



City of Ketchum
Planning & Building

Design Review Application

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
Approved Date:
Denied Date:
By:
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>

APPLICANT INFORMATION				
Project Name: 200 North Main		Phone: (206) 521-7216		
Owner: 200 North Main, LLC, Kenneth Paul Dudunakis, Owner's Member and Kristina Ann Dudunakis, Owner's Member		Mailing Address: 2637 134th Avenue NE, Seattle, WA 98005		
Email: kenny.dudunakis@berkadia.com, kris.dudunakis@frontier.com				
Architect/Representative: Michael Doty Associates, Architects		Phone: (208) 726-4228		
Email: mike@mda-arc.com		Mailing Address: PO Box 2792, Ketchum, ID 83340		
Architect License Number: AR-1612				
Engineer of Record: Judsen Williams		Phone: 208-336-6985		
Email: judsen.williams@kpff.com		Mailing Address: 412 E Parkcenter Blvd #200, Boise, ID 83706		
Engineer License Number: 12033				
All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.				
PROJECT INFORMATION				
Legal Land Description: Lot 1, BLK 3, Ketchum Townsite				
Street Address: 200 Main Street Ketchum, ID 83340				
Lot Area (Square Feet): ±5,503 SF				
Zoning District: CC-1 Community Core, Retail				
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain				
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other				
Anticipated Use: Commercial (Restaurant) & Residential		Number of Residential Units: 7		
TOTAL FLOOR AREA				
	Proposed		Existing	
Basements	2,117 (Not included in total)	Sq. Ft.	N/A	Sq. Ft.
1 st Floor	4,403 (Subtracts area of 2 parking spaces)	Sq. Ft.	N/A	Sq. Ft.
2 nd Floor	4,602	Sq. Ft.	N/A	Sq. Ft.
3 rd Floor	3,400	Sq. Ft.	N/A	Sq. Ft.
Mezzanine	N/A	Sq. Ft.	N/A	Sq. Ft.
Total	12,405	Sq. Ft.	N/A	Sq. Ft.
FLOOR AREA RATIO				
Community Core: 2.25		Tourist: N/A	General Residential-High: N/A	
BUILDING COVERAGE/OPEN SPACE				
Percent of Building Coverage: N/A				
DIMENSIONAL STANDARDS/PROPOSED SETBACKS				
Front: 0	Side: 0	Side: 0	Rear: 3'	
Building Height: Main Street: 41'-7 1/4" Alley: 38'-11 1/2"				
OFF STREET PARKING				
Parking Spaces Provided: 2 Parking Spaces				
Curb Cut: N/A	Sq. Ft.	N/A	%	
WATER SYSTEM				
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water		



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C1.01	DETAIL SHEET
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A-362	EXISTING EAST PERSPECTIVE
A-363	PROPOSED EAST PERSPECTIVE
A-364	EXISTING MAIN STREET PERSPECTIVE
A-365	PROPOSED MAIN STREET PERSPECTIVE
DESIGN REVIEW SHEET TOTAL: 57	

MATERIAL SYMBOLS

PLAN AND SECTION	ELEVATION
EARTH / TOP SOIL	PLYWOOD
WASHED ROCK	FINISH WOOD
ASPHALT PAVING / ROADBED MATL.	SAND, PLASTER, GYPSUM BOARD
CONCRETE	BATT INSULATION
BRICK	BIBS INSULATION
CONCRETE MASONRY UNIT	RIGID INSULATION
CUT STONE	SPRAY FOAM INSULATION
STEEL	WALL - NEW CONSTRUCTION
ALUMINUM	WALL - EXISTING TO REMAIN
	WALL - TO BE DEMOLISHED
	SIDING - WOOD
	SIDING - FIBER CEMENT PANEL/PHENOLIC CORE PANEL
	BRICK
	CONCRETE
	STUCCO
	GLASS
	CONCRETE MASONRY UNIT

PROJECT TEAM

OWNER:	200 N. Main, LLC Kenny and Kristina Dudunakis 2637 134th Avenue NE, Seattle, Washington 98005 (206) 521-7216 Kenny.Dudunakis@berkadia.com	LANDSCAPE DESIGNER:	Ash Boand Consulting+Design Ashley Boand PO Box 5136 Ketchum, Idaho 83340 (208) 726-2089 ash@ashboand.com
ARCHITECT:	Michael Doty Associates, Architects, PC Mike Doty PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	CIVIL ENGINEER:	Galena-Benchmark Engineering Matt Smiltman P.O. Box 733 Ketchum, Idaho 83340 (208) 726-9512 matt@galena-engineering.com
GENERAL CONTRACTOR:		LIGHTING DESIGNER:	LightPlan Lindsey Arvan 159 Western Avenue W, Suite 480 Seattle, Washington 98119 (208) 709-8123 lindsey@lightplannw.com
STRUCTURAL ENGINEER:	KPFF Structural Engineers Judson Williams 412 E Parkcenter Blvd 83706 Boise, Idaho 83706 (208) 336-6985 Judson.williams@kpff.com		

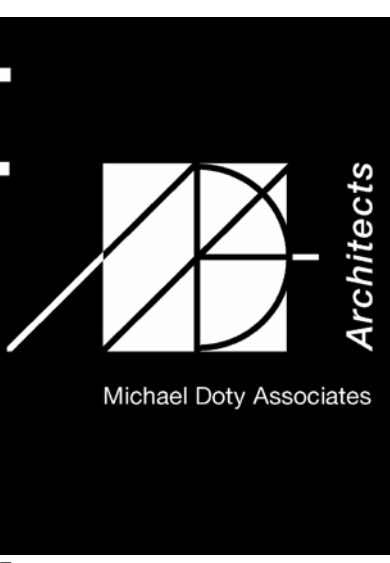
PROJECT DATA

PARCEL NUMBER:	RPK0000003001A
STREET ADDRESS:	200 NORTH MAIN STREET KETCHUM, IDAHO 83340
LEGAL DESCRIPTION:	LOT 1, BLK 3 KETCHUM TOWNSITE, KETCHUM, IDAHO
ZONING:	CC-1 COMMUNITY CORE, RETAIL
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY:	RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3
BUILDING AREA (GROSS):	TOTAL: 12,405 SF
FIRE SPRINKLER SYSTEM:	NFPA 13 THROUGHOUT
SITE AREA:	±5503 SF (0.126) ACRES
CODES:	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
JURISDICTIONS:	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

200 NORTH MAIN

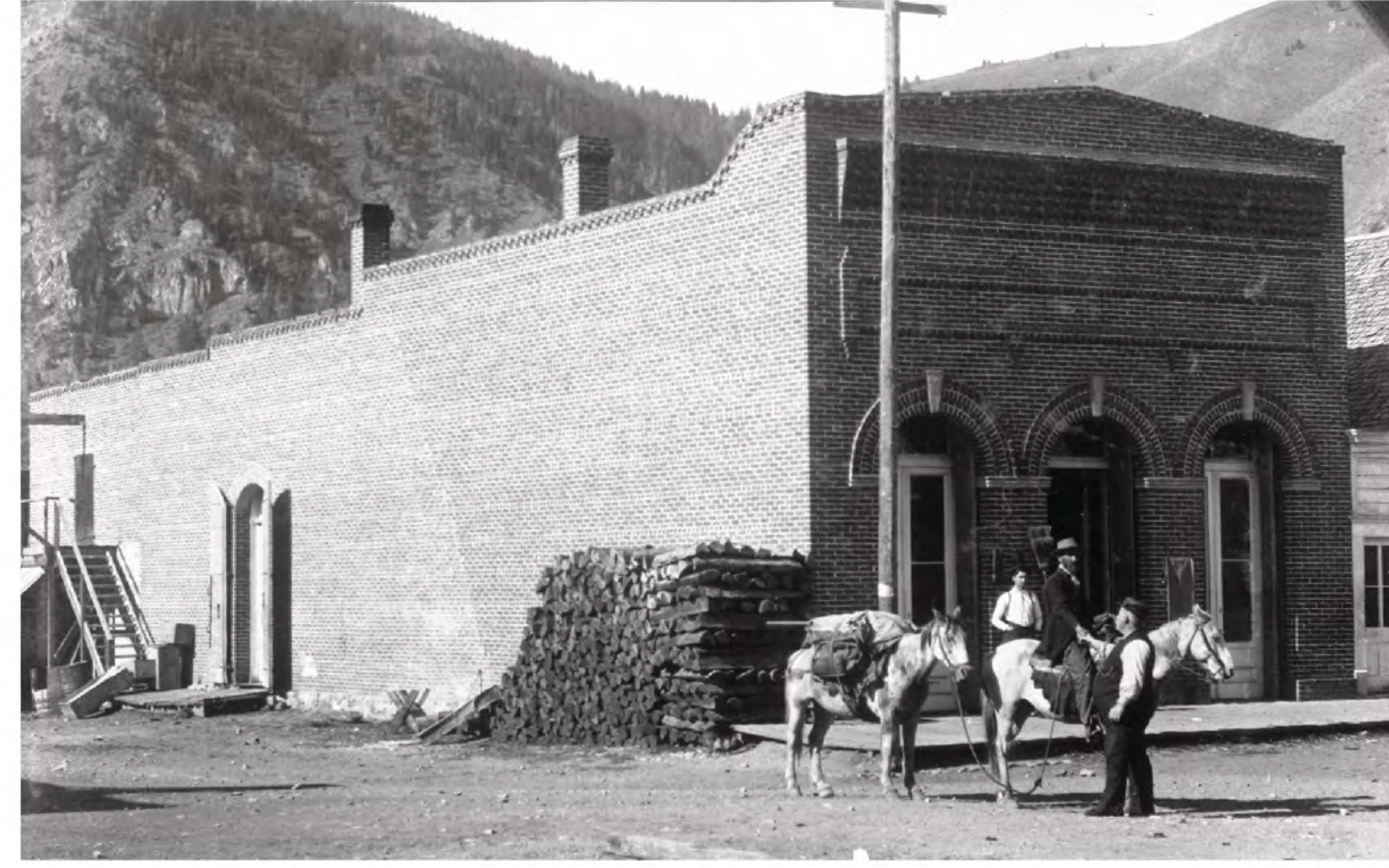
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



Michael Doty Associates, Architects PC

PROJECT INSPIRATION AND CONTEXT: HISTORIC KETCHUM



LEWIS LEMON/POST OFFICE/GOLDEN RULE/GRIFFITH BUILDING—CURRENTLY SUN VALLEY CULINARY INSTITUTE—AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



SALOON AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



VIEW OF MAIN STREET, LOOKING SOUTH, LATE 19TH CENTURY. IT LOOKS LIKE THE GRIFFITH BUILDING IS AT THE CENTER LEFT OF THE PHOTO, WHICH WOULD PLACE THE PHOTOGRAPHER OUTSIDE OF THE LANE MERCANTILE BUILDING.



MAIN STREET, BLOCK BETWEEN SUN VALLEY ROAD AND SECOND STREET, CIRCA LATE 1950S.



SALOON, KETCHUM, LATE 19TH CENTURY.



FIRST NATIONAL BANK BUILDING—CURRENTLY ROCKY MOUNTAIN HARDWARE—ALONG MAIN STREET, BETWEEN FIRST AND SECOND STREETS, KETCHUM, LATE 19TH CENTURY.



MAIN STREET, LOOKING NORTH, MID-1930S.



MAIN STREET, LOOKING NORTH, CIRCA 1970S.



LANE MERCANTILE BUILDING AT MAIN STREET AND SUN VALLEY ROAD CIRCA MID-20TH CENTURY.

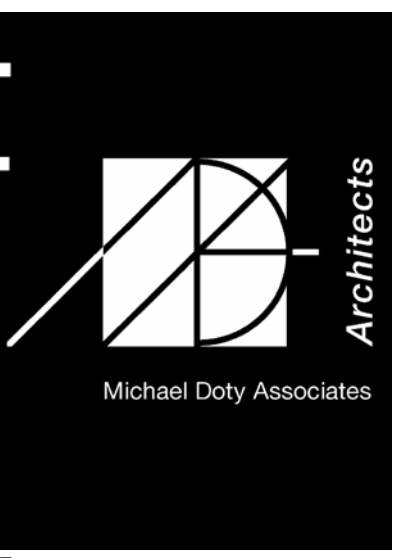


VIEW FROM MAIN AND SECOND STREET INTERSECTION TOWARD WARM SPRINGS, CIRCA 1930S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



Michael Doty Associates, Architects PC



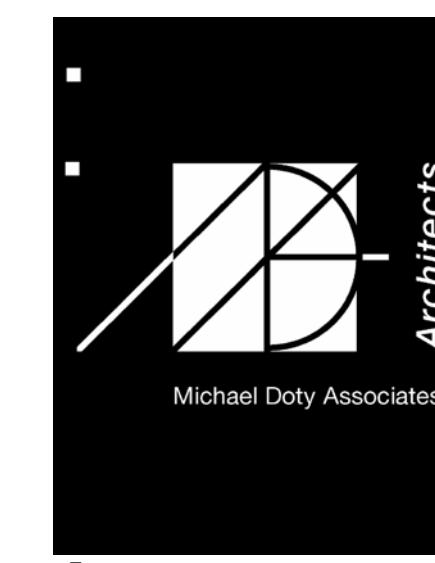
VICINITY MAP

SCALE: 1" = 100'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



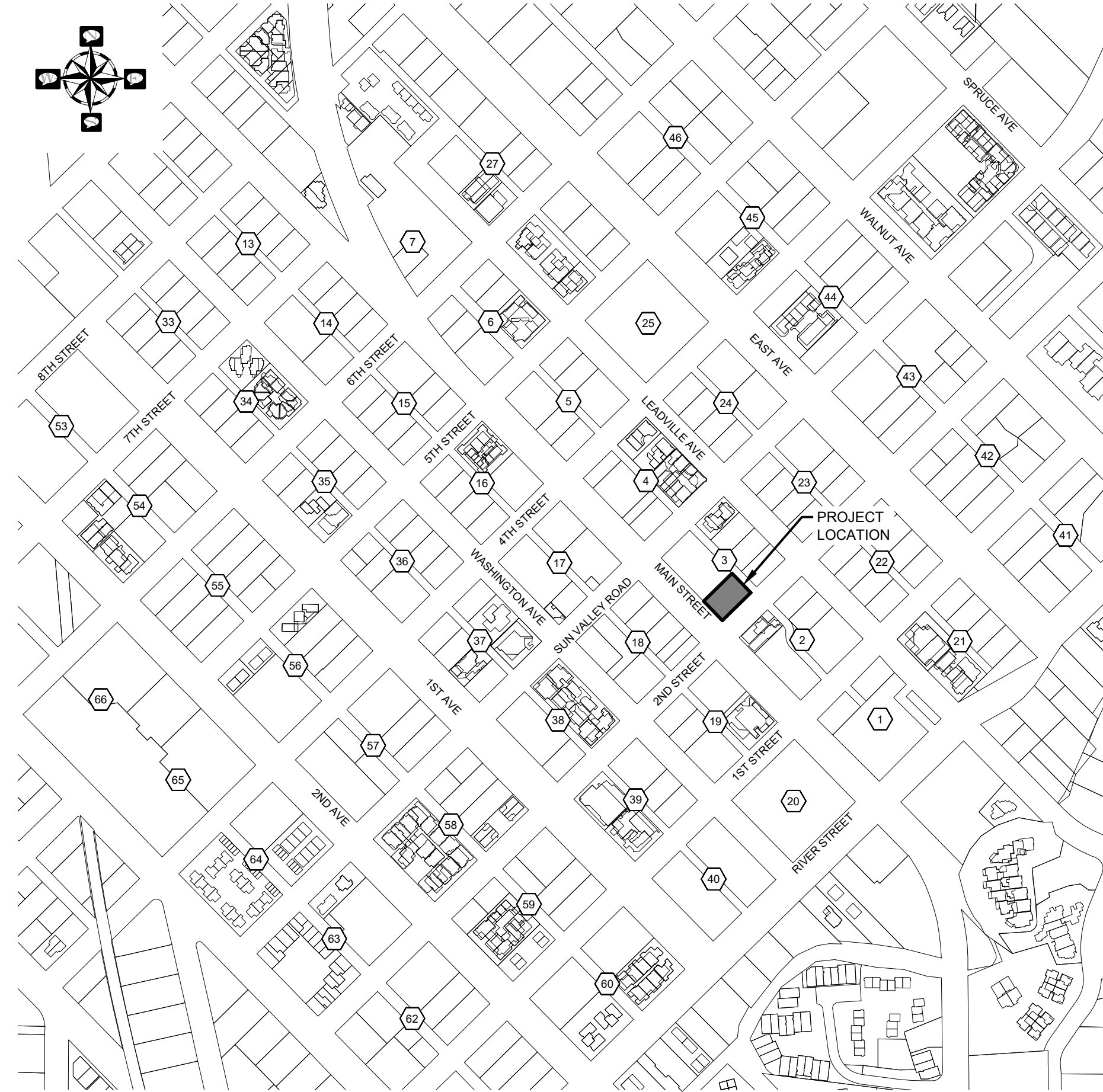
200 N. MAIN STREET

KETCHUM, IDAHO

MAY 2023

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFS STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINFS STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC., 10/21/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



VICINITY MAP
N.T.S.

SHEET INDEX

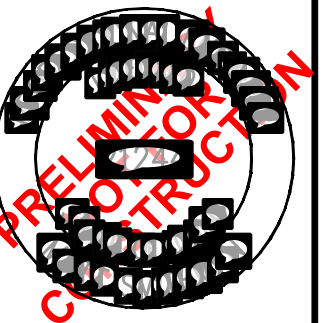
SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
C1.00-C1.02	DETAIL SHEETS
C1.10	DEMOLITION AND SITE GEOMETRY
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.

SITE IMPROVEMENT PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N. MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
G:\BANK\Ketchum\wlg\pbook\23\18276 - 200 N Main\dwg\Construction\0276 Civil\2023-04-17.dwg 09/05/23 11:55:59 AM



DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

BENCHMARK
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

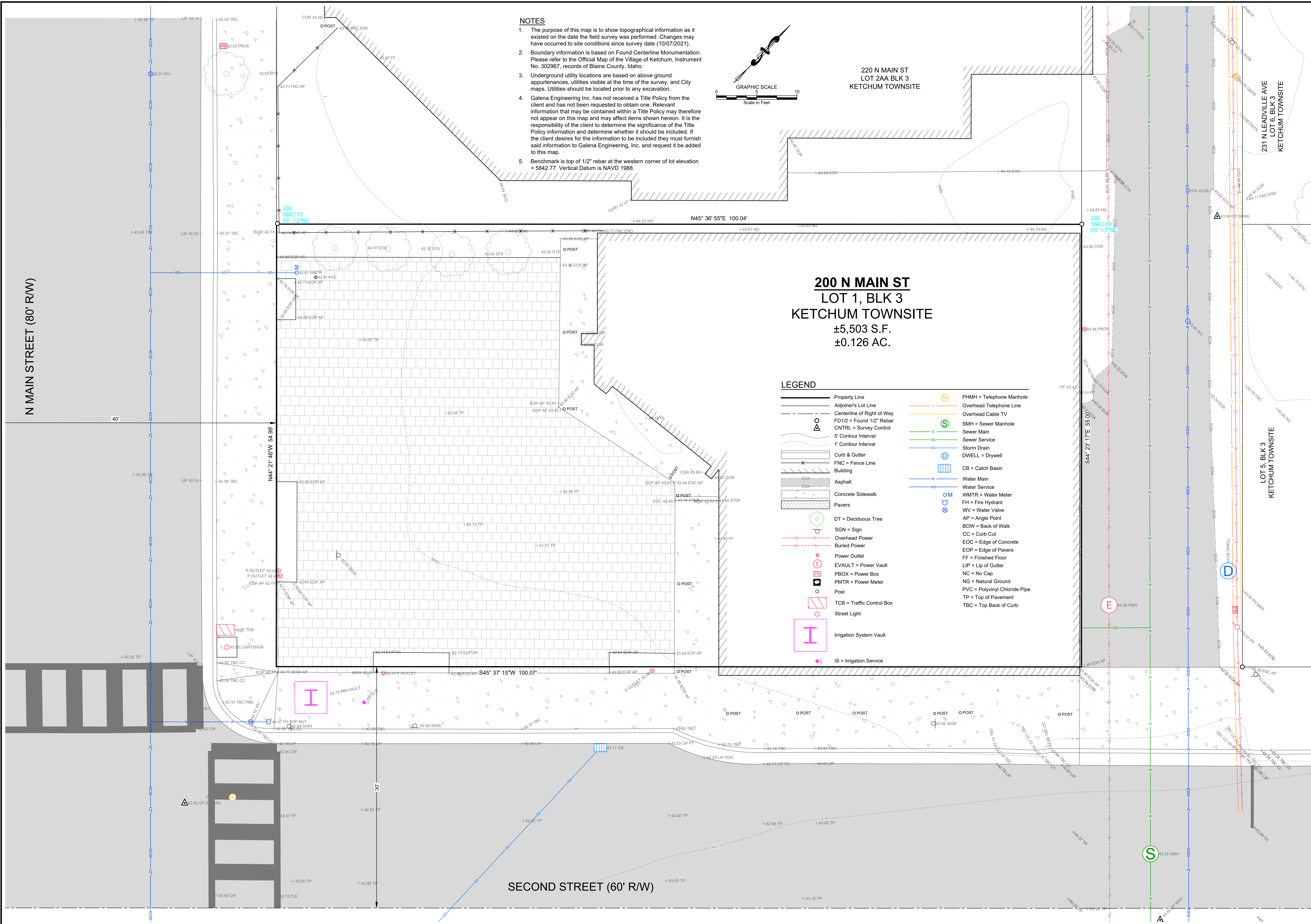
PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO. DATE BY REVISIONS

NO.	DATE	BY	REVISIONS

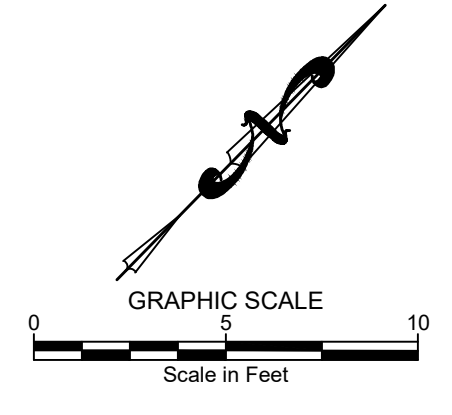
C0.10

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/07/2021).
- Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appearances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 1/2" rebar at the western corner of lot elevation = 5842.77. Vertical Datum is NAVD 1988.

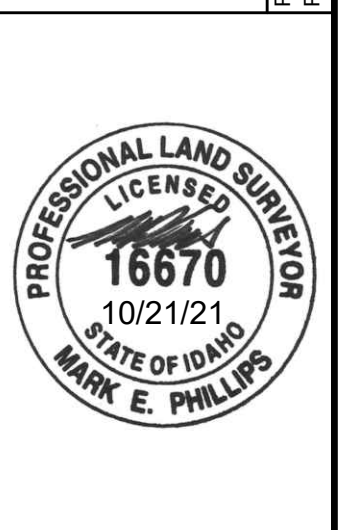


200 N MAIN ST
LOT 1, BLK 3
KETCHUM TOWNSITE
 ±5,503 S.F.
 ±0.126 AC.

LEGEND

	Property Line		PHMH = Telephone Manhole
	Adjoiner's Lot Line		Overhead Telephone Line
	Centerline of Right of Way		Overhead Cable TV
	FD1/2 = Found 1/2" Rebar		SMH = Sewer Manhole
	CNTRL = Survey Control		Sewer Service
	5' Contour Interval		Storm Drain
	1' Contour Interval		DWELL = Drywell
	Curb & Gutter		CB = Catch Basin
	FNC = Fence Line		Water Main
	Building		Water Service
	Asphalt		WMTR = Water Meter
	Concrete Sidewalk		FH = Fire Hydrant
	Pavers		WV = Water Valve
	DT = Deciduous Tree		AP = Angle Point
	SGN = Sign		BOW = Back of Walk
	Overhead Power		CC = Curb Cut
	Buried Power		EOC = Edge of Concrete
	Power Outlet		EOP = Edge of Pavers
	EVAULT = Power Vault		FF = Finished Floor
	PBOX = Power Box		LIP = Lip of Gutter
	PMTR = Power Meter		NC = No Cap
	Post		NG = Natural Ground
	TCB = Traffic Control Box		PVC = Polyvinyl Chloride Pipe
	Street Light		TP = Top of Pavement
	Irrigation System Vault		TBC = Top Back of Curb
	IS = Irrigation Service		

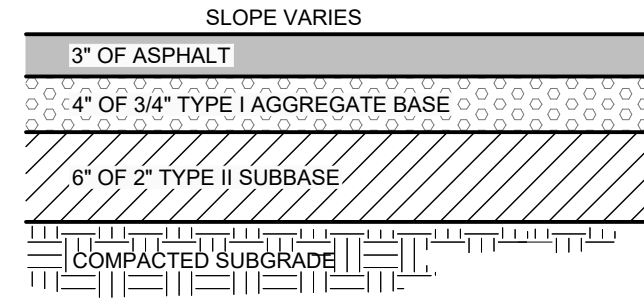
A TOPOGRAPHIC MAP SHOWING
200 N MAIN ST, LOT 1, BLOCK 3, KETCHUM TOWNSITE
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: 200 N MAIN, LLC



DESIGNED BY
 IDV
 DRAWN BY
 SMF/MEP
 CHECKED BY

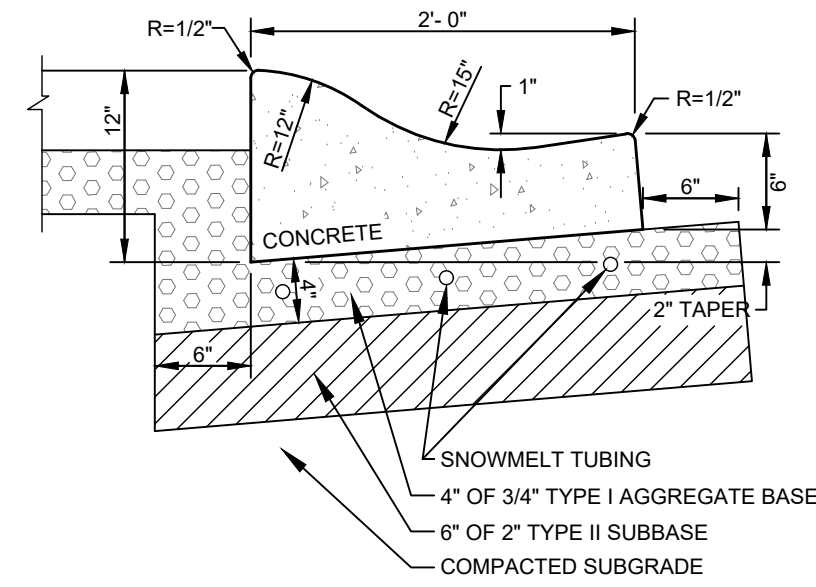
PHILLIPS SURVEYING
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS
C0.20				



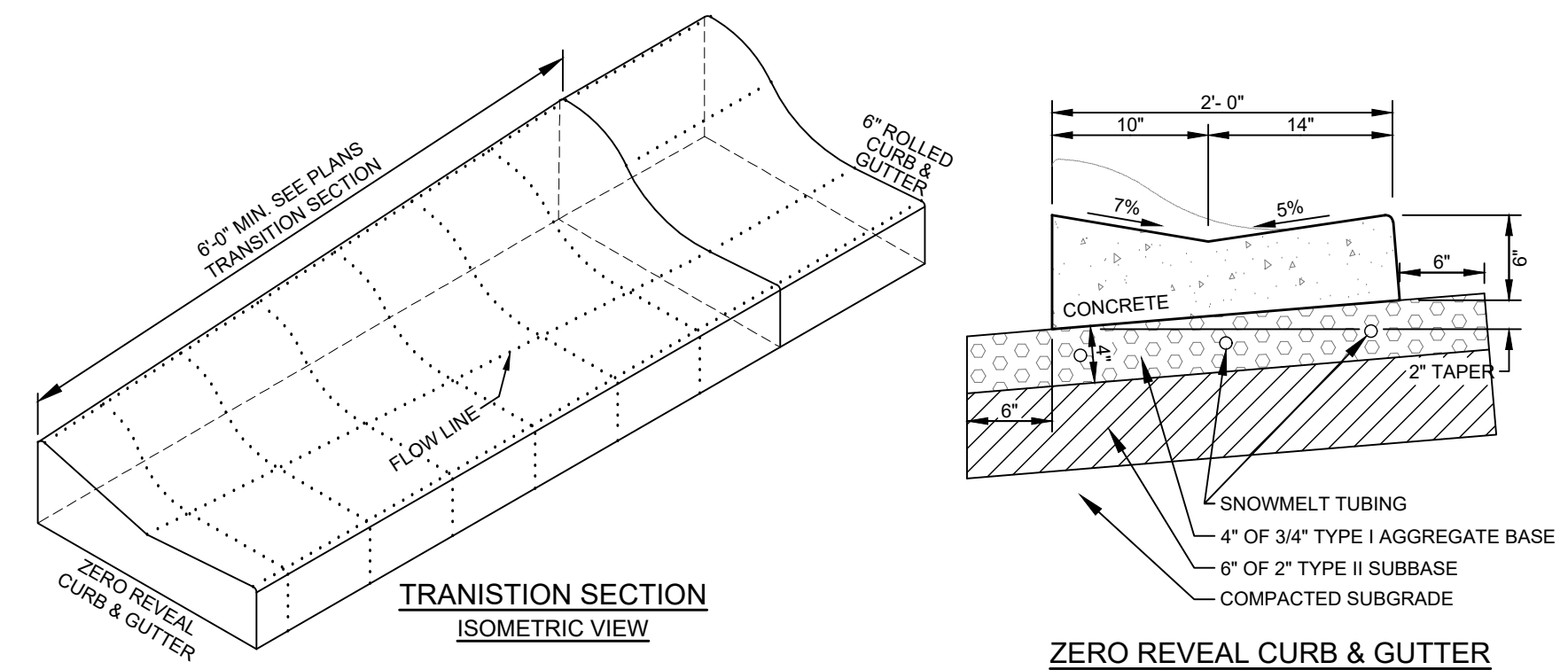
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1 TYPICAL ASPHALT SECTION
N.T.S.



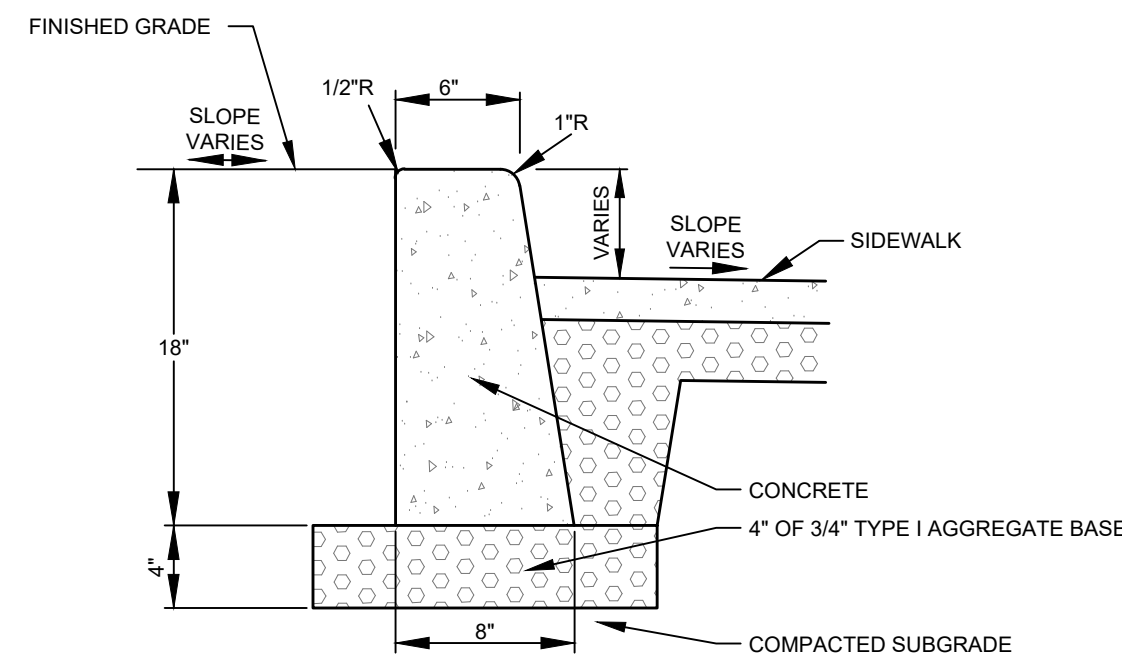
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 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

2 HEATED 6" CONCRETE ROLLED CURB & GUTTER
N.T.S.



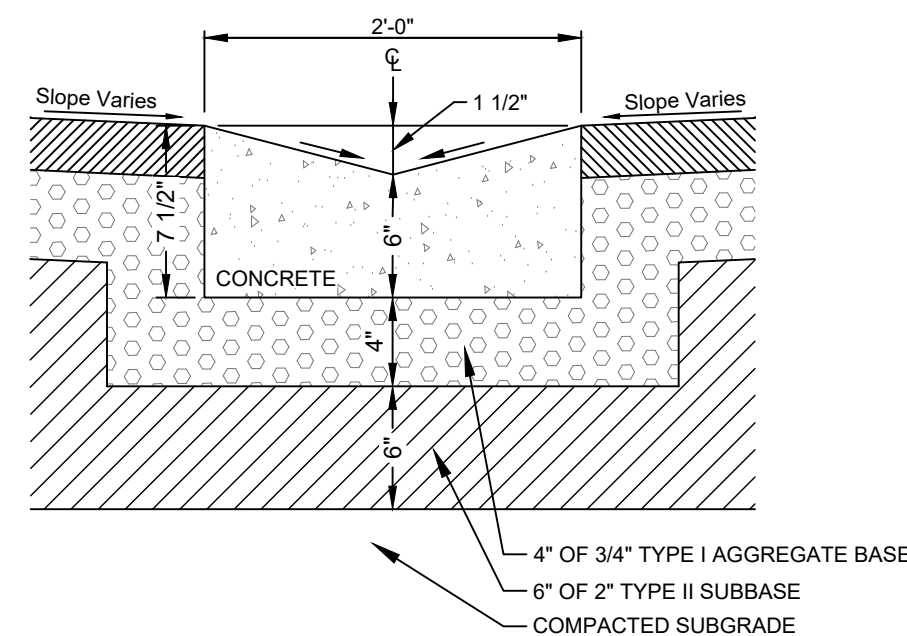
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 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

3 TYPICAL HEATED ROLLED CURB TRANSITION DETAIL
N.T.S.



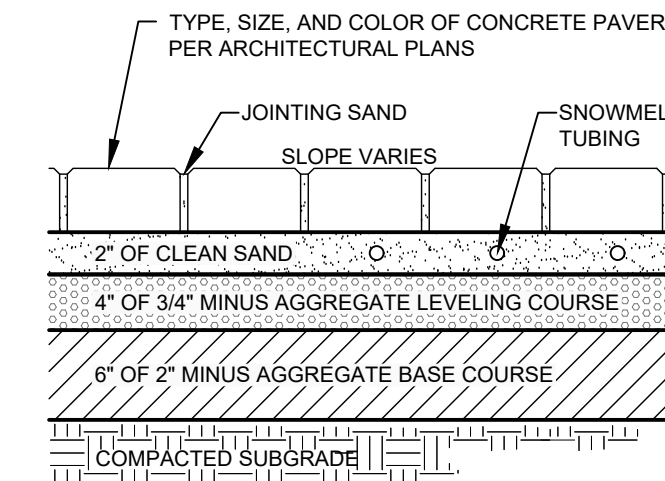
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

4 CONCRETE VERTICAL CURB
N.T.S.

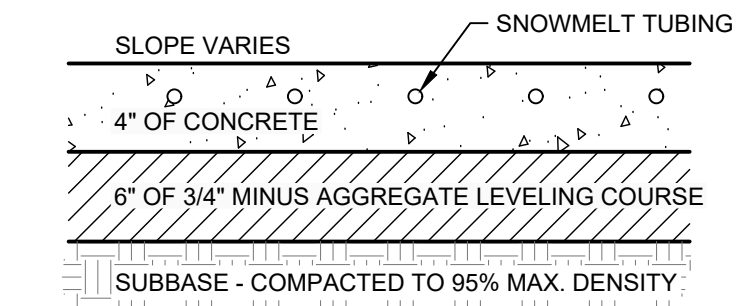


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

5 24" WIDE CONCRETE VALLEY GUTTER
N.T.S.

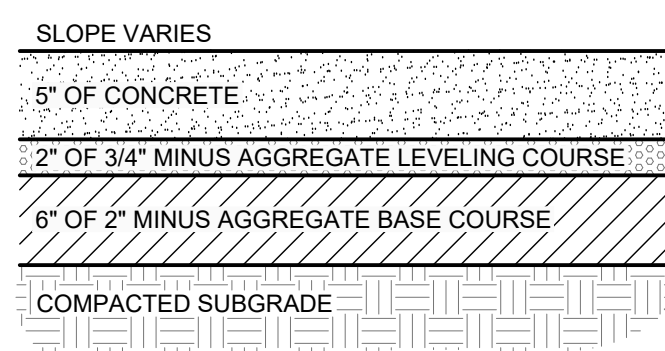


6 HEATED PAVER DETAIL
N.T.S.



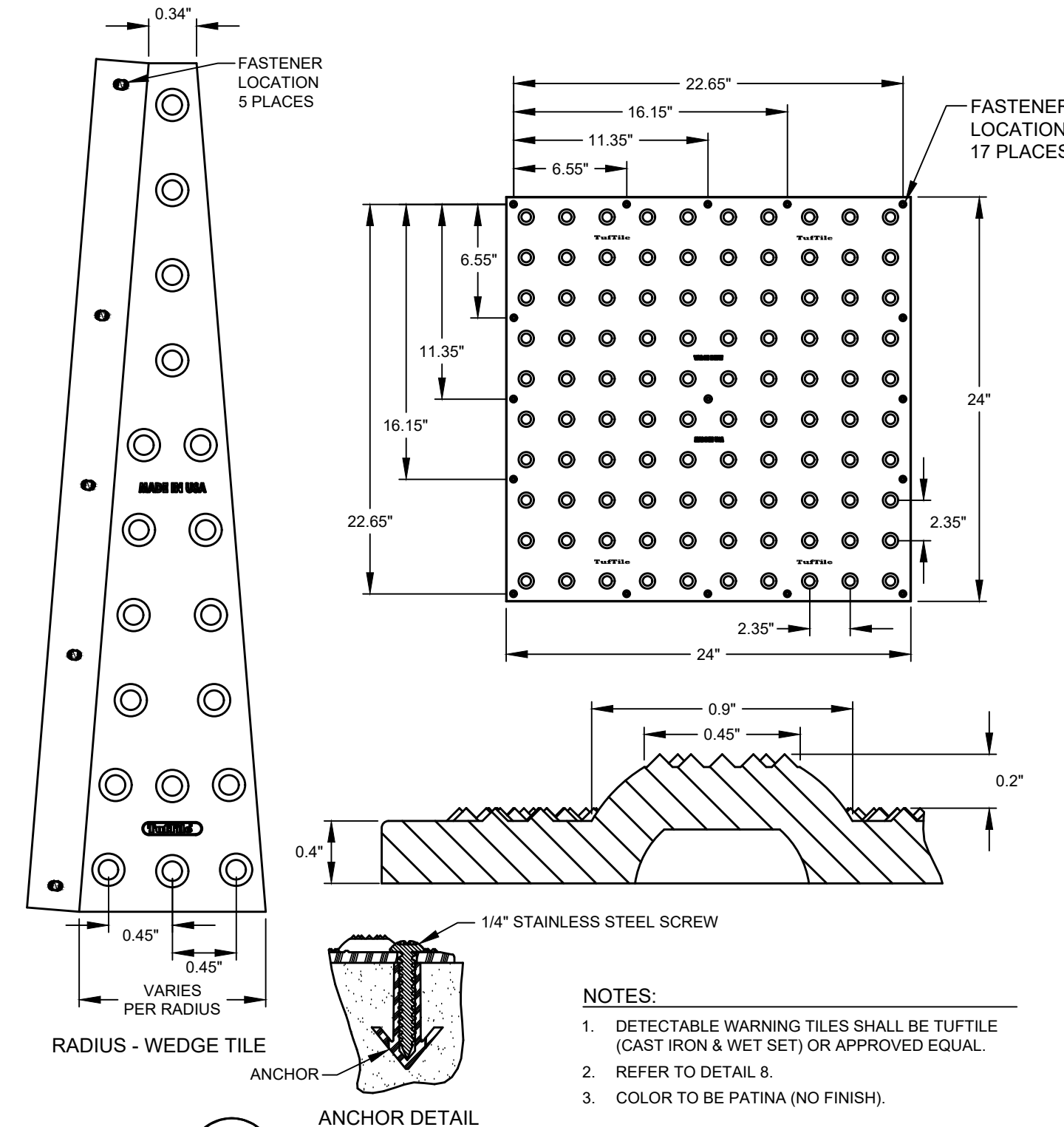
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISWPC SPECIFICATIONS.
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

7 TYPICAL CONCRETE SECTION #1 (HEATED)
N.T.S.



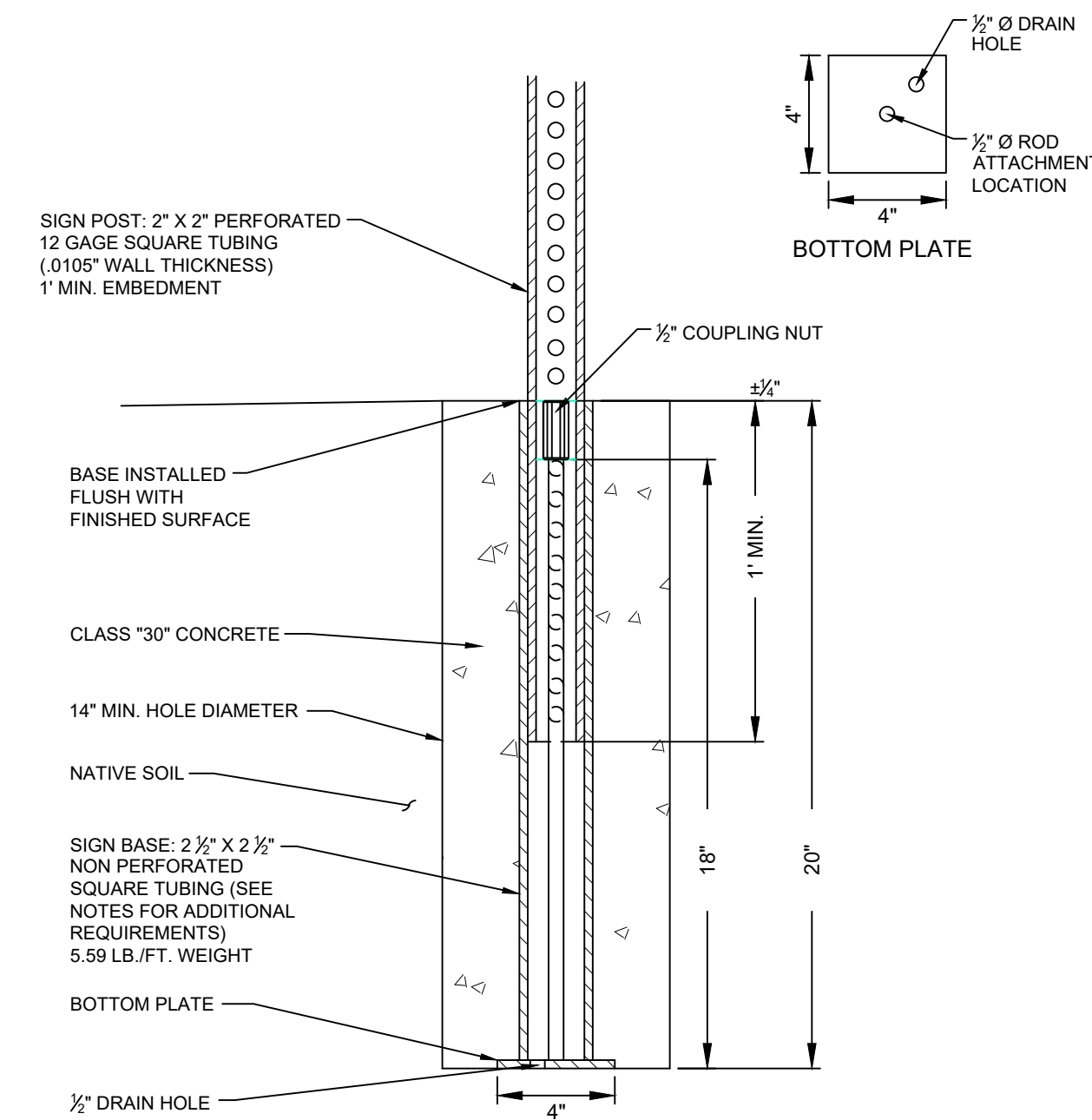
- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE 1/2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 3/8" WIDE, 3/8" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE BACK OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

8 TYPICAL CONCRETE SECTION #2
N.T.S.



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

9 DETECTABLE WARNING PLATE
N.T.S.



- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

SIGN BASE MATERIAL & DIMENSION REQUIREMENTS	
2 1/2" OUTSIDE TUBE STEEL (20" LENGTH)	
2 1/2" INSIDE TUBE STEEL	
3/8" THICK	
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS	
1/2" COLD ROLLED ROD (18" LENGTH)	
1/2" COUPLING NUTS	
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS	
4" X 4" X 1/2" STEEL STRAP	

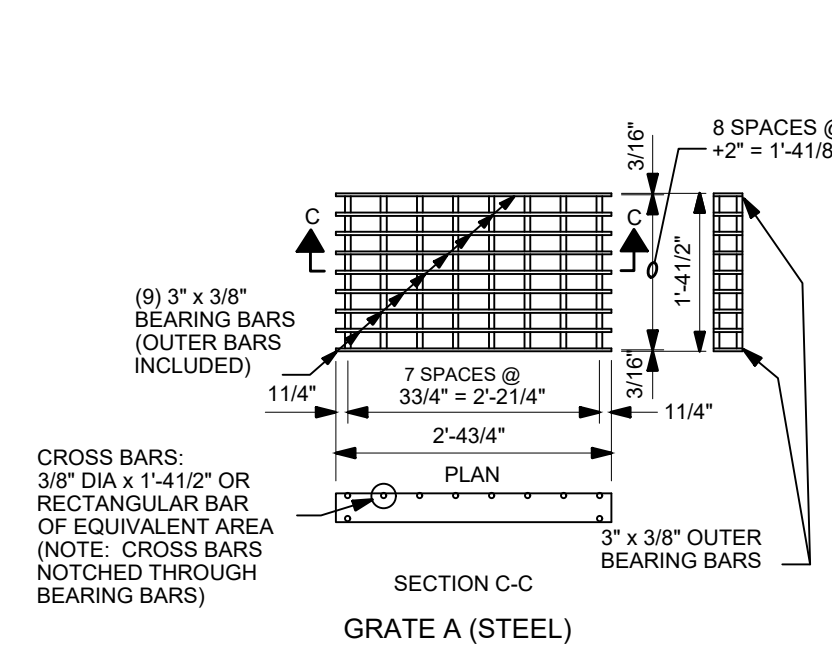
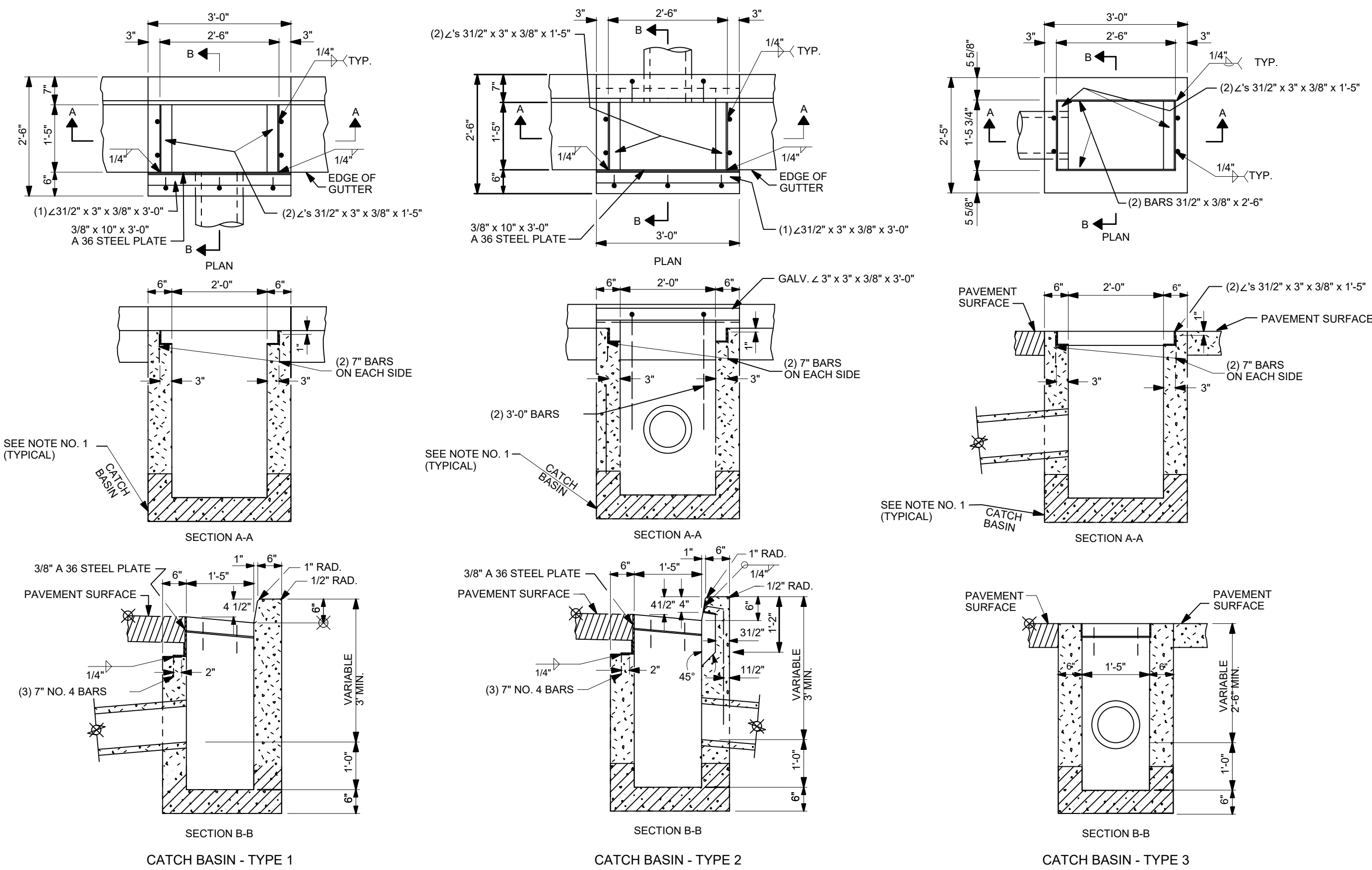
10 TYPICAL SIGN BASE
N.T.S.



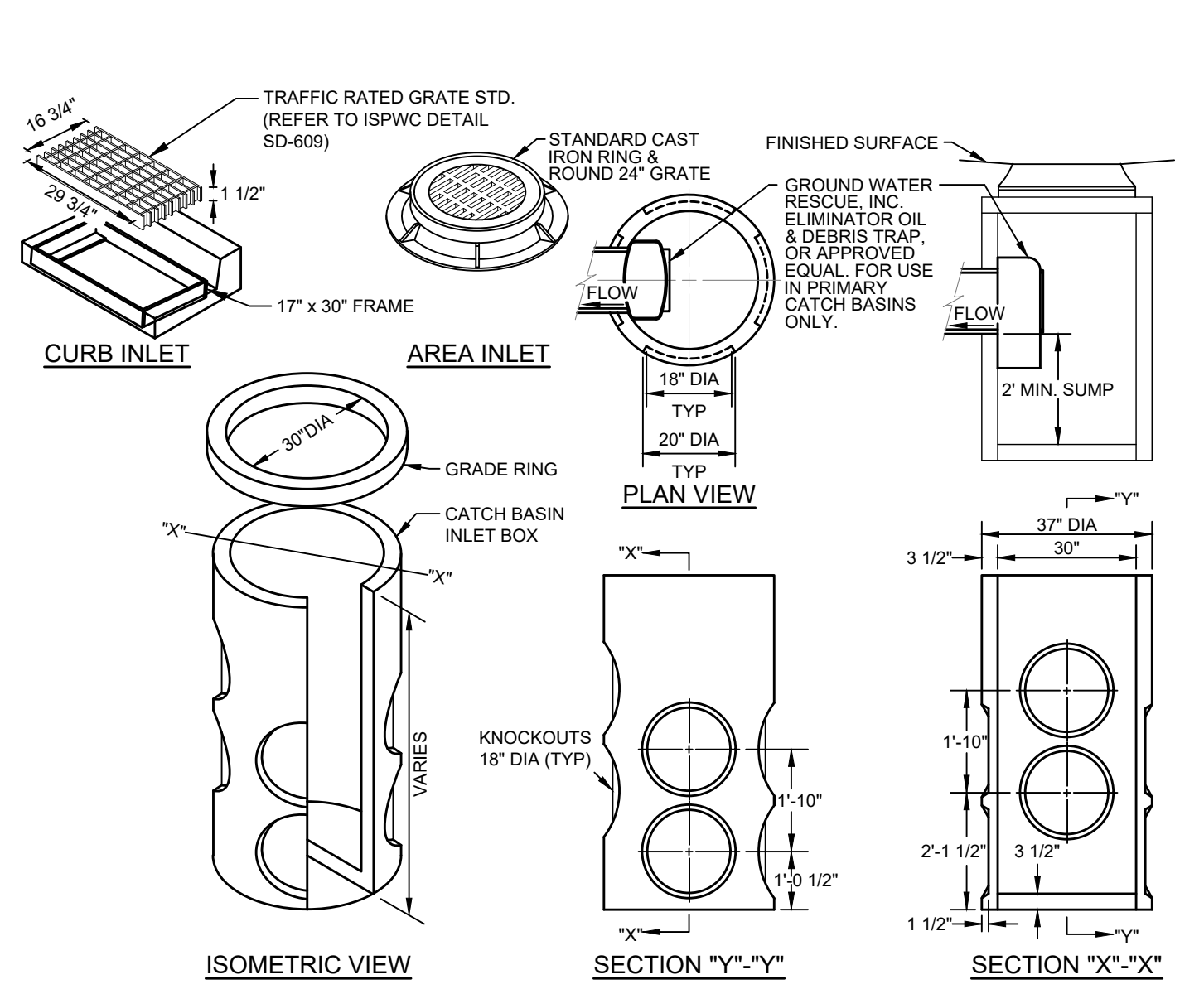
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DRAWN BY: CT
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NO.	DATE	BY	REVISIONS

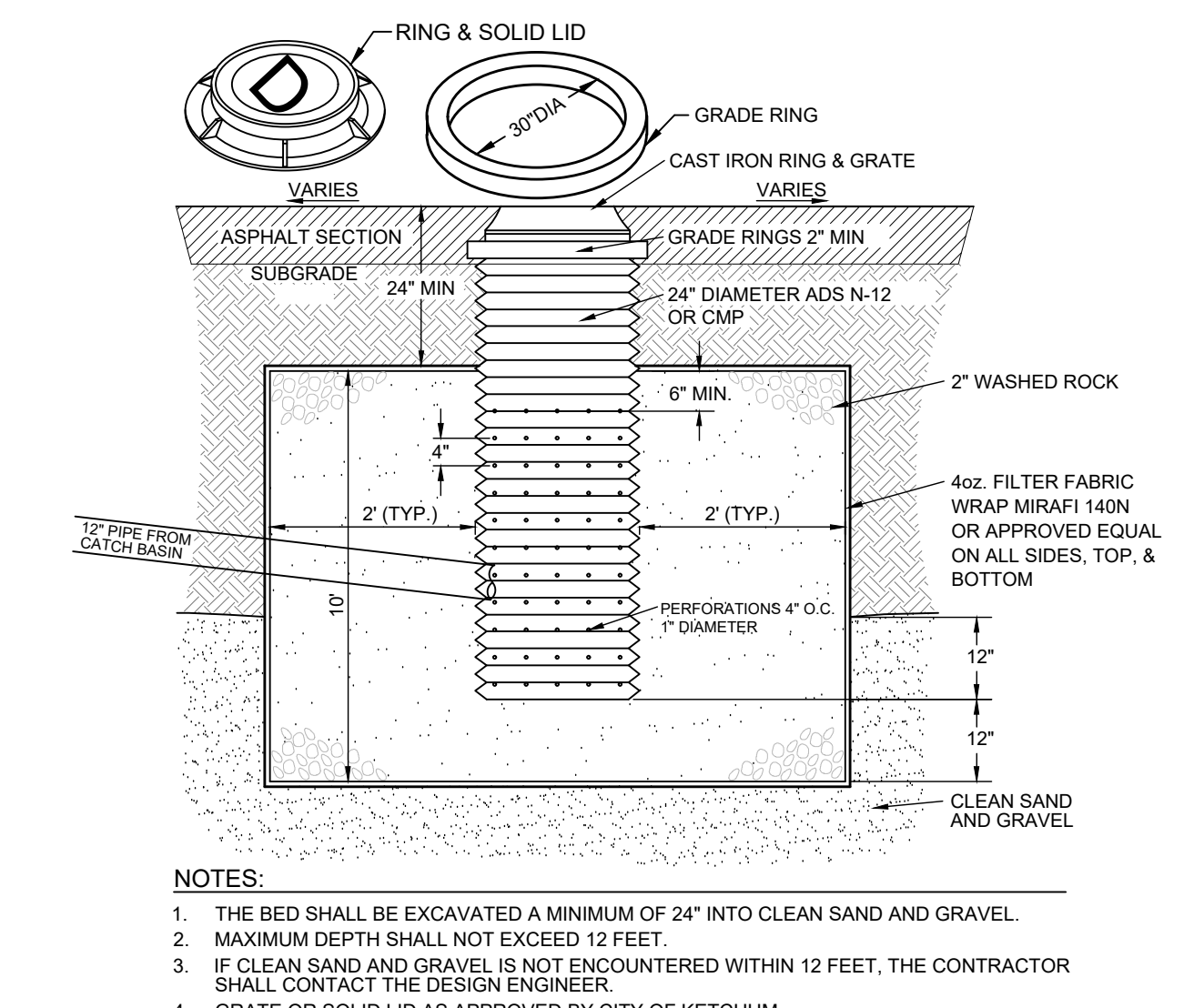


- NOTES**
- PATTERNS USED IN DRAWING:
 - INLET SECTIONS:
 - CATCH BASIN BOTTOMS:
 - PAVEMENT:
 - INLETS AND CATCH BASINS MAY BE EITHER PRECAST OR CAST-IN-PLACE. PRECAST UNITS SHALL MEET THE REQUIREMENTS OF ASTM C 913. (PRIOR APPROVAL OF SHOP DRAWINGS WILL BE REQUIRED ON MODIFIED UNITS.)
 - A 1" SIDE DRAFT IS ALLOWED FOR FORM REMOVAL.
 - CAST-IN-PLACE INLETS AND CATCH BASINS SHALL CONFORM TO SECTION 609 - MINOR STRUCTURES OF THE CURRENT ITD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 - THE GRADE LINE OF THE TOP INSIDE OF ANY PIPE SHALL ENTER AT A POINT NO LOWER THAN THE TOP INSIDE OF THE OUTLET PIPE.
 - PIPES CAN ENTER OR LEAVE THE BOX IN ANY DIRECTION. ALL CONNECTIONS AND BROKEN AREAS SHALL BE GROUDED SMOOTH.
 - STEEL ANGLES SHALL BE SET SO THAT EACH BEARING BAR OF PREFABRICATED GRATE SHALL HAVE FULL BEARING ON BOTH ENDS. THE FINISHED TOP OF CONCRETE SHALL BE EVEN WITH THE ANGLEGRATE SURFACE. THE STRUCTURAL STEEL NEED NOT BE PAINTED BUT SHALL MEET THE REQUIREMENTS OF ASTM A 36.
 - ALL METAL REINFORCEMENT USED SHALL BE NO. 4 BARS. THE METAL REINFORCEMENT SHALL BE SMOOTH CUT TO ACCOMMODATE PIPES.
 - GRAY IRON CAST TO THE DIMENSIONS GIVEN FOR THE STEEL GRATES MAY BE USED. THE CASTINGS SHALL CONFORM TO AASHTO M306 CLASS 35B GRAY IRON CASTINGS.
 - INLET/CATCH BASIN GRATES MAY EITHER BE RESISTANCE WELDED OR ARC WELDED. IN EITHER CASE THE GRATE SHALL BE TRUE AND FLUSH.
 - GRATE B WILL BE USED ONLY WHEN SPECIFIED.
 - NOT TO SCALE.

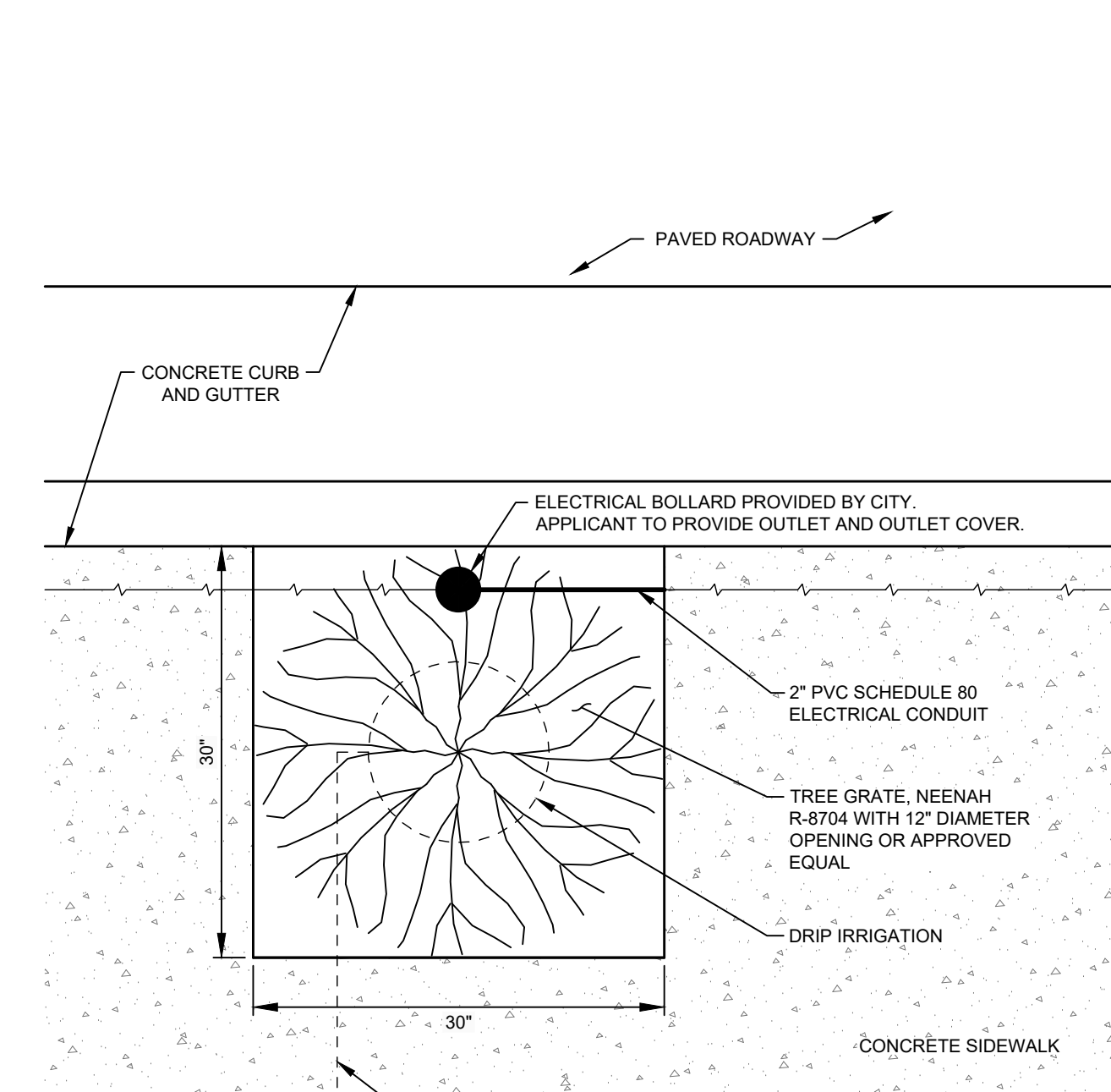


- CATCH BASIN INSTALLATION NOTES:**
- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 - THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 - PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
- 2 30" DIAMETER CATCH BASIN**
N.T.S.

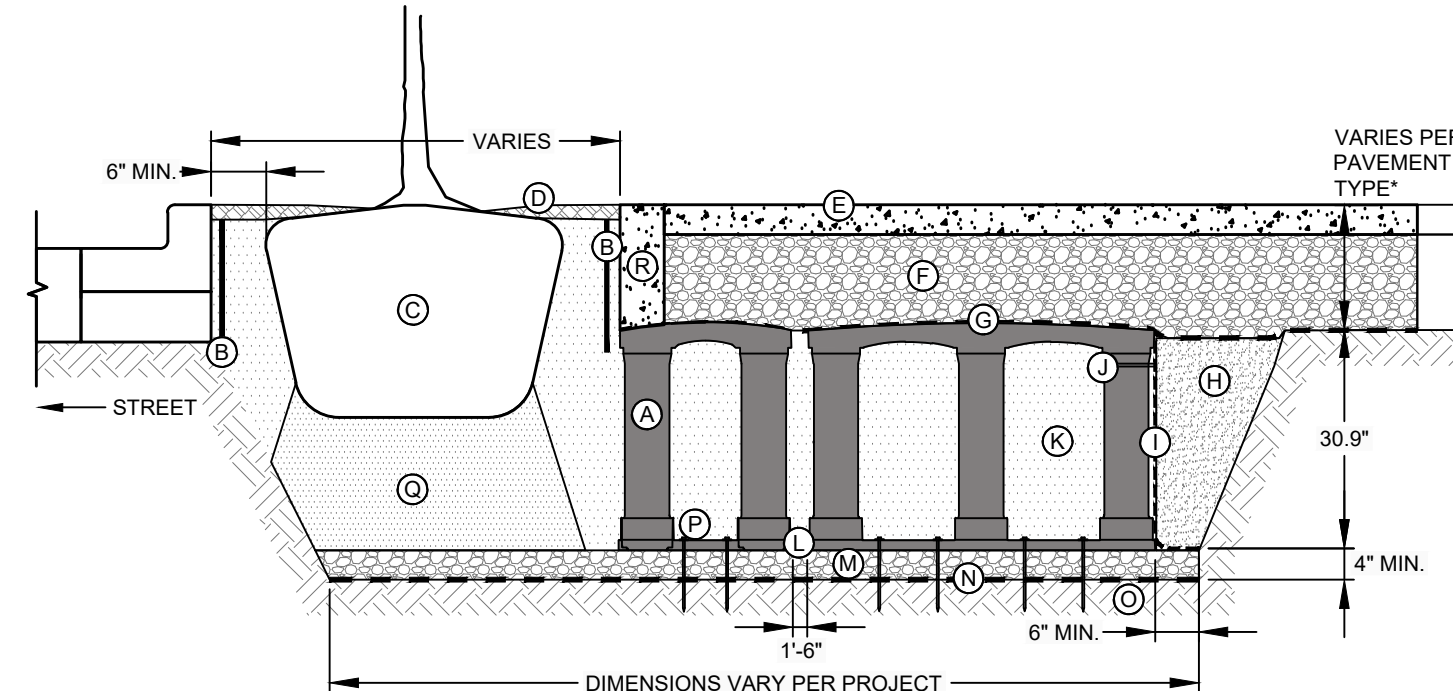
1 IDAHO DEPARTMENT OF TRANSPORTATION
CATCH BASINS TYPES 1, 2, & 3
STANDARD DRAWING NO. 605-20
N.T.S.



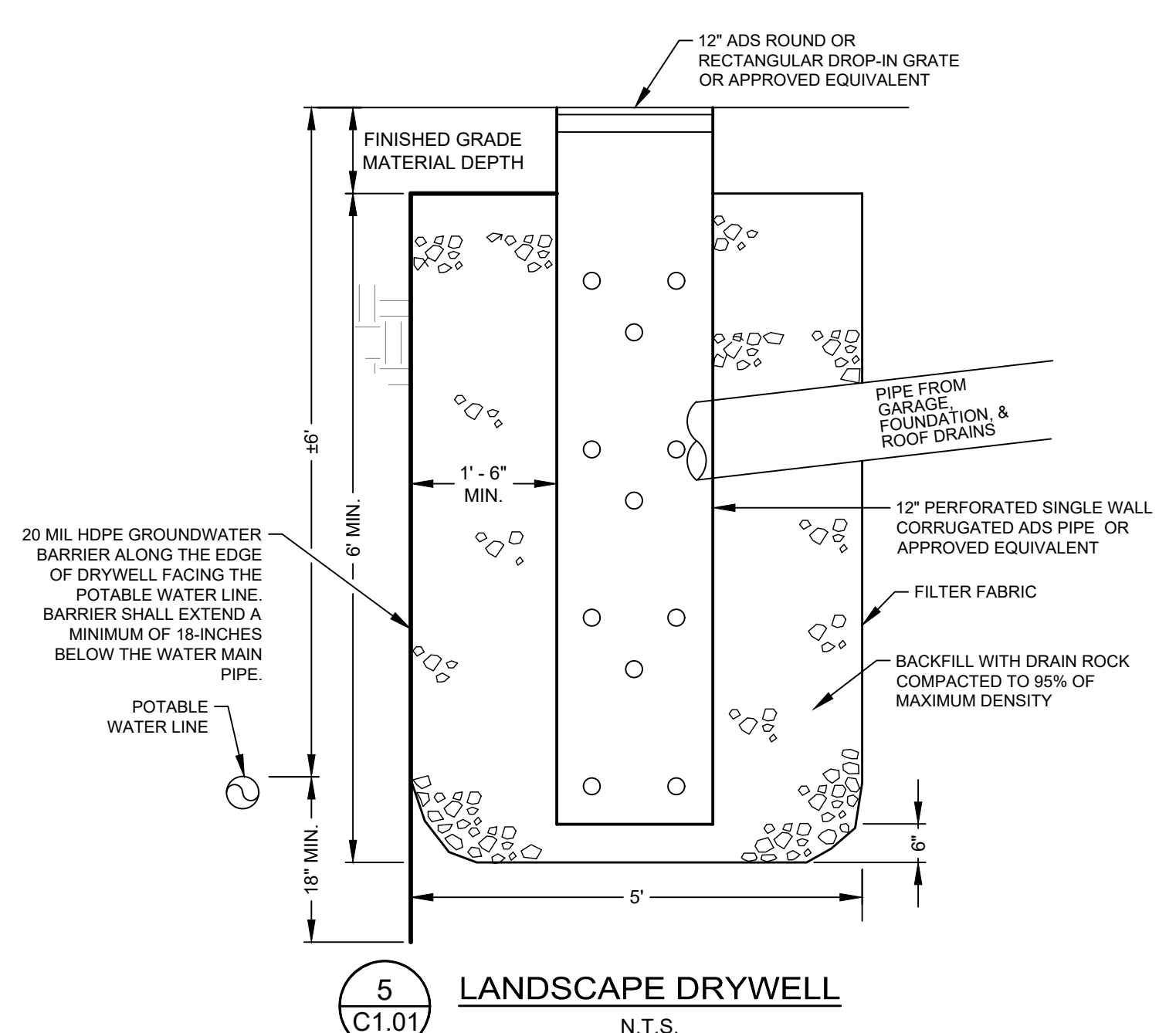
- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.
- 3 DRYWELL DETAIL (6" Ø)**
N.T.S.



- NOTES:**
- TREE TO BE 3" MINIMUM CALIPER AUTUMN BLAZE MAPLE OR APPROVED EQUAL.
 - CITY OF KETCHUM REQUIRES DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER/RAINWISE SMART CLOCK, OR APPROVED EQUAL, FOR REMOTE ACCESS BY CITY.
 - APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER.
 - NO DIRECT BURIAL WIRE PERMITTED.
 - TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM.
- 4 TREE WELL DETAILS**
N.T.S.



- KEY PLAN:**
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 - B. DEEPROOT ROOT BARRIER, 12" OR 18" DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION. INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
 - C. TREE ROOT PACKAGE, SIZE VARIES.
 - D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS.
 - E. SURFACE TREATMENT, PER PROJECT.
 - F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT.
 - G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK.
 - H. BACKFILL, PER PROJECT SPECIFICATIONS.
 - I. GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
 - J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
 - K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR.
 - L. SILVA CELL BASE SLOPE, 10% MAX.
 - M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR.
 - N. GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE.
 - O. SUBGRADE, COMPACTED TO 95% PROCTOR.
 - P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
 - Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR.
 - R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.
- MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING**
- | | |
|-------------|-----------------|
| PAVEMENT | BASE COURSE |
| 4" CONCRETE | + 4" AGGREGATE |
| 3" PAVER | + 12" AGGREGATE |
| 4" ASPHALT | + 12" AGGREGATE |
| 2.6" PAVER | + 5" CONCRETE |
- SECTION VIEW**
- NOTES:**
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



- 5 LANDSCAPE DRYWELL**
N.T.S.

DETAIL SHEET
200 N. MAIN STREET
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
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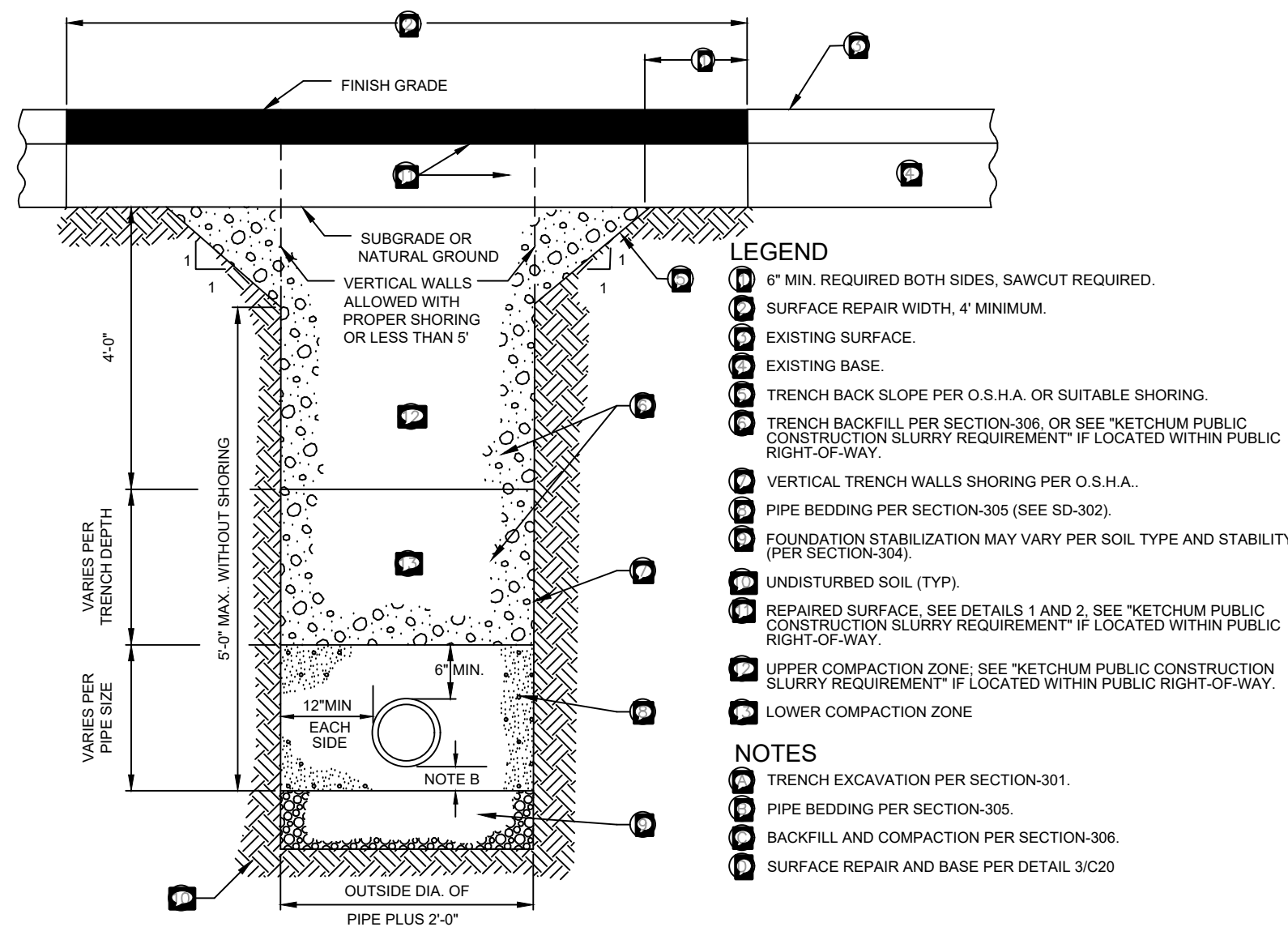
DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

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PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

C1.01



KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

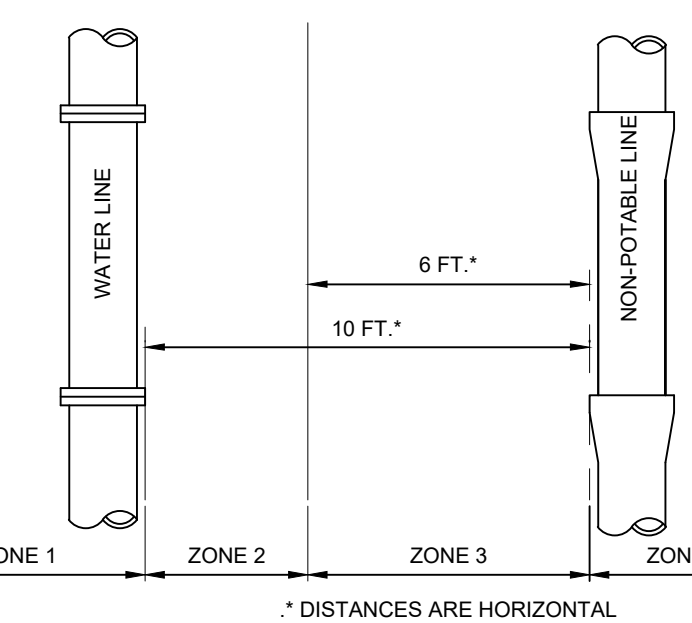
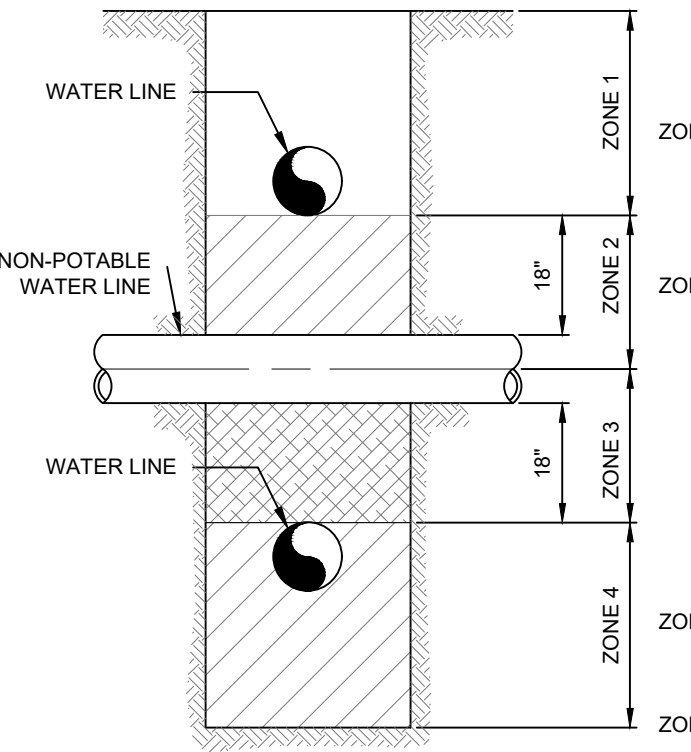
COARSE AGGREGATE (1/2" MINUS) 2,600 LBS.
 SAND 800 LBS.
 PORTLAND CEMENT 94 LBS.
 WATER 11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

1
C1.02
TYPICAL TRENCH SECTION
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



2
C1.02
POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.

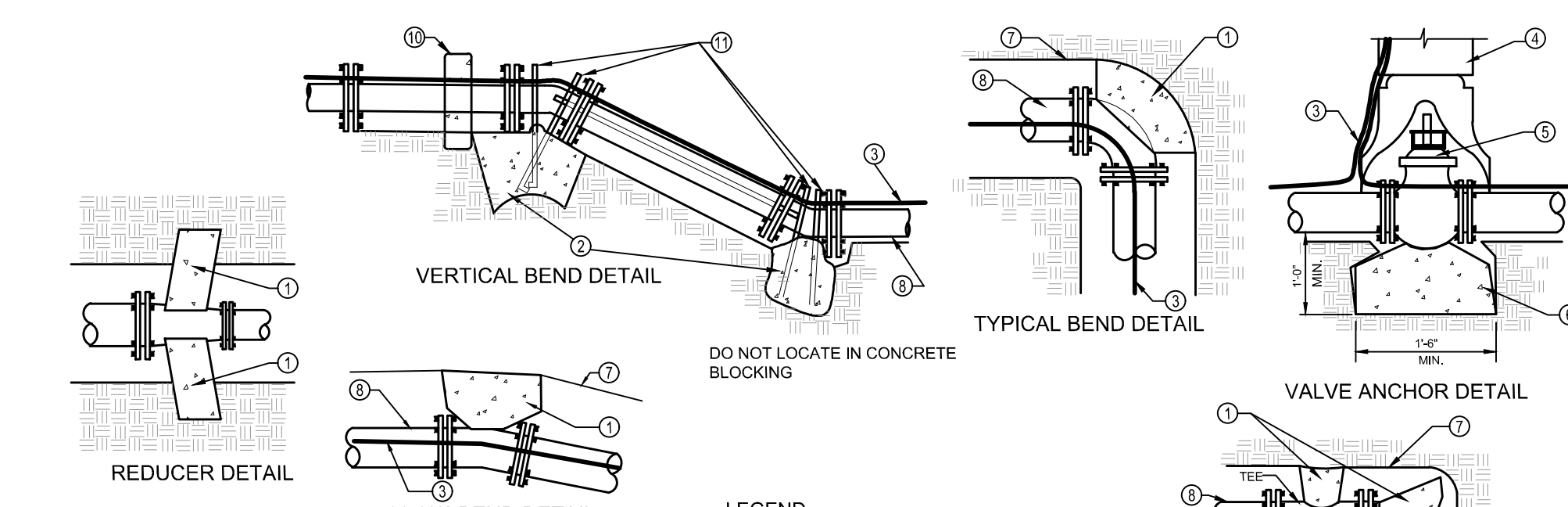


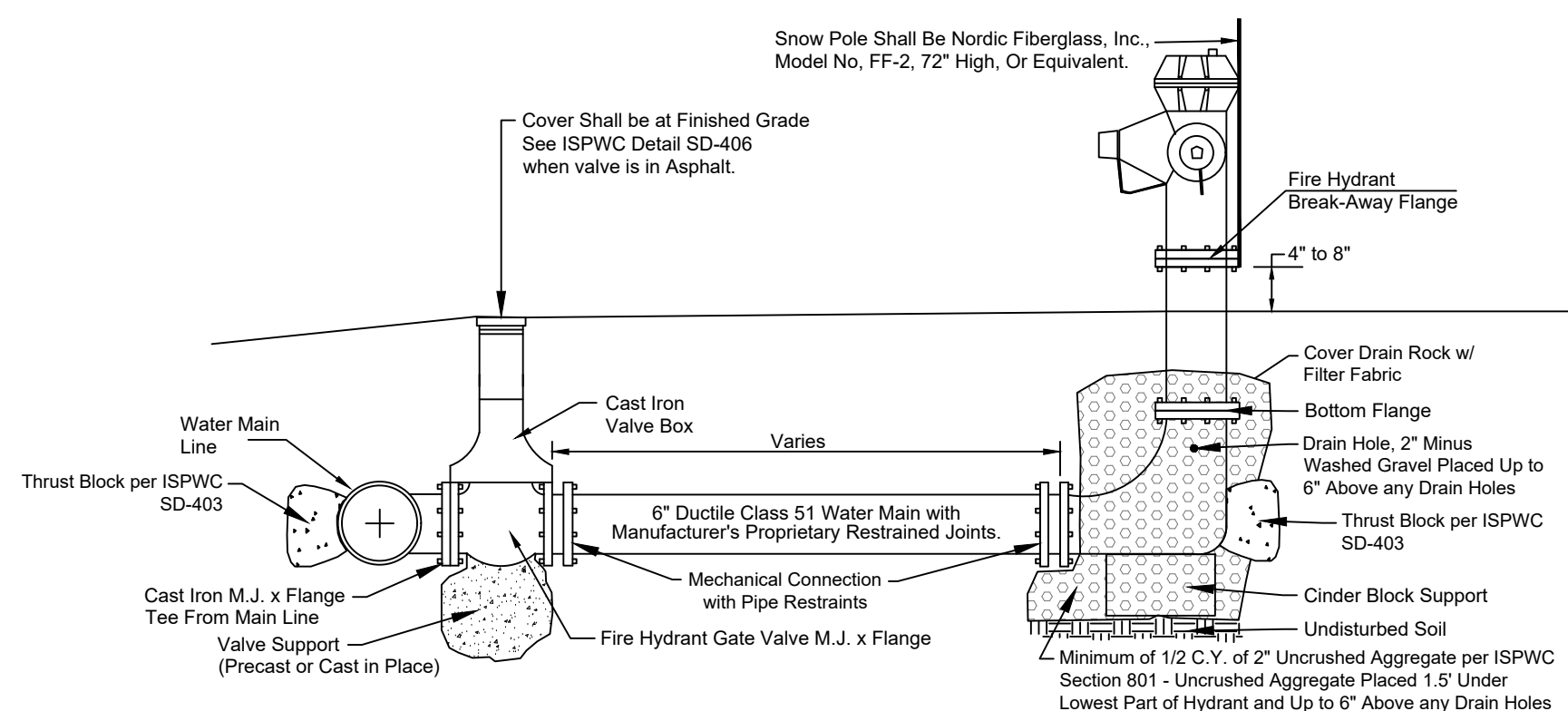
TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

PIPE SIZE	MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH*			
	TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH)
 ** OR TEE ACTING AS A 90° BEND
 *** THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

- LEGEND**
- 1) FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
 - 2) FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
 - 3) NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
 - 4) C.I. VALVE BOX WITH COVER.
 - 5) C.I. GATE VALVE (M.J.).
 - 6) PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN REBAR.
 - 7) TRENCH SIDE.
 - 8) PIPE.
 - 9) PLUG.
 - 10) HAMMERHEAD THRUST BLOCKING.
 - 11) ANCHOR BARS (1/2" MIN)

3
C1.02
THRUST BLOCK AND ANCHOR DETAILS
N.T.S.



- NOTES**
- Hydrants shall have a 6' foot bury.
 - Hydrants shall be Waterloo Pacer Model WB-67U-250 or Mueller Super Centurion 250 and conform to the following:
 - Traffic "breakaway" design
 - 2 ea. 2-1/2" NST threaded nozzles
 - 1 ea. 4-1/2" NST threaded nozzles
 - Dry Barrel type 6" barrel
 - Red in color
 - Main valve size 5-1/4"
 - Mechanical Restraints shall be used. Restraints shall be Romac Industries RomaGrip or approved equivalent. No lug or set screw type restraints are to be used on PVC pipe.
 - City shall approve location and elevation of all Fire Hydrants. Fire Hydrants shall be located at street intersections and at a minimum spacing of 500 feet in residential zones and 450 feet in business and industrial zones. No obstructions shall be placed within 3 feet of the back and 15 feet of the sides and front of Fire Hydrants.
 - Auxiliary Gate Valve shall meet AWWA C509 (Total rubber encapsulated, resilient seat, waterous series or approved equal).
 - Valve Box shall be Tyler 664A or approved equal.
 - Hydrant break away flange elevation equal to street centerline or 4" to 6" above finished grade as approved.
 - Fire hydrant assemblies located on the opposite side of the roadway from the watermain shall have 2" Dow Board installed over the pipeline leading to the hydrant. The Dow Board shall extend from auxiliary gate valve to the hydrant.
 - The final number and placement of fire hydrants shall be reviewed and approved by the Sun Valley Fire Department.
 - Mechanical restraints on PVC pipe are not acceptable in lieu of concrete thrust blocks.

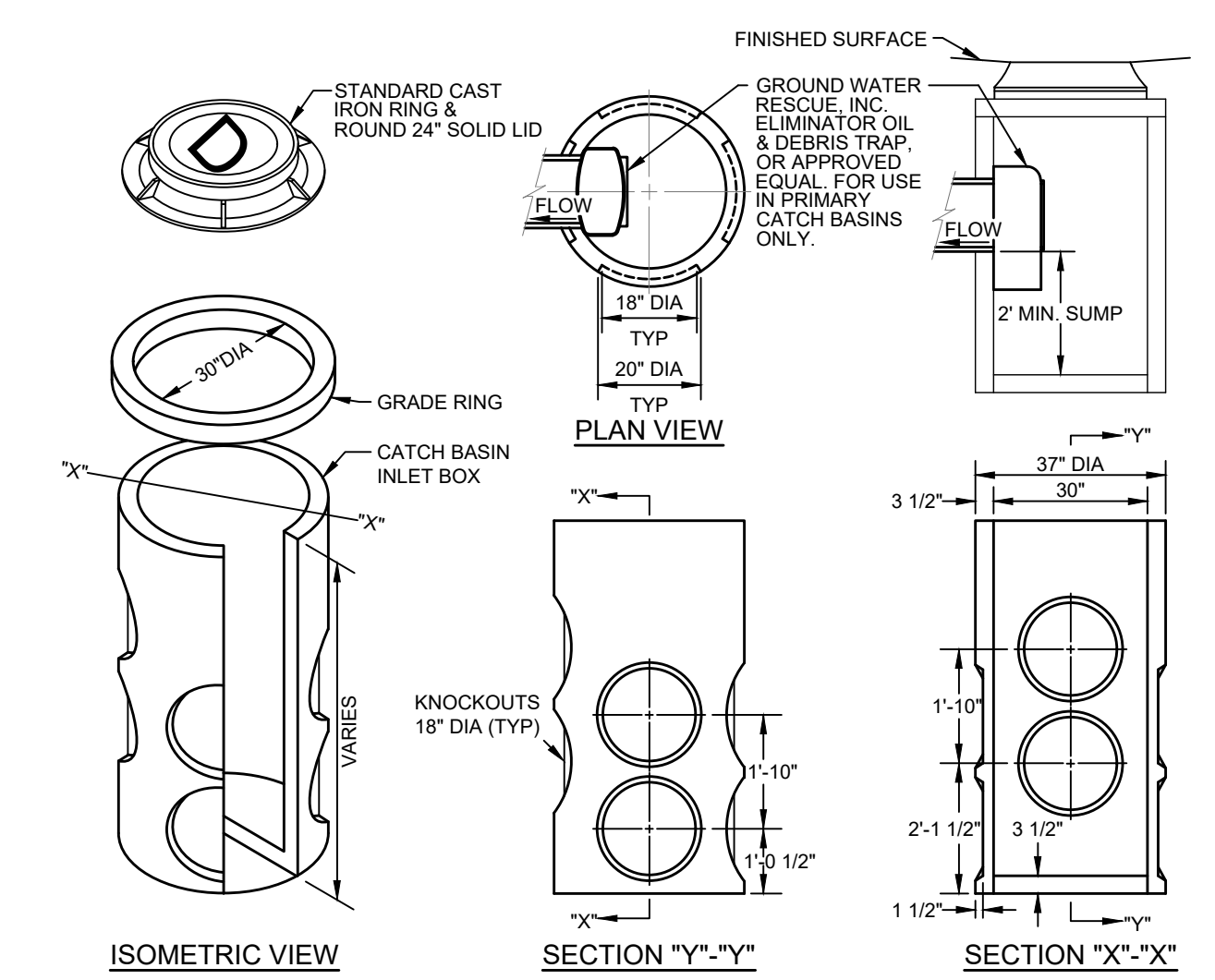
HYDRANT VEHICULAR PROTECTION

Fire hydrants which may be exposed to vehicular damage or obstruction shall have an approved array of bollards or guard post installed to protect them from damage and maintain the minimum diameter required for proper operation.

When they are installed, they shall be:

- Constructed of steel not less than (4) inches in diameter and concrete filled.
- Spaced not more than four (4) feet between posts on center.
- Set not less than three (3) feet deep in a concrete footing not less than (15) inches in diameter.
- Set with the top of the posts not less than (3) feet above the ground.
- The post shall be painted bright red, reflective markings are recommended.
- Located at least three feet from any portion of the hydrant and located so as not to create an obstruction to its use.

4
C1.02
FIRE HYDRANT DETAIL
N.T.S.

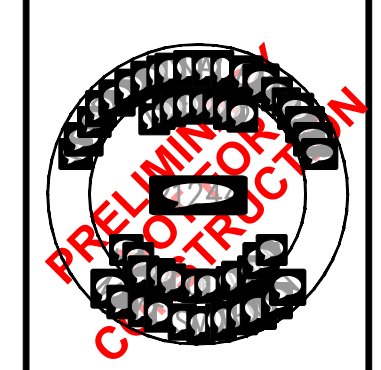


- CATCH BASIN INSTALLATION NOTES:**
- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL, A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 - THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 - PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C1.02
30" DIAMETER STORM DRAIN MANHOLE
N.T.S.

DETAIL SHEET
200 N. MAIN STREET
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
 1500 N Main Street, Ketchum, ID 83740
 2023-04-17.dwg 09:05:23 11:55:59 AM



DESIGNED BY: CT
 DRAWN BY: MS
 CHECKED BY: MS

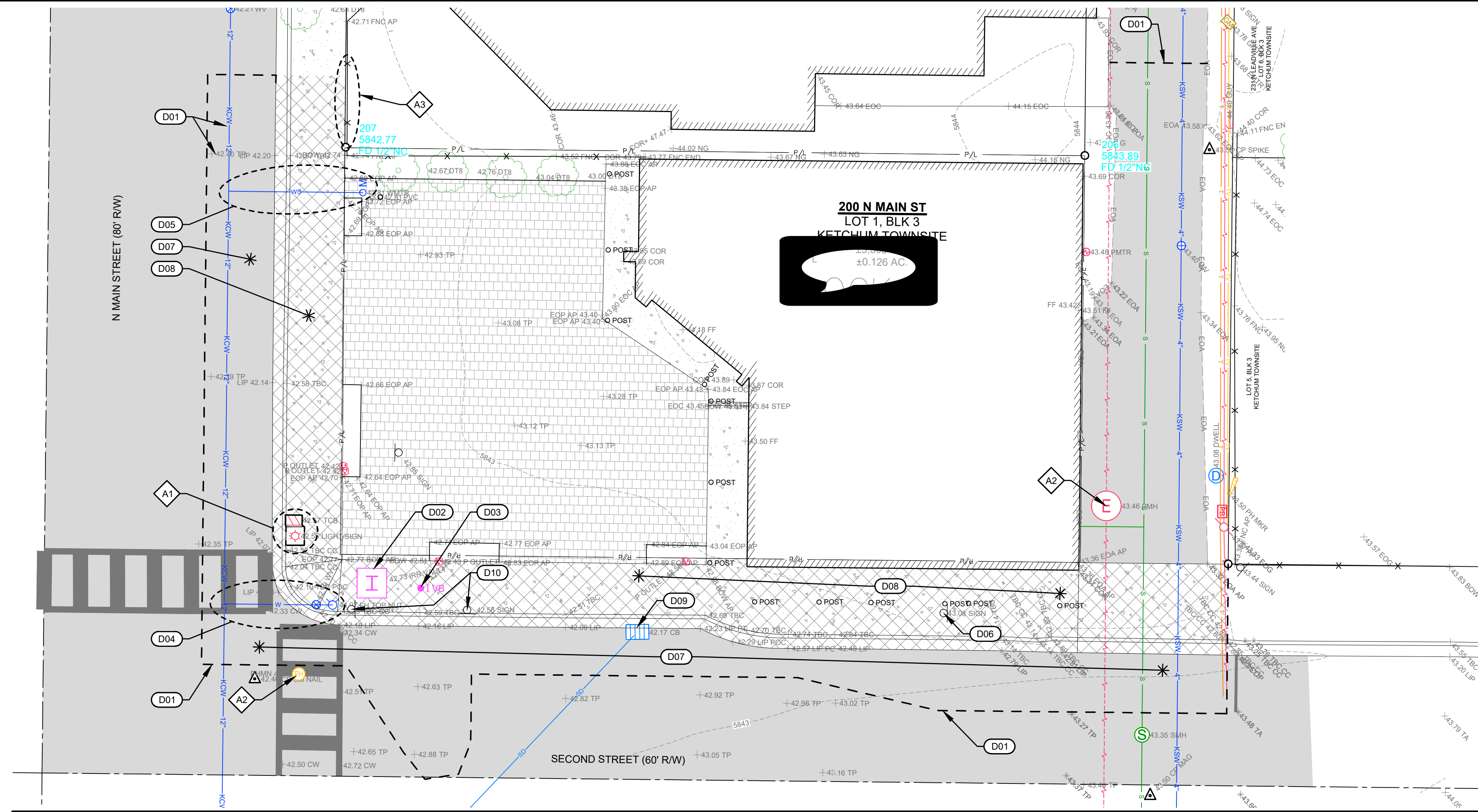
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PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

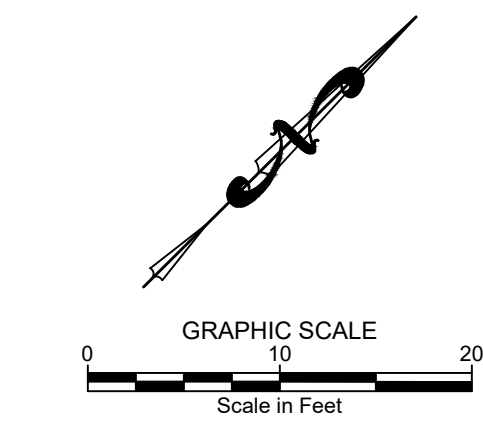
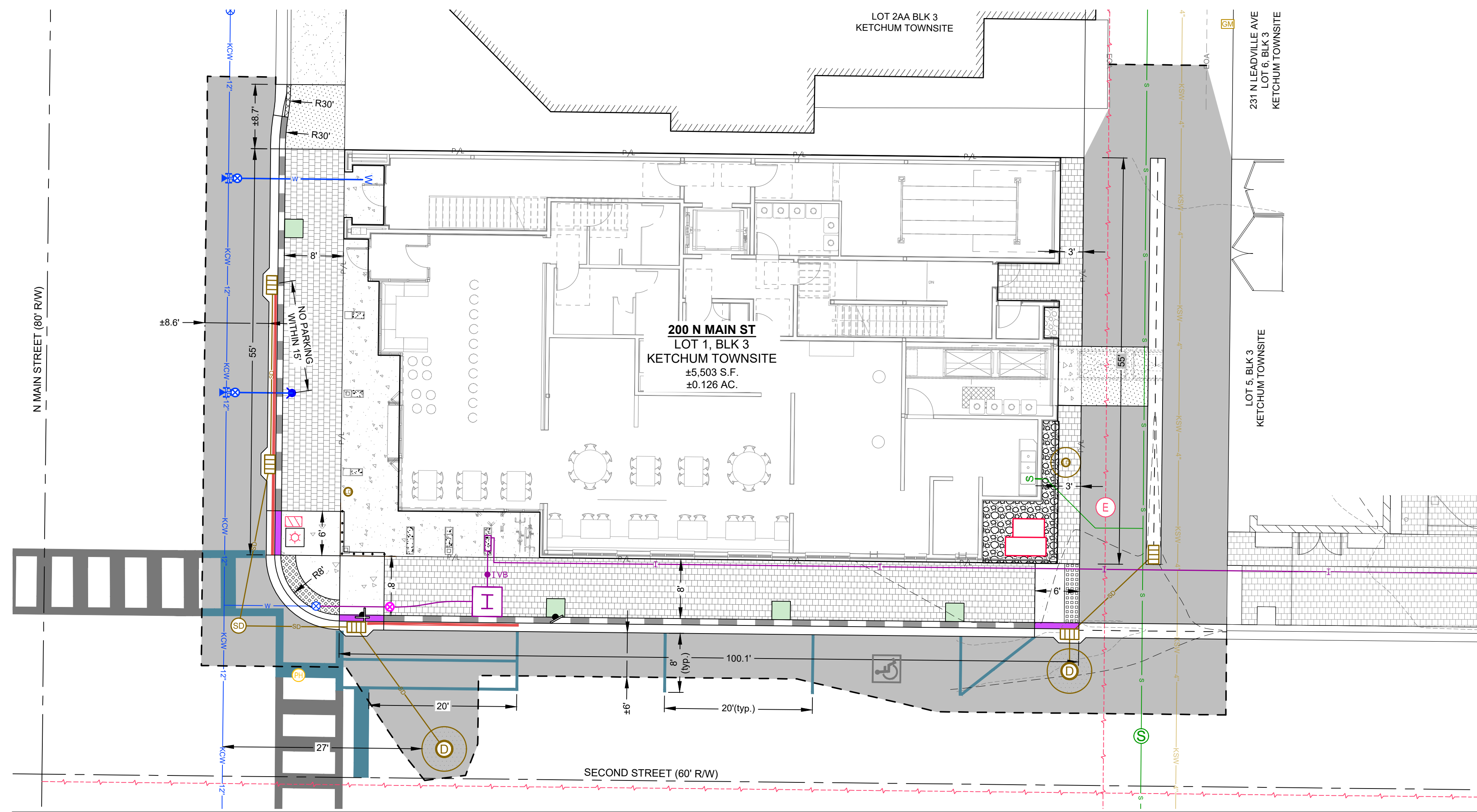
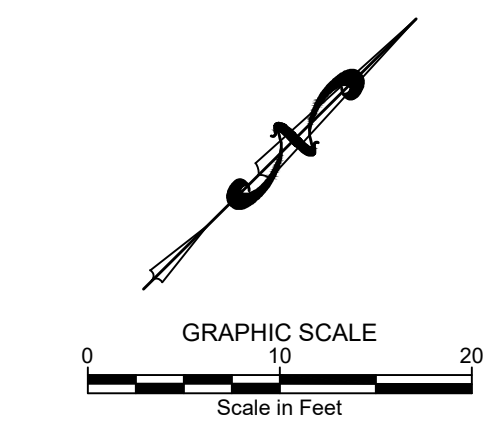
NO.	DATE	BY	REVISIONS

C1.02

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

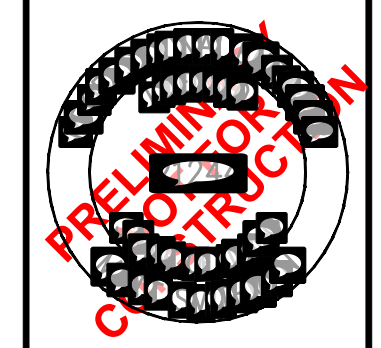


- OFF-SITE DEMOLITION KEY NOTES****
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 RELOCATE IRRIGATION VAULT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D03 RELOCATE IRRIGATION SERVICE VALVE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D04 RELOCATE FIRE HYDRANT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D05 CLOSE CORPORATION STOP AT WATER MAIN AND DISCONNECT EXISTING WATER SERVICE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D06 REMOVE SIGN AND RETURN TO CITY.
 - D07 REMOVE AND DISPOSE OF ASPHALT.
 - D08 REMOVE AND DISPOSE OF CONCRETE.
 - D09 REMOVE AND DISPOSE OF CATCH BASIN. CUT AND CAP STORM DRAIN PIPE.
 - D10 REMOVE AND RETAIN SIGN.
- **EVERYTHING ON-SITE WILL BE REMOVED.**
- A RETAIN AND PROTECT
 1. STREET LIGHT AND POWER HANDHOLE
 2. UTILITY VAULT
 3. FENCE



DEMOLITION AND SITE GEOMETRY PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS



DESIGNED BY: [Blank]
DRAWN BY: CT
CHECKED BY: MS

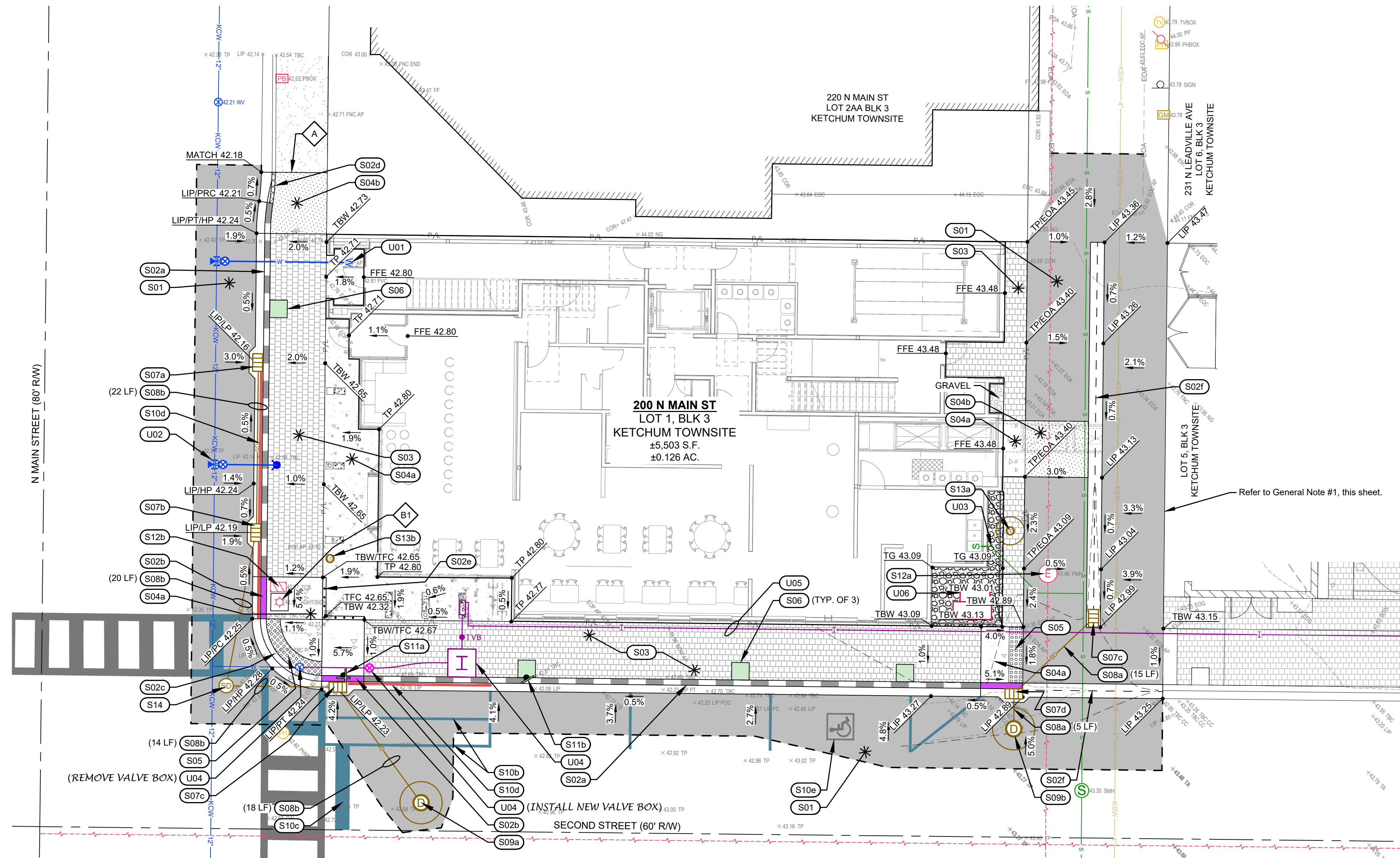
BENCHMARK ASSOCIATES
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

PROJECT INFORMATION
G:\BMR\Ketchum\wagebook\2023\200 N Main\dwg\Construction\2023\Civil\2023-04-17.dwg 09/05/23 11:55:59 AM

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Calena Engineering, Inc.

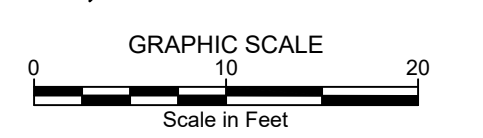


- UTILITY IMPROVEMENT KEY NOTES**
- U01** INSTALL 6" WATER SERVICE LINE STAINLESS STEEL TAPPING SADDLE GATE VALVE W/ THRUST BLOCKS SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U02** INSTALL FIRE HYDRANT WITH MOUNTAIN EXTENSION. 12"x6" STAINLESS STEEL TAPPING SADDLE 8" GATE VALVE W/ THRUST BLOCKS #9 LF OF 6" PVC C-900 WATER MAIN PIPE SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING, & 4 / C1.02 FOR FIRE HYDRANT DETAIL. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U03** UTILIZE EXISTING 4" SEWER SERVICE.
 - U04** INSTALL IRRIGATION VAULT (MATCH EXISTING RECTANGULAR VAULT REMOVED AT DEMOLITION). - CONNECT TO EXISTING 6" WATER LINE THAT SUPPLIED THE REMOVED FIRE HYDRANT (SEE DEMOLITION PLAN). ENSURE VALVE IS TURNED ON AND REMOVE ORIGINAL VALVE BOX. INSTALL NEW 6" GATE IN FLAT AREA OF PAVEMENT SIDEWALK. - IRRIGATION VALVE BOX - BACKFLOW PREVENTION DEVICE. REFER TO LANDSCAPE PLANS FOR PLACEMENT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT. RIM = 5842.68
 - U05** INSTALL IRRIGATION LINE (SIZE AND FINAL LOCATION BY THE CITY OF KETCHUM). COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U06** INSTALL POWER TRANSFORMER. SEE ELECTRICAL AND ARCHITECT PLAN FOR DETAILS.

- ABBREVIATIONS:**
- EOA = EDGE OF ASPHALT
 - FF = FINISHED FLOOR
 - FFE = FINISHED FLOOR AT ENTRY
 - FG = FINISHED GRADE
 - GFPE = GARAGE FINISHED FLOOR AT ENTRY
 - HP = HIGH POINT
 - I.E. = INVERT ELEVATION
 - LF = LINEAL FEET
 - LP = LIP OF GUTTER
 - LP = LOW POINT
 - MAX = MAXIMUM
 - MIN = MINIMUM
 - PC = POINT OF CURVATURE
 - PRC = POINT OF REVERSE CURB
 - PT = POINT OF TANGENT
 - TBW = TOP BACK OF WALK
 - TFC = TOP FACE OF CURB
 - TG = TOP OF GRAVEL
 - TYP = TYPICAL

- GENERAL NOTES:**
1. CONSTRUCTION OF ALLEY RIGHT-OF-WAY IMPROVEMENTS SHALL BE COORDINATED WITH THE LEADVILLE TRADING PROJECT EAST OF THE ALLEY, LOCATED AT 211 N LEADVILLE AVENUE.
 2. CONTRACTOR SHALL COORDINATE WITH THE CITY OF KETCHUM PRIOR TO CONSTRUCTION ACTIVITY FOR ALL RIGHT-OF-WAY IMPROVEMENTS ALONG MAIN STREET.

- SITE IMPROVEMENT KEY NOTES**
- S01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C1.00.
 - S02** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. HEATED 6" ROLLED C&G. REFER TO DETAIL 2 / C1.00.
 - b. HEATED CURB TRANSITION. REFER TO DETAIL 3 / C1.00.
 - c. HEATED ZERO REVEAL CURB AND GUTTER. REFER TO DETAIL 3 / C1.00.
 - d. CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
 - e. VERTICAL CURB. REFER TO DETAIL 4 / C1.00.
 - f. 24" WIDE VALLEY GUTTER. REFER TO DETAIL 5 / C1.00.
 - S03** CONSTRUCT HEATED PAVER SIDEWALK/PATIO. WIDTH AS SHOWN HEREON. REFER TO DETAIL 6 / C1.00.
 - S04** CONSTRUCT CONCRETE SIDEWALK/SECTION. WIDTH AS SHOWN HEREON.
 - a. CONCRETE SIDEWALK/SECTION #1 (HEATED). REFER TO DETAIL 7 / C1.00.
 - b. CONCRETE SIDEWALK/SECTION #2. REFER TO DETAIL 8 / C1.00.
 - S05** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. REFER TO DETAIL 9 / C1.00.
 - S06** INSTALL TREE AND TREE WELL AS SHOWN HEREON. REFER TO DETAIL 4 / C1.01.
 - S07** INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12".
 - ITD STANDARD CATCH BASIN.** REFER TO DETAIL 1 / C1.01.
 - a. RIM = 5841.96 I.E.(OUT) = 5838.69
 - b. RIM = 5841.91 I.E.(IN) = 5838.30 I.E.(OUT) = 5838.20
 - c. **30" DIAMETER CATCH BASIN.** REFER TO DETAIL 2 / C1.01.
 - d. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT. RIM = 5842.79 I.E.(OUT) = 5839.79
 - e. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT. RIM = 5842.69 I.E.(IN) = 5839.49 I.E.(OUT) = 5839.39
 - S08** INSTALL STORM DRAIN:
 - a. 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING AND DETAIL 2 / C1.02 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION.
 - b. 12" PVC WATER QUALITY PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING
 - S09** DRYWELL:
 - a. INSTALL NEW DRYWELL REFER TO DETAIL 3 / C1.01. RIM = 5842.69 I.E.(IN) = 5837.50
 - b. ASSUMED "EXISTING" DRYWELL PER PROJECT EAST OF ALLEY, OR ELSE NEW DRYWELL PER THIS PROJECT. RIM = 5842.87 I.E.(IN) = 5839.39
 - S10** INSTALL ROAD STRIPING / PAINT
 - a. WHITE CROSSWALK STRIPING (12" WIDE).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - e. ADA PARKING SYMBOL. MATCH CITY PATTERNS.
 - S11** RELOCATE SIGNS. REFER TO DETAIL 10 / C1.00 FOR SIGN BASE DETAIL.
 - a. STOP & STREET SIGN
 - b. REGULATORY PARKING
 - S12** RESET UTILITY BOX LID ELEVATION.
 - a. POWER VAULT LID ORIGINAL RIM = 5843.46 NEW RIM = 5843.07
 - b. POWER HANDHOLE ORIGINAL RIM = 5842.57 NEW RIM = 5842.44
 - S13** INSTALL LANDSCAPE DRYWELL. CONNECT ROOF DRAINS AND/OR SLOT DRAINS TO DRYWELL. SEE DETAIL 5 / C1.01.
 - a. RIM = 5843.16
 - b. RIM = 5842.66
 - S14** INSTALL 30" CONCRETE STORM DRAIN MANHOLE. REFER TO DETAIL 5 / C1.02. RIM = 5842.38
 - A** MATCH EXISTING LINES AND GRADES
 - B** RETAIN AND PROTECT
 - 1. SIGNAL POLE



SITE GRADING, DRAINAGE, AND UTILITY PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
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 G:\BNA\Ketchum\15276\book\15276 - 200 N Main Street Construction 02/2024-04-17.dwg

DESIGNED BY: [Signature]
 DRAWN BY: CT
 CHECKED BY: MS

BENCH
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 733
 Ketchum, ID 83340
 (208) 726-9512
 www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

C1.20

PLANT SCHEDULE (STREET TREES ONLY)

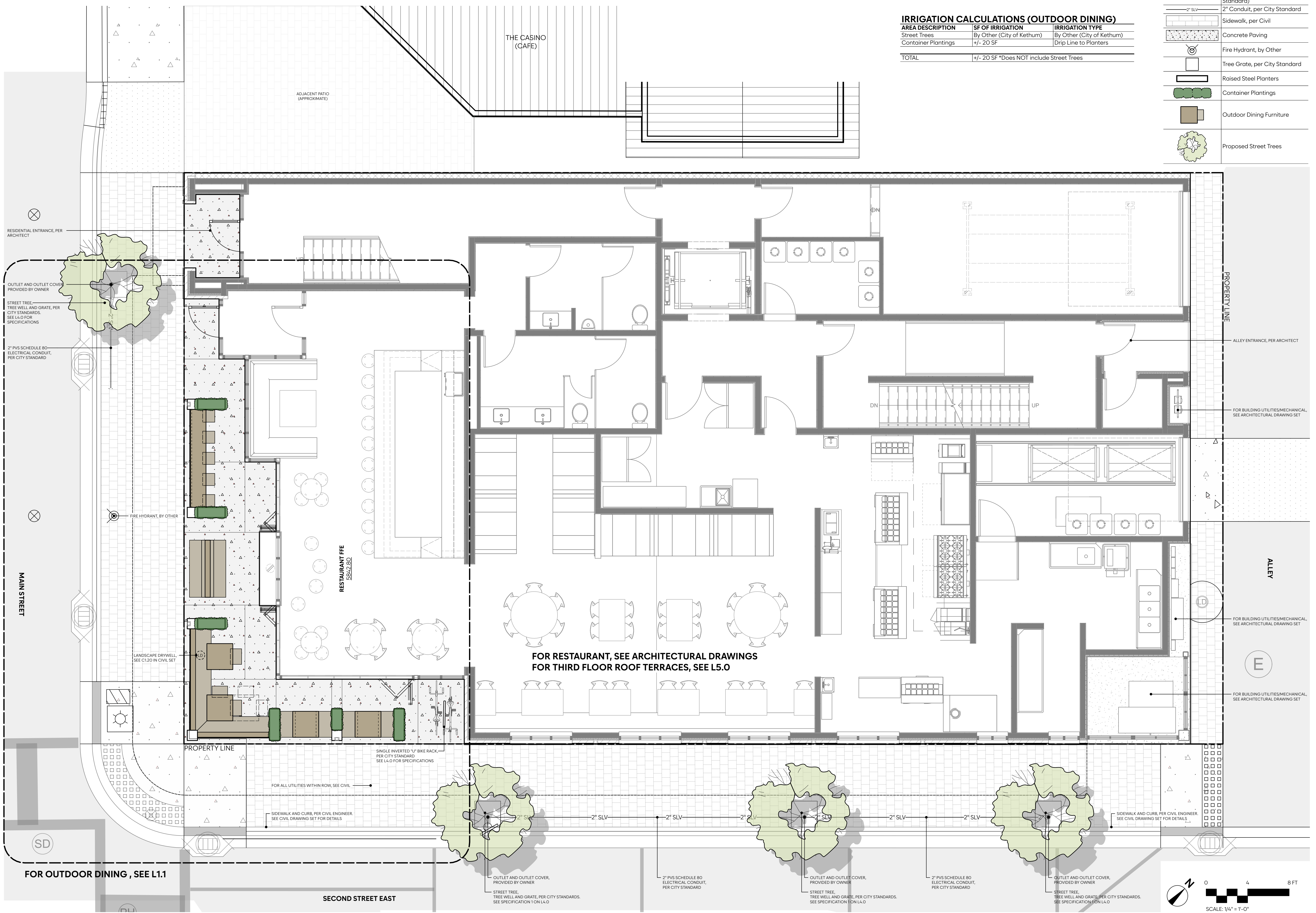
STREET TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AFA	4	3" CAL	<i>Acer x freemanii 'Armstrong'</i>	Armstrong Maple

IRRIGATION CALCULATIONS (OUTDOOR DINING)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Street Trees	By Other (City of Ketchum)	By Other (City of Ketchum)
Container Plantings	+/- 20 SF	Drip Line to Planters
TOTAL	+/- 20 SF	*Does NOT include Street Trees

LEGEND

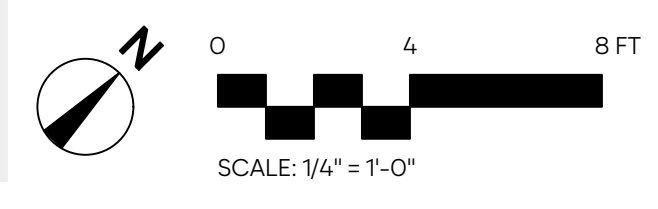
SYMBOL	DESCRIPTION
---	Property Line
---	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
---	2" Conduit, per City Standard
---	Sidewalk, per Civil
---	Concrete Paving
⊙	Fire Hydrant, by Other
□	Tree Grate, per City Standard
▭	Raised Steel Planters
⊕	Container Plantings
⊕	Outdoor Dining Furniture
⊕	Proposed Street Trees



FOR OUTDOOR DINING, SEE L1.1

SECOND STREET EAST

FOR RESTAURANT, SEE ARCHITECTURAL DRAWINGS
FOR THIRD FLOOR ROOF TERRACES, SEE L5.0



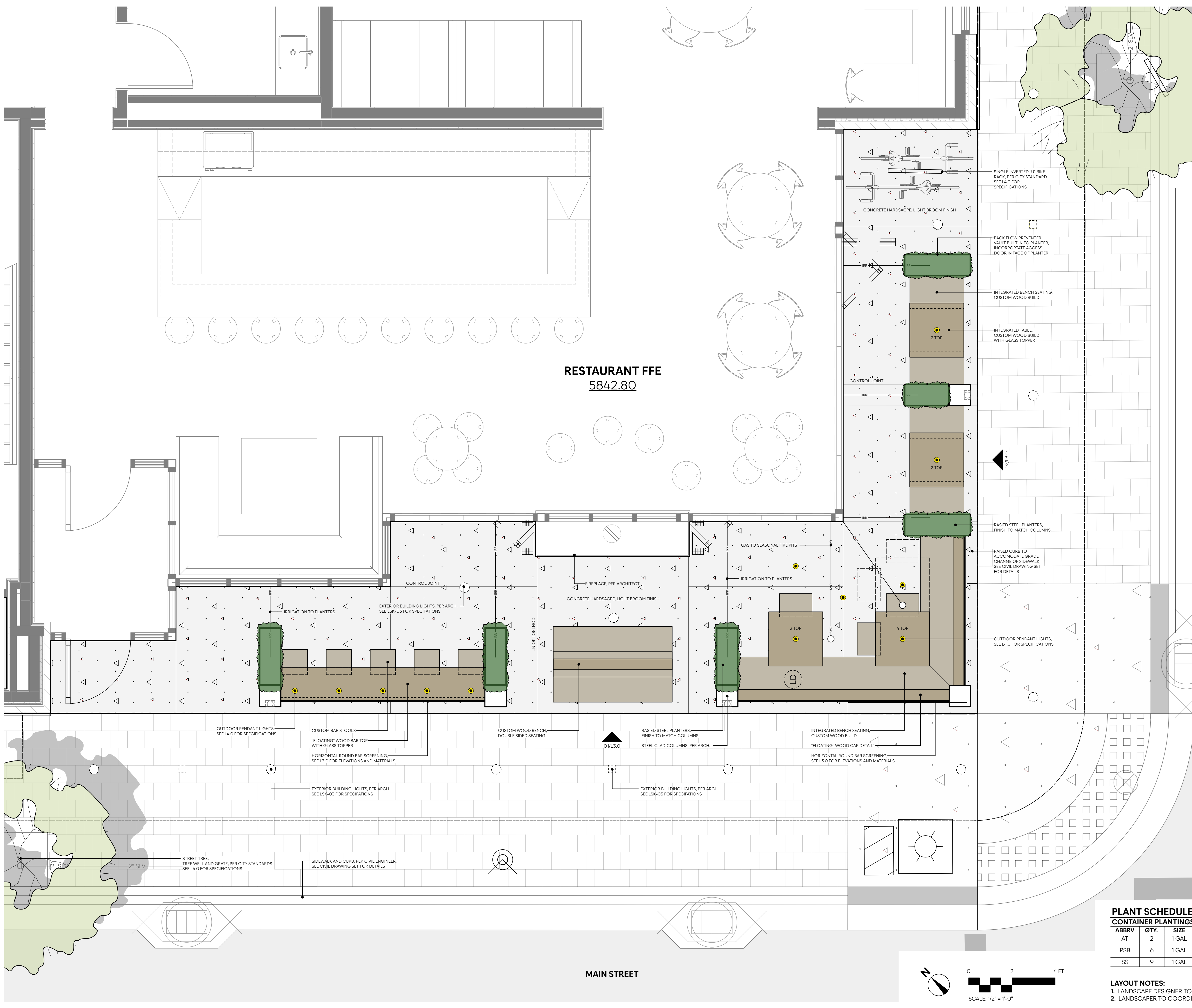
LEGEND

SYMBOL	DESCRIPTION
---	Property Line
---IRR---	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
---	2" SLV
---	2" Conduit, per City Standard
---	Gas Line to Seasonal Fire Pits
○	Hanging Light Fixtures
○	Architectural Lighting, Per Arch.
---	Sidewalk, per Civil
---	Concrete Paving
○	Fire Hydrant, by Other
○	Tree Grate, per City Standard
---	Raised Steel Planters
---	Container Plantings
---	Outdoor Dining Furniture
○	Proposed Street Trees

LIGHTING ZONE SCHEDULE

SYMB	LOCATION	QTY.	FIXTURE	TYPE
ZONE 1				
●	Outdoor Dining	12	Pendant	A

- LIGHTING NOTES:**
- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
 - EXTERIOR LIGHTS TO BE ON DIMMER AND ONLY ON DURING OPERATING BUSINESS HOURS.
 - FOR ARCHITECTURAL LIGHTING, SEE LSK-03



PLANT SCHEDULE (RESTAURANT ONLY)

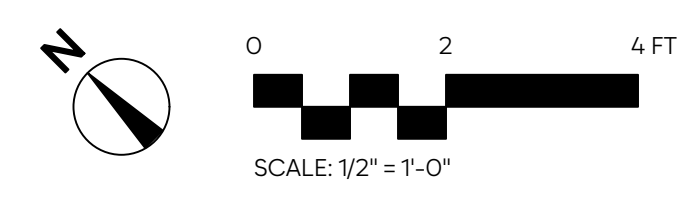
ABBREV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AT	2	1 GAL	Achillea Terracotta	Terracotta Yarrow
PSB	6	1 GAL	Penstemon strictus 'Blanca Peak'	Blanca Peak™ White Penstemon
SS	9	1 GAL	Schizachyrium scoparium	Little Bluestem

- LAYOUT NOTES:**
- LANDSCAPE DESIGNER TO LAYOUT CONTAINER PLANTS PRIOR TO INSTALL.
 - LANDSCAPER TO COORDINATE AND SCHEDULE ACCORDINGLY

RESTAURANT FFE
5842.80

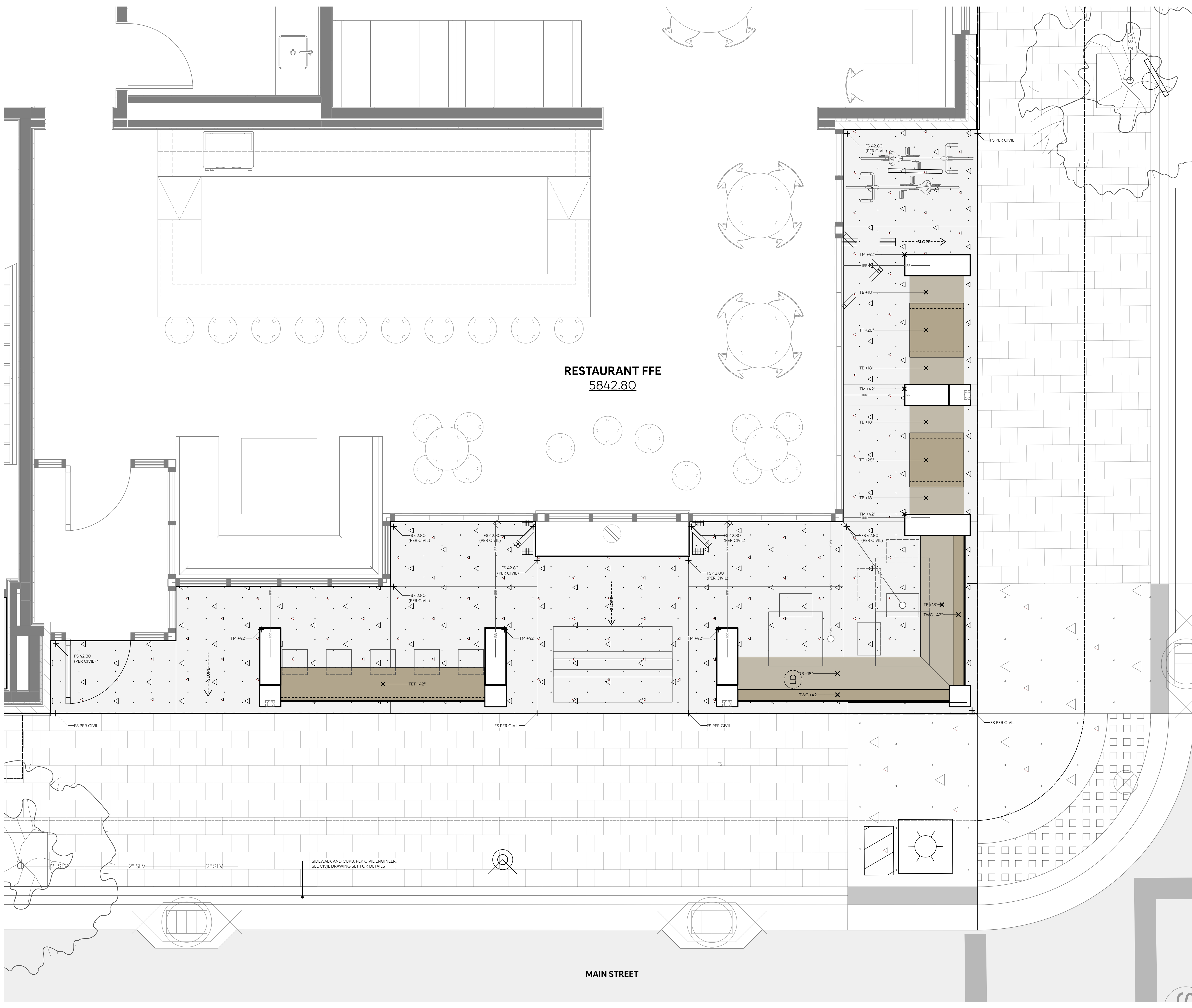
SECOND STREET EAST

MAIN STREET



LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
	2" Conduit, per City Standard
	Sidewalk, per Civil
	Concrete Paving
	Fire Hydrant, by Other
	Tree Grate, per City Standard
	Raised Steel Planters
	Outdoor Dining Furniture
	Slope Surface
FS	Finished Surface
TM	Top of Metal
TB	Top of Bench
TBT	Top of Bar Top
TWC	Top of Wood Cap

GRADING NOTES:
1. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL SIDEWALK AND CURB FINISHED GRADES AND DETAILS.
2. THIS SHEET DEPICTS GRADING INTENT FOR PROJECT PAVING AND BUILT ELEMENTS. ANY DISCREPANCIES TO BE REVIEWED WITH LANDSCAPE DESIGNER.



RESTAURANT FFE
5842.80

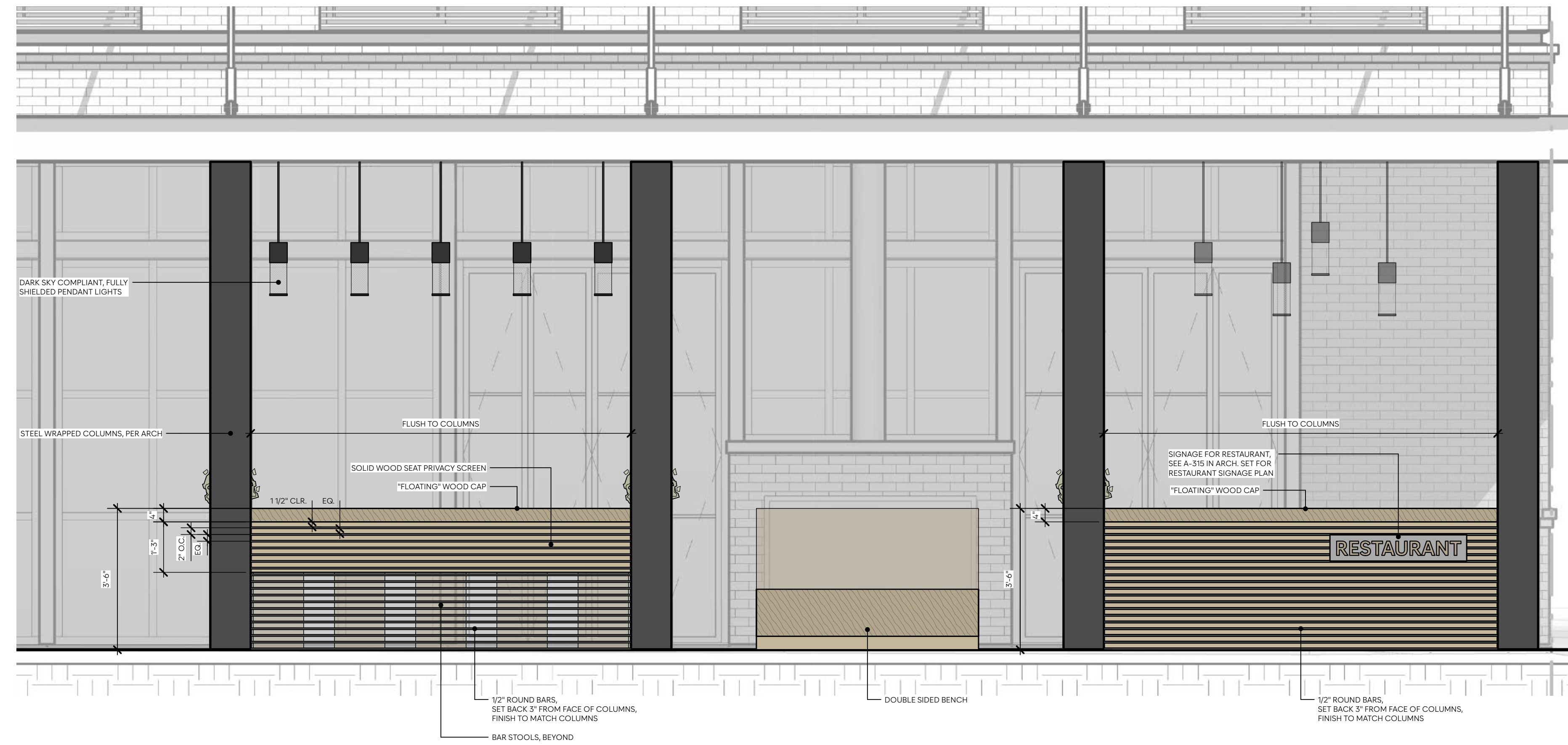
SECOND STREET EAST

MAIN STREET

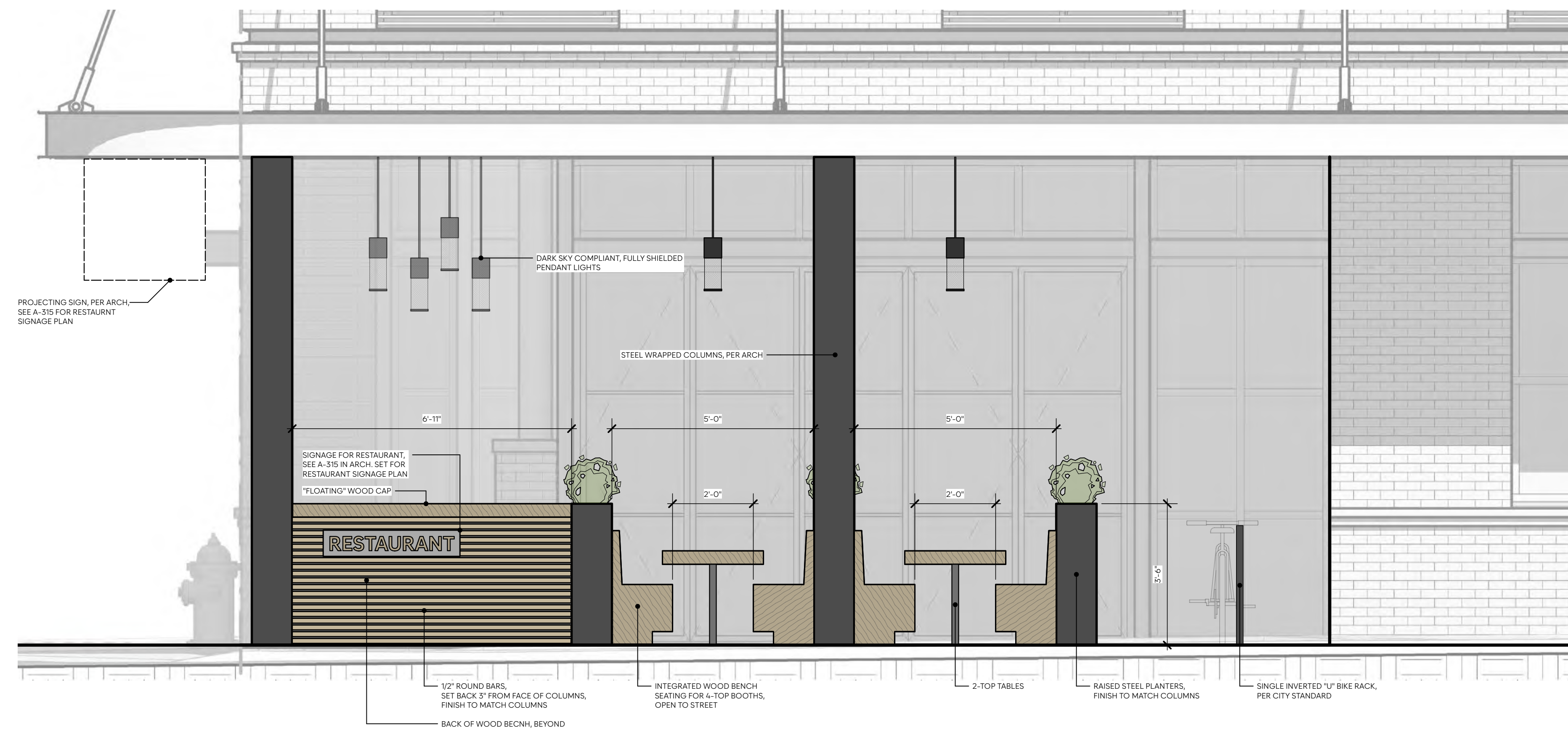
SIDEWALK AND CURB, PER CIVIL ENGINEER.
SEE CIVIL DRAWING SET FOR DETAILS



OUTDOOR DINING ELEVATIONS

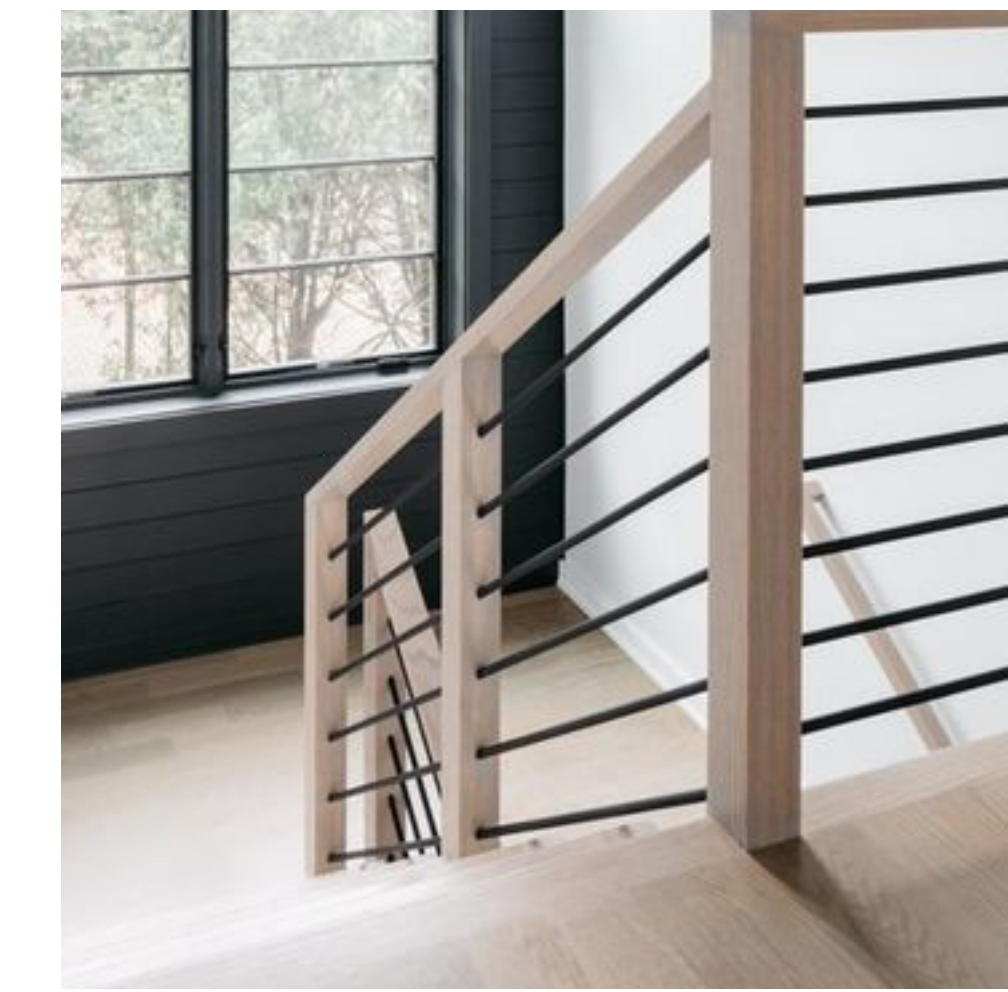
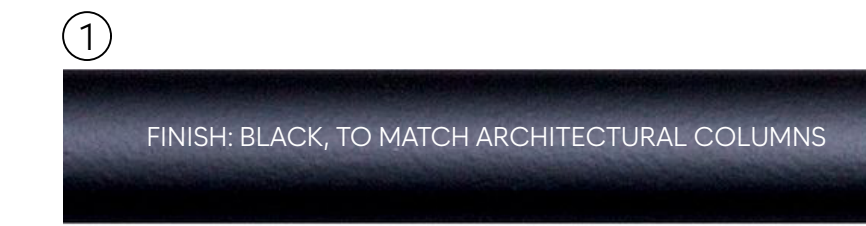


01 MAIN STREET ELEVATION
Scale: 1/2" = 1'-0"



02 SECOND STREET ELEVATION
Scale: 1/2" = 1'-0"

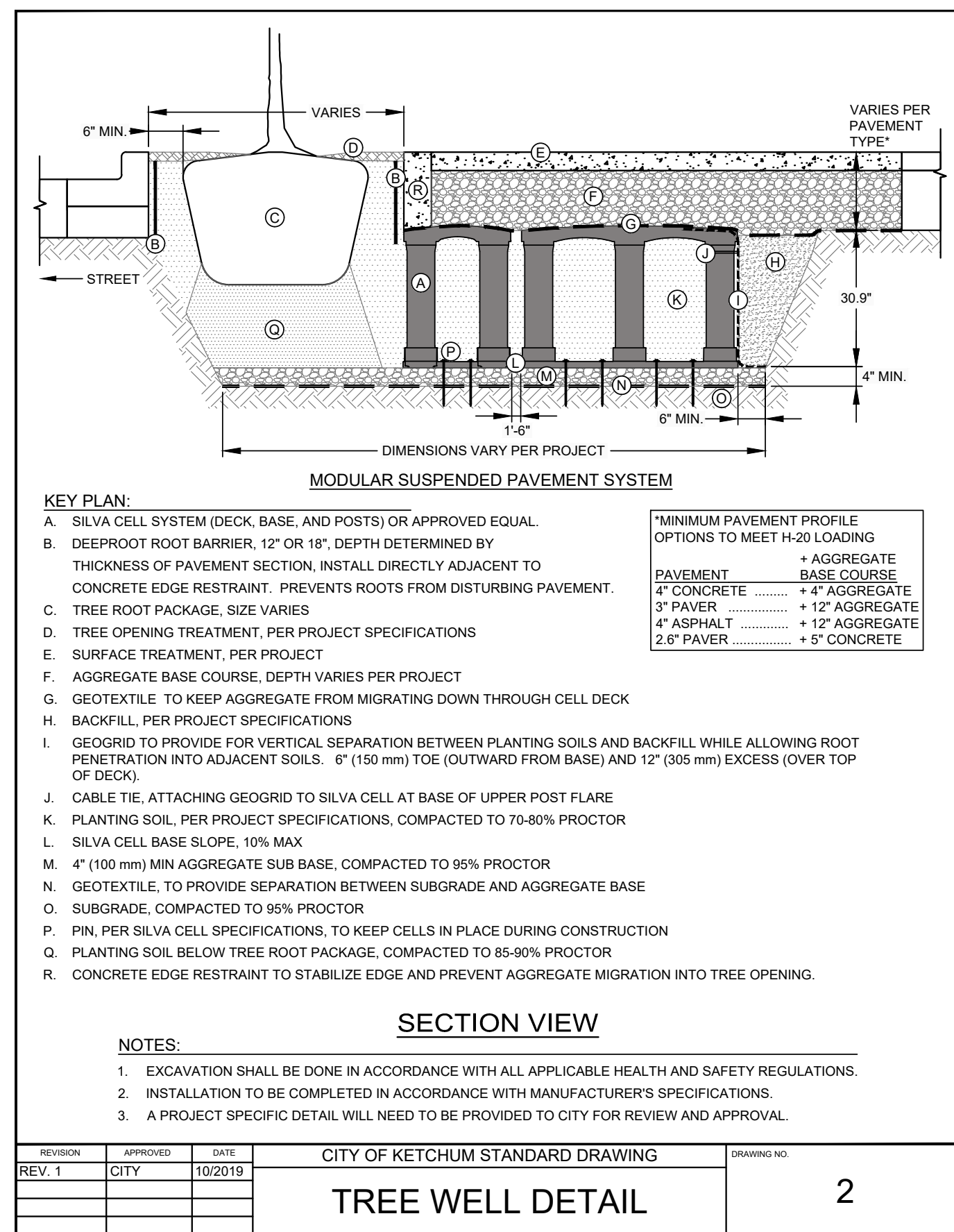
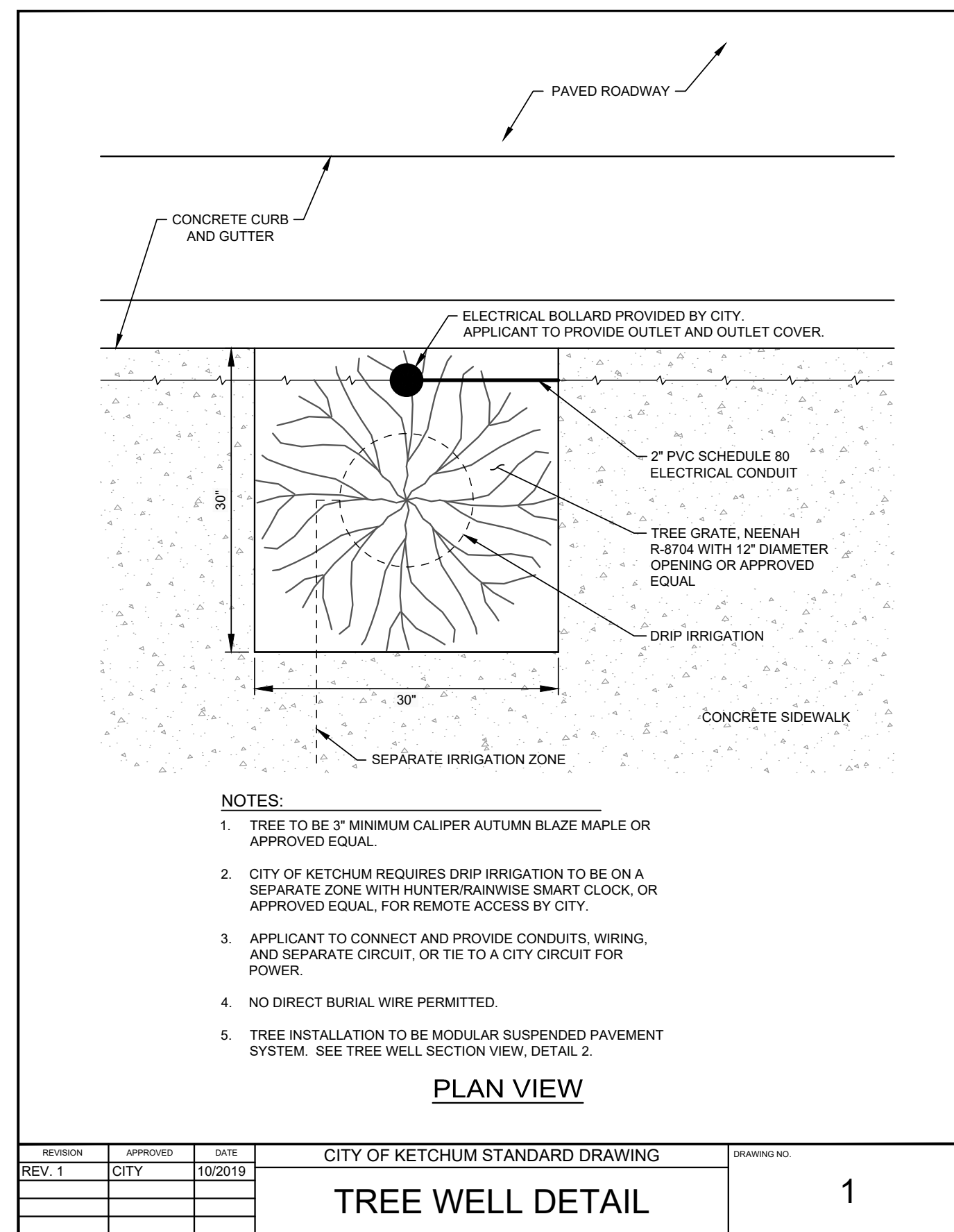
MATERIALS BOARD



MATERIALS KEY

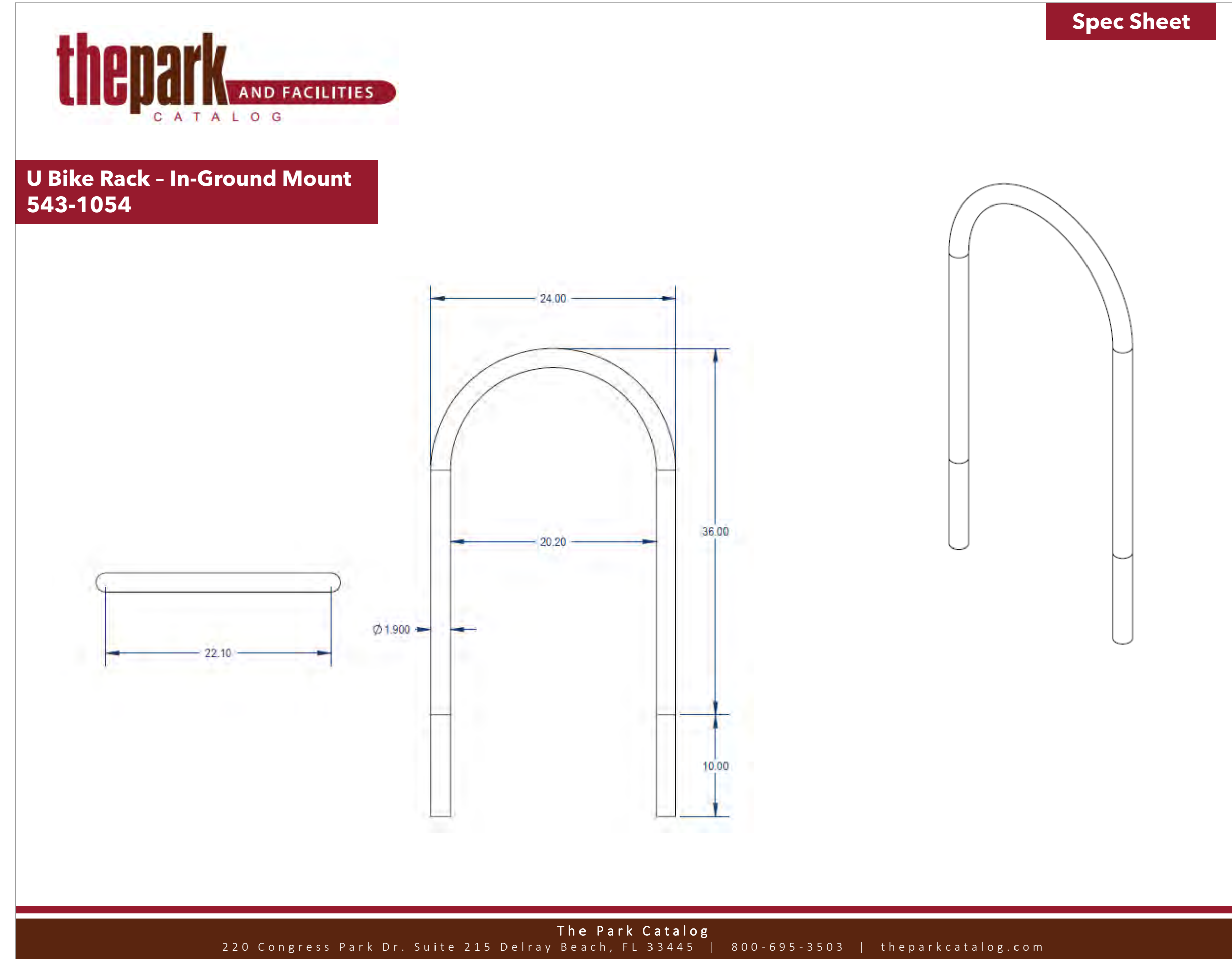
- ① ROUND IRON BAR
FINISH: BLACK
- ② WOOD SLAB BAR TOP
MATERIAL: WALNUT
FINISH: CLEAR COAT
- ③ HANGING LIGHT FIXTURE
FINISH: BLACK
- ④ RAISED STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

STREETSCAPE AND AMENITIES SPECIFICATIONS



01 TREE WELL
Scale: NTS

02 BIKE RACK
Scale: NTS



OUTDOOR LIGHTING SPECIFICATIONS



03 PENDANT LIGHT (TYPE A)
Scale: NTS

PROJECT NAME + ADDRESS

9/26/23

ISSUE DATE

DESIGN REVIEW - LANDSCAPE

DRAWING SET TYPE

AB

DRAWN BY

9/26/23 12:12:55 PM

PLOT DATE

ISSUE

LEGEND

SYMBOL	DESCRIPTION
	Property Line
	Architectural Lighting, Per Arch.
	Sidewalk (Below), per Civil
	Pavers (On Pedestal)
	SynLawn
	Groundcover
	Wood Deck
	Low Accent/Seat Walls
	Integrated Furniture
	Raised Steel Planters
	Container Plantings
	Shade Trees

PLANT SCHEDULE

THIRD FLOOR TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AP	5	10' B&B	<i>Acer pseudosieboldianum</i>	Korean Maple

THIRD FLOOR CONTAINER PLANTINGS (SHRUBS)				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
POD	37	5 GAL.	<i>Physocarpus opulifolius 'Dart's Gold'</i>	Dart's Gold Ninebark

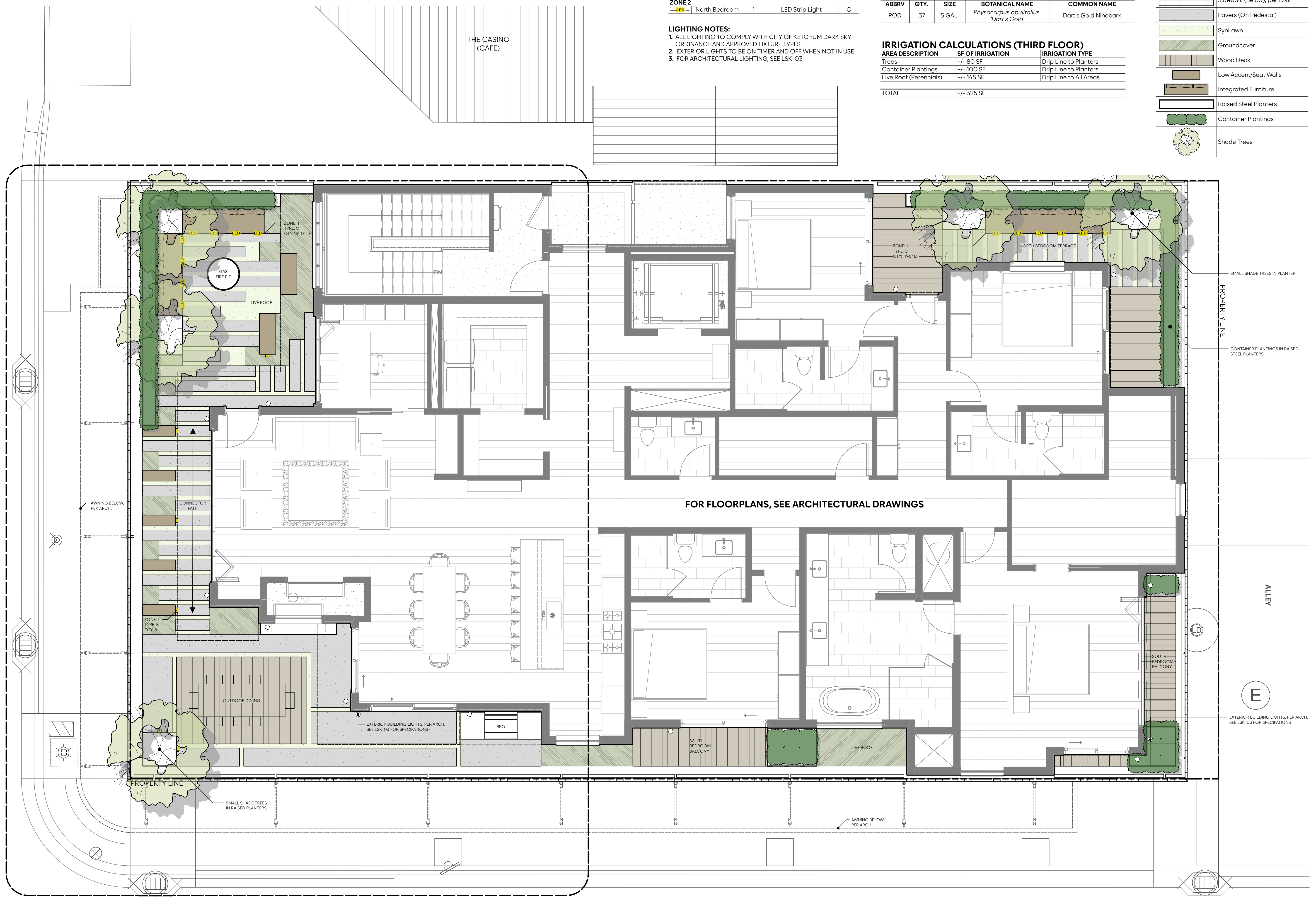
IRRIGATION CALCULATIONS (THIRD FLOOR)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Trees	+/- 80 SF	Drip Line to Planters
Container Plantings	+/- 100 SF	Drip Line to Planters
Live Roof (Perennials)	+/- 145 SF	Drip Line to All Areas
TOTAL	+/- 325 SF	

LIGHTING ZONE SCHEDULE

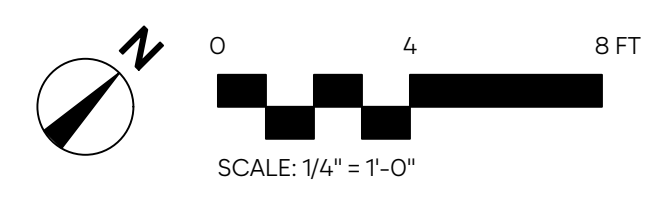
SYMB	LOCATION	QTY.	FIXTURE	TYPE
ZONE 1				
LED	Dining + Fire Pit	2	LED Strip Light	C
LED	Dining + Fire Pit	6	Wall Light (Recessed)	B
ZONE 2				
LED	North Bedroom	1	LED Strip Light	C

- LIGHTING NOTES:**
- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
 - EXTERIOR LIGHTS TO BE ON TIMER AND OFF WHEN NOT IN USE
 - FOR ARCHITECTURAL LIGHTING, SEE LSK-03



FOR WEST TERRACE, SEE L5.1
NOTE: PLAN ROTATION OF 90° ON L5.1

SECOND STREET EAST



THE **200 N MAIN**
AT 200 N MAIN ST / KETCHUM, ID 83340

PROJECT NAME + ADDRESS

9/26/23

ISSUE DATE
DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

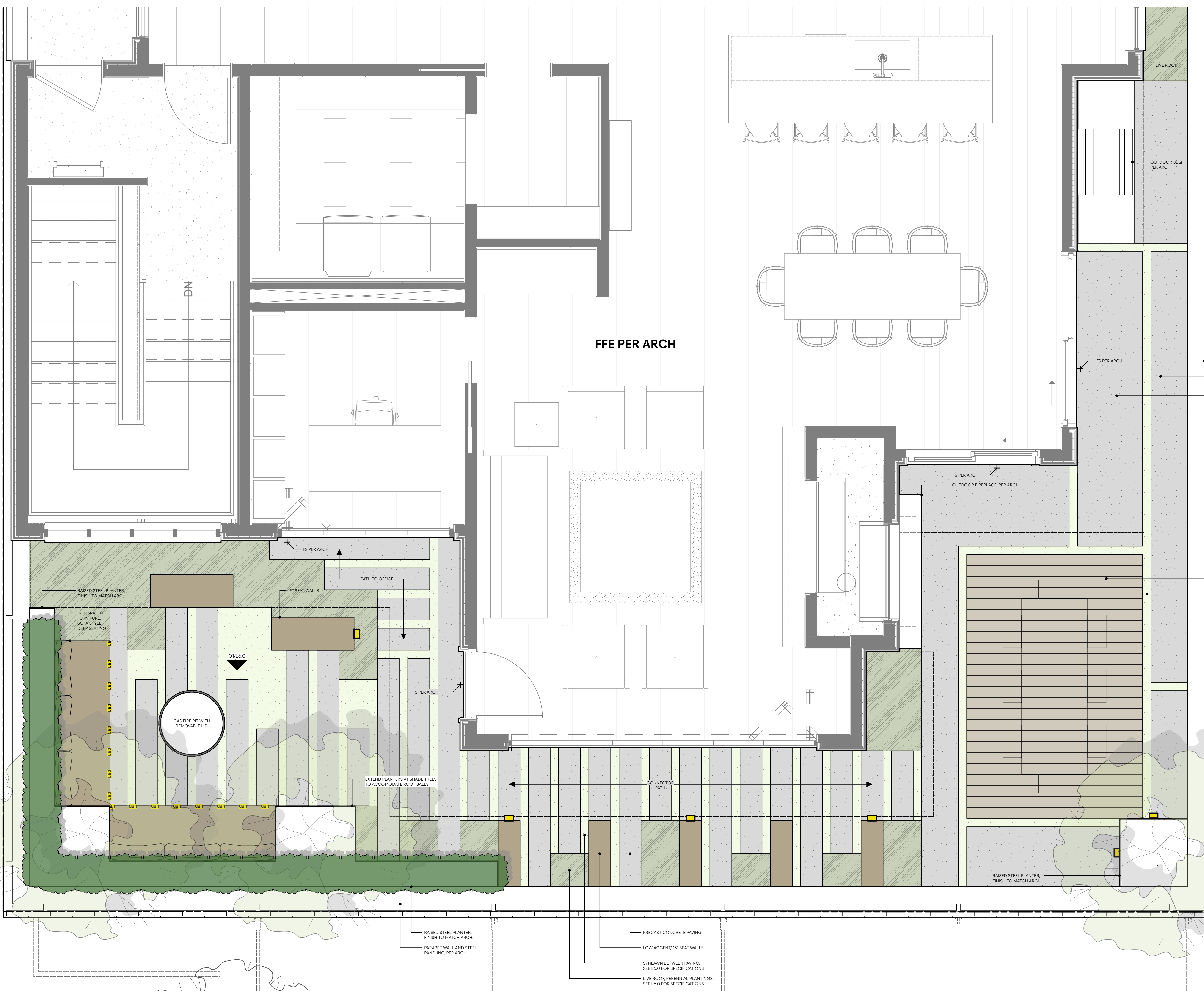
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9/26/23 12:13:05 PM
PLOT DATE

ISSUE

L5.1
WEST TERRACE

SYMBOL	DESCRIPTION
	Property Line
	Architectural Lighting, Per Arch.
	Sidewalk (Below), per Civil
	Pavers (On Pedestal)
	SynLawn
	Groundcover
	Wood Deck
	Low Accent/Seat Walls
	Integrated Furniture
	Raised Steel Planters
	Container Plantings
	Shade Trees

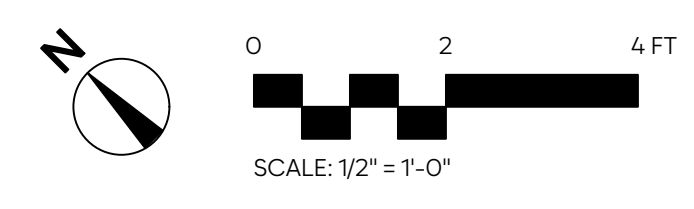
- THIRD FLOOR TERRACE NOTES:**
1. DRAINAGE TIES IN TO ROOF DRAIN SYSTEM. SEE ARCHITECTURAL DRAWING SET.
 2. ALL LOAD CALCULATIONS AND ENGINEERING, PER STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWING SET.
 3. DRIP IRRIGATION TO ALL PLANTERS AND LIVE ROOF AREAS

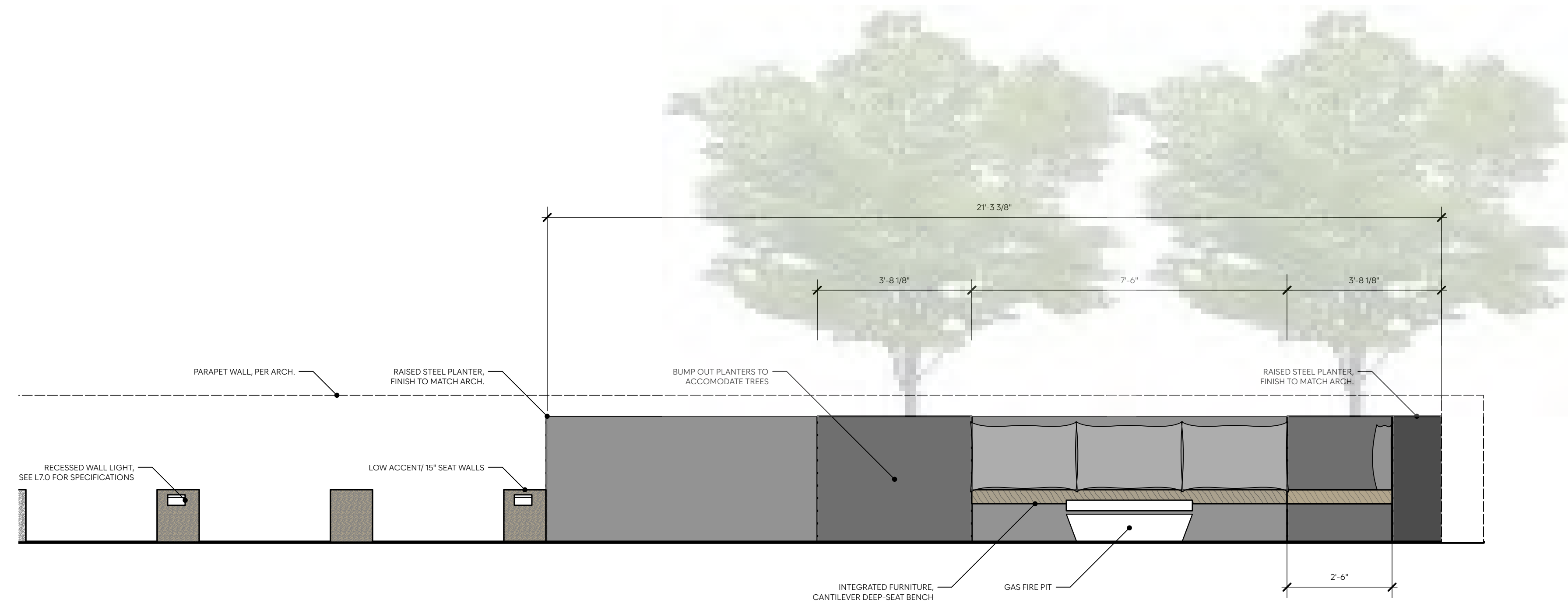


PARAPET WALL AND STEEL PANELING, PER ARCH
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS
PRECAST CONCRETE PAVING, FINAL LAYOUT AND PATTERN, TBD

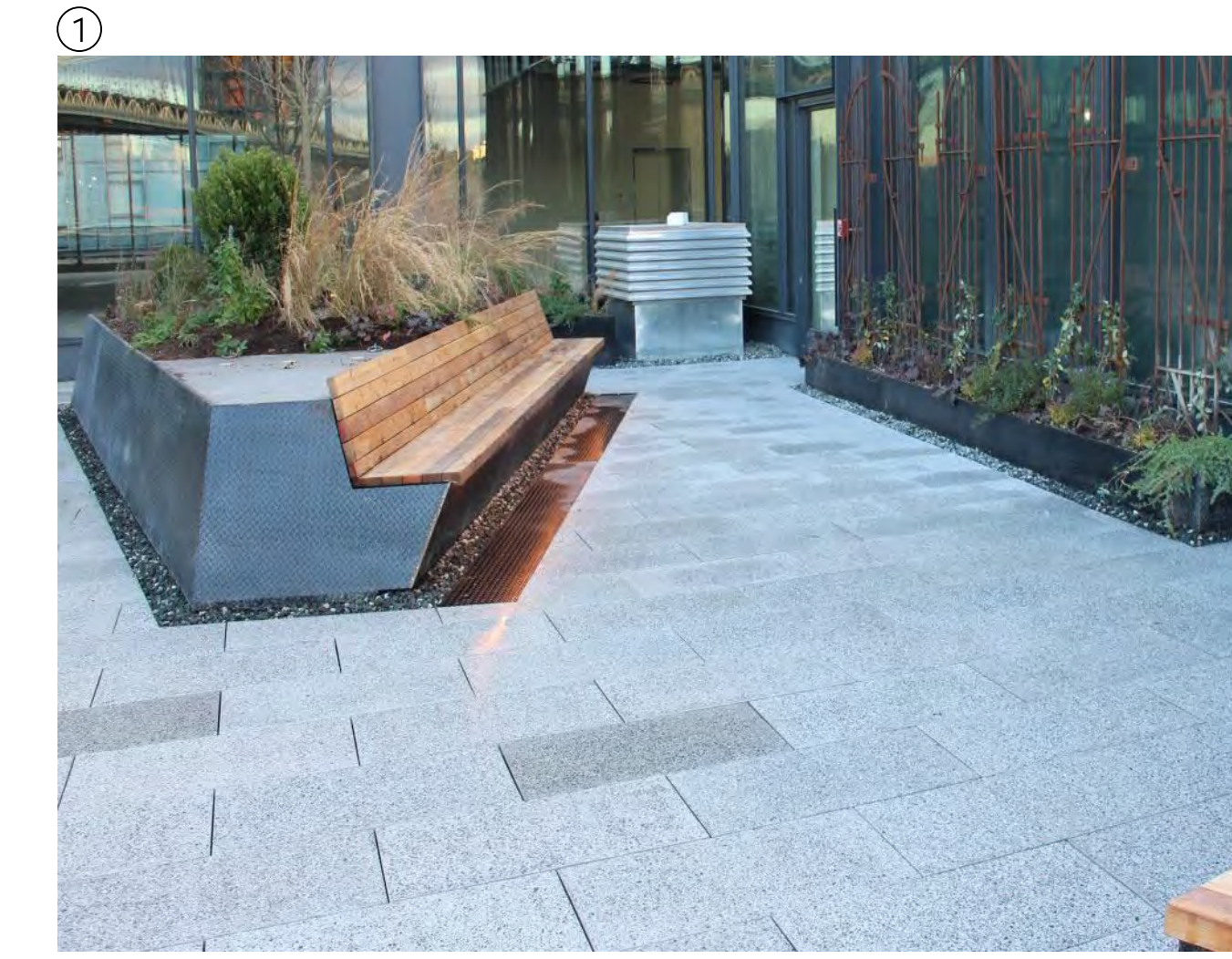
WOOD DECK AT OUTDOOR DINING
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS

RAISED STEEL PLANTER, FINISH TO MATCH ARCH.
PARAPET WALL AND STEEL PANELING, PER ARCH
PRECAST CONCRETE PAVING
LOW ACCENT/15" SEAT WALLS
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS
LIVE ROOF, PERENNIAL PLANTINGS, SEE L6.0 FOR SPECIFICATIONS





01 INTEGRATED SEATING AND RAISED PLANTER AT FIRE PIT ELEVATION
Scale: 1/2" = 1'-0"



MATERIALS KEY

- ① PAVER
FINISH: GREY (NATURAL)
- ② WOOD DECKING
MATERIAL: THERMORY
FINISH: NONE
- ③ WALL LIGHT
FINISH: BLACK
- ④ STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

PROJECT NAME + ADDRESS

9/26/23

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

DRAWN BY **AB**

PLOT DATE **9/26/23 12:13:06 PM**

ISSUE

LiveRoof DEEP SYSTEM
Over Conventional Roofing Assembly

SIDE VIEW

LiveRoof Module
LiveRoof Engineered Soil
LiveRoof Green Roof Plants (Minimum 95% Soil Coverage at Installation)
Approved Slip Sheet (Root Barrier / Protection Layer) ***
EPDM, TPO or PVC Waterproofing Membrane Fully Adhered or Mechanically Fastened Coverboard
Fully Adhered or Mechanically Fastened Insulation

Provided by others

6.00
2.98
0.38

TOP VIEW (Empty Module)

Drainage Holes
Ergonomic Handles

18.00
24.00

*** Examples of commonly used slip sheet include minimum 40mil EPDM, TPO, PVC polypropylene, Polyolefin or other product depending type of roof and warranty. Installer to confirm compatibility of slip sheet and waterproofing membrane with waterproofing membrane manufacturer.

LiveRoof System Saturated Weight: 40-50 lbs / sf + Retention Layer (barrier)

NOT TO SCALE

DEEP Conventional 2022-11-8

LiveRoof LLC
P.O. Box 533
Spring Lake, MI 49456

(800) 875-1392
www.liveroof.com

LiveRoof

01 LIVE ROOF SYSTEM / DEEP
Scale: NTS

SYNLAWN
Plant-Based Artificial Grass

PRODUCT SPECIFICATIONS

ROOFDECK PLATINUM

Nylon fibers give this grass guaranteed resistance against melting from reflective light, along with an ASTM CERTIFIED E108 CLASS A FIRE-RATING for the highest level of safety and security. Ideal for rooftops, decks, and patios, indoors or out.

SUPER YARN™ TECHNOLOGY

SANITIZED™ ANTIMICROBIAL
DUALCHILL™ IR REFLECTIVE
STATBLOCK™ ANTI-STATIC

- UNMATCHED LIFETIME WARRANTY
- UV PROTECTED FROM REFLECTING LIGHT
- IDEAL FOR HIGH-TRAFFIC ROOFTOPS AND DECKS
- ASTM E108 CLASS A FIRE RATING

ASK ABOUT OUR...
USDA CERTIFIED ORGANIC INFILL SYSTEM

SYNLawn® 547 is a USDA Certified Bio-Based artificial grass system in combination with organic infill, able to display a unique USDA label highlighting its percentage of bio-based content.

USDA CERTIFIED BIOBASED PRODUCT

MADE IN U.S.A.

SYNLAWN.COM • SYNLAWN@GOLF.COM • (866) 798-5298

SPECIFICATIONS SUBJECT TO CHANGE 02/07/2023

02 SYNLAWN
Scale: NTS

OUTDOOR LIGHTING SPECIFICATIONS

FSLED™ Step lights

- Easy installation into a recessed 2" x 4" j-box
- Deep recess of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

Specifications

UL Listing: Suitable for wet locations
IP Rating: Rated IP66, protected against dust and water ingress
LEDs: Long-life, high-efficiency surface mount LEDs
Current: 120V: 0.108A, 300mA, PF 95% 277V: 0.201A, 550mA, PF 95%
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Color Temperature	4000K	3000K	2700K
Input Watts	3	3	3
Output Lumens*	94	88	82
Color Accuracy (CRI)*	82	82	79

Housing: Precision die-cast aluminum
Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Starting: The minimum starting temperature is -40°C (-40°F)
Mounting: Recessed junction box. Trim and trimless models available.
Lens: Tempered glass
Gaskets: High-temperature silicone
Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC, or toxic heavy metals.
Green Technology: Mercury and UV free, and RoHS compliant.
*Performance for white models. For performance of bronze, black and silver, visit ashboard.com

Dimensions and weight

Surface Plate Models
Weight: 0.55 lb

Trimless Models
Weight: 0.55 lb

Photometrics

FSLED Horizontal 1" 6" Mounting Height
Photometric Report #1217-16

FSLED Vertical 1" 6" Mounting Height
Photometric Report #1217-16

Grid scales: Multiples of mounting height - Values shown in foot-candles

Ordering information

Product Family: FSLED
Orientation: H (Horizontal), V (Vertical)
Wattage: 3 (3W)
Color Temperature: YY (4000K, 3000K, 2700K)
Finish: B (Blank), W (White), Black, S (Matte Silver)
Voltage: /120 (120V, 277V)
Trim Options: Blank, Surface Plate, Trimless Mount

03 RECESSED STEP LIGHT (TYPE B)
Scale: NTS

aspectLED
A WILSON TOOL COMPANY

N-SERIES (NARROW) FLEXIBLE LED STRIP LIGHT
Standard Bright (18 LEDs/foot)

MODEL: AL-SL-N-S

Description

aspectLED's Flexible LED strip lights are a perfect solution for a wide variety of architectural and accent lighting applications including: cove lighting, under-cabinet lighting, back-lighting, pathway lighting and decorative lighting. Our Standard Bright N-Series (narrow) flexible LED strip lights are made with wire leads on both ends of each 16.4' reel and can be cut every 2" (12VDC), allowing you to cut pieces to the exact length that you need.

Learn more

UL LISTED, RoHS Compliant, 1YR WARRANTY, DIMMABLE

www.aspectLED.com | 888.503.1317 | sales@aspectled.com
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aspectLED
4900 Constellation Drive | Saint Paul, MN 55127

04 STRIP LIGHT (TYPE C)
Scale: NTS

N-SERIES (NARROW) FLEXIBLE LED STRIP LIGHT
MODEL: AL-SL-N-S

Specifications

	NON-WATERPROOF	WATER RESISTANT	WATERPROOF
Dimensions	5/16" (8mm) wide 1/16" (2mm) thick 16.4' (5M) long	5/16" (8mm) wide 1/8" (2.6mm) thick 16.4' (5M) long	7/16" (11mm) wide 3/16" (4mm) thick 16.4' (5M) long
Distance Between LEDs	9/16" (14mm)	9/16" (14mm)	9/16" (14mm)
Cut Length	12VDC: 2' (50.8mm) 24VDC: 4' (100.16mm)	12VDC: 2' (50.8mm) 24VDC: 4' (100.16mm)	12VDC: 2' (50.8mm) 24VDC: 4' (100.16mm)
IP Rating	IP20 Indoor Use, Dry Location	IP65 Splash Resistant	IP68 Submersible
Adhesive Backing	Yes / 3M Adhesive	Yes / 3M Adhesive	No
Mounting Method	Adhesive Backing	Adhesive Backing	Mounting Straps or Adhesive Caulk
Input Voltage	12VDC or 24VDC	12VDC or 24VDC	12VDC or 24VDC
Beam Angle	120 Degrees	120 Degrees	120 Degrees
Dimmable	Yes	Yes	Yes
Max Power Consumption	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)
Max Luminous Flux	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)
LED Color	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow
Color Temperature	Soft White = 2700K Warm White = 3000K Neutral White = 4000K DayWhite = 6000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K
LED Type	SMD 3528 LED Chips	SMD 3528 LED Chips	SMD 3528 LED Chips
LED Quantity	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)
Max Run	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC
Weight	0.4 lbs per reel	0.6 lbs per reel	1.0 lbs per reel
Estimated Lifespan	50,000 hours	50,000 hours	50,000 hours
Warranty	1 Year	1 Year	1 Year
Suitable Uses	Dry Location Only	Dry or Damp Locations	Dry, Damp or Wet Locations
Standards/Certifications	UL Listed, RoHS	UL Listed, RoHS	UL Listed, RoHS

www.aspectLED.com | 888.503.1317 | sales@aspectled.com
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aspectLED
4900 Constellation Drive | Saint Paul, MN 55127

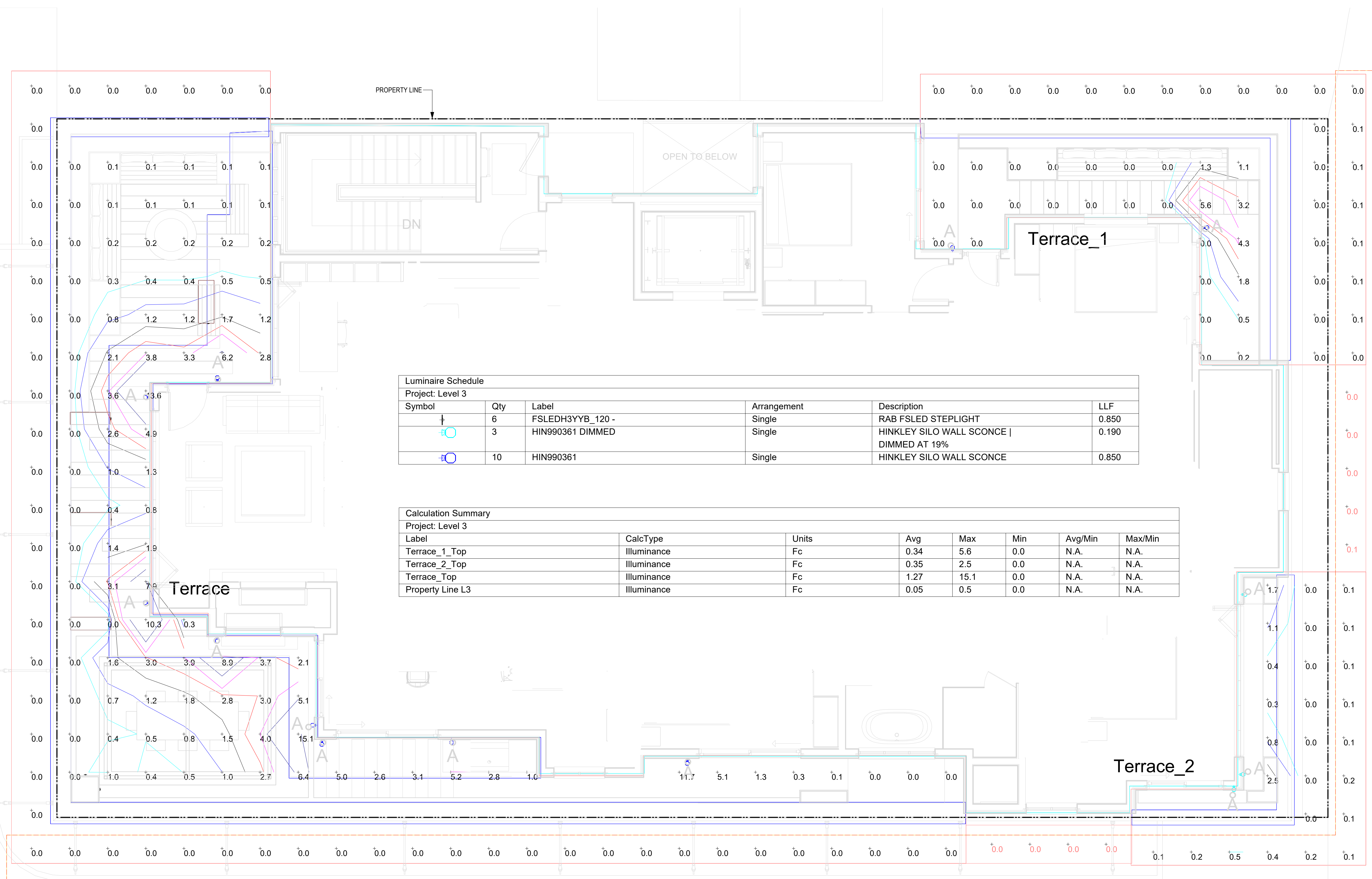


Luminaire Schedule					
Project: Level 1					
Symbol	Qty	Label	Arrangement	Description	LLF
⊕	1	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 20%	0.200
⊕	2	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
⊕	16	Finiré 3" SQ DL 17W XX 40° 2	Single	LUTRON FINIRE DOWNLIGHT	0.850
⊕	12	2302BK	Single	HINKLEY ARIA PENDANT	1.300

Calculation Summary							
Project: Level 1							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bar_Planar	Illuminance	Fc	42.57	49.0	28.5	1.49	1.72
GROUNDPLANE 1_Planar	Illuminance	Fc	6.97	23.9	0.0	N.A.	N.A.
Tabletop 2_Planar	Illuminance	Fc	16.41	23.7	8.9	1.84	2.66
Tabletop 3_Planar	Illuminance	Fc	18.42	26.9	10.0	1.84	2.69
Tabletop 4_Planar	Illuminance	Fc	15.06	18.8	11.3	1.33	1.66
Tabletop 5_Planar	Illuminance	Fc	16.08	19.7	9.8	1.64	2.01
Tabletop_Planar	Illuminance	Fc	16.55	20.6	12.6	1.31	1.63
Property Line L1	Illuminance	Fc	0.20	0.7	0.0	N.A.	N.A.

Property Line L1
Illuminance (Fc)
Average = 0.20

Groundplane_1



ILLUMINANCE AVG
OUTSIDE OF
PROPERTY LINE

Property Line L3

Illuminance (Fc)
Average = 0.05


Luminaire Schedule					
Project: Level 3					
Symbol	Qty	Label	Arrangement	Description	LLF
⬇	6	FSLEDH3YYB_120 -	Single	RAB FSLED STEPLIGHT	0.850
⊖	3	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
⊖	10	HIN990361	Single	HINKLEY SILO WALL SCONCE	0.850

Calculation Summary							
Project: Level 3							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Terrace_1_Top	Illuminance	Fc	0.34	5.6	0.0	N.A.	N.A.
Terrace_2_Top	Illuminance	Fc	0.35	2.5	0.0	N.A.	N.A.
Terrace_Top	Illuminance	Fc	1.27	15.1	0.0	N.A.	N.A.
Property Line L3	Illuminance	Fc	0.05	0.5	0.0	N.A.	N.A.

Lightology Silo Dark Sky Outdoor Wall Sconce
ITEM NUMBER: HIN950361

BRAND: Hinkley Lighting

DESCRIPTION: The Silo Dark Sky Outdoor Wall Sconce is the perfect addition to exteriors from coastal to modern. The compact design blends seamlessly into your space. Dark Sky Ordinance was developed as outdoor lighting standards that reduce glare, light trespass, and sky glow. Coated with anti-fading finishes, for maximum durability in harsh climates. Note: Title 24 Compliant with included bulb.



Shown in: Black / Etched Glass

SHADE COLOR	Etched Glass
BODY FINISH	Black
WATTAGE	6.5W
DIMMER	Low Voltage Electronic
DIMENSIONS	4.5W x 8.1H x 5.5D
BULB INCLUDED	1 x HINKLEY LOW VOLTAGE LED

Technical Information:
LUMINOUS FLUX: 500 Lumens
LUMENS/WATT: 76.92
LAMP COLOR: 2700 K
COLOR RENDERING: 80 CRI

ITEM NUMBER: HIN950361

COMPANY: PROJECT: SYSTEM TYPE: APPROVED BY: DATE:

Lightology | 1000 Lakeside Drive | Ketchum, ID 83340 | 2022

WALL SCONCE ('A')
- MOUNTING HEIGHT 7'6 UON ON LIGHTING PLANS

LUTRON Finire 3" Specifications

High-Performance LED

Finire Model	Standard	Warm Dimming
CRI (Typical)	95, R9-R5	95, R9-R5
Lumens (Delivered)	650-1750	800
Wattage	15	15
Efficacy (Lumens/Watt)	30-65	50

Independent measurement of typical 3000K downlight fixture models by Lutron Electronics Co., Inc. for reference only. See the Finire 3" specification sheets for LM79 photometric data by fixture type and trim options.

Lens & Finish Options for Every Ceiling Type

Micro Prism Solite™	Frosted Glass	Wall Wash	No Lens
---------------------	---------------	-----------	---------

Note: All lens and finish options (except no lens) are wet (damp) location rated for covered, ceiling mount interior or exterior applications.

Matte White*	Matte Black*	Silver*	Bronze*	Silver/White**	Clear Anodized/White**	Clear Chrome/White**	Black Chrome/White**
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*Matte White, Matte Black, Silver and Bronze are coordinated color finishes to match Finire Prime and Ketra D3 downlights.
**White Range standard with flanged trims

Housings

IC housing: 18.9 in. | Non-IC housing: 13.6 in.

Note: Specification and install made easy with the adjustable housing options allowing field changeable beam spreads and the ability to convert from adjustable wall wash and fixed downlight or standard trims to flangeless (mud-in) or pin hole options after wiring & ceiling install.

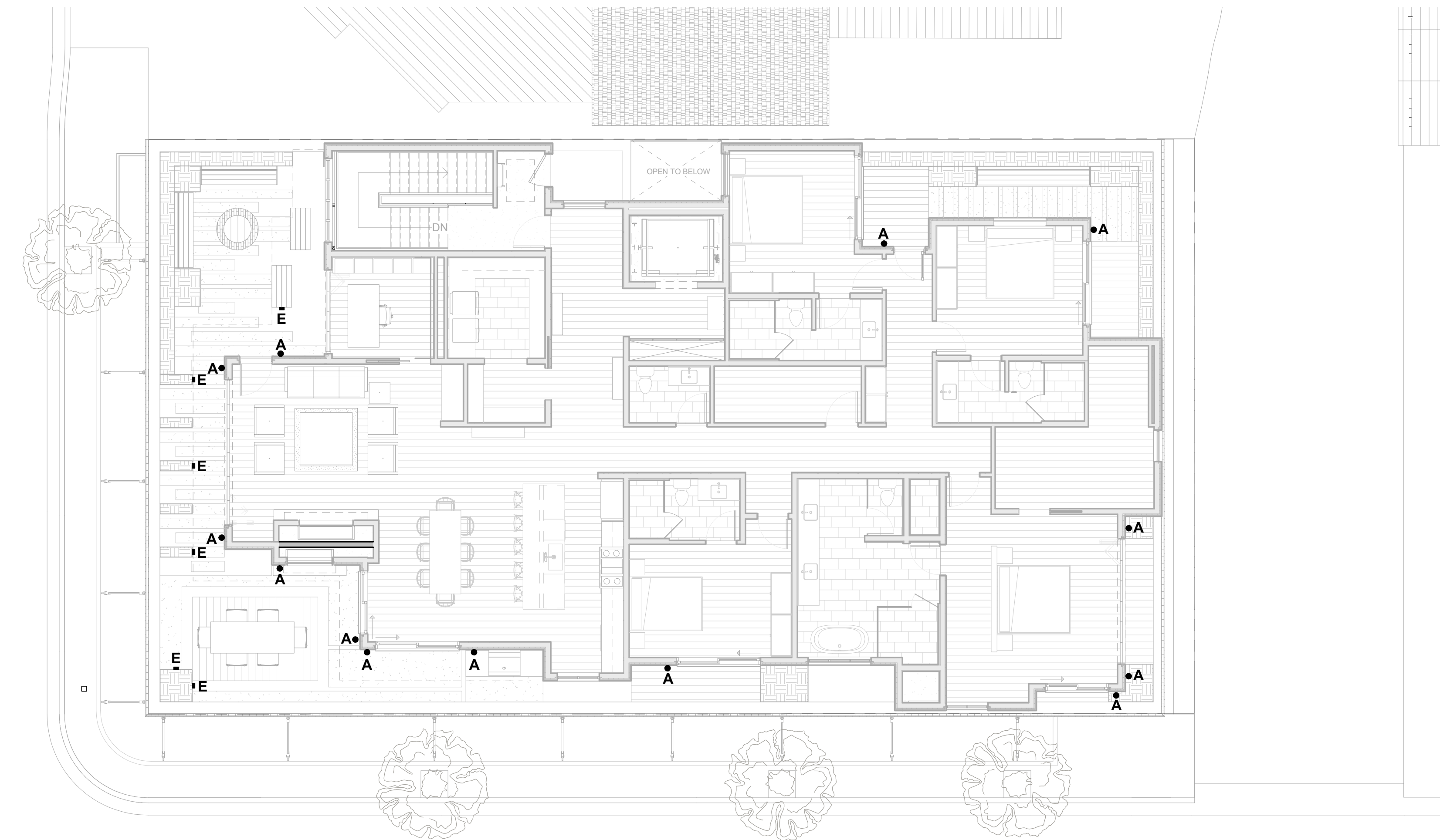
Field Changeable Beam Angles

15°, 30°, 40°, 55°, Wall Wash (trim lens option)

*15° not field changeable or available in warm dimming options.

RECESSED CAN LIGHTS ('B')
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS

RECESSED CAN STREETLIGHTS ('D')
- MOUNTING HEIGHT 12"
- TO BE METERED SEPARATELY AND DIMMED PER CITY STANDARDS (TO BE DEVELOPED)



THIRD FLOOR EXTERIOR LIGHTING 2
1/8" = 1'-0"

ARIA 2302BK MEDIUM HANGING LANTERN

Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant!

DETAILS	Finish: Black
MATERIAL	Aluminum
SLOPE DECREE	90

DIMENSIONS	Width: 5.3"
HEIGHT	15.8"
WEIGHT	2.8lb

LIGHT SOURCE	LED Lamp
LED NAME	LS0902D-30K
VOLTAGE	120V
COLOR TEMP	3000*
LUMENS	325
CRI	90
INCANDESCENT EQUIVALENCY	1 x 50w
DIMMABLE	Yes - CL Type Dimmer (SBLTA)

MOUNTING: CANOPY: 6" Dia. LEAD WIRE: 1' x 100' MAX HEIGHT: 48

SHIPPING: CARTON LENGTH: 22.5" CARTON WIDTH: 8.5" CARTON HEIGHT: 9" CARTON WEIGHT: 14" *RELAMP WITH 7 WATT, 2700K BULB

PRODUCT DETAILS:

- This stem hung fixture may be hung on a sloped ceiling
- This fixture includes multiple down stems in various lengths to customize the installation height of the fixture, including one 6" stem and two 12" stems.
- Suitable for use in damp locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- 2 year finish warranty.
- LED Bulbs carry a 3-year limited warranty.
- All-in-one fixture design comes with an LED bulb.
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade.

HINKLEY HINKLEY 3300 Pin Oak Parkway Aston Lake, OH 44012 PHONE: (440) 653-5200 hinkley.com

HANGING LANTERN ('C')
- MOUNTING HEIGHT 8'6 UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.

FSLED™ Step lights

- Easy installation into a recessed 2" x 4" jbox
- Deep recess of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

Specifications

UL Listing: Suitable for wet locations
IP Rating: Rated IP65, protected against dust and water ingress
LEDs: Long-life, high-efficiency surface mount LEDs
Current: 120V: 0.108A, 300mA, PF 95% 277V: 0.201A, 550mA, PF 95%
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
Color Temperature: 4000K, 3000K, 2700K
Input Watts: 3, 3, 3
Output Lumens*: 88, 88, 82
Color Accuracy (CRI)*: 82, 82, 79

Housing: Precision die-cast aluminum
Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Startings: The minimum starting temperature is -40°C (-40°F)
Mounting: Recessed junction box. Trim and trimless models available.
Lens: Tempered glass.
Gaskets: High-temperature silicone.
Finish: Cure environmentally friendly polyester powder coatings are formulated for high durability and long-lasting color, and contain no VOC or toxic heavy metals.
Green Technology: Mercury and UV free, and RoHS compliant.

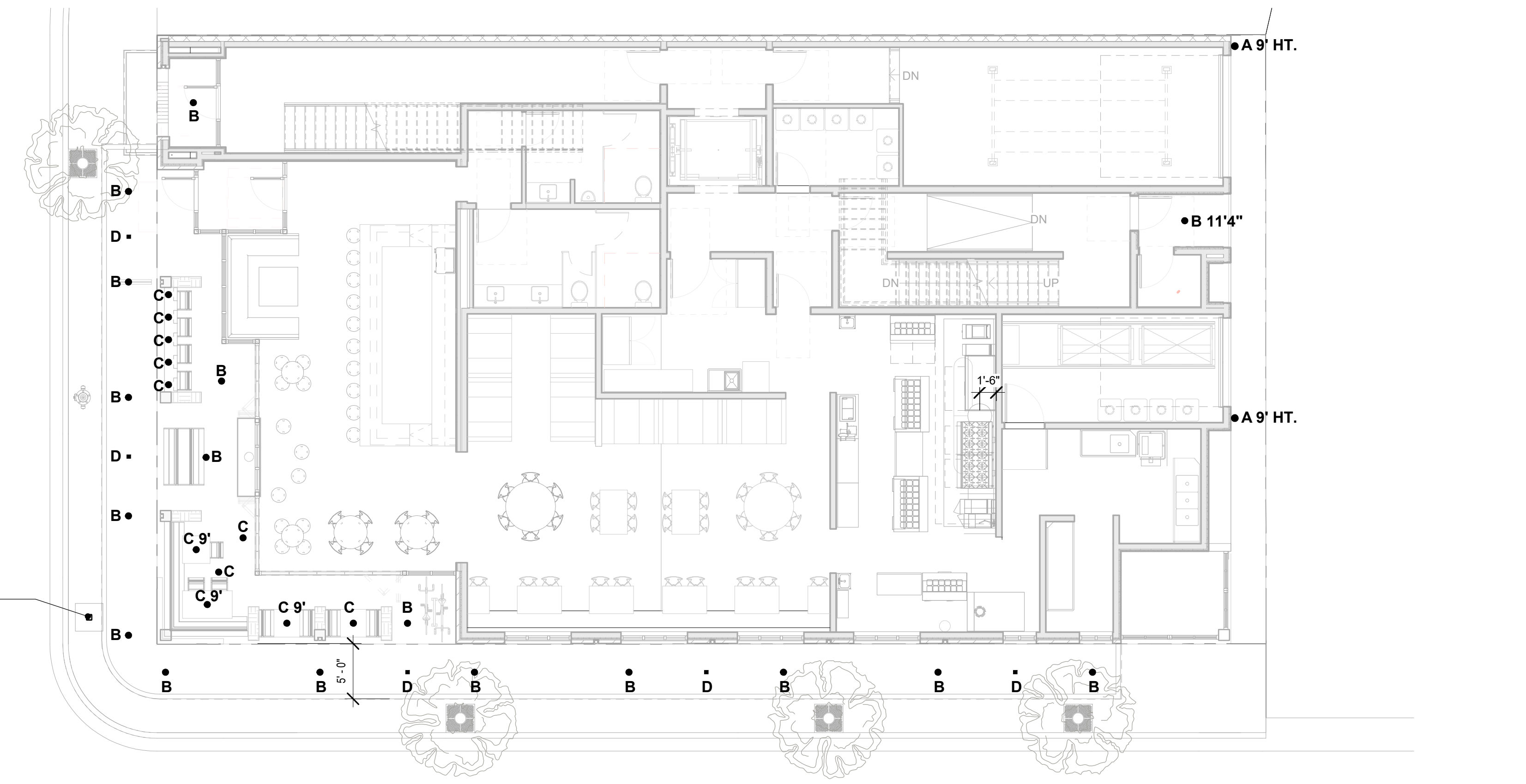
Photometrics

FSLED Horizontal 1' 6" Mounting Height
FSLED Vertical 1' 6" Mounting Height

Ordering information

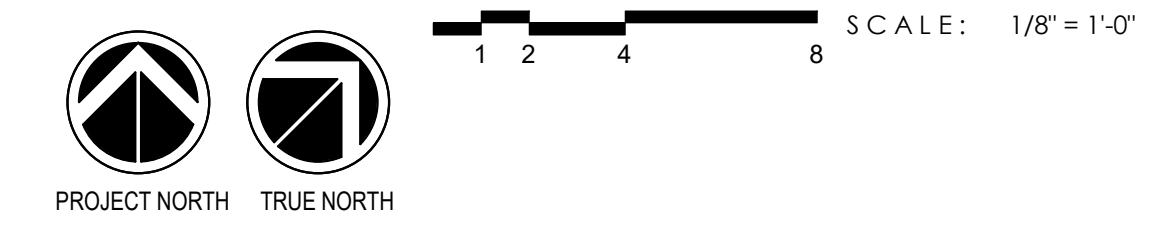
Finish	Color	Mounting	Options	Color	Options
FSLED	H Horizontal	3 1/2"	N	4000K	Blank
	V Vertical	3 1/2"	Y	3000K	Bronze
			W	2700K	White
			S	Black	Black
				Matte Silver	Matte Silver

STEP LIGHTS ('E')
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.



FIRST FLOOR EXTERIOR LIGHTING 1
1/8" = 1'-0"

PROPOSED LIGHTING PLANS AND SPECIFICATIONS



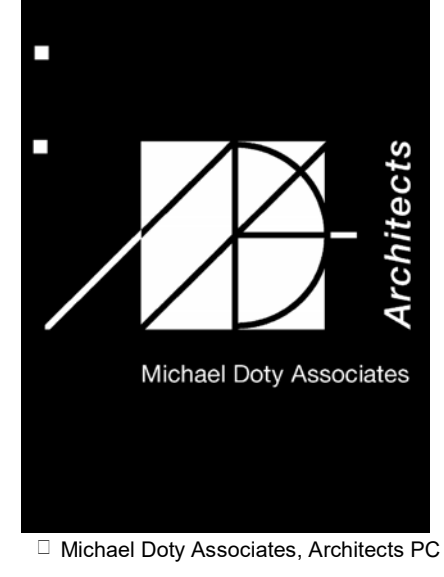
LIGHTING NOTES:

-ALL PROPOSED EXTERIOR LIGHTS COMPLY WITH KETCHUM MUNICIPAL CODE DARK SKIES CHAPTER 17.132.

200 NORTH MAIN

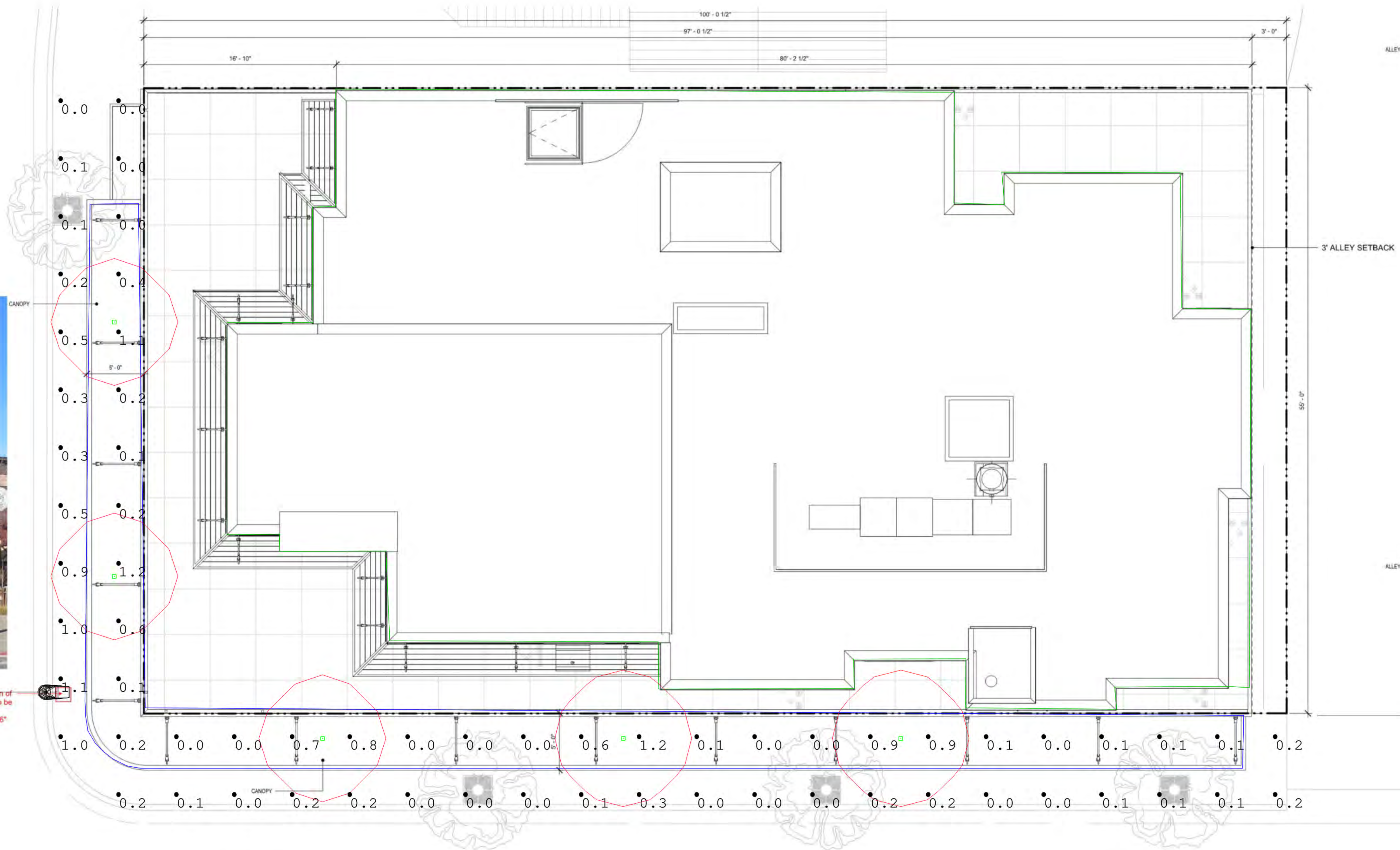
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023





Approximate location of existing streetlight to be re-lamped
Fixture height: ±16'-6"



Approximate location of power pole-mounted light
Fixture height: ±23'-0"

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
☐	1	ERLC_03C527-120-277V	SINGLE	N.A.	0.900	ERLC_03C527-120-277V
☐	1	800 Lumens ERLC	SINGLE	N.A.	0.300	ERLC_03C527-120-277V
☐	3	LFR 4%	SINGLE	N.A.	0.040	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S
☐	2	LFR 5%	SINGLE	N.A.	0.050	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calc Points	Illuminance	Fc	0.28	1.2	0.0	N.A.	N.A.

PHOTOMETRIC PLAN PREPARED BY THE MH COMPANIES

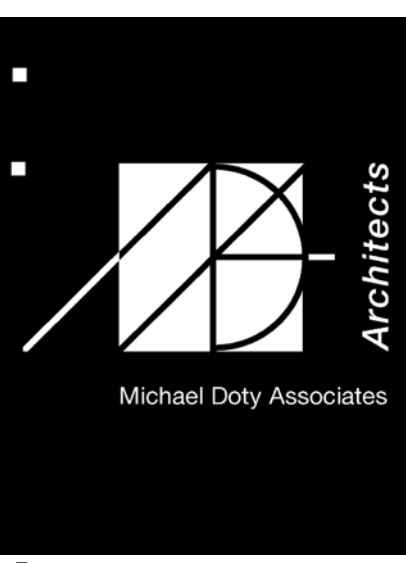
STREETLIGHT PHOTOMETRIC

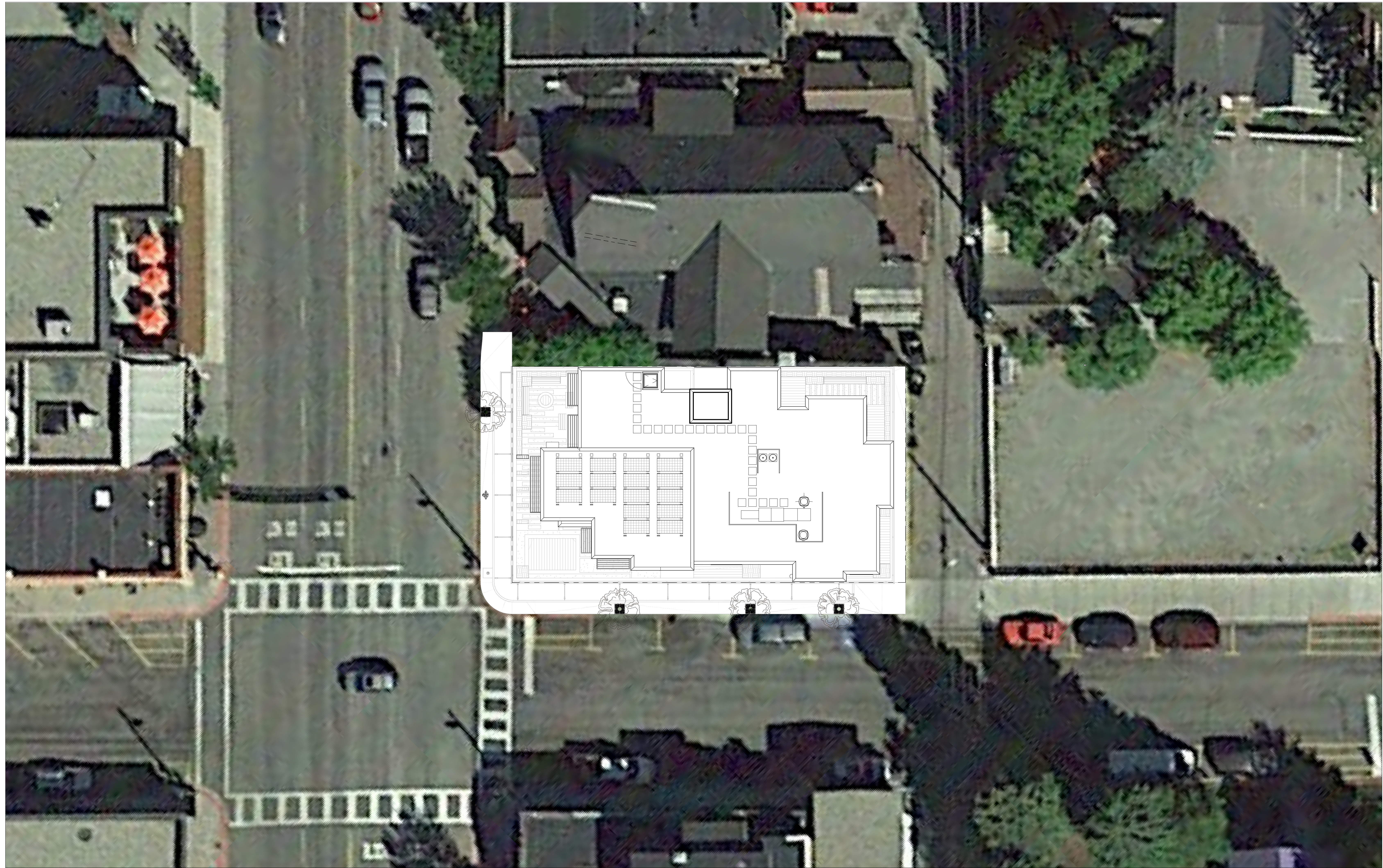
SCALE: N.T.S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023





PROPOSED ARCHITECTURAL SITE PLAN

ZONING

ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION

RESIDENTIAL GROUP R-2

STORAGE GROUP S-2

ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION

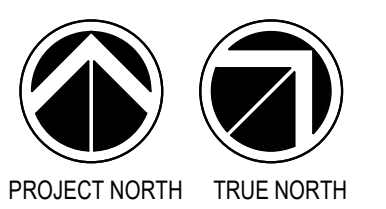
NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA

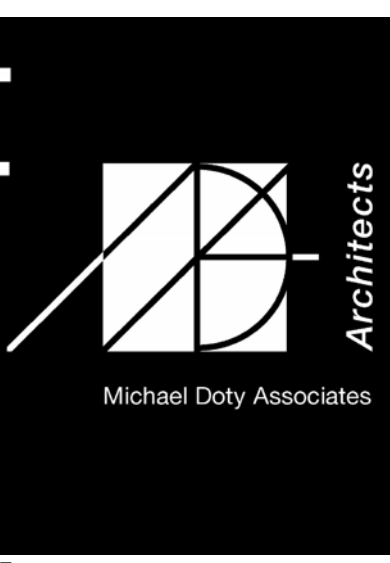
BUILDING AREA (GROSS): 12,405 SF

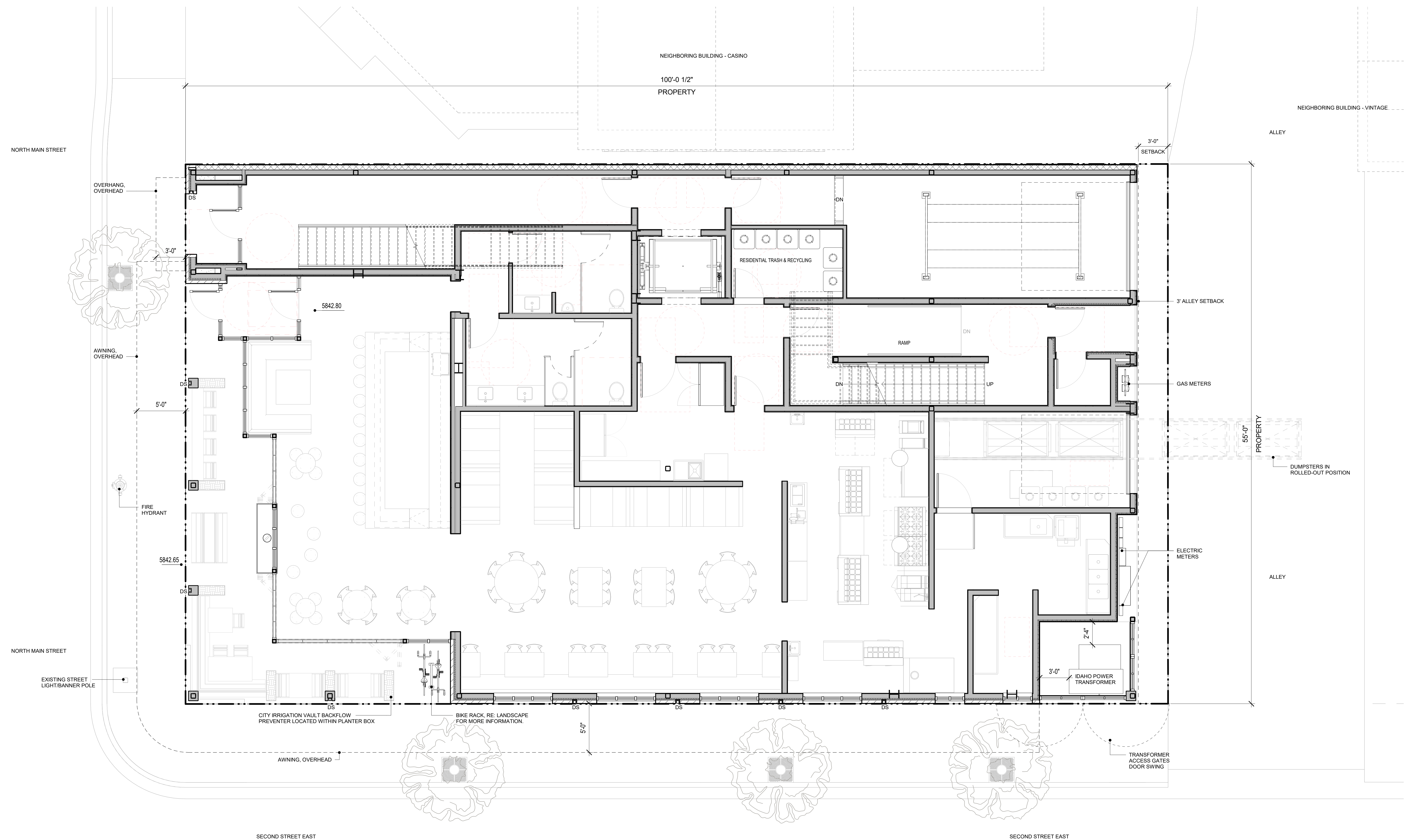


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023





PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED

ZONING
 ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

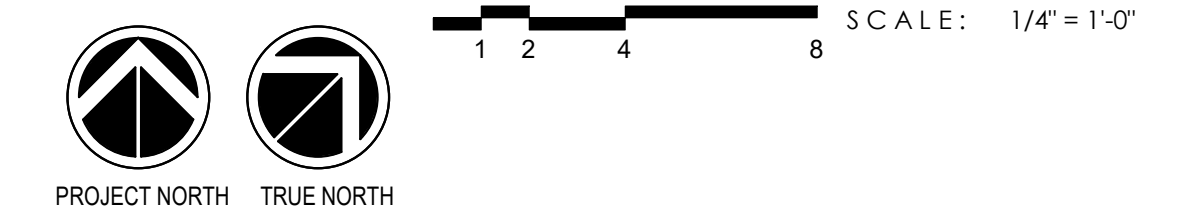
USE & OCCUPANCY CLASSIFICATION
 RESIDENTIAL GROUP R-2
 STORAGE GROUP S-2
 ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION
 NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA
 BUILDING AREA (GROSS): 12,405 SF

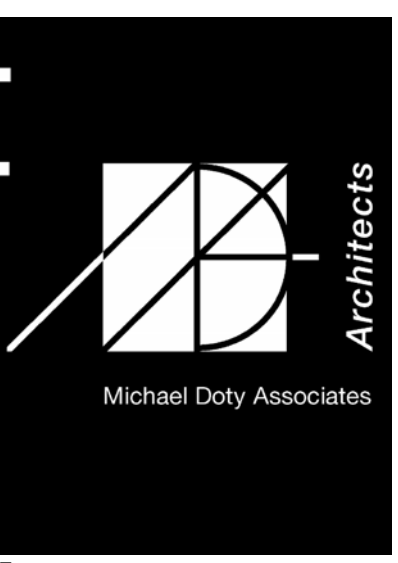
DRAWING NOTES
 ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

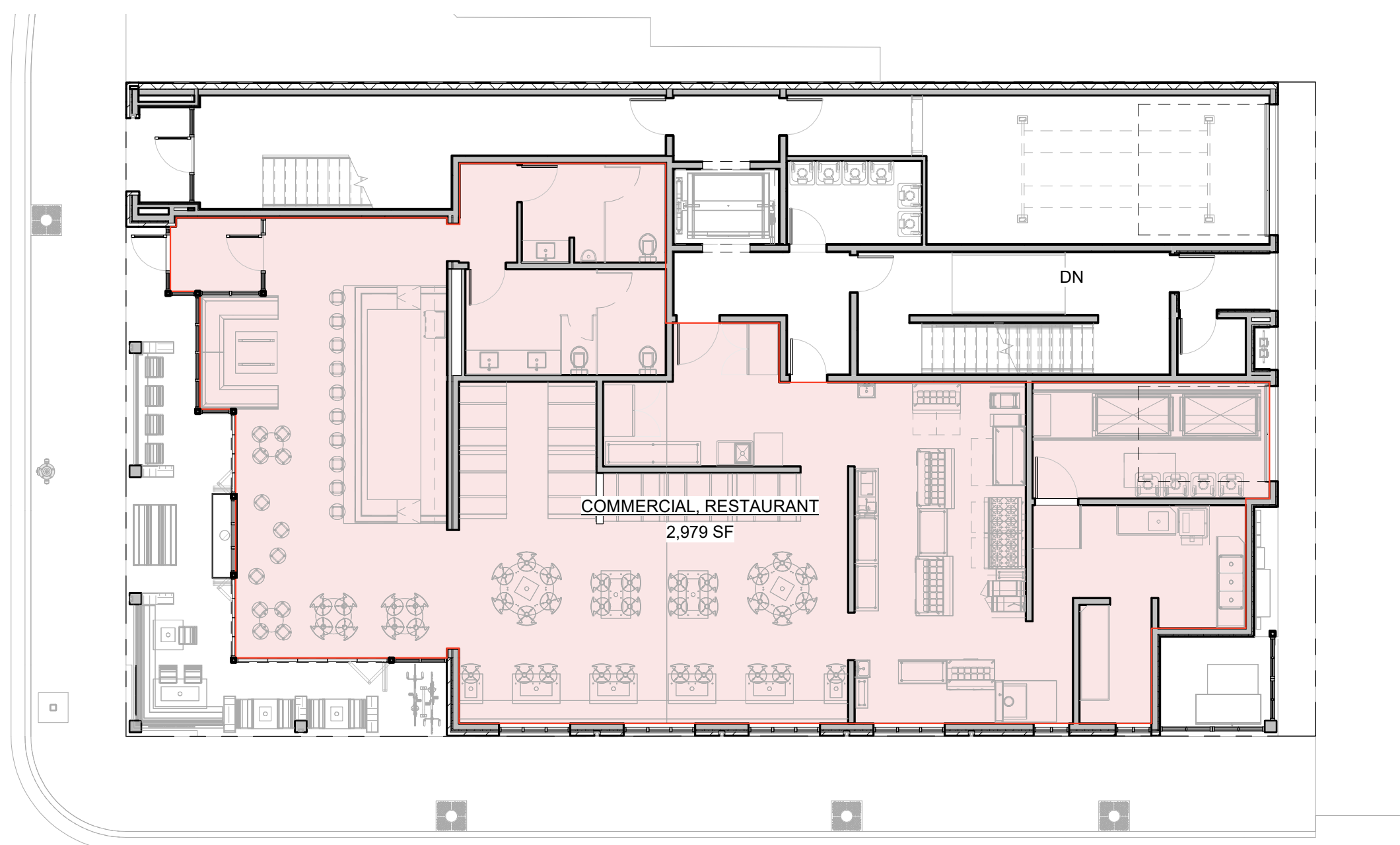


200 NORTH MAIN

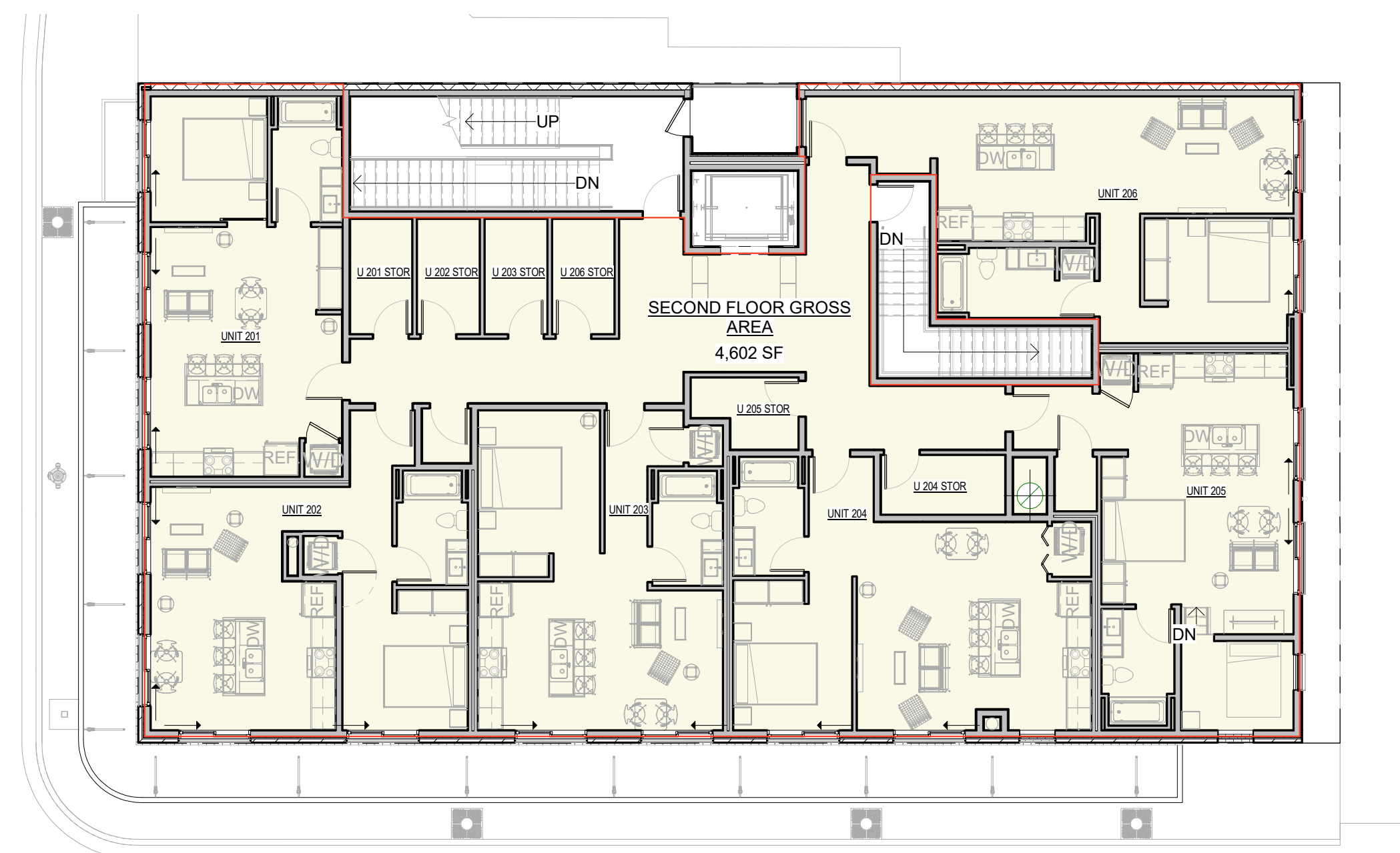
200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW
 10/19/2023



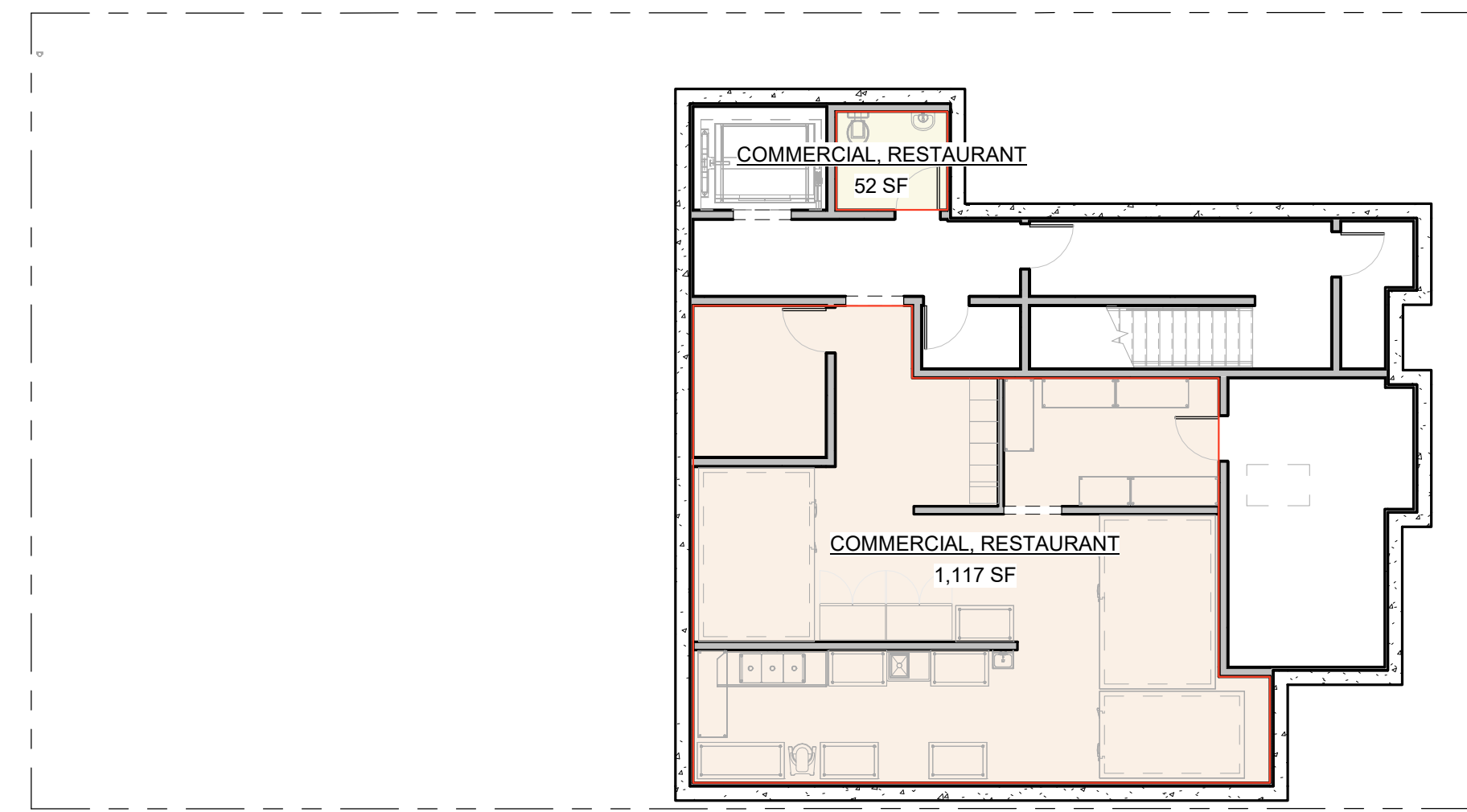


GROUND FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"

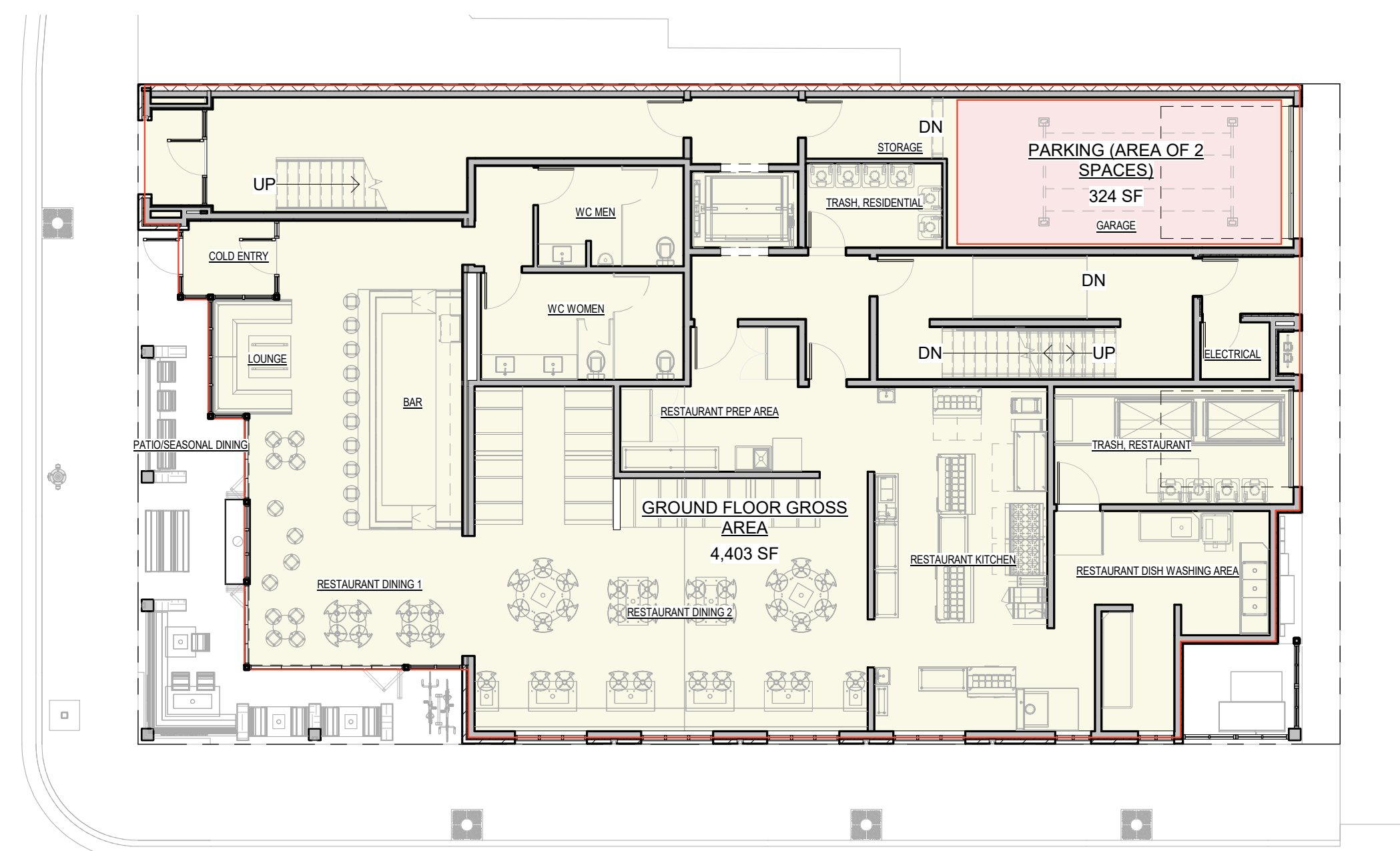


SECOND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

AREA SCHEDULE		
AREA NAME	AREA	NOTES
BASEMENT LEVEL GROSS AREA	2,117 SF	NOT INCLUDED IN TOTAL GROSS FLOOR AREA
	2,117 SF	
GROUND FLOOR GROSS AREA	4,403 SF	
PARKING (AREA OF 2 SPACES)	324 SF	SUBTRACTED FROM TOTAL GROSS FLOOR AREA
	4,727 SF	
SECOND FLOOR GROSS AREA	4,602 SF	
	4,602 SF	
THIRD FLOOR GROSS AREA	3,400 SF	
	3,400 SF	
TOTAL FLOOR AREA	14,846 SF	



BASEMENT FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"



GROUND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

AREA SCHEDULE - GROSS - FAR		
AREA NAME	AREA	LEVEL
GROUND FLOOR GROSS AREA	4,403 SF	GROUND LEVEL
	4,403 SF	
SECOND FLOOR GROSS AREA	4,602 SF	SECOND FLOOR
	4,602 SF	
THIRD FLOOR GROSS AREA	3,400 SF	THIRD FLOOR
	3,400 SF	
TOTAL GROSS FLOOR AREA*	12,405 SF	

*PER CITY OF KETCHUM DEFINITION: FLOOR AREA, GROSS

AREA SCHEDULE - NET - COMMERCIAL		
AREA NAME	AREA	LEVEL
COMMERCIAL, RESTAURANT	1,117 SF	BASEMENT LEVEL
COMMERCIAL, RESTAURANT	52 SF	BASEMENT LEVEL
	1,169 SF	
COMMERCIAL, RESTAURANT	2,979 SF	GROUND LEVEL
	2,979 SF	
TOTAL NET/COMMERCIAL FLOOR AREA	4,148 SF	

FLOOR AREA RATIO

BUILDING GROSS AREA
TOTAL FLOOR AREA LESS BASEMENT, LESS AREA OF 2 PARKING SPACES
12,405 SF

FAR
DIVIDE BUILDING GROSS AREA BY LOT AREA
 $12,405 \div 5,303 = 2.25$ FAR

ORDINANCE 1234, MINIMUM RESIDENTIAL DENSITY

MINIMUM HOUSING DENSITY
DIVIDE NET COMMERCIAL AREA BY BUILDING GROSS AREA =
 $4,148 \div 12,405 = 33\%$
3 RESIDENTIAL UNITS REQUIRED
7 RESIDENTIAL UNITS PROVIDED
4 RESIDENTIAL UNITS OVER MINIMUM

ORDINANCE 1234, GROUND FLOOR COMMERCIAL AREA RATIO

GROUND FLOOR NET COMMERCIAL AREA
2,979 SF

GROUND FLOOR GROSS AREA
4,403 SF

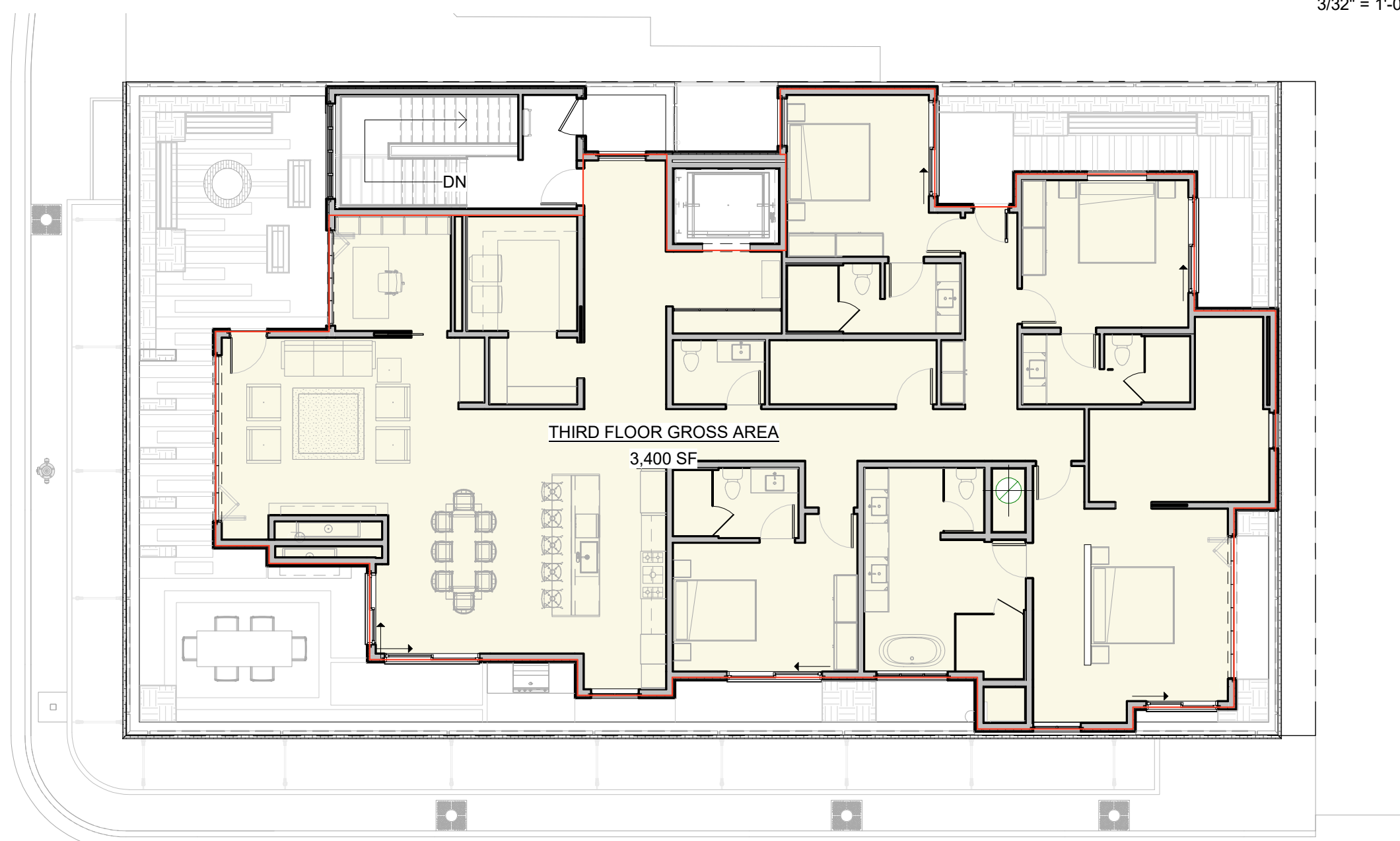
GROUND FLOOR COMMERCIAL AREA RATIO
DIVIDE GROUND FLOOR NET COMMERCIAL AREA BY GROUND FLOOR GROSS AREA
 $2,979 \div 4,403 = 68\%$ OF GROUND FLOOR AREA IS COMMERCIAL
13% OVER MINIMUM 55%

INCLUSIONARY HOUSING INCENTIVE CALCULATION

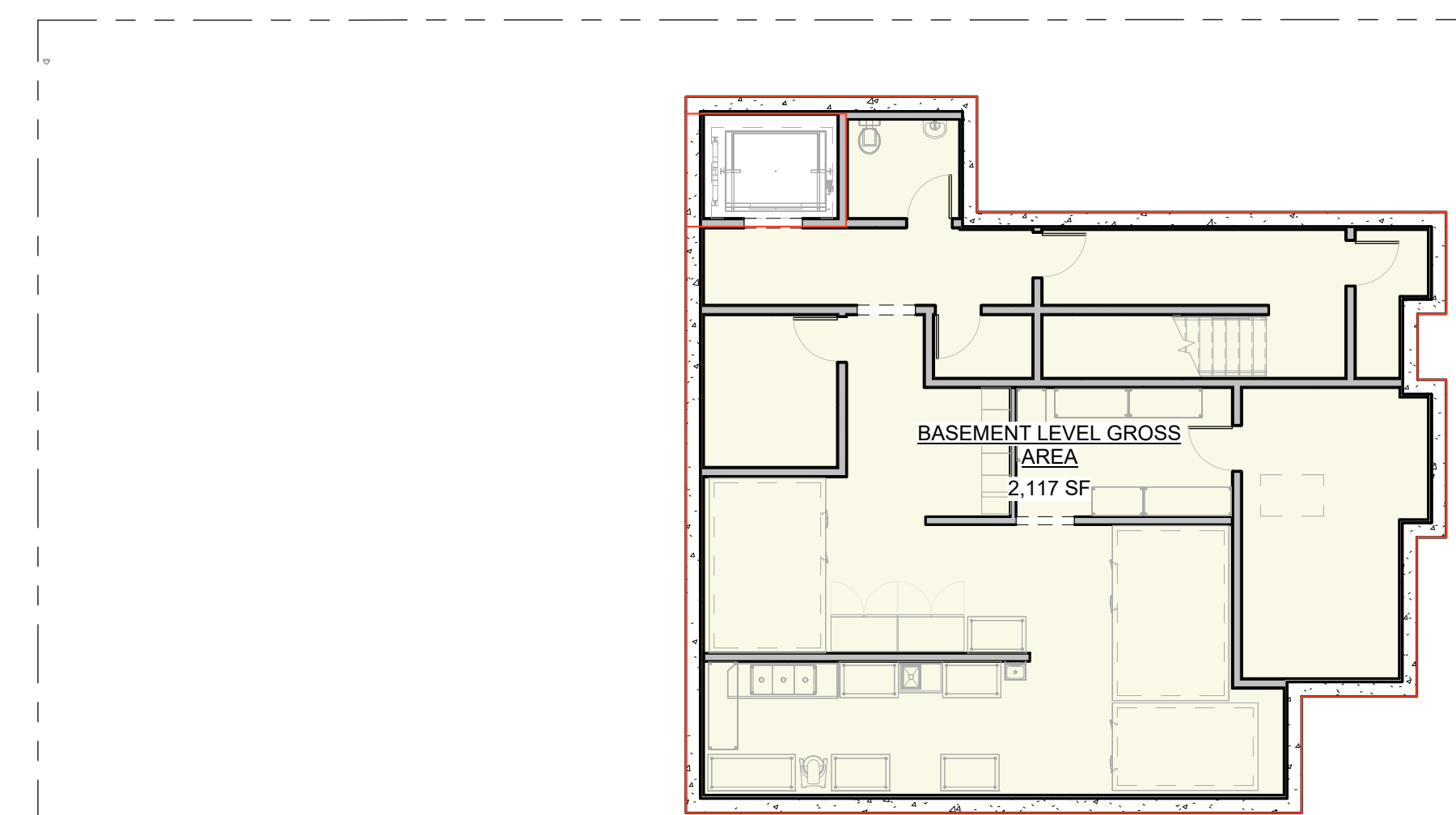
BUILDING GROSS AREA OVER 1.0 FAR
 $12,405 \text{ SF} - 5,303 \text{ SF} (1.0 \text{ FAR}) = 6,902 \text{ SF}$

REQUIRED AREA OF DEED RESTRICTED HOUSING
 $6,902 \text{ SF} \times 20\% = 1,380 \text{ SF}$
 $1,380 \text{ SF} - 15\% (\text{NET LIVABLE}) = 1,173 \text{ SF}$ REQUIRED AS DEED RESTRICTED

COMMUNITY HOUSING DESIGNATION FOR INCOME CATEGORY 4
UNIT 205 (600 SF) + UNIT 206 (692) = 1,292 SF DEED RESTRICTED PROVIDED

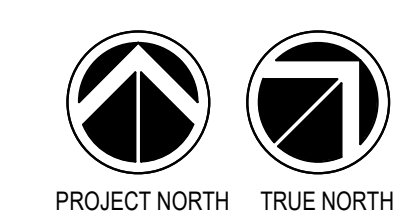


THIRD FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



BASEMENT FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS

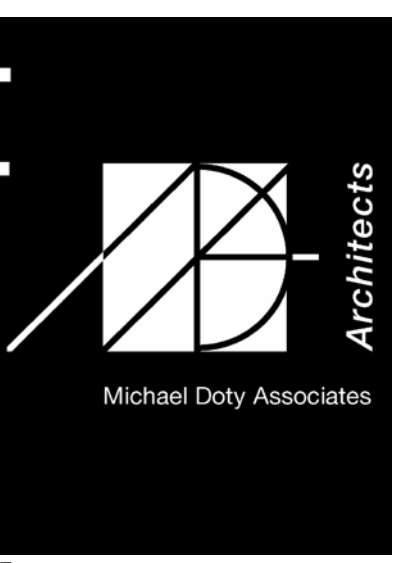


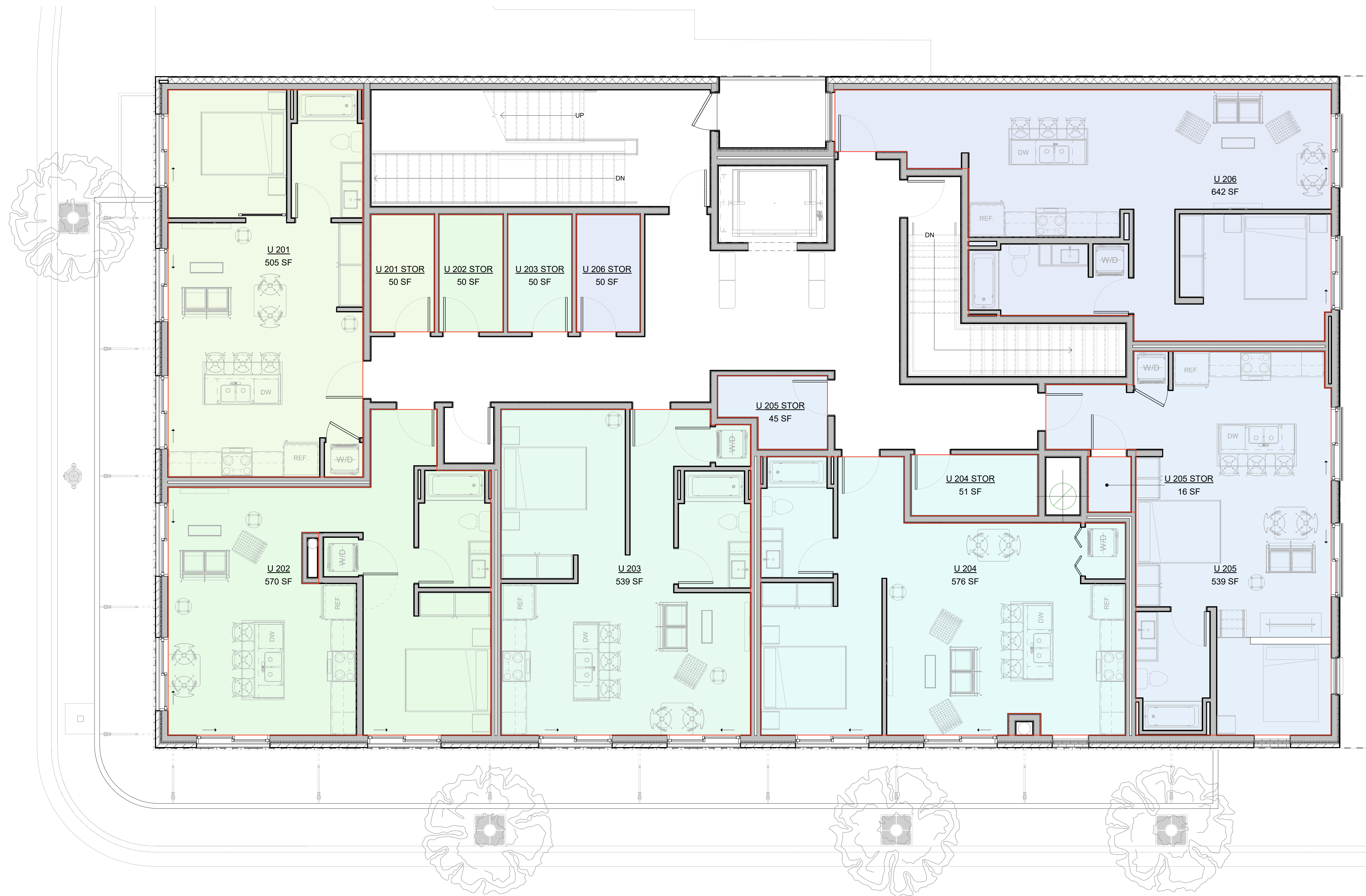
SCALE: 3/32" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

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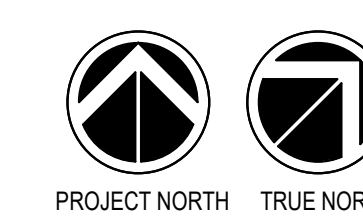




AREA SCHEDULE 2ND FLOOR RESIDENTIAL UNITS	
NAME	NET AREA
U 201	505 SF
U 201 STOR	50 SF
	555 SF
U 202	570 SF
U 202 STOR	50 SF
	620 SF
U 203	539 SF
U 203 STOR	50 SF
	589 SF
U 204	576 SF
U 204 STOR	51 SF
	627 SF
U 205	539 SF
U 205 STOR	45 SF
U 205 STOR	16 SF
	600 SF
U 206	642 SF
U 206 STOR	50 SF
	692 SF
2ND FLOOR TOTAL	3,683 SF

PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS

SCALE: 1/4" = 1'-0"

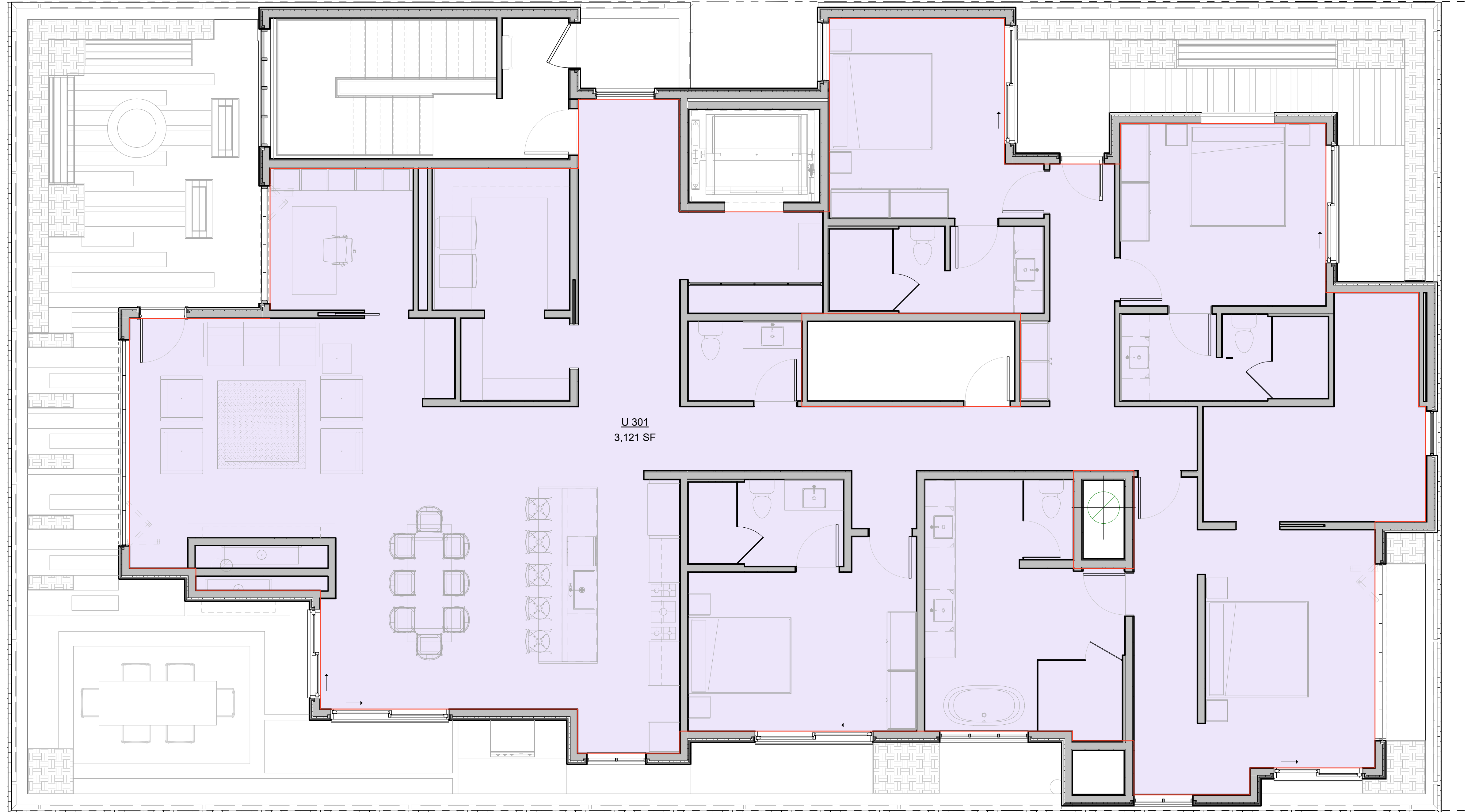


200 NORTH MAIN

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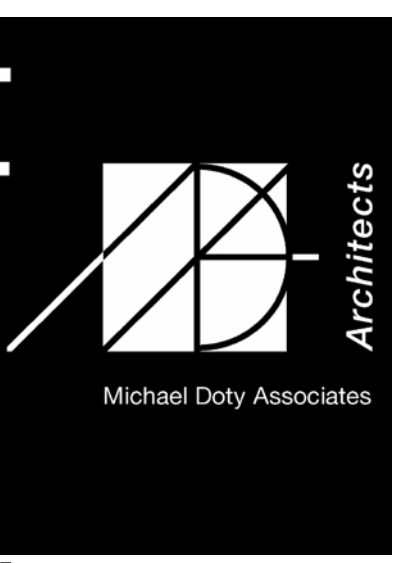
PROPOSED THIRD FLOOR PLAN - NET UNIT AREA

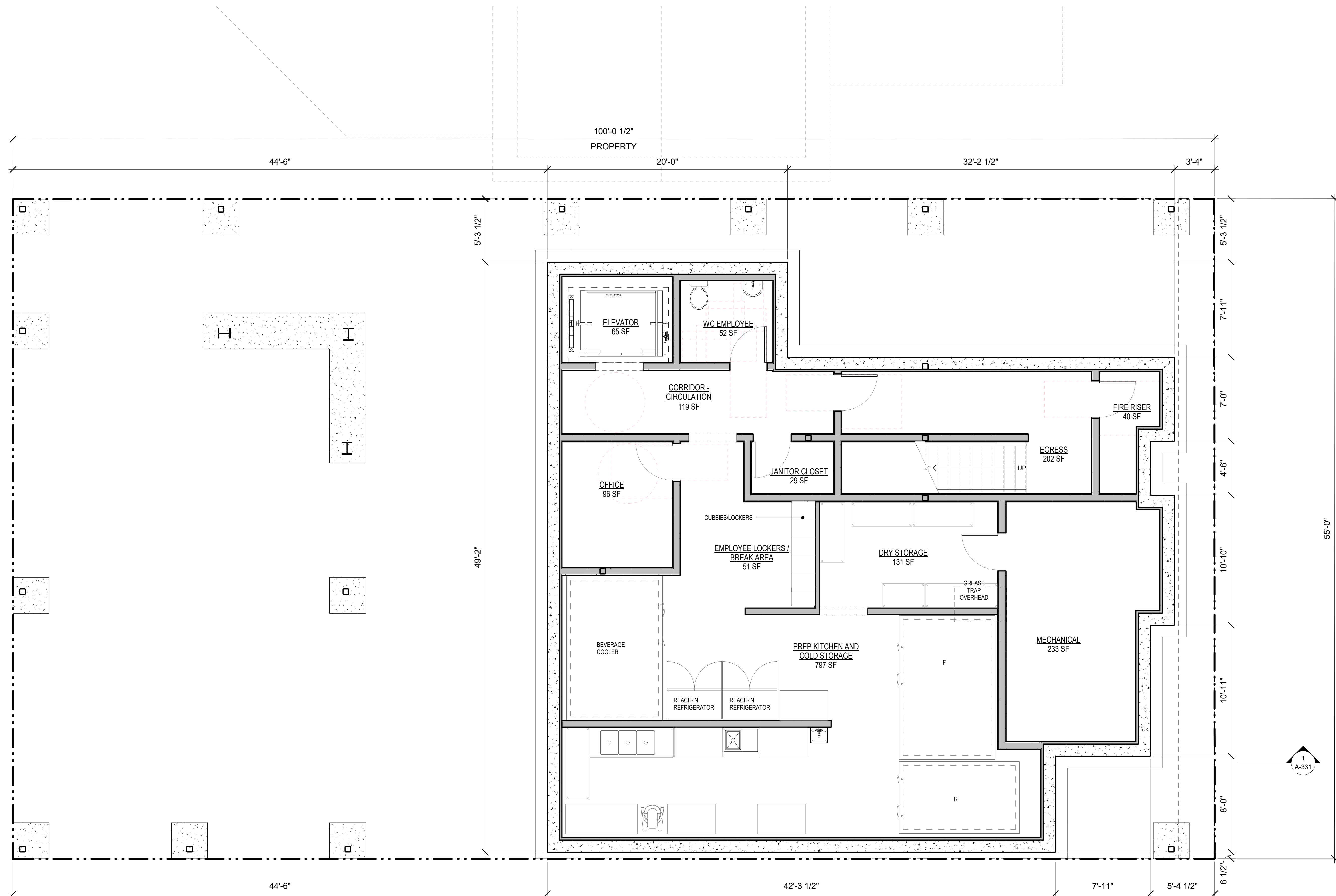
SCALE: 1/4"=1'-0"

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SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP A-2
 RESIDENTIAL GROUP R-2

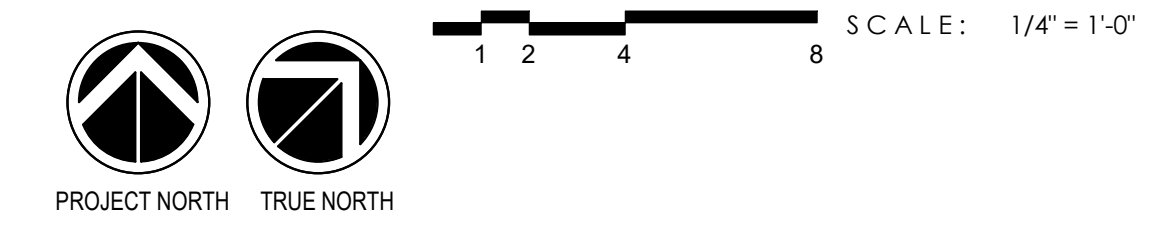
CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

PROPOSED BASEMENT PLAN

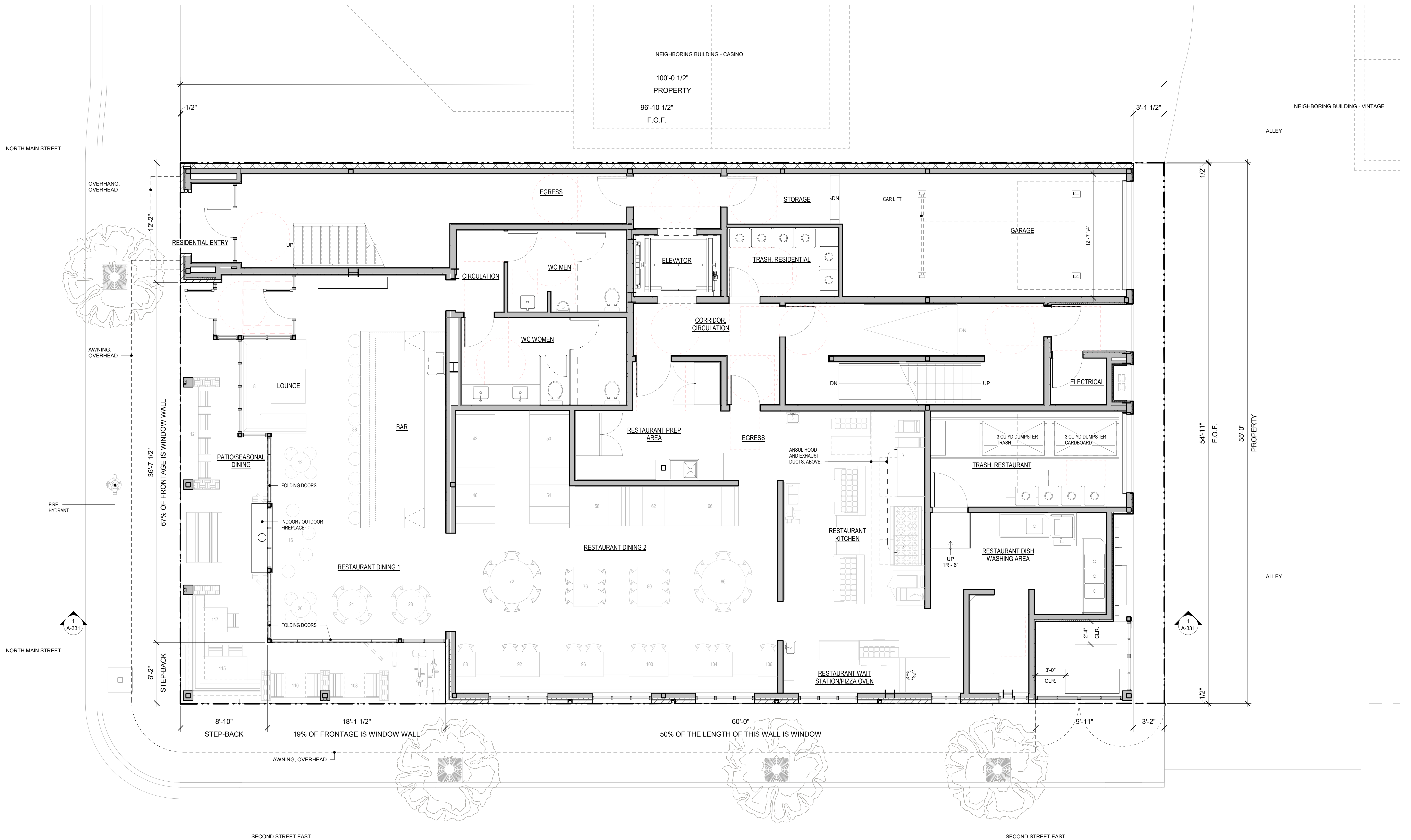


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PROPOSED GROUND FLOOR PLAN

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

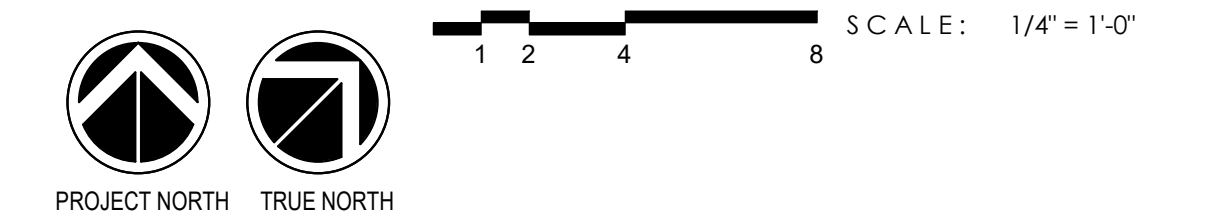
SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

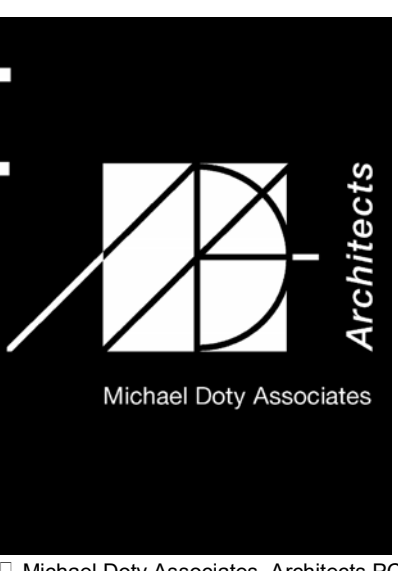
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

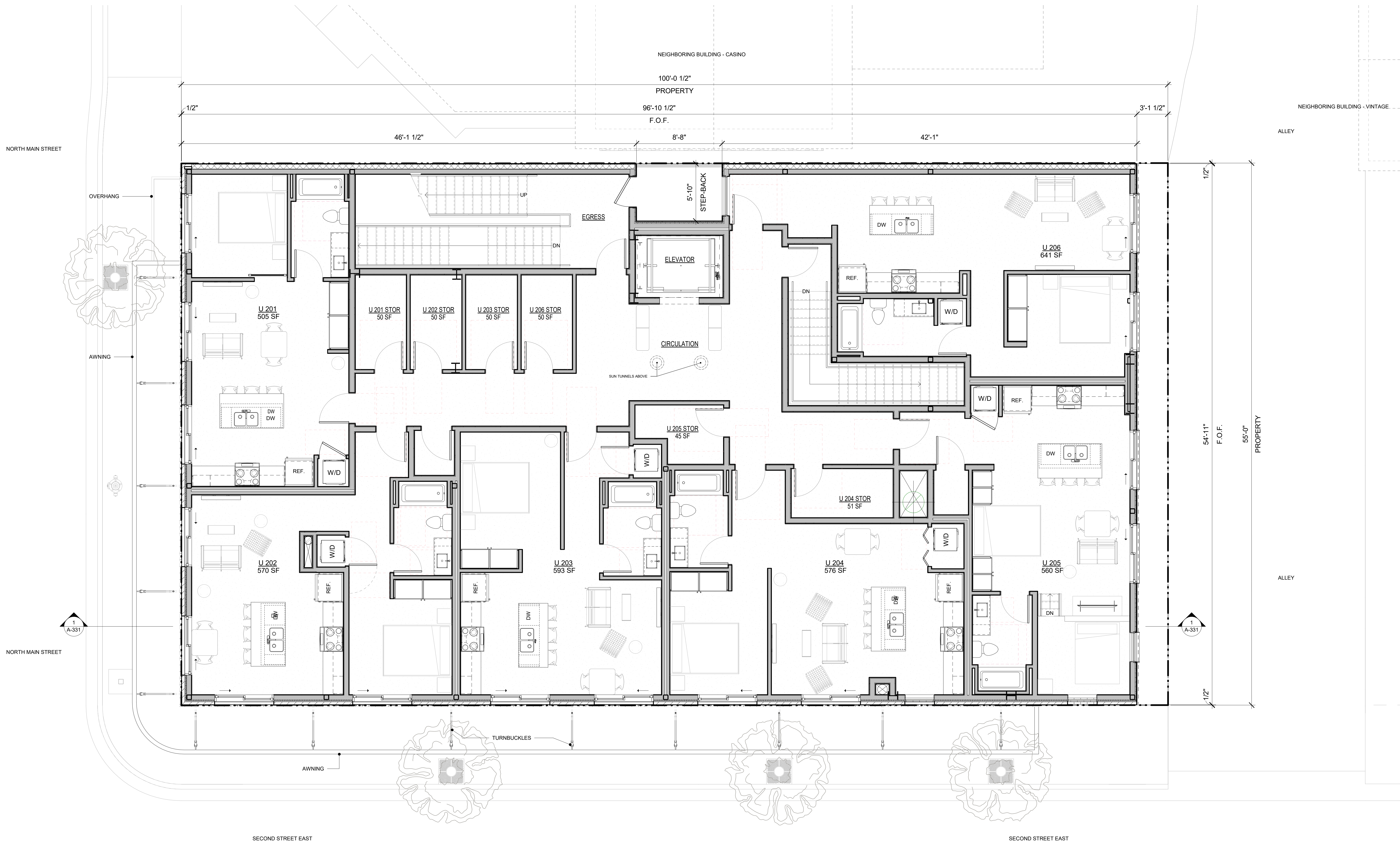


200 NORTH MAIN

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PROPOSED SECOND FLOOR PLAN

SITE DIMENSIONS & AREAS

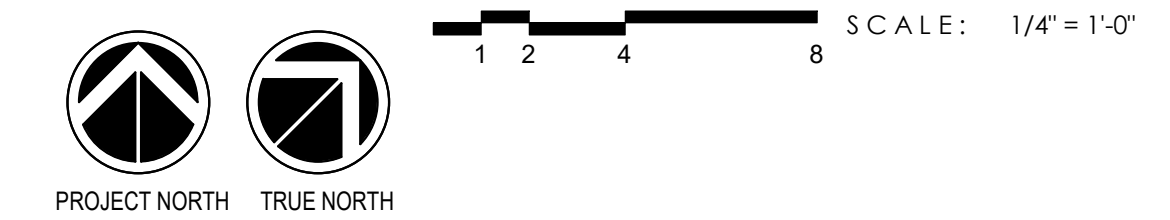
LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

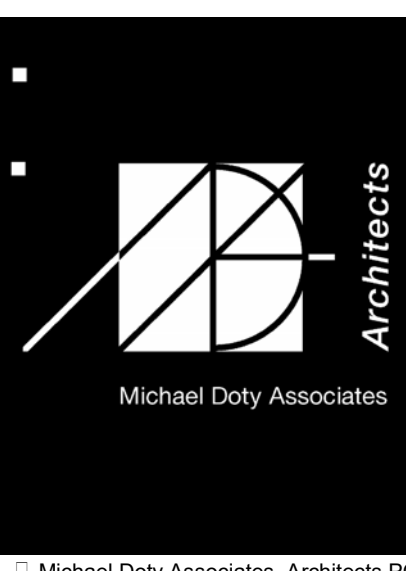
ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

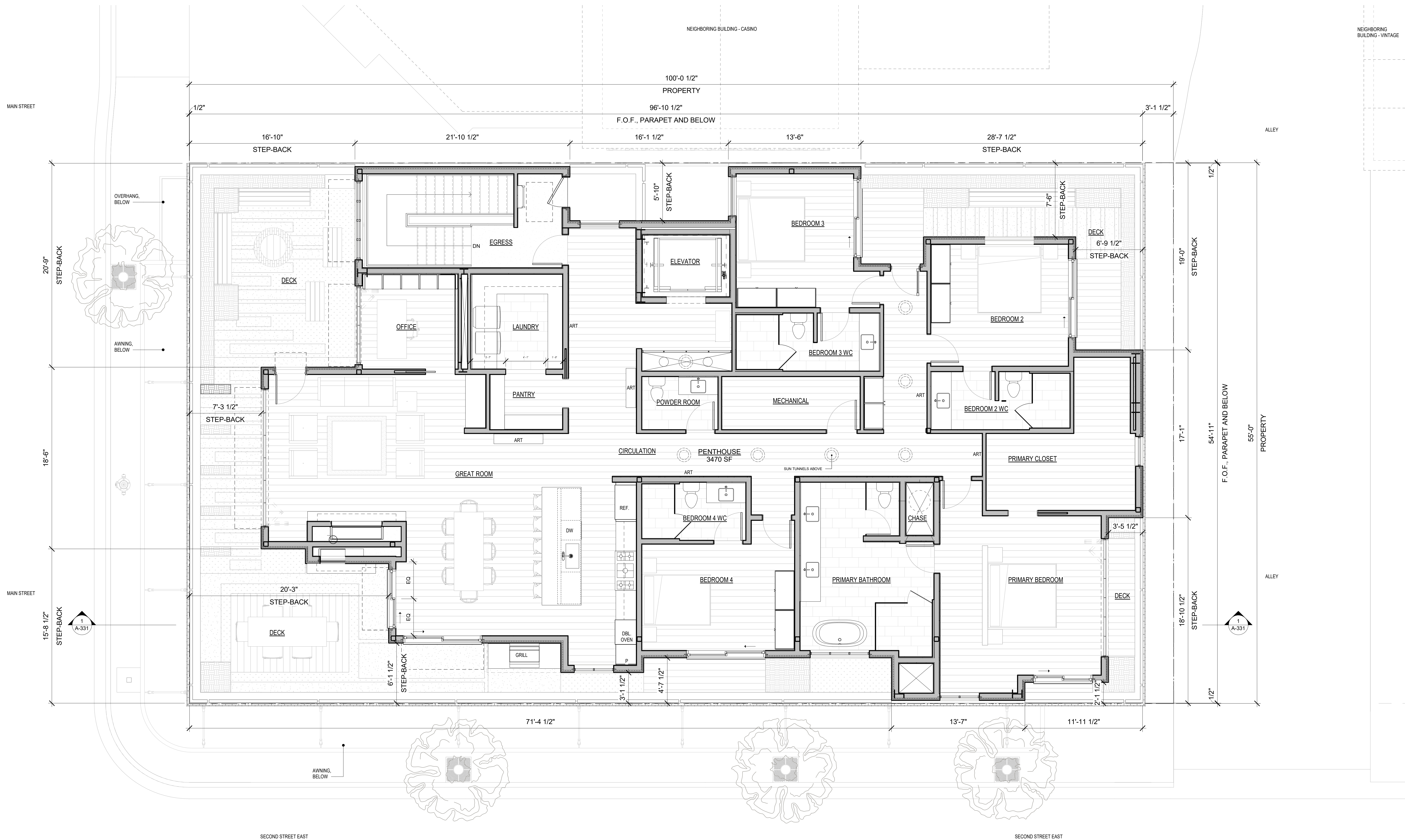


200 NORTH MAIN

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KETCHUM, ID 83340

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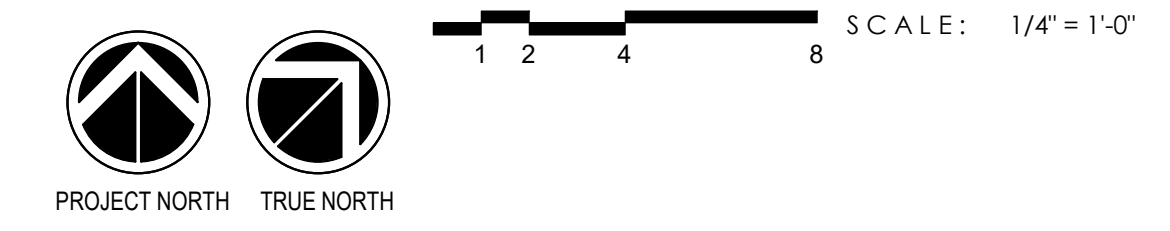
PROPOSED THIRD FLOOR PLAN

SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP A-2
 RESIDENTIAL GROUP R-2

DRAWING NOTES
 ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F.) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

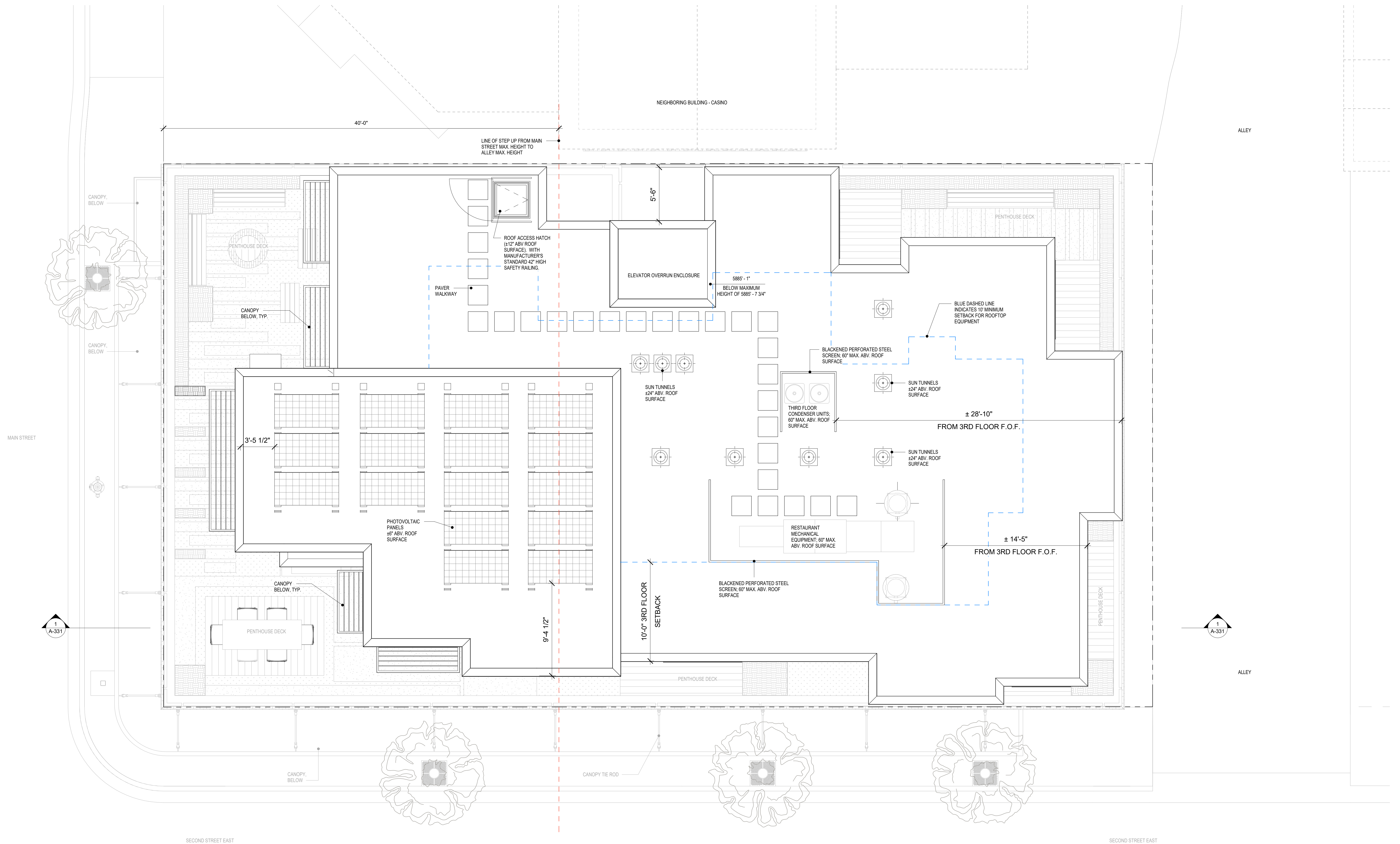


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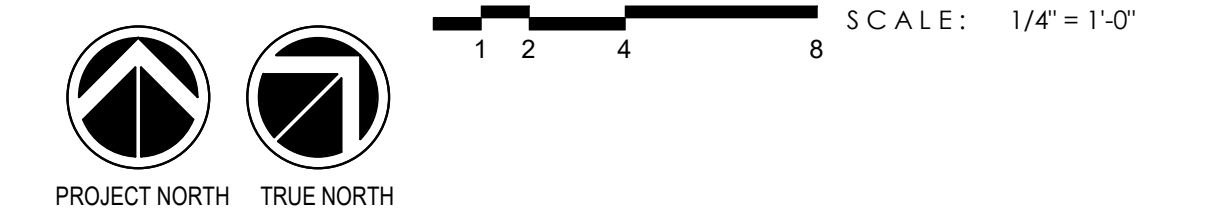




PROPOSED ROOF PLAN

DRAWING NOTES

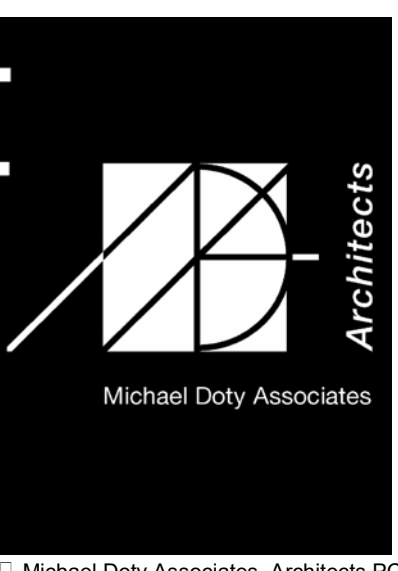
ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F.) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

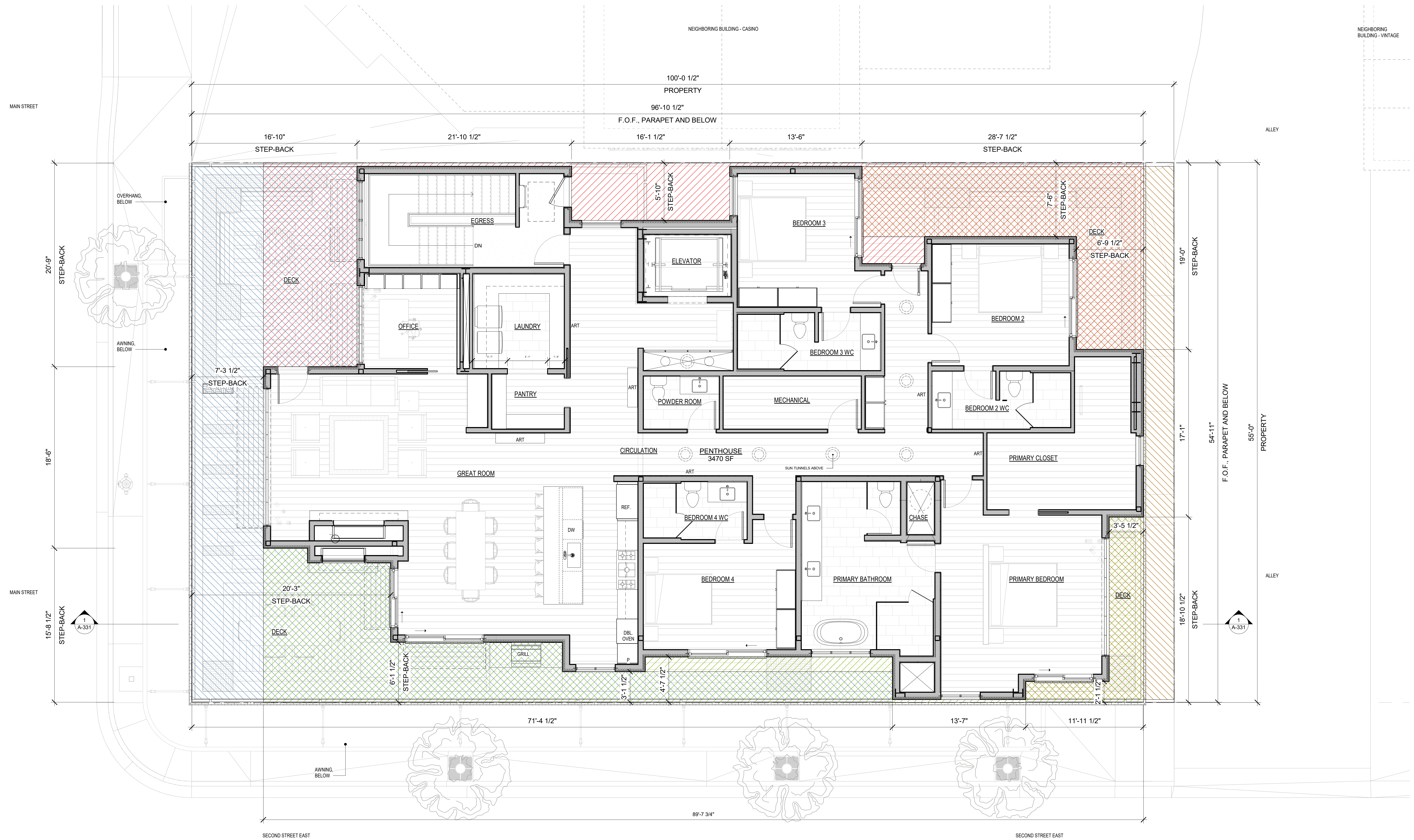


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THIRD FLOOR SETBACK DIAGRAM

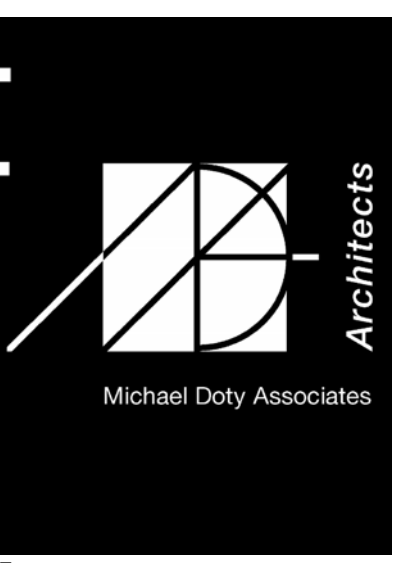
- NORTH WALL: 6'-10" AVERAGE SETBACK
37% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE
- SOUTH WALL: 5'-11" AVERAGE SETBACK
15% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE
- EAST WALL: 9'-9" AVERAGE SETBACK
31% OF WALL LENGTH WITHIN 6' OF 3-FOOT ALLEY SETBACK
- WEST WALL: 17'-9" AVERAGE SETBACK
0% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE

SCALE: 1/4" = 1'-0"

200 NORTH MAIN

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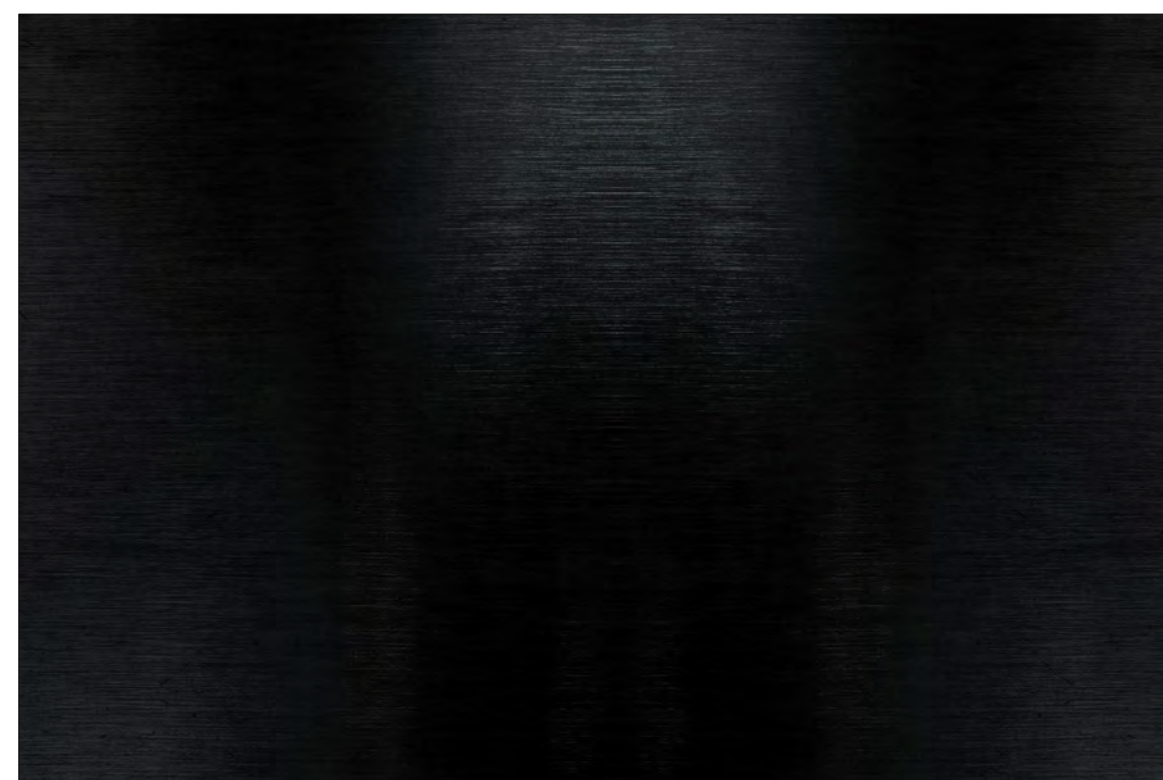




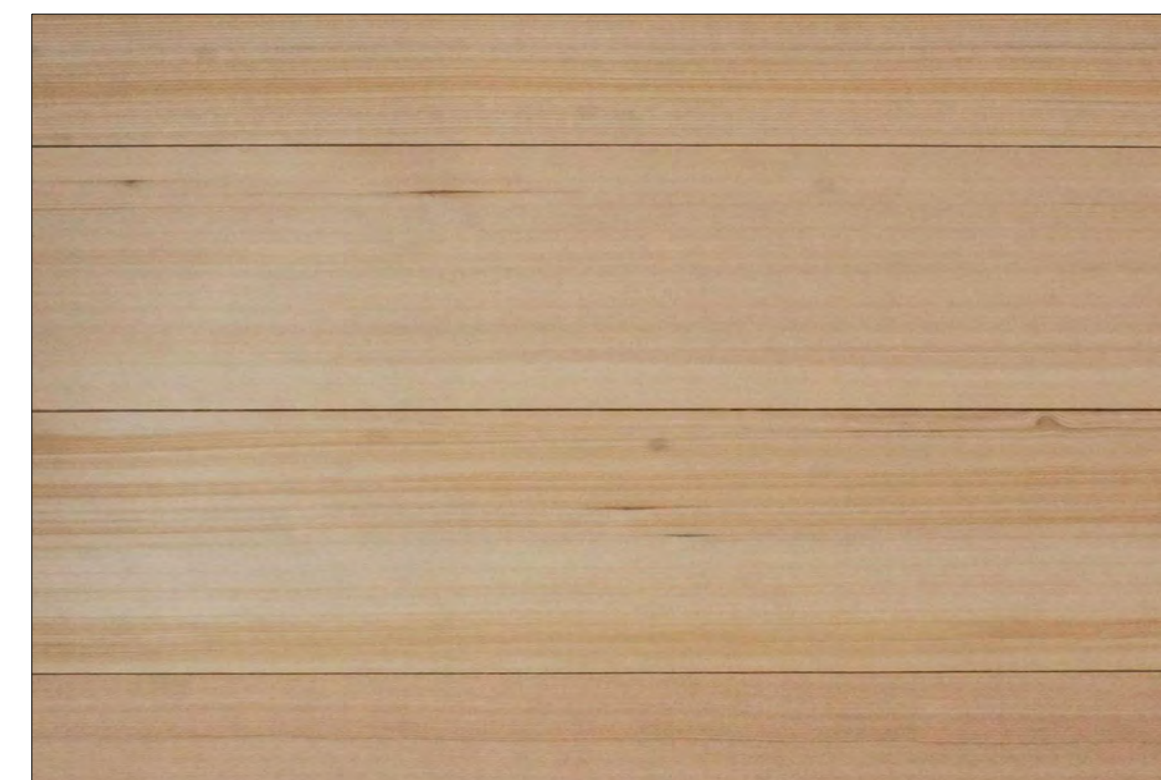
EXTERIOR FINISH 1 (EF-1):
FULL SIZE BRICK, SANDMOLD TEXTURE
RED COLOR, SAND COATING
BELDEN BRICK COMPANY



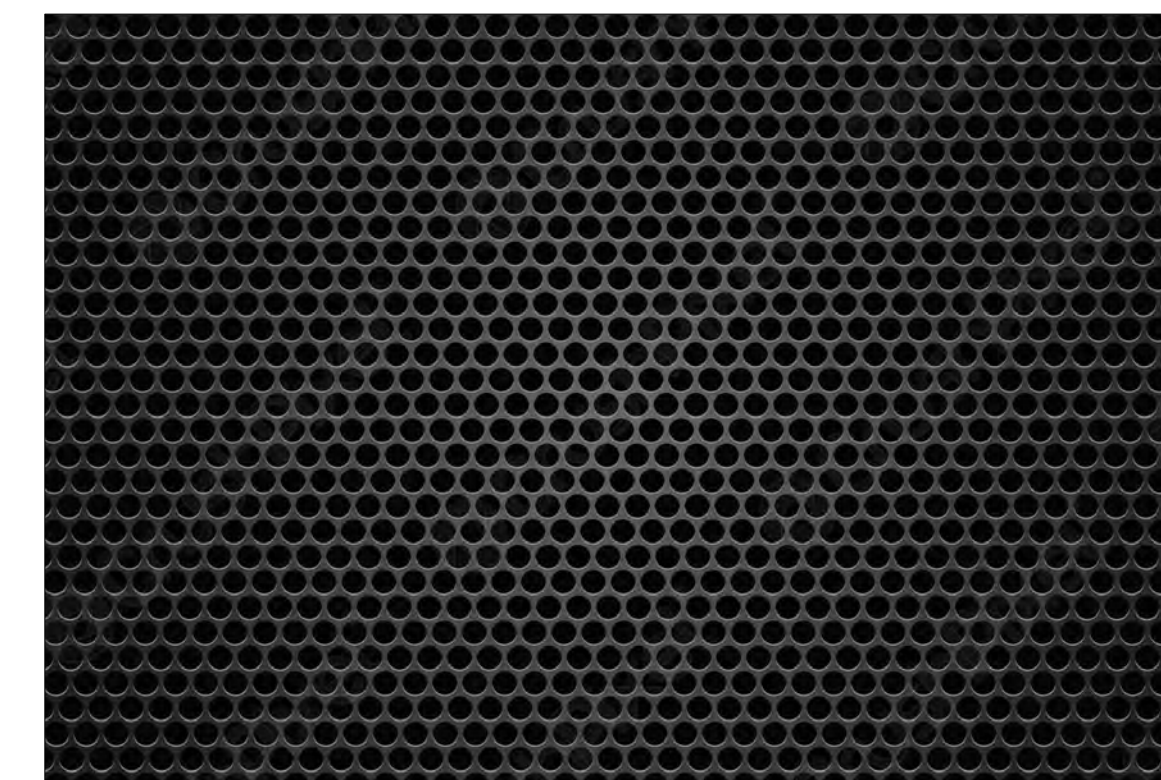
EXTERIOR FINISH 2 (EF-2):
PRECAST STONE
WARM GREY



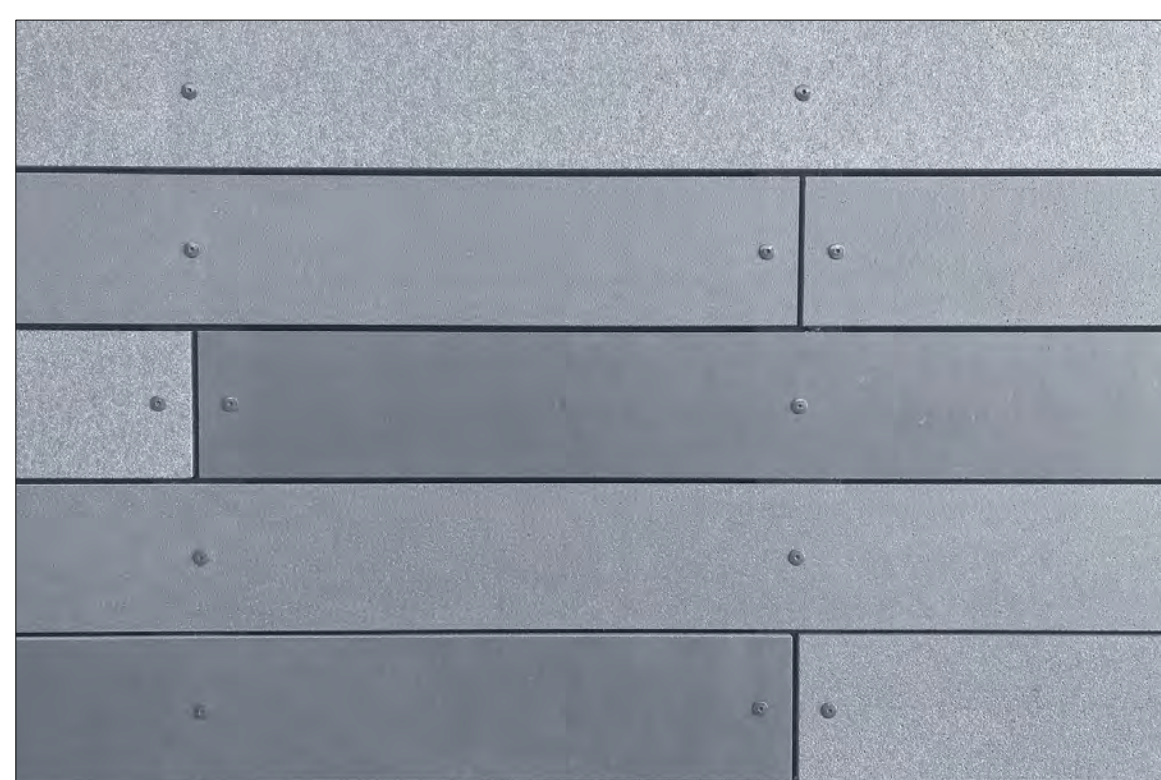
EXTERIOR FINISH 3 (EF-3):
EXTERIOR STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 4 (EF-4):
DELTA MILWORKS
HEMLOCK SOFFIT WOOD
PRODUCT TBD



EXTERIOR FINISH 5 (EF-5):
EXTERIOR PERFORATED STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 6 (EF-6):
PATTERN OF OKO SKIN EXTERIOR FINISH
COMPOSED OF ANTHRACITE MATT, FERRO
LIGHT, FERRO



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



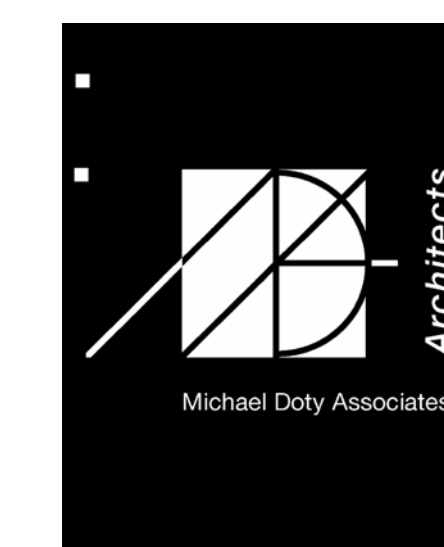
WINDOW AND DOOR SYSTEM
BLACK METAL FINISH

PROPOSED EXTERIOR FINISHES

200 NORTH MAIN

200 N. MAIN ST.
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PROPOSED BUILDING ELEVATIONS - WEST

JUNE 21 - 4:30PM 1 2 4 8 SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= $5842.80' + 5842.77' / 2 = 5842.79'$

WEST PROPERTY LINE MAXIMUM HEIGHT

= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2"$

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= $5843.40' + 5843.89' / 2 = 5843.65'$

EAST PROPERTY LINE MAXIMUM HEIGHT

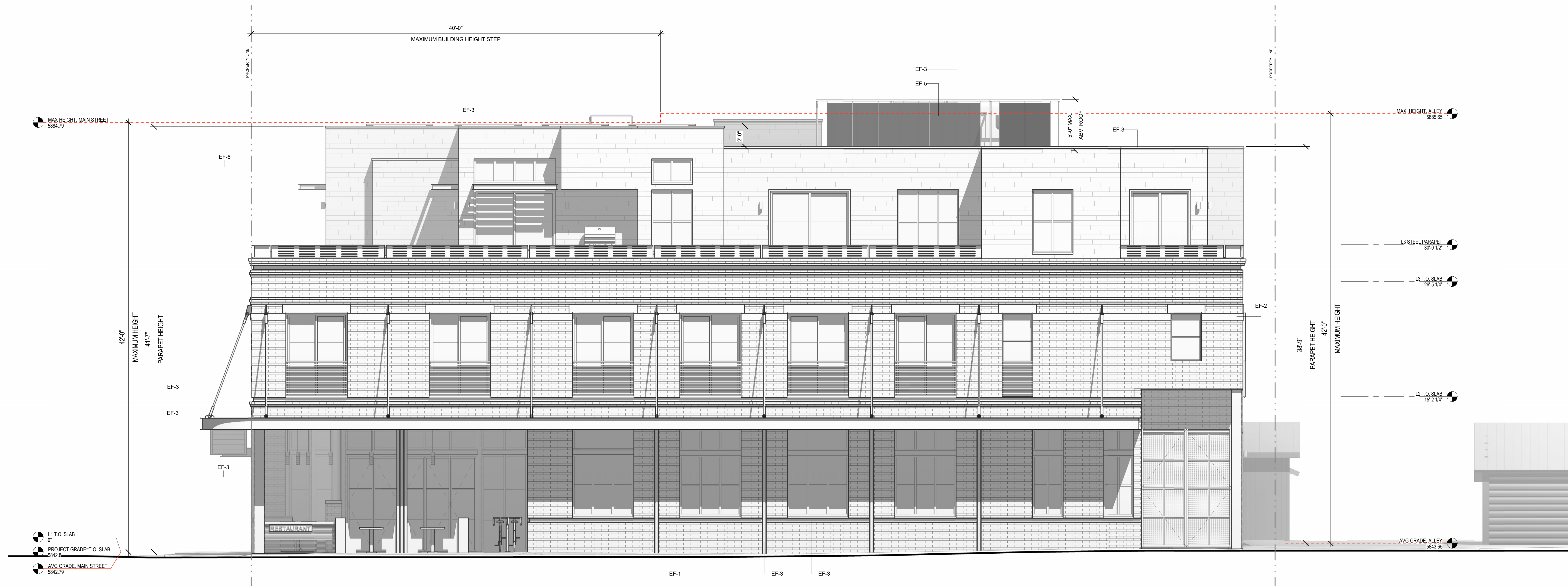
= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4"$

200 NORTH MAIN

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KETCHUM, ID 83340

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PROPOSED BUILDING ELEVATIONS - SOUTH

SHADOWS: 06/21, 11:00 AM SCALE: 1/4" = 1'-0"

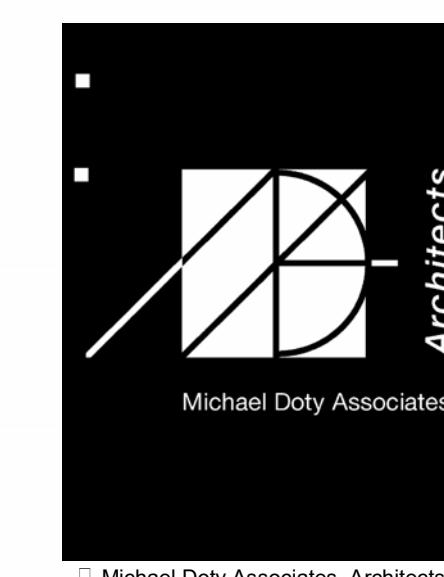
BUILDING HEIGHT - MAXIMUM - CALCULATION

<p><u>MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE</u></p> <p>= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"</p> <p>= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS</p> <p>SW CORNER GROUND ELEVATION = 5842.80' NW CORNER GROUND ELEVATION = 5842.77'</p> <p>= $5842.80' + 5842.77' / 2 = 5842.79'$</p> <p><u>WEST PROPERTY LINE MAXIMUM HEIGHT</u></p> <p>= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2"$</p>	<p><u>MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE</u></p> <p>= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"</p> <p>= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS</p> <p>SE CORNER GROUND ELEVATION = 5843.40' NE CORNER GROUND ELEVATION = 5843.89'</p> <p>= $5843.40' + 5843.89' / 2 = 5843.65'$</p> <p><u>EAST PROPERTY LINE MAXIMUM HEIGHT</u></p> <p>= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4"$</p>
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200 NORTH MAIN

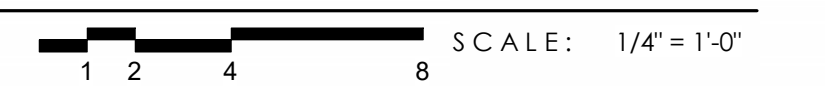
200 N. MAIN ST.
KETCHUM, ID 83340

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PROPOSED BUILDING ELEVATIONS - EAST



BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
 NW CORNER GROUND ELEVATION = 5842.77'

= $5842.80' + 5842.77' / 2 = 5842.79'$

WEST PROPERTY LINE MAXIMUM HEIGHT

= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2''$

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
 NE CORNER GROUND ELEVATION = 5843.89'

= $5843.40' + 5843.89' / 2 = 5843.65'$

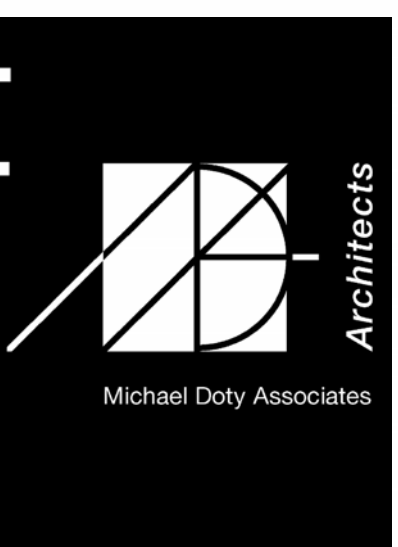
EAST PROPERTY LINE MAXIMUM HEIGHT

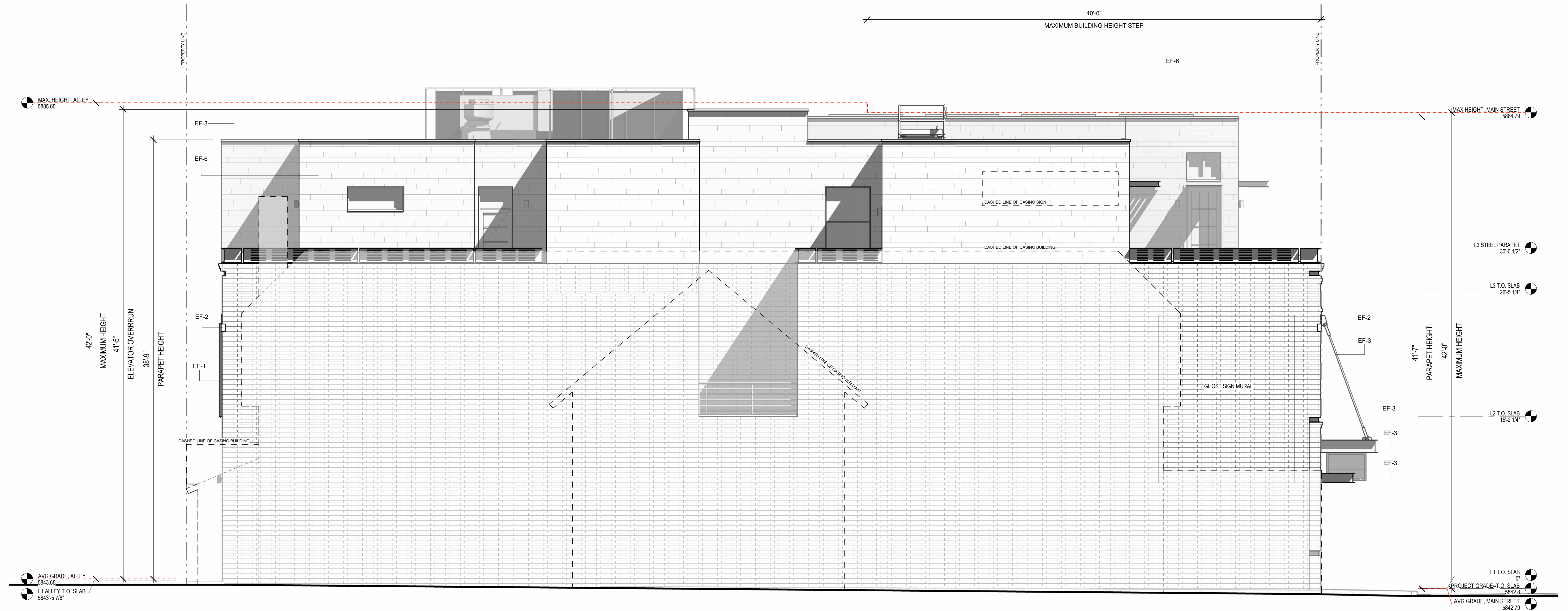
= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4''$

200 NORTH MAIN

200 N. MAIN ST.
 KETCHUM, ID 83340

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PROPOSED BUILDING ELEVATIONS - NORTH

SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= $5842.80' + 5842.77' / 2 = 5842.79'$

WEST PROPERTY LINE MAXIMUM HEIGHT

= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2''$

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= $5843.40' + 5843.89' / 2 = 5843.65'$

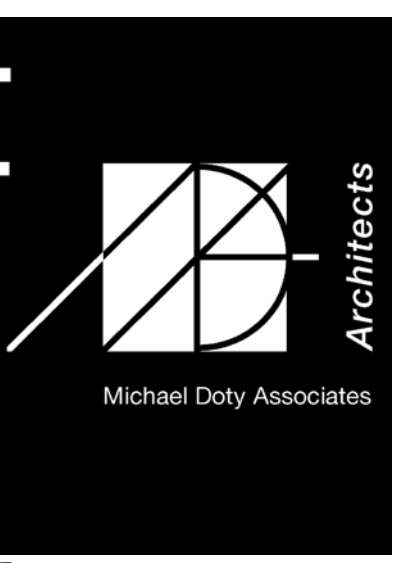
EAST PROPERTY LINE MAXIMUM HEIGHT

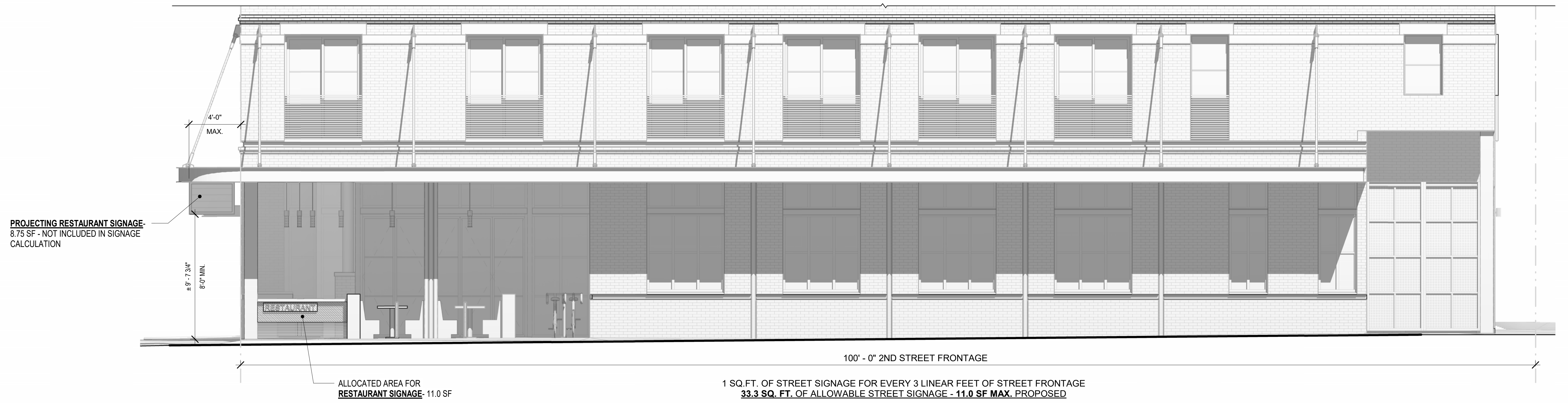
= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4''$

200 NORTH MAIN

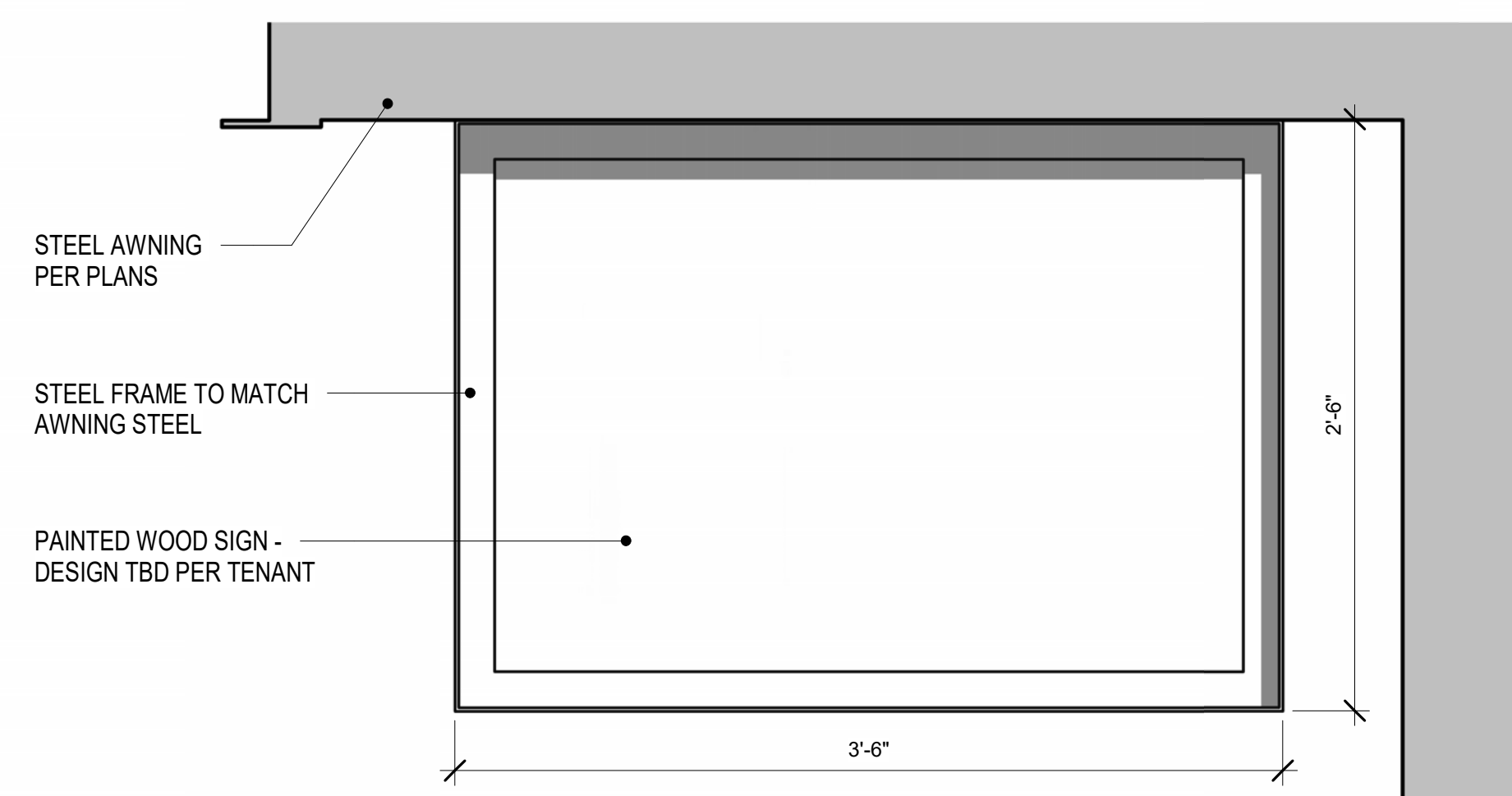
200 N. MAIN ST.
KETCHUM, ID 83340

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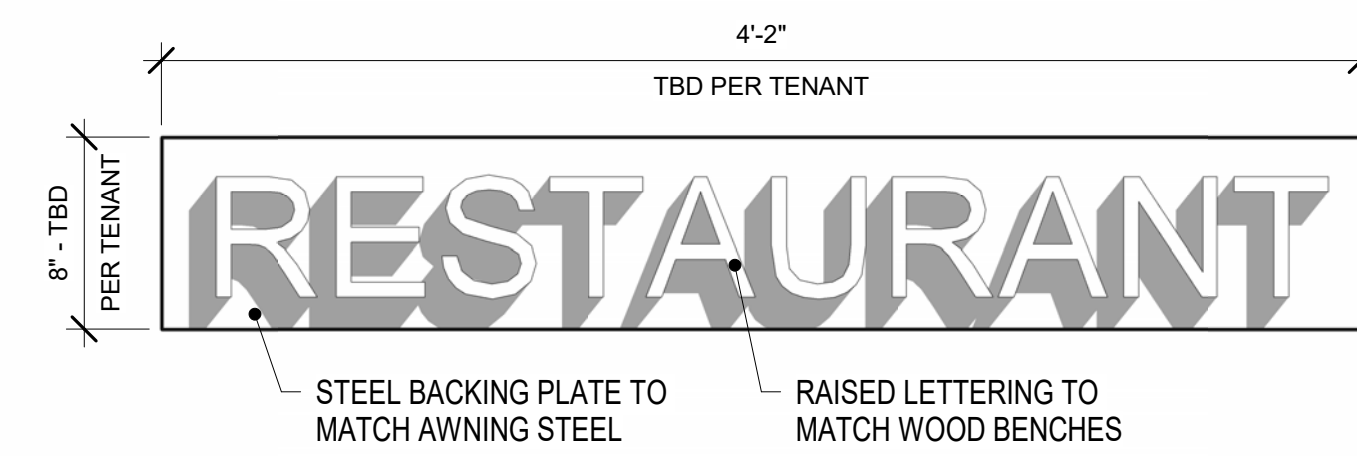




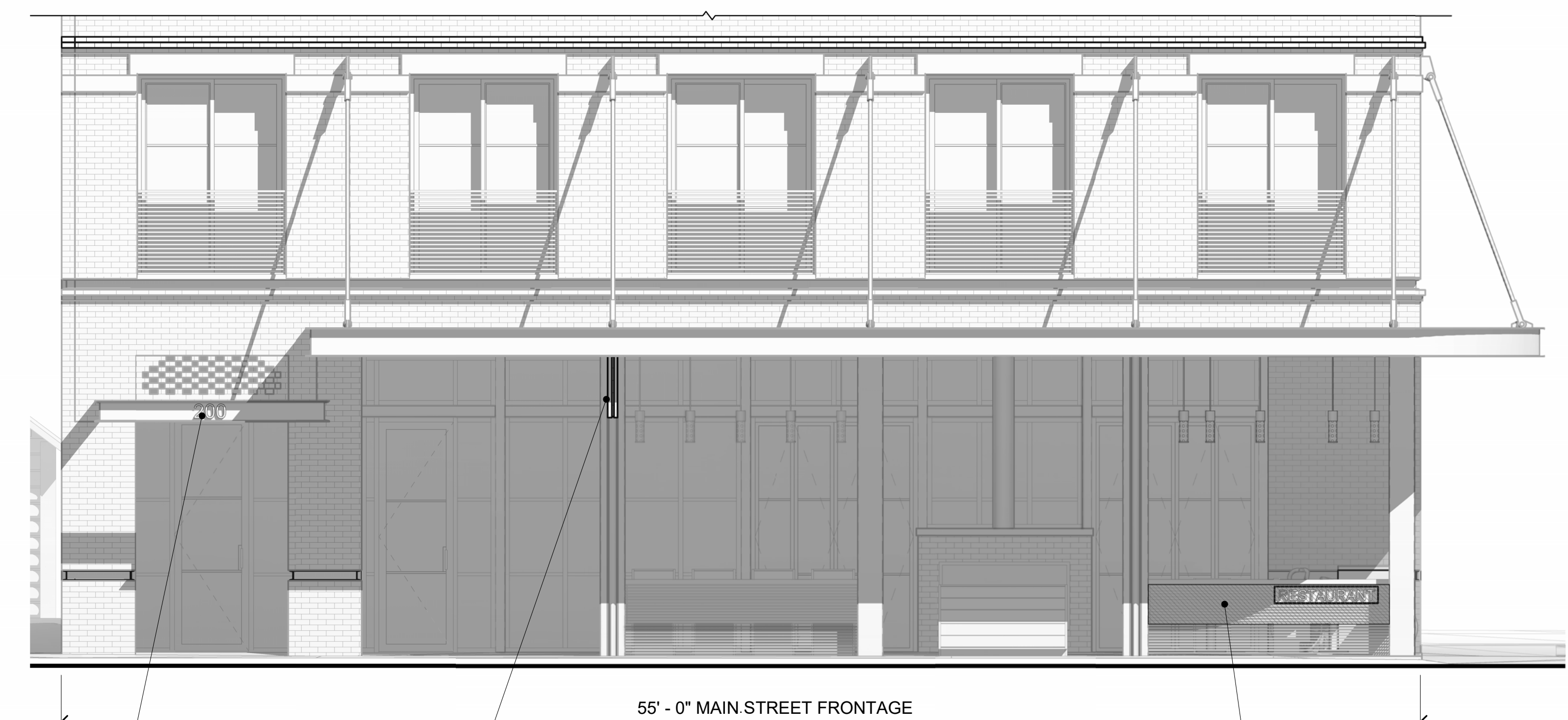
2ND STREET FRONTAGE SIGNAGE 2



PROJECTING RESTAURANT SIGNAGE 4



RESTAURANT SIGNAGE 3



1 SQ.FT. OF STREET SIGNAGE FOR EVERY 3 LINEAR FEET OF STREET FRONTAGE
18.3 SQ. FT. OF ALLOWABLE STREET SIGNAGE - 15.6 SF MAX. PROPOSED

MAIN STREET FRONTAGE SIGNAGE 1

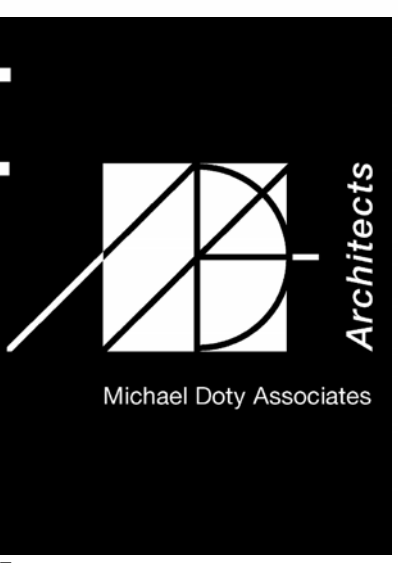
PROPOSED BUILDING SIGNAGE

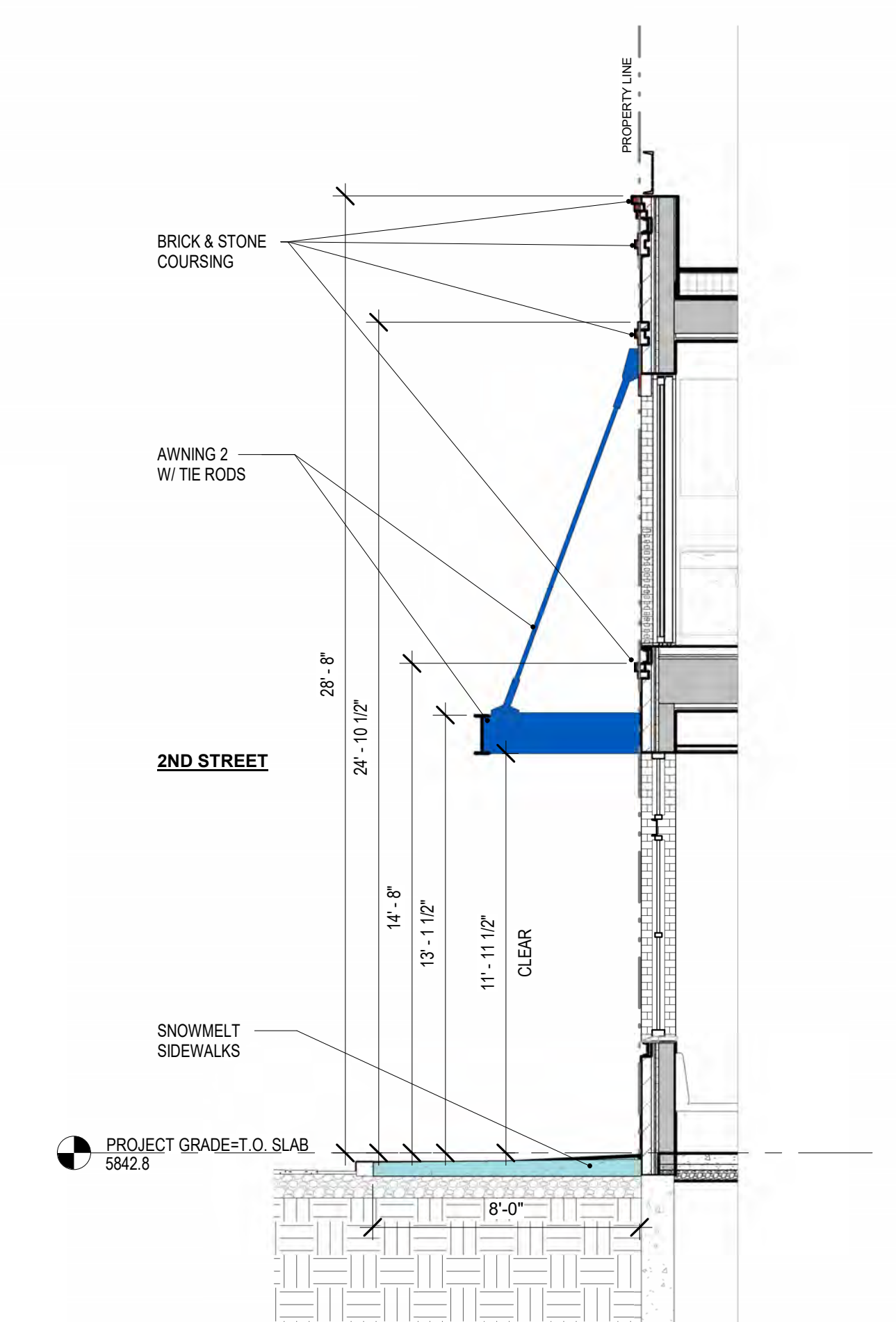
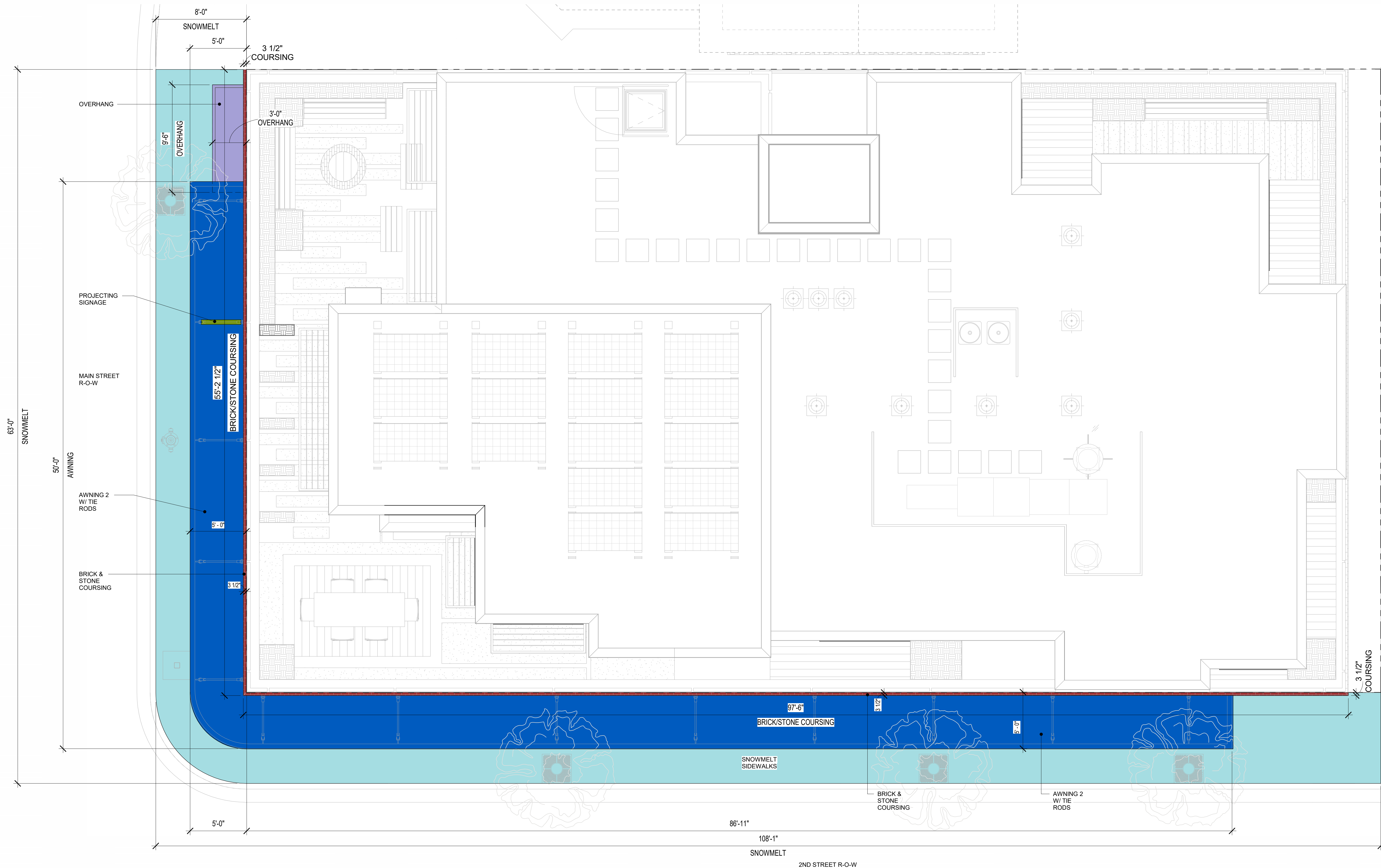
SCALE: As indicated

200 NORTH MAIN

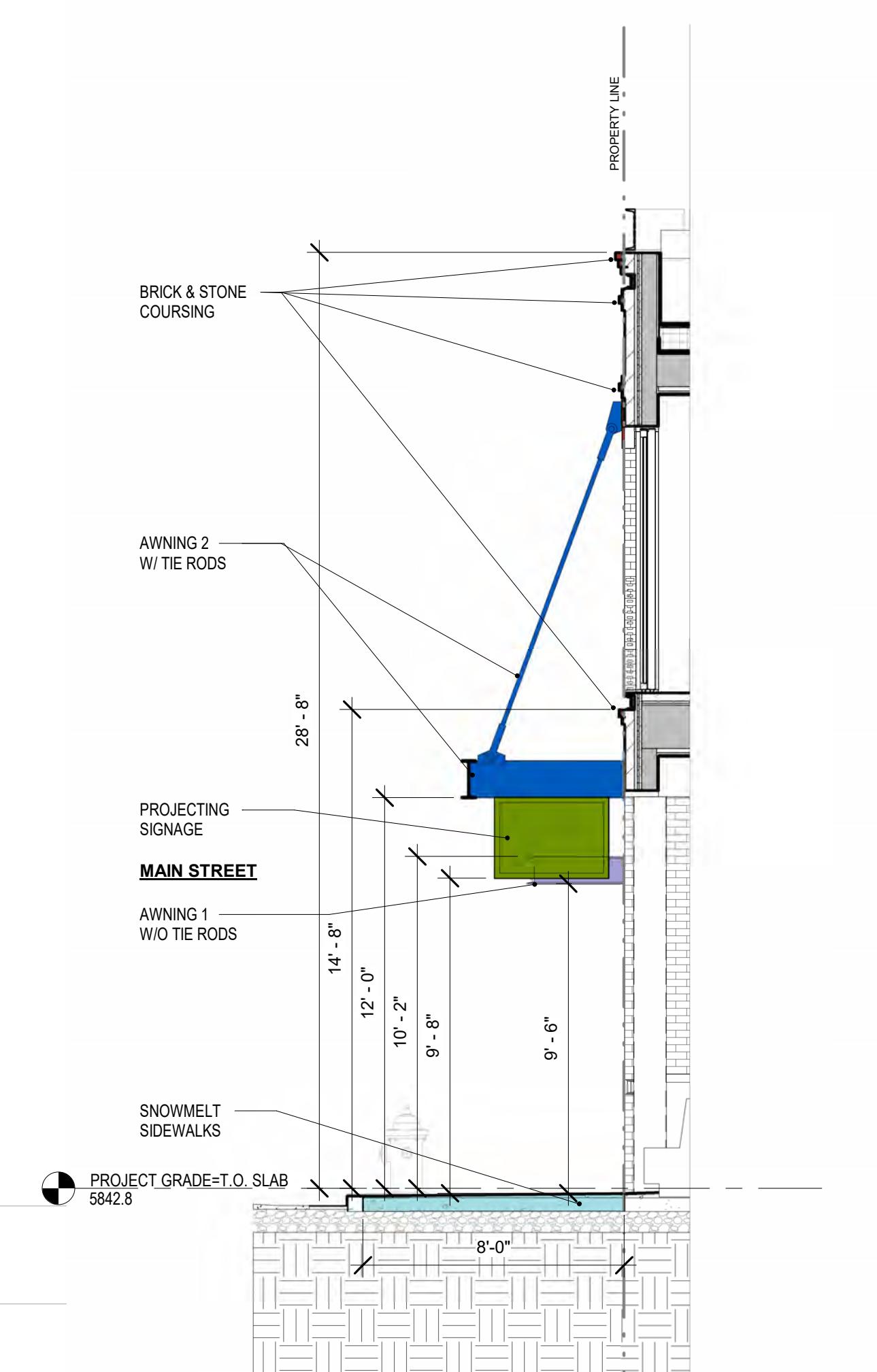
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



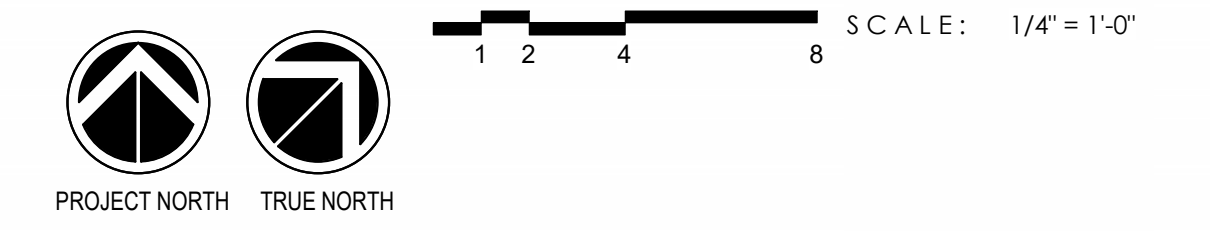


2ND STREET FACADE



MAIN STREET FACADE

PROPOSED RIGHT-OF-WAY ENCROACHMENT

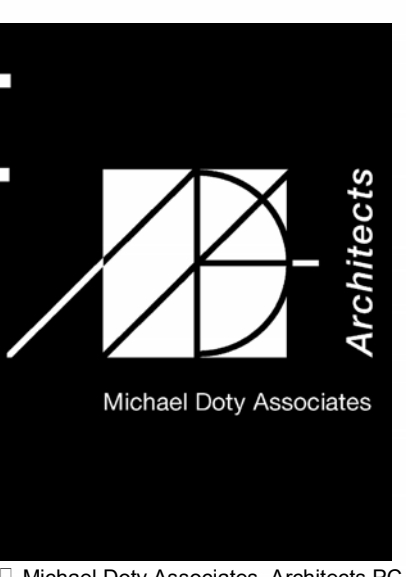


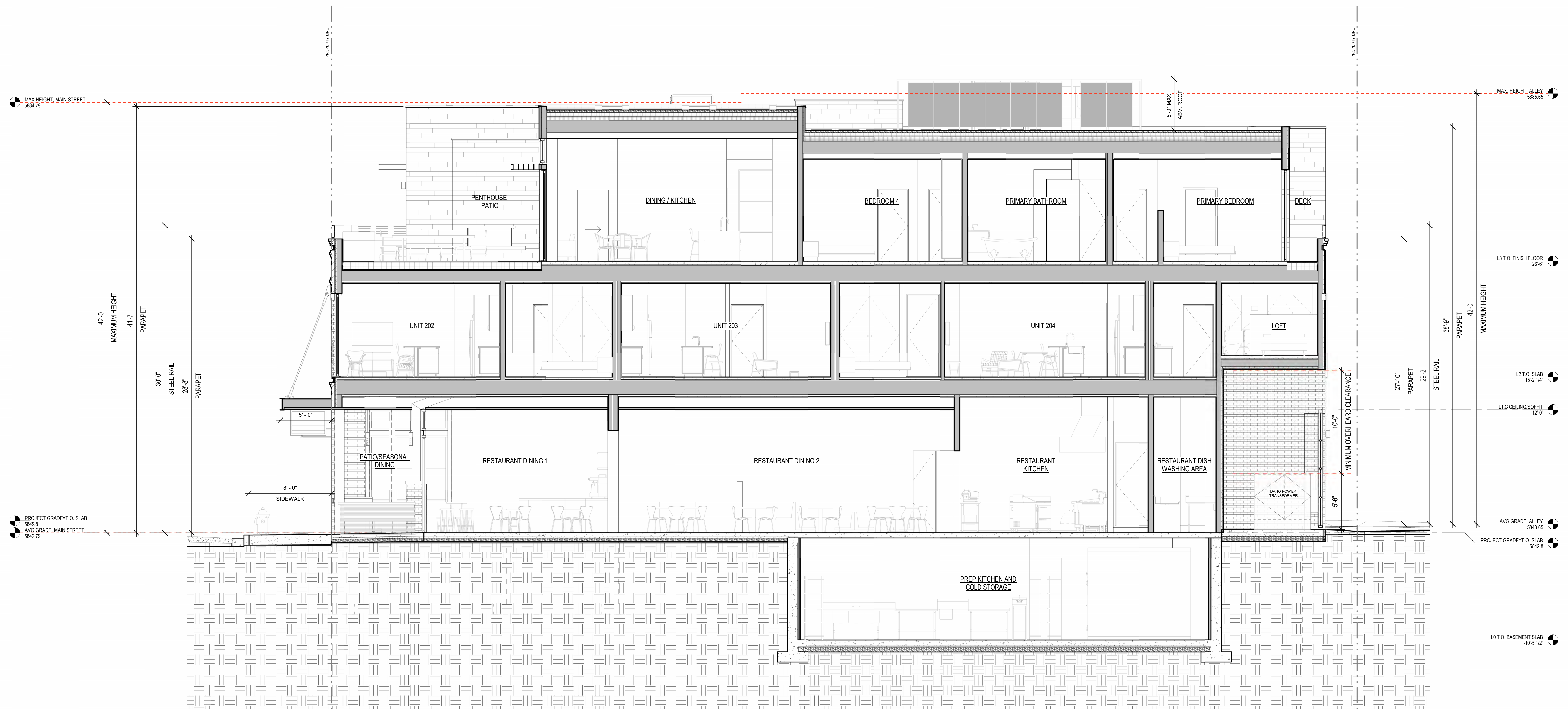
ENCROACHMENT AND CONDITIONAL USE LEGEND	
	AWNING 1 WITHOUT TIE RODS 2'-11 1/2" ENCROACHMENT ON MAIN STREET ROW
	AWNING 2 WITH TIE RODS 5'-0" ENCROACHMENT ON MAIN STREET & 2ND STREET ROW; INCLUDES COMMERCIAL AND STREET LIGHTING
	BRICK & STONE COURSING 3 1/2" ENCROACHMENT ON MAIN STREET & 2ND STREET ROW
	SIDEWALK SNOW MELT 8' ENCROACHMENT (FULL SIDEWALK WIDTH) ON MAIN STREET & 2ND STREET ROW
	PROJECTING SIGNAGE 4' ENCROACHMENT ON MAIN STREET ROW

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



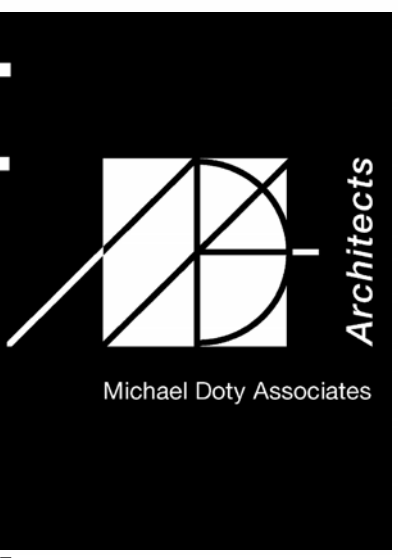


PROPOSED BUILDING SECTION

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



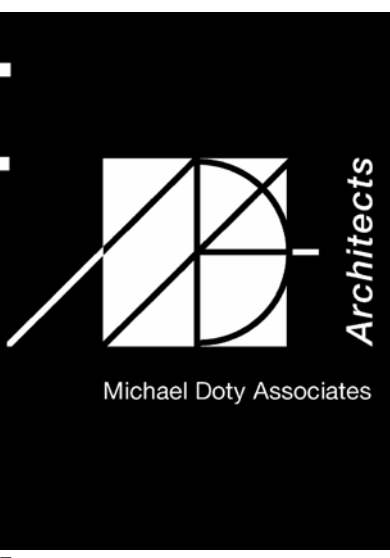


EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



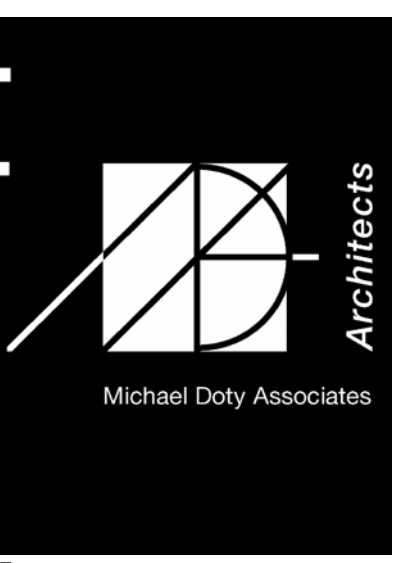


PROPOSED WEST PERSPECTIVE

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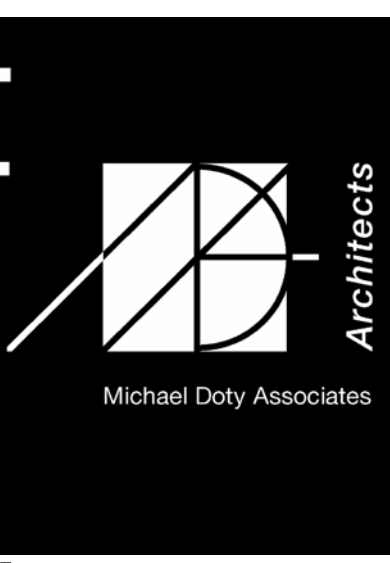


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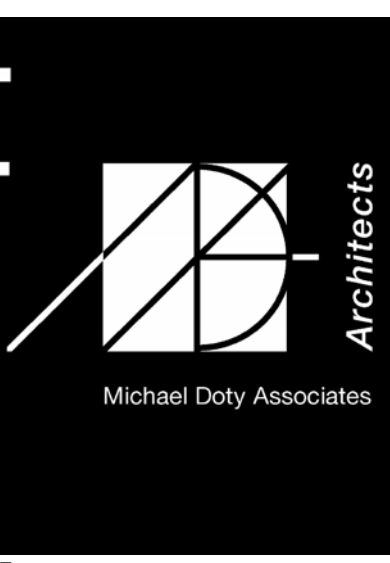


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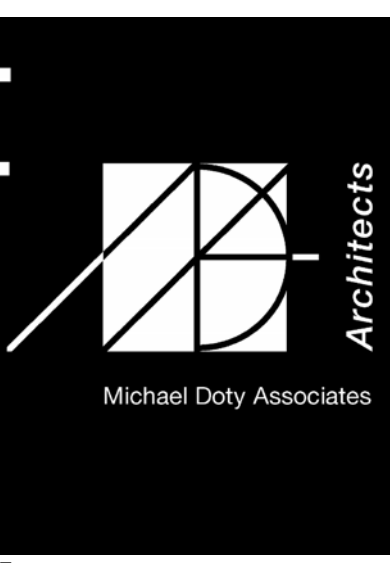


EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

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10/19/2023



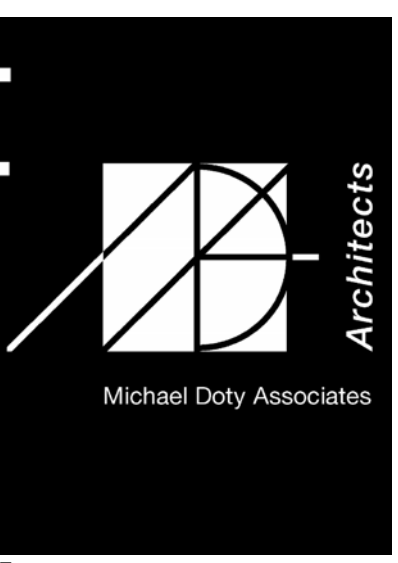


PROPOSED SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



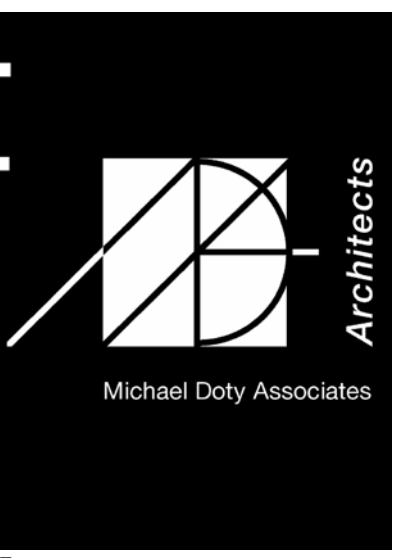


EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

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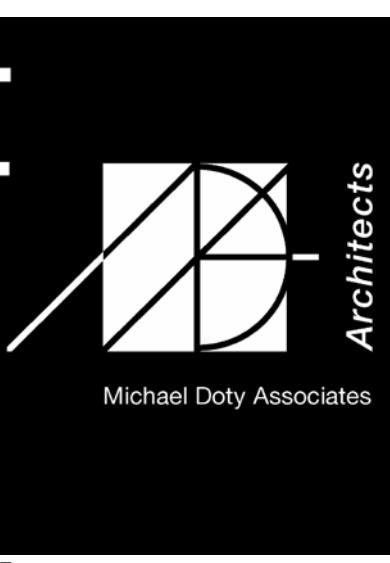


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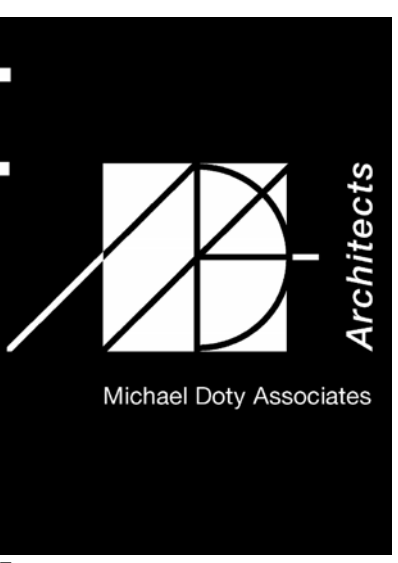


EXISTING NORTH PERSPECTIVE

200 NORTH MAIN

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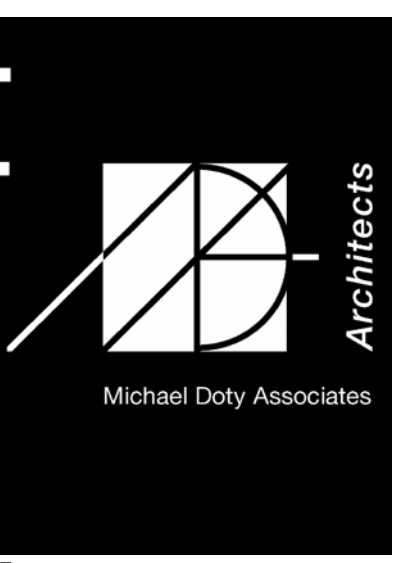


PROPOSED NORTH PERSPECTIVE

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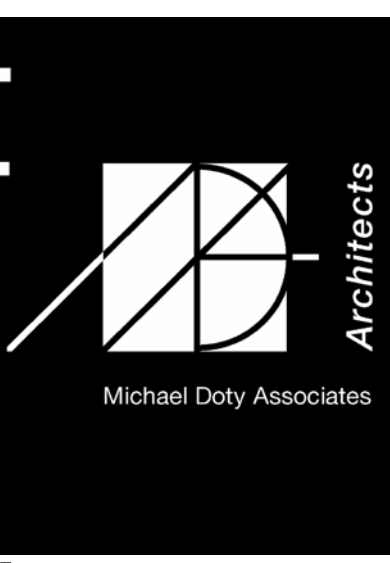


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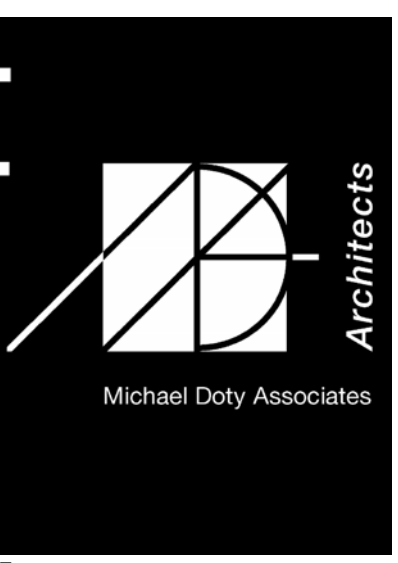


EXISTING EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



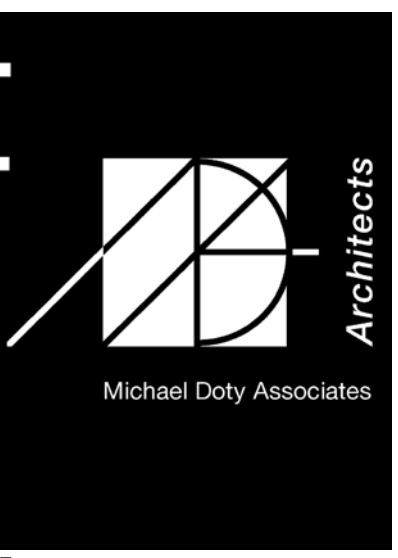


PROPOSED EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



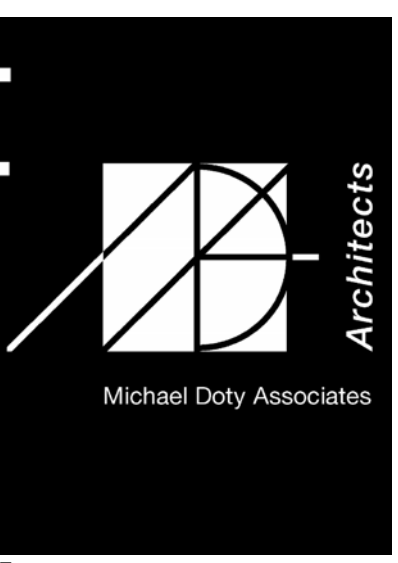


EXISTING MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



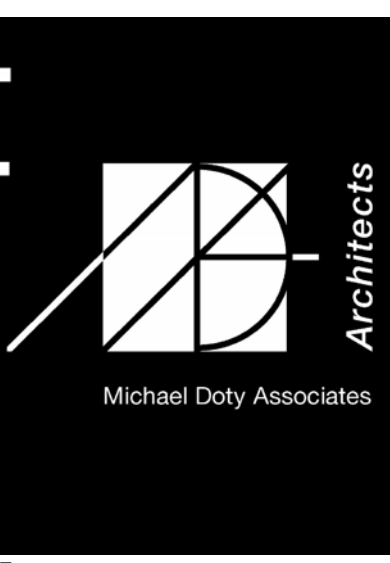


PROPOSED MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW
10/19/2023



IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS: 17.96.060

City Code	City Standards and <i>Applicant Comments</i>
17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
<i>Comments</i>	<i>Applicant will provide and be responsible for all costs associated with providing connections from the existing city street to the development. If KURA funds become available, the applicant may request the organization grant funds to cover a portion of the cost of the work.</i>
17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
<i>Comments</i>	<i>The proposed street design has been prepared by Galena-Benchmark Engineering to meet the city's right-of-way standards.</i>
17.96.060(B)(1) Sidewalks	All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.
<i>Comments</i>	<i>The applicant will demolish and replace sidewalks at North Main Street and East Second Street as required by the Public Works Department.</i>
17.96.060(B)(2) Sidewalks	Sidewalk width shall conform to the City's right-of-way standards; however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
<i>Comments</i>	<i>Galena-Benchmark Engineering has designed the sidewalk to conform to the City's right-of-way standard 8'-0" width and other requirements established by the City Engineer.</i>
17.96.060(B)(3) Sidewalks	Sidewalks may be waived if one of the following criteria is met:
17.96.060(B)(3)(a) Sidewalks	The project comprises an addition of less than 250 square feet of conditioned space.
17.96.060(B)(3)(b) Sidewalks	The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
<i>Comments</i>	<i>N/A.</i>
17.96.060 (B)(4) Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
<i>Comments</i>	<i>The sidewalk improvements will equal the length of the property lines adjacent to both North Main Street and East Second Street frontages.</i>
17.96.060 (B)(5) Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
<i>Comments</i>	<i>Galena-Benchmark Engineering has designed the sidewalks to provide pedestrian connections to the existing sidewalk adjacent to 220 N Main Street and to the future sidewalk adjacent to the Second Street frontage of 211 N Leadville. Sidewalk improvements extend beyond the property only as much as required to transition to these neighboring sidewalks. New sidewalks will include radiant snowmelt to further provide safe pedestrian access to and around the building.</i>
17.96.060 (B)(6) Sidewalks	The City may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.

Comments	<i>N/A. The applicant will not pursue an in-lieu contribution to avoid sidewalk improvements. If KURA funds become available, the applicant may request funds be granted to cover a portion of the cost of the work.</i>
17.96.060(C)(1) Drainage	All storm water shall be retained on site.
Comments	<i>Storm water will be retained on site. Storm water falling on the building's roofs/terraces, awnings, and overhangs will be directed via internal roof drains and drain leaders to on-site dry-wells designed by Galena-Benchmark Engineering.</i>
17.96.060(C)(2) Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
Comments	<i>Drainage improvements will be constructed equal to the length of the subject property lines adjacent to Main and Second Streets and the alley. If KURA funds become available, the applicant may request funds be granted to cover a portion of the cost of the work.</i>
17.96.060(C)(3) Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
Comments	<i>Proposed drainage improvements have been designed by Galena-Benchmark Engineering and will include any additional improvements deemed necessary by the City Engineer.</i>
17.96.060(C)(4) Drainage	Drainage facilities shall be constructed per City standards
Comments	<i>Drainage facilities have been designed per City standards by Galena-Benchmark Engineering and will be constructed accordingly.</i>
17.96.060(D)(1) Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
Comments	<i>Applicant will provide funds for improvement and installation of all utilities necessary for the development. If KURA funds become available, the applicant may request funds be granted to cover a portion of the cost of the work.</i>
17.96.060(D)(2) Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
Comments	<i>Applicant will work with utility companies to meet City standards.</i>
17.96.060(D)(3) Utilities	When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.
Comments	<i>N/A. Project needs are met without the need to extend utilities.</i>
17.96.060(E)(1) Compatibility of design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
Comments	<i>The project's proposed materials, colors, and signing will complement the townscape, surrounding neighborhoods, and adjoining structures. See below 17.96.060(F)(2) & (3). A digital exterior finish materials board is included with the design review submission.</i>
17.96.060(E)(2) Compatibility of design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
Comments	<i>N/A.</i>
17.96.060(E)(3) Compatibility of design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
Comments	<i>N/A.</i>
17.96.060(F)(1) Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
Comments	<i>The building's main entryways on North Main Street are clearly defined and differentiated according to their private and public functions and have unobstructed access to the sidewalk. Brick pillars and a comparatively low overhang surround</i>

	<i>the recessed residential entry door, suggesting a more private realm by deemphasizing its presence. In contrast, immediately adjacent to that residential entrance, yet separated by a brick pillar, lies the main restaurant entrance. A higher ceiling, patio, floor to ceiling glass window and door system, and an awning that seamlessly extends the ceiling over the sidewalk emphasize the commercial area of the building through transparency and outdoor space that blends the public and commercial domain. The patio comprises the entire length of the ground floor at Main Street apart from the residential entry. It wraps the corner to include a portion of the length along Second Street. The window and door system includes bi-folding doors that open in warmer months to further meld the interior of the restaurant and the street.</i>
17.96.060(F)(2) Architectural	The building character shall be clearly defined by use of architectural features.
Comments	<i>The building character recalls historic early American architecture. Clad in brick, the building evokes a historic masonry structure and relates to the neighboring historic brick buildings on Main Street. Metal accents reference the late 19th century vernacular of industrializing America where traditional masonry construction incorporated newly mass-produced steel to allow greater transparency. The façade adheres to the rules of load bearing masonry construction where gravity dictates an ordered wall with windows occurring in bays. Steel c-channels and brick string courses create shadow lines to delineate floors and break the façade into human scale horizontal bands. Precast stone lintels span the second-floor door heads and provide another horizontal datum to relate to the street. An awning that creates a strong horizontal datum further defines the human scale. Whereas the building's first and second floor facades evoke the vernacular of main street, the third-floor facade steps back from that principal mass and allows passersby to perceive a historic building with a contemporary, yet respectful, addition.</i>
17.96.060(F)(3) Architectural	There shall be continuity of materials, colors and signing within the project.
Comments	<i>Four materials comprise the façade. Red sand-molded brick clads the building's first and second floors. Warm-gray precast stone lintels and a band of the same material mark second floor apertures and provide a consistent datum that breaks the façade. Gray precast concrete panels clad the penthouse and help the third-floor façade withdraw from prominence. Blackened metal elements mark entries and provide horizontal datums to break the façade, relate the building to the street, and reduce the perceived scale. Window and door frames and mullions are similarly colored.</i>
17.96.060(F)(4) Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
Comments	<i>Landscape features complement the building: Raised blackened steel planters and outdoor built-in seating areas of wood and blackened steel create visual interest and an active patio along Main and Second Streets.</i>
17.96.060(F)(5) Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
Comments	<i>The walls along Main Street and Second Street step back from the property line at the ground floor to provide relief and create an inviting patio, activating the street front intersection. This carved out space, bounded by window walls, and including folding doors that allow the interior and exterior to blend in the temperate seasons, provides relief in the form of ample covered outdoor space while shadow and transparency further provide perceived relief from the building's façade. The third-floor facades step back from the brick façade beneath, undulating in both the vertical and horizontal planes, and its exterior finish differs from the base of the building. Awnings extending over the sidewalk at street level disrupt the verticality of the walls and create a strong human-scale horizontal datum through their</i>

	<i>linearity and daytime shadow creation. Windows and doors—and brick, steel, and precast stone details—consistently punctuate the walls. Additionally, the brick, by its nature, provides undulation and relief at the scale of the human hand. The irregularities of the brick and slight relief of the mortar joints provide texture and fleck the sunlit surface with subtle shadows. Together these gestures reduce any sense of bulk or flatness on the building.</i>
17.96.060(F)(6) Architectural	Building(s) shall orient towards their primary street frontage.
Comments	<i>The main residential and restaurant entrances to the building are on the Main Street frontage. The patio and glass window wall of the restaurant space wrap the corner to activate both the primary frontage on Main Street and the secondary frontage along 2nd Street. A dual-sided see-through fireplace on the front patio further emphasizes the building's orientation toward Main Street and connects outside with in. Large windows into the restaurant animate the Second Street frontage.</i>
17.96.060(F)(7) Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
Comments	<i>A trash room with an overhead roll-up door along the alley houses two rollout dumpsters and four rolling trash/recycling bins serving the restaurant. Another set of rolling auto cart bins for trash and recycling serves the residential portion of the building. As discussed and provided for in Clear Creek's will-serve letter, these bins will not remain in the alley, but will be immediately returned to the room as part of the regular garbage service. No satellite receivers are contemplated at this time. Should they be included as the design progresses, they will be screened.</i>
17.96.060(F)(8) Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
Comments	<i>All proposed roof elements are flat roofs, which will be drained internally. Pedestrians will be able to shelter at entrances, which are recessed, by the building itself and by awnings or overhangs. Pedestrians on the sidewalk will have the option of sheltering along nearly the entire perimeter of the building beneath an overhang at the residential entry or a larger awning at the perimeter of the commercial space along Main and Second Streets.</i>
17.96.060(G)(1) Circulation design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
Comments	<i>Existing sidewalks will be replaced with new 8-foot wide sidewalks per city standards. Refer to 17.96.060(B)(2), (4), & (5). One bicycle parking rack for two (2) bicycles will be provided in the patio area adjacent to the sidewalk on Second Street.</i>
17.96.060(G)(2) Circulation design	Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.
Comments	<i>An awning runs from just south of the residential entry along the Main Street frontage and around along most of the Second Street frontage, tracking the perimeter of the commercial space. It extends 5'-0" over the 8'-0" wide public sidewalk, leaving 3'-0" clear to parking and travel lanes.</i>
17.96.060(G)(3) Circulation design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
Comments	<i>Traffic flow to and from the site will be on the adjacent streets, alley, and sidewalks. Improvements to these have been designed by Galena-Benchmark Engineering to conform to city standards. See above.</i>
17.96.060(G)(4) Circulation design	Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to

	the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
Comments	<i>N/A. No new curb cuts or driveways are being proposed.</i>
17.96.060(G)(5) Circulation design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
Comments	<i>Garbage trucks will have unobstructed access to the alley where the restaurant trash room and access to the residential trash room are located. Emergency vehicles, snowplows, and service vehicles will have access to the site from the rights-of-way.</i>
17.96.060(H)(1) Snow storage	Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.
Comments	<i>Refer to 17.96.060(H)(4), below.</i>
17.96.060(H)(2) Snow storage	Snow storage areas shall be provided on site.
Comments	<i>Refer to 17.96.060(H)(4), below.</i>
17.96.060(H)(3) Snow storage	A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.
Comments	<i>Refer to 17.96.060(H)(4), below.</i>
17.96.060(H)(4) Snow storage	In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.
Comments	<i>In lieu of providing snow storage, the sidewalk improvements will include snowmelt via hydronic heat tubing along the property-adjacent portions of the Main Street and Second Street sidewalks. There are no suitable areas on site large enough to be dedicated as snow storage. Management of any un-melted snow will be accomplished by hauling it off-site, as noted on the architectural site plan.</i>
17.96.060(I)(1) Landscaping	Landscaping is required for all projects.
Comments	<i>Four street trees are proposed for the project, one (1) along Main Street, and three (3) along Second Street. Tree species will be coordinated with and approved by the City Arborist prior to installation. Tree grates will be coordinated with the City Engineer. Additionally, planters in the restaurant patio along Main and Second Streets and planters and other landscaping on the third-floor terraces will have native or regionally-appropriate plantings adaptable to the site's microclimate as recommended by the landscape designer.</i>
17.96.060(I)(2) Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
Comments	<i>Refer to 17.96.060(I)(1), above.</i>
17.96.060(I)(3) Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
Comments	<i>Refer to 17.96.060(I)(1), above.</i>
17.96.060(I)(4) Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
Comments	<i>Refer to 17.96.060(I)(1), above.</i>
17.96.060(J)(1) Public amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.

Comments	<i>The project will include these pedestrian amenities: street trees; awnings, overhangs, and recessed entries, which provide shade and shelter; snowmelt, which provides a safe winter walking surface; a bike rack; and a restaurant patio with seating and planters immediately adjacent to the sidewalk.</i>
17.96.060(K)(1) Underground encroachments	Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
Comments	<i>Below grade concrete footings encroach into the 3-foot alley setback.</i>
17.96.060(K)(2) Underground encroachments	No below grade structure shall be permitted to encroach into the riparian setback.
Comments	<i>N/A.</i>
IMPROVEMENTS AND STANDARDS: COMMUNITY CORE (CC) PROJECTS	
In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.	
17.96.070 A(1) Streets	Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
Comments	<i>The landscape designer and general contractor will coordinate with the Public Works Department during construction to ensure the approved design will be installed and constructed as determined by the Public Works Director.</i>
17.96.070 A(2) Streets	Street trees with a minimum caliper size of three inches, shall be placed in tree grates.
Comments	<i>The landscape designer will specify, and the landscape contractor will install street trees according to City requirements and coordinate City Arborist approval.</i>
17.96.070 A(3) Streets	Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.
17.96.070 B(1) Architectural	Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.
Comments	<i>Brick is the principal material on all facades of the first and second floor, including the north/interior lot line wall. Windows and doors punctuate the west/Main Street, south/Second Street, and east/alley facades. Brick, stone, and steel details wrap the entire building. The applicant plans to have a mural—in the style of a ghost sign or featuring a subject drawn from the history of Ketchum/Sun Valley—painted to be visible from Main Street on the north wall. The north/interior lot line wall only continues without a break at the ground floor level. Second and third floor step-backs allow the placement of windows, avoiding a blank, lot line to lot line wall. On the second floor, a window perpendicular to the step-back allows one of the deed-restricted residential units to receive natural light from multiple exposures.</i>
17.96.070 B(2) Architectural	[At] nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
Comments	<i>A storefront window wall system with folding doors comprises 36'-7 1/2", or approximately 67%, of the length of ground floor façade along the Main Street frontage; along Second Street, a storefront window wall comprises 18'-1 1/2", or approximately 19% of the ground floor façade length. A brick wall with windows along 50% of its length and the transformer screen comprise the remainder of the frontage along Second Street.</i>

17.96.070 B(3) Architectural	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
Comments	<i>Refer to 17.96.070(B)(2) above and: The storefront window wall system is floor to ceiling excepting the fireplace where the window begins approximately five feet above the patio floor. The windows along the south wall average approximately 3'-4" above the sidewalk at the sill and extend up to the underside of the awning.</i>
17.96.070 B(4) Architectural	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
Comments	<i>All proposed roofs, including the awning along Main and Second and the overhang at the Main Street residential entry, are flat. The membrane is non-reflective and, on the roof, will be covered by stone ballast. Blackened steel c-channels or wide-flange fasciae of the awning and overhang contribute substantially to the overall style and character of the building. Refer to 17.96.060(F)(1)-(5) for more.</i>
17.96.070 B(5) Architectural	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
Comments	<i>N/A.</i>
17.96.070 B(6) Architectural	Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
Comments	<i>One overhang extends 3'-0" over the public sidewalk at the residential entry toward the north property line at the Main Street frontage. The applicant will obtain an encroachment permit for this overhang.</i>
17.96.070 B(7) Architectural	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
Comments	<i>N/A. No front porches or stoops are included in this project.</i>
17.96.070 C(1) Service areas and mechanical/electrical equipment	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
Comments	<i>Refer to 17.96.060(F)(7).</i>
17.96.070 C(2) Service areas and mechanical/electrical equipment	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
Comments	<i>Roof mounted mechanical equipment, consisting of ventilation systems for the restaurant and air-conditioning systems for the third floor, will be fully screened by blackened perforated steel in keeping with other steel elements. All ground floor level or ground mounted electrical and mechanical equipment is located along the alley. A niche just north of the garbage room houses gas meters; a niche just south houses electrical equipment. Per discussions with the city, these will not be screened. The three-phase transformer sits in a niche complying with Idaho Power's clearance requirements at the Second Street/alley corner. It is fully screened by blackened perforated steel panels and gates.</i>
17.96.070 D(1) Landscaping	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
Comments	<i>The applicant and landscape designer will work with the city arborist to determine if any of the existing trees removed as part of the construction of this project will be replaced, and if so, where they will be located.</i>
17.96.070 D(2) Landscaping	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
Comments	<i>Refer to 17.96.060(I)(1) also. Trees located within the City right-of-way pedestrian walkways on North Main Street and Second Street East will be placed in tree wells and covered by tree grates as approved by the City Engineer.</i>
17.96.070 D(3) Landscaping	The city arborist shall approve all parking lot and replacement trees.

Comments	<i>The applicant and landscape designer will work with the city arborist on the selection of replacement trees should they be required.</i>
17.96.070 E(1) Surface parking lots	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
Comments	<i>N/A.</i>
17.96.070 E(2) Surface parking lots	Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
Comments	<i>N/A.</i>
17.96.070 E(3) Surface parking lots	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
Comments	<i>Trees located within the City right-of-way pedestrian walkways on North Main Street and Second Street East will be placed in tree wells and covered by tree grates as approved by the City Engineer.</i>
17.96.070 F(1) Bicycle parking	One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.
Comments	<i>Two parking spaces are required for the residential portions of the development. All other uses fall below the threshold requiring parking spaces. Accordingly, one (1) bicycle rack, providing two (2) bicycle spaces will be provided near the intersection of Main and Second Streets on the Second Street side of the restaurant patio.</i>
17.96.070 F(2) Bicycle parking	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.
Comments	<i>N/A.</i>
17.96.070 F(3) Bicycle parking	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
Comments	<i>The bicycle rack will be located near the intersection of Main and Second Streets on the Second Street side of the restaurant patio, adjacent to the sidewalk, approximately 70'-0" and 82'-0" from the Main Street restaurant and residential entrances, respectively. Placing the bike rack on the Main Street side of the restaurant patio would detract from the potential of that gathering space. The bicycle rack still features prominently within the more public sphere of the building. Additionally, each residential unit has a private lockable storage space of approximately 50 square feet in which residents can store bicycles.</i>

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

May 11, 2023

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: 200 Main Street N

To whom it may concern,

Please allow this letter to serve that Mike Doty & Brett Simon of Michael Doty Associates, Architects PC. have engaged in conversations with me, regarding the above mentioned site. The conversations have been to the following:

This site will provide enough space for dumpster(s) for garbage and cardboard & carts for residential garbage and recycling. There is enough space and access to service these dumpsters adequately, utilizing a "Garbage Glider" as indicated on the enclosed plan. Special services are available for the transport of the carts to and from the residential garbage room from CCD. This scenario will only work with a mechanized mode of transporting the dumpsters to the alley for servicing. (Snow, Ice, Weight) The Dumpster will be transported to the alley for servicing as per the enclosed plan.

This site when finished as per the plans will satisfy any and all concerns for the safe and efficient removal of garbage. I would like to mention that this is an example of high-quality planning that will benefit the owner(s) of this site, building, and the City. If I may be of further assistance during this process or in the future, please call.

Sincerely,



Mike Goitiandia
Clear Creek Disposal

Enclosures

CC. Mike Doty & Brett Simon

.200 Main St N - 1





451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342
www.intgas.com

Michael Doty Associates, Architects PC
Mike Allaire, AIA
PO Box 2792
371 Washington Avenue North
208-726-4228

December 8, 2022

RE: 200 N Main St., Ketchum Idaho 83340. NE Intersection of N Main St., and 2nd St E.
Ketchum Idaho, Blaine County.

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum, Idaho.

The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs in order to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies, and provisions on file with the Idaho Public Utilities Commission.

If you need further information regarding this project, please call me at 208-737-6314.

Sincerely,

Lance D. McBride

Lance D. McBride
Energy Services Representative Sr.
lance.mcbride@intgas.com
208-737-6314

April 06, 2023



KENNY DUDUNAKIS
2637 134TH AVE NE
BELLEVUE, WA 98005

To whom it may concern,

Thank you for your inquiry about electrical service at 200 N MAIN ST
KETCHUM, ID 83340

The property is located within Idaho Power's service area in the state of Idaho

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

A three phase padmount transformer is required to serve this project. The location of the new transformer has been sited at the south east corner of the customer's property, facing 2nd St E., with clearance requirements met shown on Michael Doty Architects sheet DR-011, dated 3/23/23. Transformer screening is not required by Idaho Power Company.

Sincerely,

Cyndi Bradshaw

Cyndi Bradshaw
PO Box 3909
Hailey ID 83333



City of Ketchum
Planning & Building

OFFICIAL USE ONLY
Fire Number:
Date Received:
By:
Fee Paid:
Approved Date:
Denied Date:
By:

Conditional Use Permit Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 191 5th St. West, Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

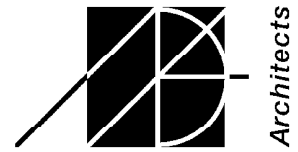
OWNER INFORMATION	
Project Name: 200 North Main	
Name of Owner of Record: 200 North Main, LLC, Kenneth Paul Dudunakis, Owner's Member and Kristina Ann Dudunakis, Owner's Member	
Physical Address: 2637 134th Avenue NE, Seattle, WA 98005	
Property Legal Description: Lot 1, BLK 3, Ketchum Townsite	
Property Zoning District: CC-1 Community Core, Retail	
Contact Phone: (206) 521-7216	Contact Email: kenny.dudunakis@berkadia.com, kristina.dudunakis@frontier.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: <small>The 3,400 SF third floor residential dwelling unit exceeds the 3,000 SF individual residential dwelling unit limit of Ordinance 1234 by 400 SF.</small>	
Description of Proposed and Existing Exterior Lighting: Wall mounted lights at all exterior doors on the penthouse level.	
ADDITIONAL COMMENTS	
Refer to Architect's Memo for additional comments.	
ACCOMPANYING SUPPORTING INFORMATION REQUIRED	
<ul style="list-style-type: none"> ● Existing Site Plan ● Proposed Site Plan ● Landscape Plan ● Grading and Drainage Plan ● Exterior Lighting Plan and Specifications ● Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator 	

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

05/30/2023

Applicant Signature

Date



Michael Doty Associates

■ ARCHITECT'S MEMO

To: City of Ketchum Planning and Building

From: Michael Doty, AIA, LEED AP

Date: 09/25/2023

Re: 200 North Main, Conditional Use Permit Application for:
Third Floor Residential Dwelling Unit 3,000 Square Foot Exceedance

Per Interim Ordinance 1234 *"individual residential dwelling units cannot exceed a total square footage of 3,000 square feet."* However, the applicant proposes a 3,400 square foot residential dwelling unit on the third floor of the building. The applicant therefore requests the city grant a conditional use permit for the additional 400 square feet over the permitted floor area as allowed per Section 12 of Interim Ordinance 1234.

The applicant has endeavored to respect the community's desire for buildings that harken back to an earlier era, while implementing a complex, community-enhancing program. The building adheres to the (unadopted) draft community core design guidelines through the extensive use of brick, its balance of glass and solid wall surfaces, its sheltered gathering space—the restaurant patio—along Main and Second Streets, and its third-floor footprint being predominantly recessed from the principal facades. Numerous horizontal elements that break the verticality of the walls and mass of the building provide a human scale and enhance the pedestrian experience.

Beyond complementing the City of Ketchum's architectural character, the project contributes prominent pedestrian-friendly, street-life-enhancing commercial space and centrally located rental housing. The ground floor commercial space remains a restaurant use, continuing the opportunity to diversify the local cuisine and enhance the local job market. The second floor contains six one-bedroom and studio residential rental units ranging from five-hundred-five to six-hundred-forty square feet of living area, all with adjacent fifty square foot dedicated storage closets. Including the third-floor residence, the building contains a total of seven residential units, which is four above the minimum residential unit density of three, as required by Interim Ordinance 1234. Rather than pay an in-lieu fee to satisfy the inclusionary housing incentive, the applicant will be designating two of the second-floor units as Category 4 income/deed-restricted to provide affordable workforce housing in the community core.

The genesis of the design and hierarchy of program components begins with the ground floor restaurant use, followed by the second floor apartment rental housing Ketchum so urgently needs, and finally a third-floor penthouse residential unit.

Post Office Box 2792
371 Washington
Avenue North
Ketchum, ID 83340
Tel. 208.726.4228
www.mda-arc.com

The applicant has striven to create a high-quality project that will enrich the community, surpassing the standards set by the City of Ketchum zoning regulations, Comprehensive Plan, Design Guidelines, and Interim Ordinance 1234. These contributions to the downtown housing stock meet or exceed the intent of the ordinance recitals, justifying the award of a conditional use permit for an additional 400 SF to the third-floor penthouse unit.

Specific to the five categories noted per §17.116.030 of the Ketchum Municipal Code, the project meets these categories as follows:

- A. The 400 SF over the maximum allowed 3,000 SF floor area (per Interim Ordinance 1234) is compatible with several recently completed projects within the community core. Further, permanent Ordinance 1249, adopted in October of 2023, eliminates the 3,000 SF maximum limitation for individual dwelling units.
- B. The health, safety, and welfare of the community will not be adversely affected by an additional 400 SF on the third floor of this building.
- C. Pedestrian and vehicular traffic will be unchanged from a 3,000 SF dwelling unit. The parking demand remains at 2 cars, and the third-floor dwelling unit houses a single family.
- D. Public utilities and services will not be affected by the additional 400 SF. The parking demand remains at two cars, and the third-floor dwelling unit houses a single family.
- E. The comprehensive plan seeks a vibrant downtown feel and a variety of housing options while maintaining the historic small-town feel Ketchum is known for. Nearly every chapter notes the need for increased variety, quantity, and specifically in the downtown core, density of housing. Further, the Plan seeks to improve housing stock for both part-time residents who visit to enjoy Ketchum's amenities and the year-round residents who provide the workforce to keep those amenities operational. This project provides seven (7) residential units on a single standard city lot, providing a housing need for both part-time and full-time residents. The historic small-town feel is maintained through the use of historically appropriate exterior finish materials and massing. Decades old 2-story sheer-faced brick and stone facades line Main Street, Sun Valley Road, and many side streets. A brick facade with openings placed to mimic the structural limitations of a bygone era and period appropriate detailing has been utilized to bring historic context to the project site. The upper floor penthouse is set back and finished in such a way that the readable datum is the 2nd story parapet. The ground floor houses a restaurant use with a highly active open and transparent corner designed to increase downtown vibrancy at the intersection of Main and 2nd Streets. The requested additional 400 SF on the penthouse does not detract from the active restaurant use or the diversity or quantity of housing provided by the development.

Thank you for your consideration of this request.