

OFFICIAL USE ONLY	
File Number:	P23-097
Date Received:	10/26/23
By:	HLN
Fee Paid:	\$1800
Approved Date:	
Denied Date:	
By:	

Floodplain Development Permit Application

Submit completed application and documentation to planningandzoning@ketchumidaho.org Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

When is a Floodplain Development Permit Application required?

The Floodplain Management Overlay Zoning District boundaries are represented on the official zoning map of the City.

All land within the external boundary of the special flood hazard area (SFHA) and all parcels with any portion thereof affected by said SFHA shall be considered to be within the Floodplain Management Overlay Zoning district.

All land areas within the external boundary of the SFHA shall be considered to be within the floodplain subdistrict of the Floodplain Management Overlay Zoning District. The City may make necessary interpretations of the boundary based upon the recommendation of the City Engineer or other expert.

All land areas within the external boundary of the regulatory floodway shall be considered to be within the floodway subdistrict of the Floodplain Management Overlay Zoning District. The City may make necessary interpretations of the boundary based upon the recommendation of the City Engineer or other expert.

NOTE: This permit is required for all properties containing 100 year floodplain area and Riparian Setbacks

PROPERTY OWNER INFORMATION
Property Owner Name(s): Brennan Holdings No. 300 LLC
Property Owner's Mailing Address: PO Box 1991 Sun Valley ID 83353
Phone: 208-720-4065
Email: brennanholding@gmail.com
PROJECT INFORMATION
Project Name: Warm Springs Ranch Residences, Lot 7 Floodplain Development Permit
Project Representative's Name (main point of contact for project): Ethan Beck
Project Representative's Phone: 503-961-3570
Project Representative's Mailing Address: PO Box 4530 Hailey, ID 83333
Project Representative's Email: ethan@ethanbeckhomes.com
Architect's name, phone number, e-mail: Carmen Finegan
Landscape Architect's name, phone number, e-mail: Kurt Eggers, 208-725-0988, kurt@eggersassociates.com
Environmental consultant's name, phone number, e-mail: N/A
Engineer's name, phone number, e-mail: Phoebe Johannessen 208-726-9512 phoebe@galena-benchmark.com
Project Address: 127 Mountain Creek Drive
Legal Description of parcel: Warm Springs Ranch Residences Lot 7, Block 2
Lot Size: 0.38 acres
Zoning District: GR-L
Overlay Zones – indicate all that apply: <input checked="" type="checkbox"/> Floodplain <input checked="" type="checkbox"/> Floodway <input checked="" type="checkbox"/> Riparian Zone <input checked="" type="checkbox"/> Avalanche <input type="checkbox"/> Mountain
Brief description of project scope: Single family home construction. A portion of the lot is within the floodplain and floodway.
Value of Project: \$
TYPE OF PROJECT – indicate all that apply:

<input checked="" type="checkbox"/> New Building in Floodplain	<input type="checkbox"/> Building Addition in Floodplain	<input type="checkbox"/> Emergency Streambank Stabilization / Stream Alteration	<input type="checkbox"/> Other. Please describe:
<input type="checkbox"/> Floodplain Development	<input type="checkbox"/> Streambank Stabilization / Stream Alteration		
PROPOSED SETBACKS – if project is a new building or an addition to an existing building			
Front: 19' 2"	Side: 15'	Side: 15'	Rear: 71' 11"
ADDITIONAL INFORMATION			
Will fill or excavation be required in floodplain, floodway or riparian zone? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
If Yes, Amount in Cubic Yards: Fill: 150 CY Excavation: 600 CY			
Will Existing Trees or Vegetation be Removed? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
Will new trees or vegetation be planted? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.



 Signature of Owner/Representative

10/24/2023

 Date

Warm Springs Ranch, Lot 7

Floodplain Evaluation Standards Narrative

SUBMITTED FOR: Owner's Representative – Ethan Beck Homes
Owner – Brennan Holdings No. 300 LLC

SUBMITTED BY: Galena-Benchmark Engineering, Project Engineer



October 2023

FLOODPLAIN MANAGEMENT OVERLAY EVALUATION STANDARDS

Please provide a narrative to address each of the criteria below.

Criteria for Evaluation of Applications: The criteria of floodplain development permit applications and riparian alteration permits shall be as follows:

1. The proposal preserves or restores the inherent natural characteristics of the river, floodplain, and Riparian Zone, including riparian vegetation and wildlife habitat. Development does not alter river channel unless all stream alteration criteria for evaluation are also met.

Warm Springs Creek, in this location, can be described as degraded. This condition is not the result of activities by the applicant. Existing trees and larger vegetation will be left undisturbed. Additions to the riparian area include an assortment of deciduous trees, deciduous shrubs and native grasses as detailed on the Landscape Plan, L3. This proposal does not alter the stream channel.

2. No temporary construction activities, encroachment, or other disturbance into the twenty-five foot (25') Riparian Zone, including encroachment of below grade structures, shall be permitted, except for approved stream stabilization work and restoration work associated with a riparian zone that is degraded.

Some temporary activities will be required within the 25' riparian zone. These activities are associated with planting riparian vegetation and natural grasses noted in #1 above and are detailed on the Landscape Plan, L3.

3. No permanent development shall occur within the twenty-five foot (25') Riparian Zone, except for approved stream stabilization work and restoration work associated with permit issued under this title, or exceptions as described below:

- a. Access to a property where no other primary access is available.
- b. Emergency access required by the Fire Department.
- c. A single defined pathways or staircases for the purpose of providing access to the river channel and in order to mitigate multiple undefined social paths.
- d. Development by the City of Ketchum

This application does not include any permanent development in the riparian zone other than the restoration work described in this permit application.



4. New or replacement planting and vegetation in the Riparian Zone shall include plantings that are low growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings most commonly include red osier dogwood, common chokecherry, serviceberry, elderberry, river birch, skunk bush sumac, Beb's willow, Drummond's willow, little wild rose, gooseberry, and honeysuckle. However, in rare instances the distance from the top-of-bank to the mean high-water mark is significant and the native vegetation appropriate for the Riparian Zone are low growing, drought resistant grasses and shrubs. Replacement planting and vegetation shall be appropriate for the specific site conditions. Proposal does not include vegetation within the twenty-five foot (25') Riparian Zone that is degraded, not natural, or which does not promote bank stability.

Riparian Zone plans include maintaining the existing vegetation and adding restorative stabilization plantings including Dogwood and Willow shrubs as well as native riparian grass seed mix. See sheet L3 for locations and details.

5. Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.

The driveway is located outside the floodplain. Sheet flooding in this area is not anticipated. No landscaping berms are proposed. The landscaping proposed within the floodplain works in conjunction with the riparian restoration plan described in this permit and will improve the function of the floodplain over the current degraded condition. Surface drainage from the lot is contained onsite via drywells.

6. Floodwater carrying capacity is not diminished by the proposal.

The home is located and oriented on the lot to minimize the amount of development in the floodplain. For the portion of the deck that is within the SFHA, a system of concrete piers and foundation footings is proposed. The home features a crawlspace design with engineered flood openings that meets FEMA guidelines. Locations of flood vents are shown on sheet A1.0. These openings will allow flood waters to pass through during flood events so that floodwater carrying capacity is not diminished.



7. Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not negative.

As noted above, surface drainage is contained onsite and the development in the floodplain is designed to accommodate sheet flooding expected in the area. There is no development in the riparian area and additional riparian vegetation is proposed to improve the riparian function. The proposed riparian restoration is designed to have a positive impact on aquatic life and water quality.

8. Building setback in excess of the minimum required along waterways is encouraged. An additional ten foot (10') building setback beyond the required twenty-five foot (25') Riparian Zone is encouraged to provide for yards, decks and patios outside the twenty five foot (25') Riparian Zone.

The proposed building setbacks from Warm Springs Creek ranges from a minimum of 25' to a maximum of 51' with an approximate average of 41' setback from the OHW. This home design and orientation allows for a deck located outside the 25' riparian zone as illustrated on the Site Plan, L1.

9. The top of the lowest floor of a building located in, or partially within, the SFHA shall be at or above the Flood Protection Elevation (FPE). A building is considered to be partially within the SFHA if any portion of the building or appendage of the building, such as footings, attached decks, posts for upper story decks, are located within the SFHA. See section 17.88.060, figures 1 and 2 of this chapter to reference construction details. See Chapter 17.08 of this title for definition of "lowest floor."

- a. In the SFHA where Base Flood Elevations (BFEs) have been determined, the FPE shall be twenty-four inches (24") above the BFE for the subject property; twenty-four inches (24") or two (2) feet is the required freeboard in Ketchum city limits.
- b. In the SFHA where no BFE has been established, the FPE shall be at least two (2) feet above the highest adjacent grade.

The proposed home is located partially within the floodplain. The highest BFE for the portion of the home within the SFHA is 5821.0'. The top of the subfloor is 5823.44' as shown on Building Elevations, Sheet A 3.1, allowing for 2.44' of freeboard.

10. The backfill used around the foundation in the SFHA floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent.

- a. Compensatory storage shall be required for any fill placed within the floodplain.



b. A CLOMR-F shall be obtained prior to placement of any additional fill in the floodplain.

The Grading & Drainage Plan Sheet C-1 shows a 4:1 grade leading away from the home and tying into a drainage swale at existing grade within 15' of the foundation.

11. All new buildings located partially or wholly within the SFHA shall be constructed on foundations that are designed by a licensed professional engineer.

The foundation plan Sheet S2.0 is prepared by Frost Structural Engineering and is stamped by Markell Bateman, Professional Engineer License number 11697.

12. Driveways shall comply with City of Ketchum street standards; access for emergency vehicles has been adequately provided for by limiting flood depths in all roadways to one foot (1-ft) or less during the 1% annual chance event.

Not applicable. No portion of the driveway is proposed to be located within the SFHA.

13. Landscaping or revegetation shall conceal cuts and fills required for driveways and other elements of the development.

Not applicable. No portion of the driveway is proposed to be located within the SFHA.



General Notes

1. Base map information taken from survey by Benchmark Associates dated 12/17/21 and from on-site information. Architectural information provided by Carmen Finegan Architect dated 02/07/22. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

- Property Line
- BE Building Envelope
- - - 10' PUE And Snow Storage Easement
- - - 10' Fisherman's Easement
- Edge of Mean High Water
- RS 25' Riparian Setback
- FP 100 Year Floodplain Per FEMA 2010
- FW Floodway
- BA Blue Avalanche Zone
- RA Red Avalanche Zone
- Concrete Pavers
- Asphalt
- Wood
- Building Footprint

Snow Storage

Driveway Area:	936 sq ft
Walkway Area:	300 sq ft
	x .30%
Required Area:	370 sq ft
Snow Storage Provided:	650 sq ft

Lot Coverage

Zoning: GR-L
 Max. Lot Coverage: 35%
 Building Height: 35 Feet

Setbacks:
 Front: 15 Feet
 Side Per City: 10' or 1 ft. Per 2 ft. Building Height
 Side Per CCR's: 15 Feet
 Rear: 20 Feet

Total Parcel Area: 16,502 ft²
 Area Within MHW: 5,395 ft²

Lot Coverage Area: 11,107 ft²

Building Footprint: 2,923 ft²
 (26.3% of Lot)

NOTES:

Site is accessed and served by a Private Road (Mountain Creek Drive) per Plat of Warm Springs Ranch Residences. Therefore, city standards for Curb Cut and Right of Way are not applicable.

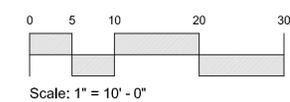
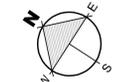
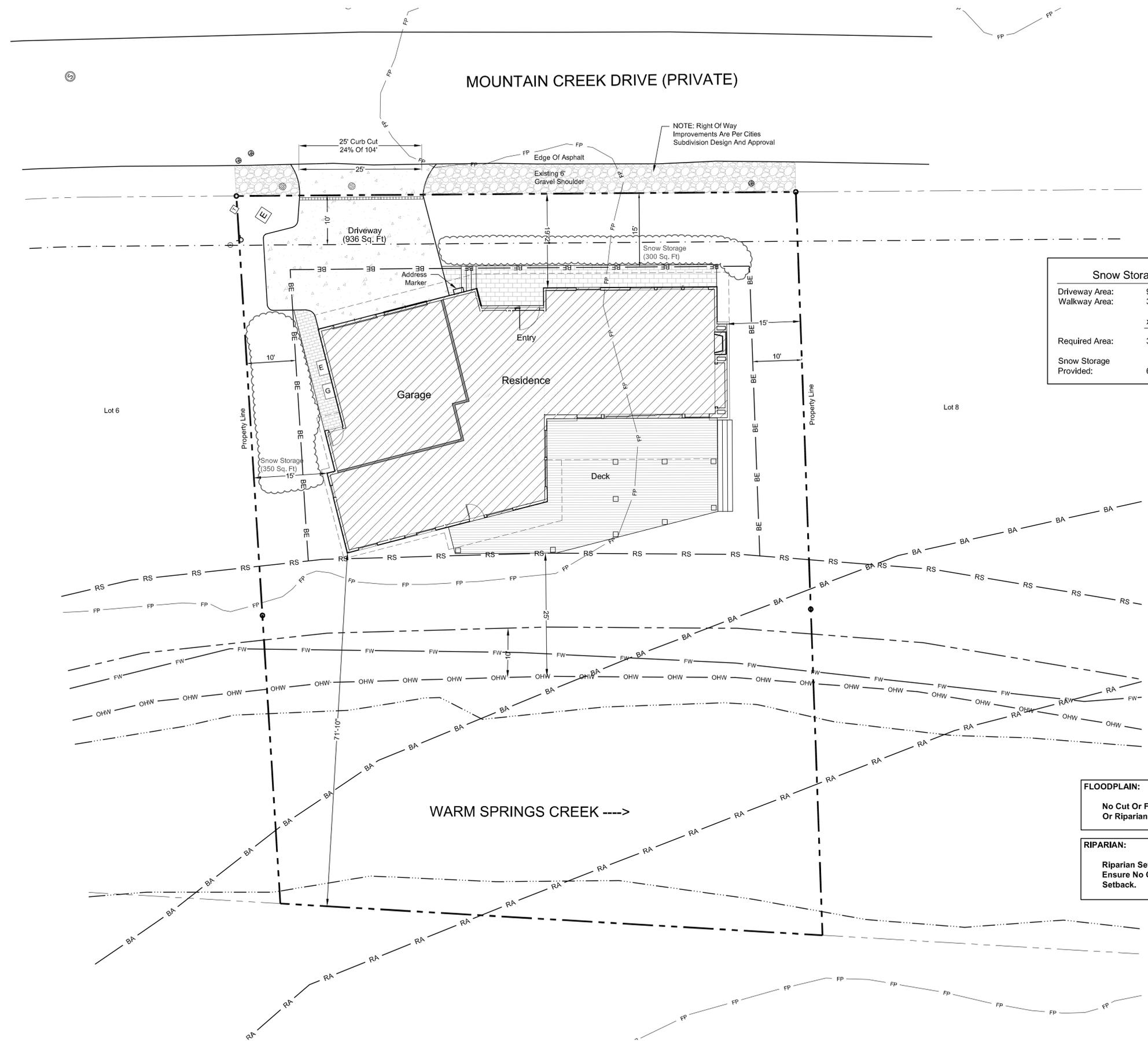
FLOODPLAIN:
 No Cut Or Fill Is Proposed In Floodplain Or Riparian Setback

RIPARIAN:
 Riparian Setback Line Shall Be Staked To Ensure No Construction Intrudes Into Setback.

FIRE ACCESS:
 Entire structure is accessible within 150' from Mountain Creek Drive. Driveway width is 20'

MOUNTAIN CREEK DRIVE (PRIVATE)

WARM SPRINGS CREEK





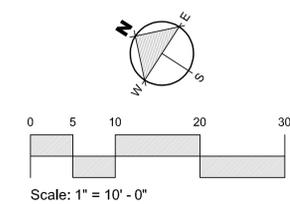
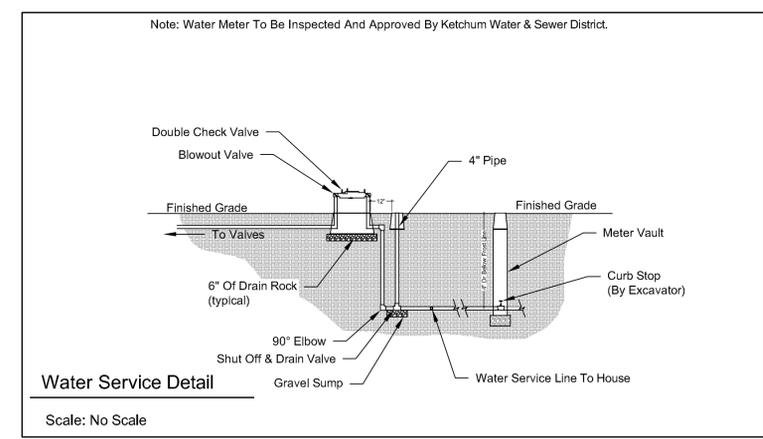
NOTE:
Per Avalanche Code - Utilities
Are Located On Leeward Side
Of Structure

NOTE:
See Civil Sheet C-2 For Water
And Sewer Detail

- General Notes**
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 2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
 3. All existing utilities are underground. All new utilities shall be underground.
 4. Site serviced by City of Ketchum.

Plan Legend

---	Property Line
BA	Blue Avalanche Zone
RA	Red Avalanche Zone
FP	100 Year Floodplain Per FEMA 2010
G	Gas Line
W	Water Line
S	Sewer Line
---	Electrical Service
---	Gas Service
---	Water Service
---	Sewer Service
PB	Utilities
G	Utilities



General Notes

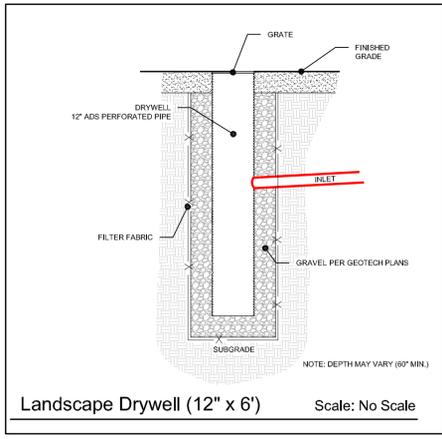
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Plan Legend

	Property Line
	Existing Contour
	Edge of Mean High Water
	25' Riparian Setback
	100 Year Floodplain Per FEMA 2010
	Blue Avalanche Zone
	Red Avalanche Zone
	Existing Spot Elevations
	Proposed Contour
	Landscape Drywell
	Proposed Drainage Direction With Slope Percentage
	Proposed Spot Elevations
	4\" Perforated Pipe
	4\" Solid Drain Pipe

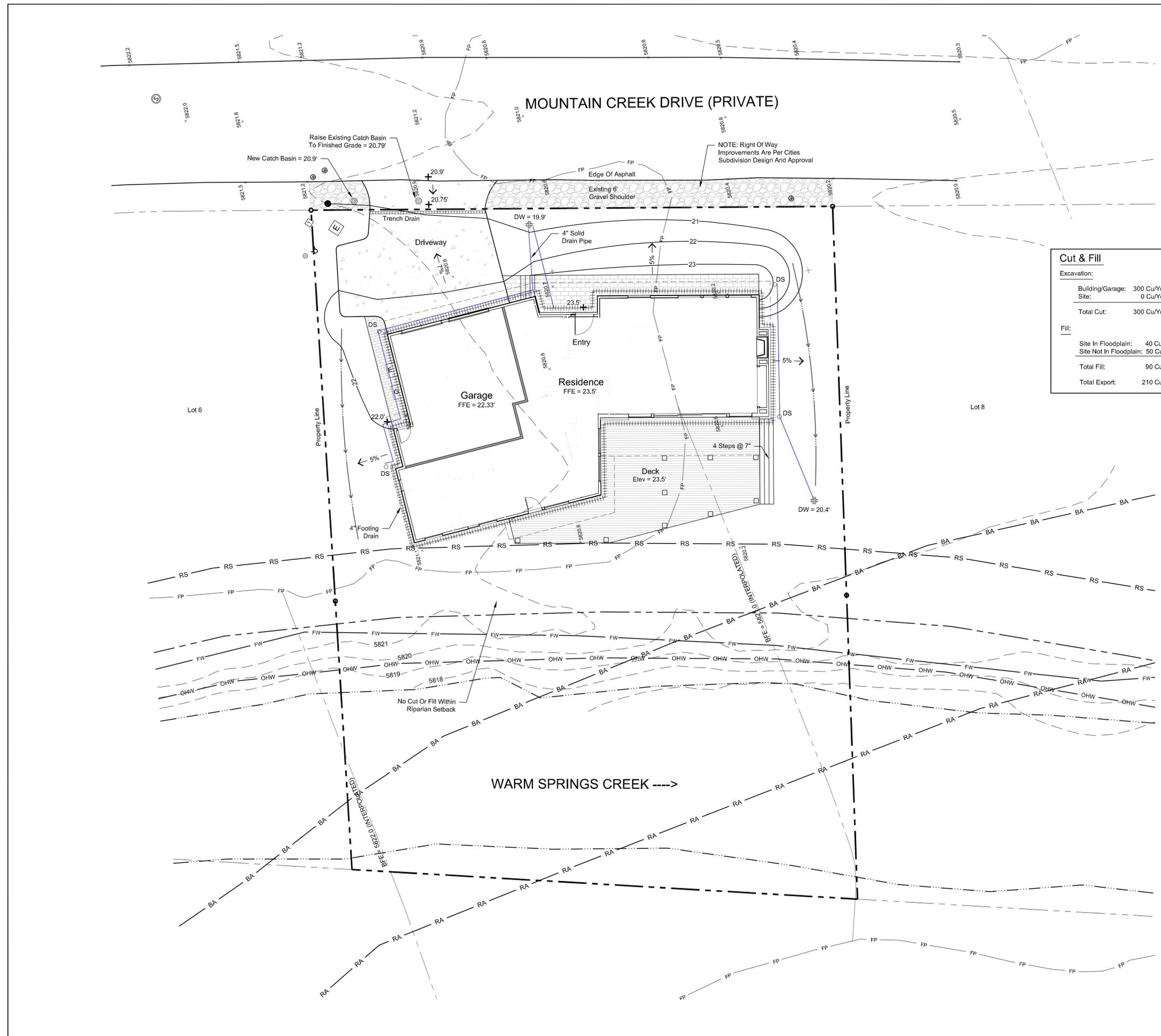
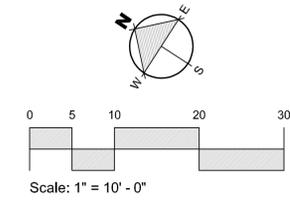
Cut & Fill

Excavation:	
Building/Garage:	300 Cu/Yds
Site:	0 Cu/Yds
Total Cut:	300 Cu/Yds
Fill:	
Site In Floodplain:	40 Cu/Yds
Site Not In Floodplain:	50 Cu/Yds
Total Fill:	90 Cu/Yds
Total Export:	210 Cu/Yds

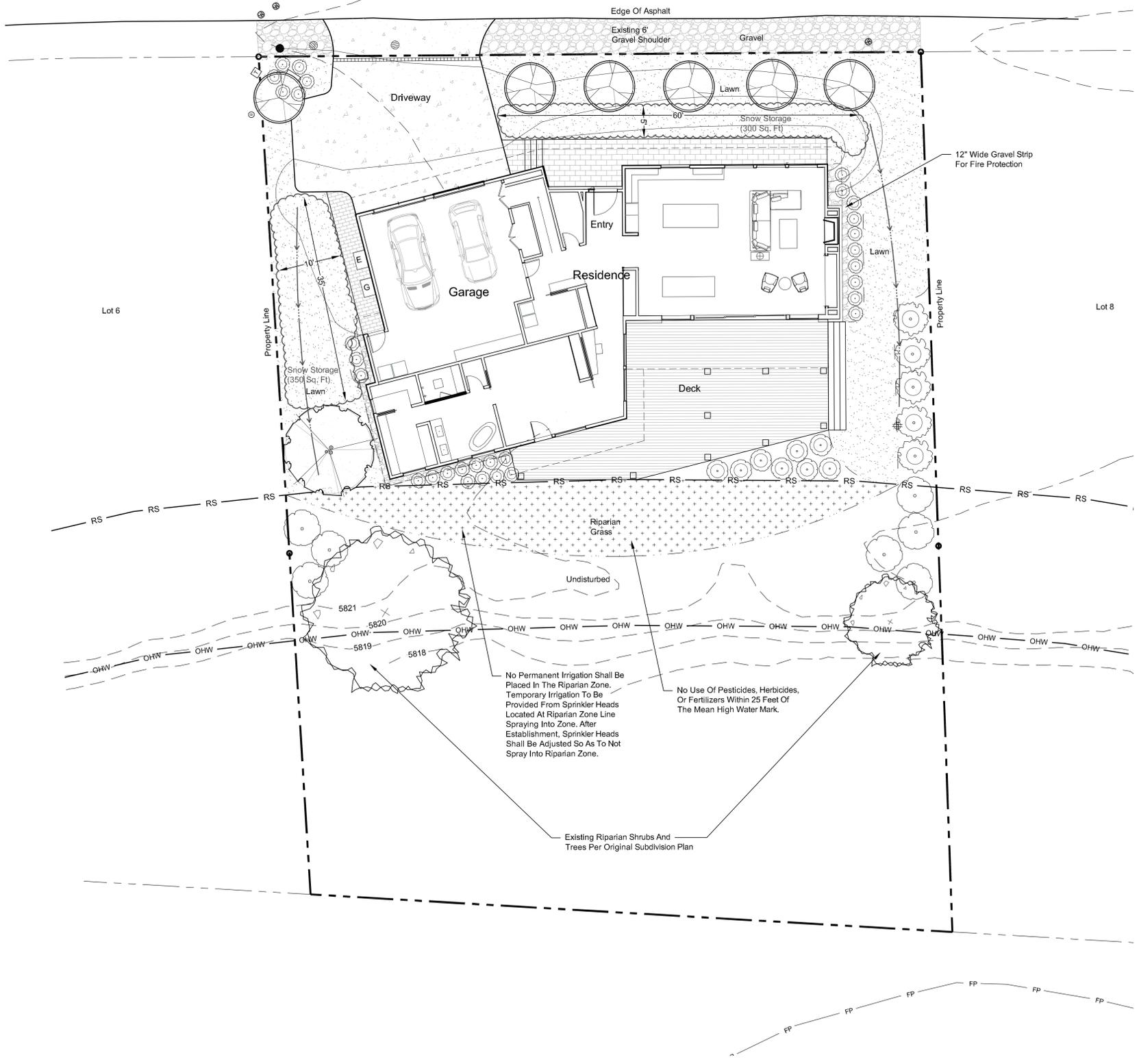


NOTE:
No Proposed Cut/Fill In Floodplain Or Riparian

NOTE:
See Civil C-1 For Overall Grading And Drainage



MOUNTAIN CREEK DRIVE (PRIVATE)



Existing Plant Legend

- Existing Deciduous Tree (To Remain)
- Existing Riparian Shrub (To Remain)

General Notes

- Base map information taken from survey by Benchmark Associates dated 12/11/21 and from on-site information. Architectural information provided by Carmen Finegan Architect dated 02/07/22. Contractor shall verify conditions in the field prior to construction.
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- All existing utilities are underground. All new utilities shall be underground.
- Site serviced by City of Ketchum.

Riparian Plant Legend

Quantity	Species	Size
Deciduous Trees		
2	Existing Riparian Trees	
Deciduous Shrubs		
7	Existing Riparian Shrubs	
Natural Grasses		
900 sq.ft.	Riparian Seed Mix	Hydroseed
<i>Idaho Fescue, Bluebunch Wheatgrass, Bluejoint Wheatgrass, Streambank Wheatgrass, Tufted Hairgrass, Fowl Bluegrass, Western Yarrow</i>		

Plan Legend

- Property Line
- OHW - Ordinary High Water Mark
- RS - 25' Riparian Setback
- Proposed Contour
- Landscape Drywell
- Concrete Pavers
- Asphalt
- Gravel

Snow Storage

Driveway Area:	936 sq ft
Walkway Area:	300 sq ft
	x .30%
Required Area:	370 sq ft
Snow Storage Provided:	650 sq ft

Irrigation Calculation
(Lot = ± .38 Acres)

Description	Square Footage
Lawn	2,550 sq.ft.
Planter Beds	500 sq.ft.
Total Irrigated Area	3,050 sq.ft. +/- .07 Acres

Plant Legend

Quantity	Species	Size
Deciduous Trees		
1	Autumn Blaze Maple	2" - 3" Cal.
6	Flowering Crab	2" - 3" Cal.
Large Deciduous Shrubs		
5	Lilacs	5 Gal.
Deciduous Shrubs		
38	Coloneaster Ninebark Spirea Snowberry Dogwood	5 Gal.
Grasses		
2,550 sq.ft.	Lawn Mix	Hydroseed
<i>Tall Fescue Hard Fescue Chewing Fescue</i>		

Landscape Notes:

- The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.
- Tree Crowns Within 30 Feet Of Any Structure Shall Be Pruned To Remove Limbs Located Less Than 6 Feet Above The Ground Surface Adjacent To The Trees.

Per Development Agreement:

- Landscape shall be Drought Tolerant
- Irrigation System shall be Equipped With Shut Off Valve Not Impacting Water Service To Residence
- Irrigation System shall be Water Efficient In Ground Components, Controller With Rain/Freeze Sensor.
- Isolate Zones Per Plant Type And Exposure.

No Permanent Irrigation Shall Be Placed In The Riparian Zone. Temporary Irrigation To Be Provided From Sprinkler Heads Located At Riparian Zone Line Spraying Into Zone. After Establishment, Sprinkler Heads Shall Be Adjusted So As To Not Spray Into Riparian Zone.

No Use Of Pesticides, Herbicides, Or Fertilizers Within 25 Feet Of The Mean High Water Mark.

