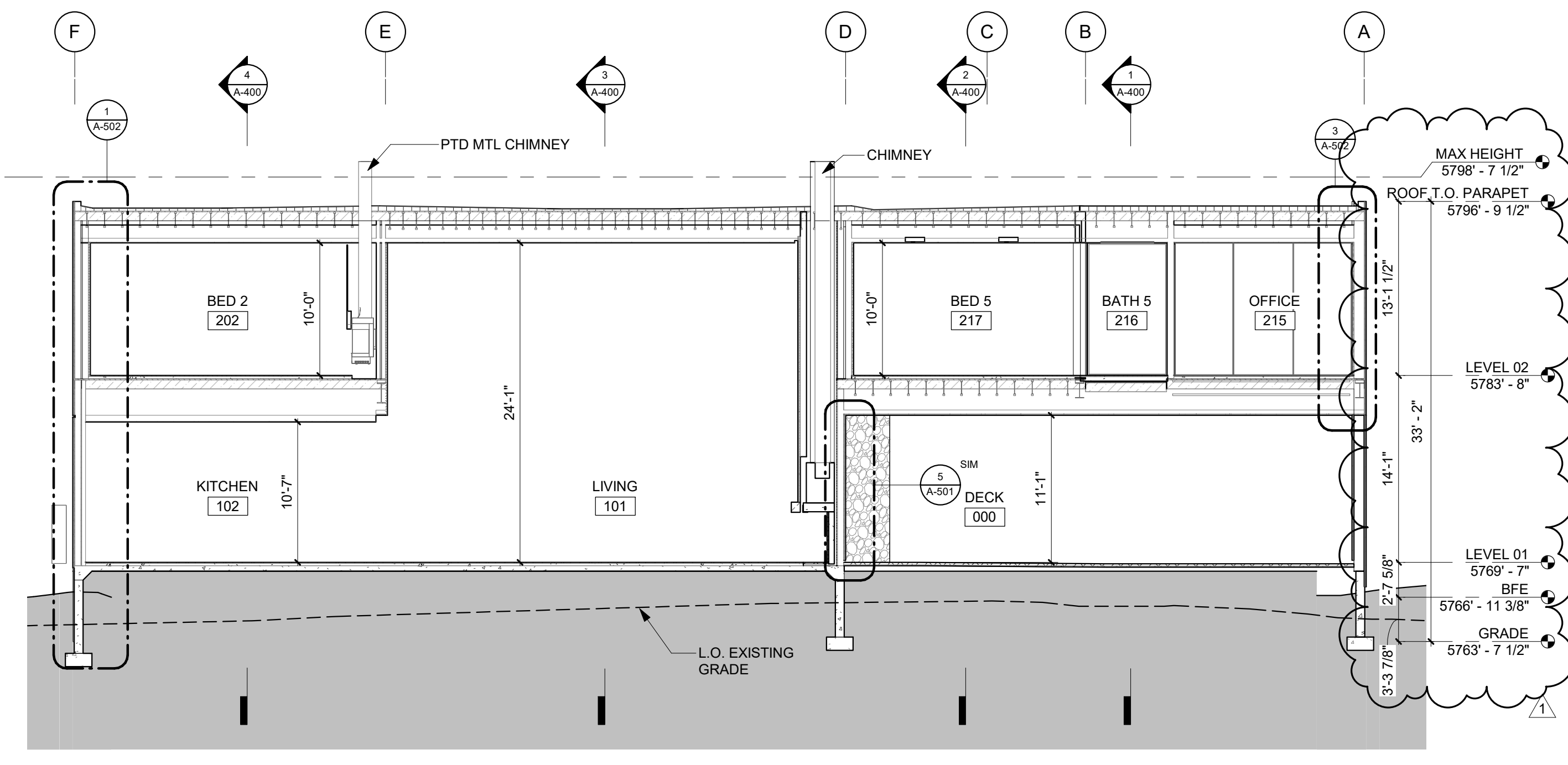
AUDIO VIDEO SYSTEMS, INC.  
2700 HOMESTEAD RD  
PARK CITY, UT 84098  
TEL: 801.649.5200



2 1/8" = 1'-0" BUILDING SECTION - STAIR



1 1/8" = 1'-0" BUILDING SECTION - NORTH

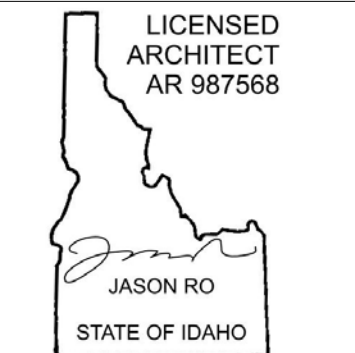


3 1/8" = 1'-0" SECTION - KITCHEN & LIVING E-W

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SEAL:



1	04.16.2024	FDP APP RESUBMITTAL
	12.13.2023	FDP APPLICATION
NO	DATE	ISSUE

PROJECT:  
**450 WOOD RIVER**  
450 WOOD RIVER DRIVE  
KETCHUM, ID 83340

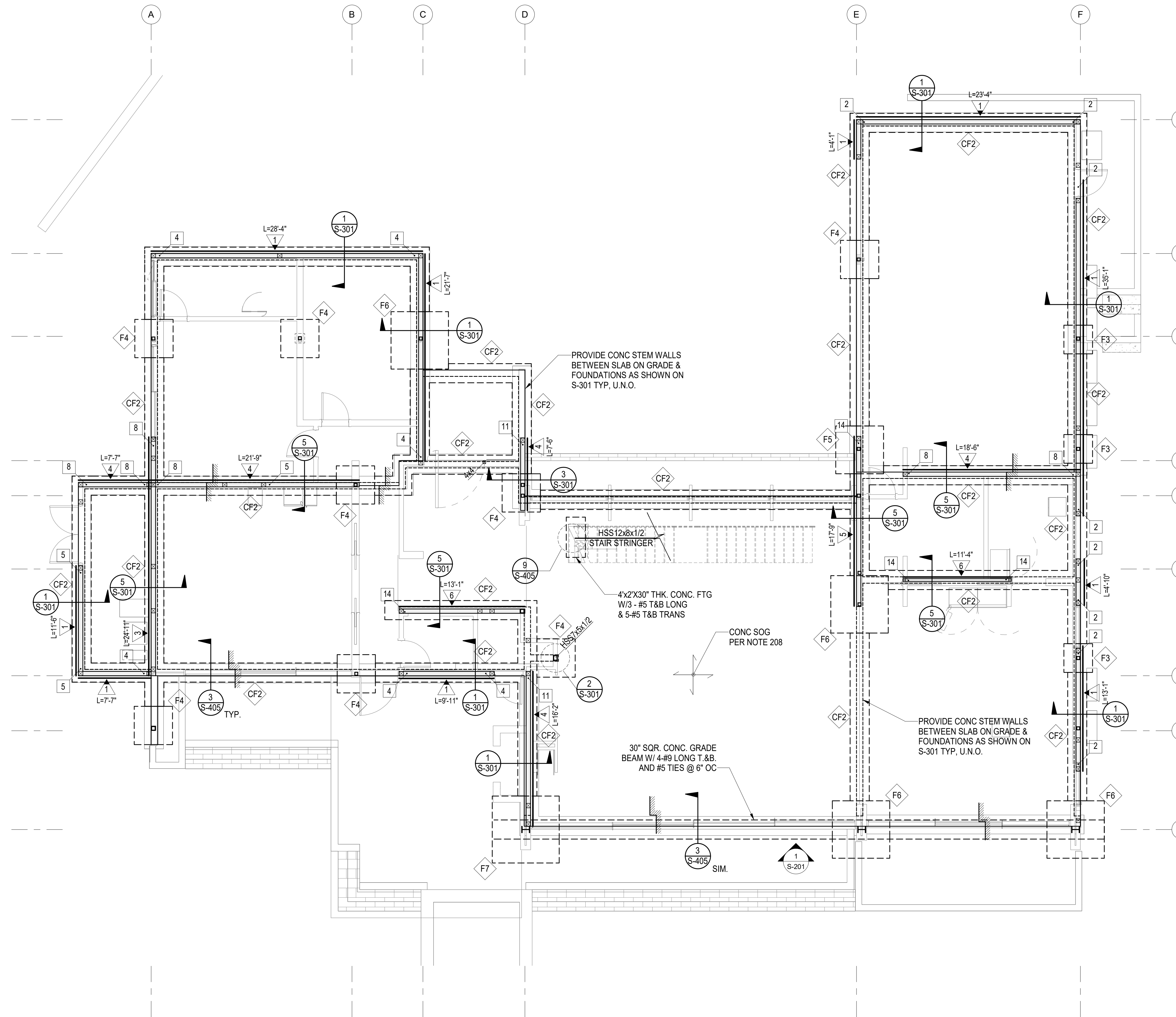
PROJECT NUMBER  
**2108**

DRAWING TITLE:  
**BUILDING SECTIONS**

DRAWING NUMBER:  
**A-401**

NOT FOR CONSTRUCTION

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**PLAN NOTES - SHEETS AND GENERAL:**

- 101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
- 102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
- 103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
- 104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

**PLAN NOTES - FOUNDATION:**

- 201. ALL GRADING & FOUNDATION WORK MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STEEL REINFORCEMENT AND POURING CONCRETE.
- 202. RECOMMENDED MATERIAL IS NATIVE SOIL BELOW THE FROST LINE.
- 203. IF FOR LIMITS AND EXTENT OF OVER EXCAVATION SEE CIVIL DRAWINGS.
- 204. U.N.O. TOP OF CONC. FOOTING ELEVATION SHALL BE 32" BELOW THE LOWEST GRADE. FOR TOP OF SLAB ELEVATION SEE ARCH'L DRAWINGS.
- 205. ALL HOLDOWN HARDWARE IS TO BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION. HOLDOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING PLATE WASHERS ARE REQUIRED FOR ALL HOLDOWNS.
- 206. FOR SLAB ON GRADE SUB-GRADE PREPARATION SEE SOILS REPORT.
- 207. FOR VAPOR BARRIER AT INTERIOR SPACES S.A.D. SPECIFICATIONS/DRAWINGS.
- 208. CONCRETE SLAB ON GRADE: 5" THICK, REINFORCED WITH #5 BARS AT 16" O.C. EACH WAY.
- 209. THE BUILDING HAS BEEN DESIGNED TO BE ANCHORED INTO THE BEARING MATERIAL PER THE DESIGN REQUIREMENTS OF ASCE 24-14.
- 210. THE ONLY STRUCTURAL MATERIAL OCCURRING BELOW THE B.F.E. IS REINFORCED CONCRETE, WHICH IS WITHIN THE ACCEPTABLE MATERIALS LIST FOR FLOORS AND WALLS IN TABLE 2 OF THE FEMA TECHNICAL BULLETIN.

**SYMBOLS - FOUNDATION**

- INDICATES CHANGE IN FLOOR ELEVATION
- INDICATES CONCRETE WALL
- INDICATES CONCRETE WALL BELOW
- INDICATES CONCRETE FOOTING
- INDICATES STEPPED FOOTING PER 18/S1.01
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
- INDICATES CONCRETE FOOTING PER SCHEDULE THIS SHEET
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET

CONC. FOOTING SCHEDULE	
MARK	SIZE AND REINFORCEMENT
F3	3'-0" SQUARE x 18" THICK W/ 4-#5 BOTTOM EACH WAY
F4	4'-0" SQUARE x 18" THICK W/ 6-#5 BOTTOM EACH WAY
F5	5'-0" SQUARE x 18" THICK W/ 7-#6 BOTTOM EACH WAY
F6	6'-0" SQUARE x 18" THICK W/ 8-#5 BOTTOM EACH WAY
F7	7'-0" SQUARE x 18" THICK W/ 9-#5 BOTTOM EACH WAY
CF2	2'-0" WIDE x 12" THICK W/ 3-#5 T&B LONG TOP & BOTTOM.

**450 WOOD RIVER**

OWNER:  
**450-490 WOOD RIVER, LLC**  
 ATTN: MATT SCOGGINS  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
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 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

CONTRACTOR:

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**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES**  
 100 BELL DRIVE  
 KETCHUM, ID 83340  
 TEL: 208.726.9512

LANDSCAPE ARCHITECT:  
**FIELD STUDIO LANDSCAPE ARCHITECTS**  
 722 N. ROUSE AVENUE  
 BOZEMAN, MT 59715  
 TEL: 406.551.2098

STRUCTURAL ENGINEER:  
**LABIB FUNK & ASSOCIATES**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22777  
 MEP ENGINEER:



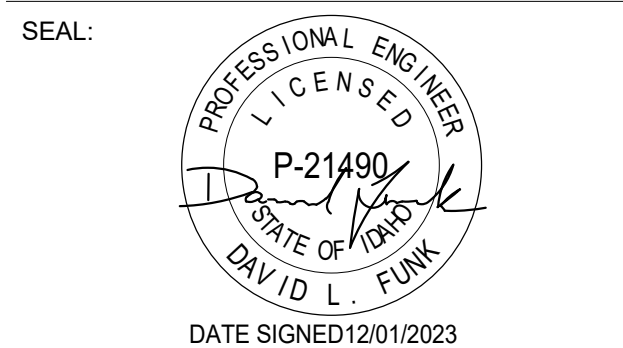
**CONSULTING ENGINEERING SERVICES (CES)**  
 1001 W OAK BLDG  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

AV:

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NO	DATE	ISSUE
12/01/2023	PLAN CHECK RESUBMITTAL	
05/05/2023	PLAN CHECK SUBMITTAL	

PROJECT:  
**450 WOOD RIVER**  
 450 WOOD RIVER DRIVE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**2108**

DRAWING TITLE:  
**FOUNDATION/LEVEL 1 PLAN**

DRAWING NUMBER:  
**S-101**

**1 FOUNDATION/LEVEL 1 PLAN**  
 S-101 3/16" = 1'-0"