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DESIGN REVIEW SHEET TOTAL: 60	

MATERIAL SYMBOLS

PLAN AND SECTION		ELEVATION	
	EARTH / TOP SOIL		PLYWOOD
	WASHED ROCK		FINISH WOOD
	ASPHALT PAVING / ROADBED MATL.		SAND, PLASTER, GYPSUM BOARD
	CONCRETE		BATT INSULATION
	BRICK		BIBS INSULATION
	CONCRETE MASONRY UNIT		RIGID INSULATION
	CUT STONE		SPRAY FOAM INSULATION
	STEEL		WALL - NEW CONSTRUCTION
	ALUMINUM		WALL - EXISTING TO REMAIN
			WALL - TO BE DEMOLISHED
			SIDING - WOOD
			SIDING - FIBER CEMENT PANEL/PHENOLIC CORE PANEL
			BRICK
			CONCRETE
			STUCCO
			GLASS
			CONCRETE MASONRY UNIT

PROJECT TEAM

OWNER:	200 N. Main, LLC Kenny and Kristina Dudunakis 2637 134th Avenue NE, Seattle, Washington 98005 (206) 521-7216 Kenny.Dudunakis@berkadia.com	LANDSCAPE DESIGNER:	Ash Boand Consulting+Design Ashley Boand PO Box 5136 Ketchum, Idaho 83340 (208) 720-2089 ash@ashboand.com
ARCHITECT:	Michael Doty Associates, Architects, PC Mike Doty PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	CIVIL ENGINEER:	Galena-Benchmark Engineering Matt Smiltman P.O. Box 733 Ketchum, Idaho 83340 (208) 726-9512 matt@galena-engineering.com
GENERAL CONTRACTOR:		LIGHTING DESIGNER:	LightPlan Lindsey Arvan 159 Western Avenue W, Suite 480 Seattle, Washington 98119 (208) 709-8123 lindsey@lightplannw.com.com
STRUCTURAL ENGINEER:	KPFF Structural Engineers Judson Williams 412 E Parkcenter Blvd 83706 Boise, Idaho 83706 (208) 336-6985 Judson.williams@kpff.com		

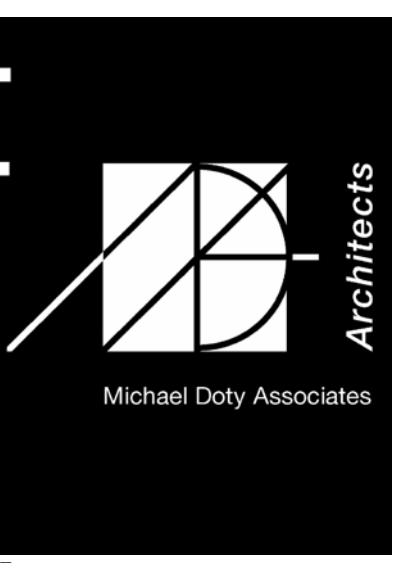
PROJECT DATA

PARCEL NUMBER:	RPK0000003001A
STREET ADDRESS:	200 NORTH MAIN STREET KETCHUM, IDAHO 83340
LEGAL DESCRIPTION:	LOT 1, BLK 3 KETCHUM TOWNSITE, KETCHUM, IDAHO
ZONING:	CC-1 COMMUNITY CORE, RETAIL
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY:	RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3
BUILDING AREA (GROSS):	TOTAL: 12,405 SF
FIRE SPRINKLER SYSTEM:	NFPA 13 THROUGHOUT
SITE AREA:	±5503 SF (0.126) ACRES
CODES:	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
JURISDICTIONS:	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

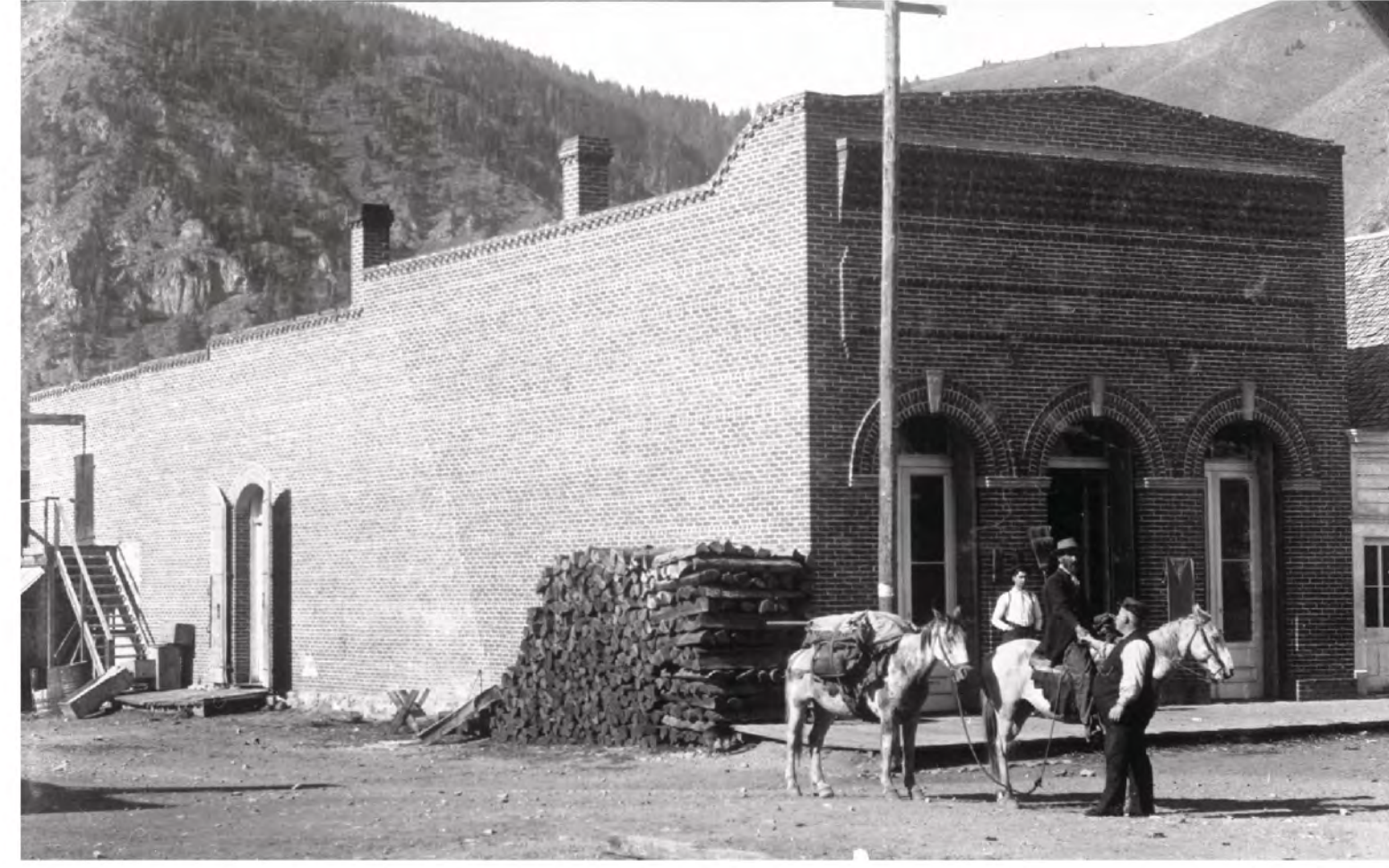
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



PROJECT INSPIRATION AND CONTEXT: HISTORIC KETCHUM



LEWIS LEMON/POST OFFICE/GOLDEN RULE/GRIFFITH BUILDING—CURRENTLY SUN VALLEY CULINARY INSTITUTE—AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



SALOON AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



VIEW OF MAIN STREET, LOOKING SOUTH, LATE 19TH CENTURY. IT LOOKS LIKE THE GRIFFITH BUILDING IS AT THE CENTER LEFT OF THE PHOTO, WHICH WOULD PLACE THE PHOTOGRAPHER OUTSIDE OF THE LANE MERCANTILE BUILDING.



MAIN STREET, BLOCK BETWEEN SUN VALLEY ROAD AND SECOND STREET, CIRCA LATE 1950S.



SALOON, KETCHUM, LATE 19TH CENTURY.



FIRST NATIONAL BANK BUILDING—CURRENTLY ROCKY MOUNTAIN HARDWARE—ALONG MAIN STREET, BETWEEN FIRST AND SECOND STREETS, KETCHUM, LATE 19TH CENTURY.



MAIN STREET, LOOKING NORTH, MID-1930S.



MAIN STREET, LOOKING NORTH, CIRCA 1970S.



LANE MERCANTILE BUILDING AT MAIN STREET AND SUN VALLEY ROAD CIRCA MID-20TH CENTURY.

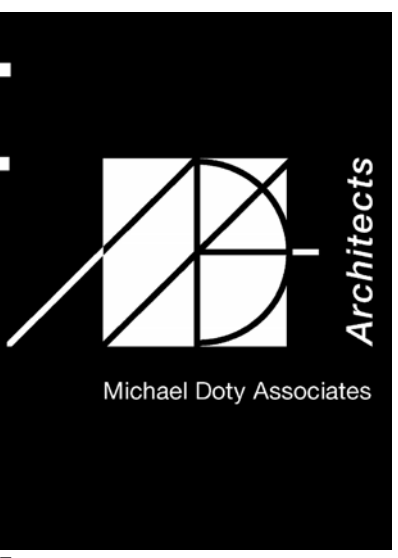


VIEW FROM MAIN AND SECOND STREET INTERSECTION TOWARD WARM SPRINGS, CIRCA 1930S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects PC



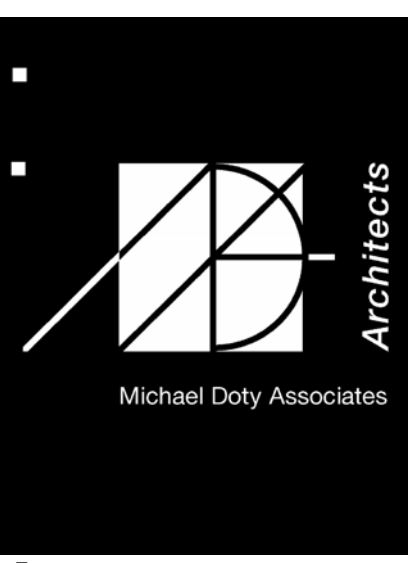
VICINITY MAP

SCALE: 1" = 100'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



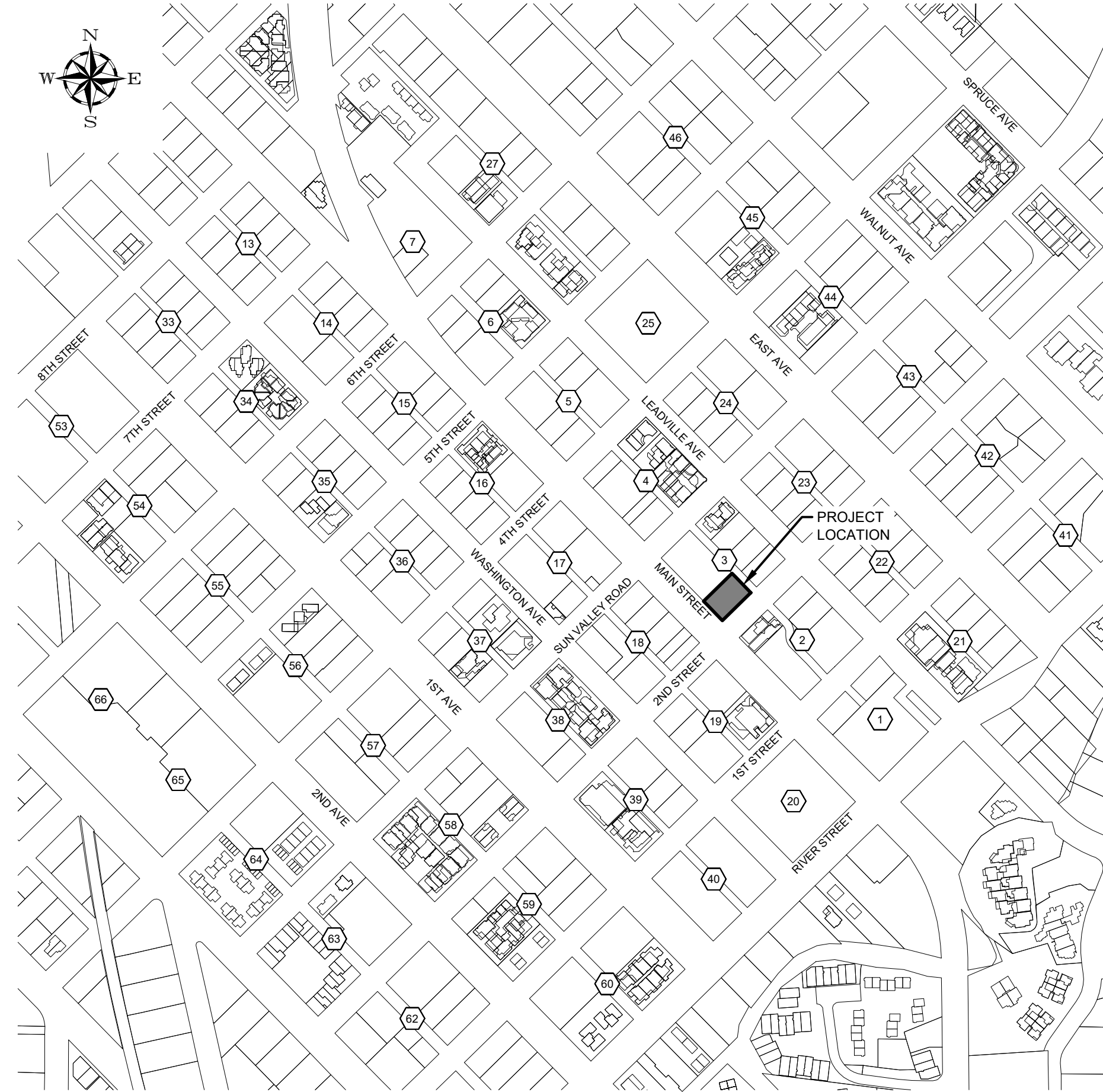
200 N. MAIN STREET

KETCHUM, IDAHO

MAY 2023

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSISNF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSISNF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC., 10/21/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



VICINITY MAP
N.T.S.

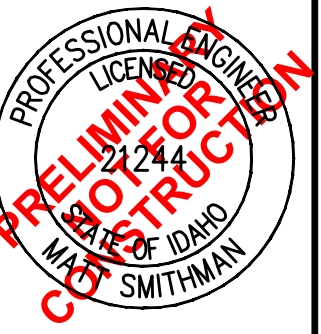
SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
C1.00-C1.02	DETAIL SHEETS
C1.10	DEMOLITION AND SITE GEOMETRY
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN

SITE IMPROVEMENT PLAN 200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N. MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
G:\BANK\Ketchum\Mapbook\23\18276 - 200 N. Main\DWG\Construction\2023\Civil\2023-04-17.dwg 09/05/23 11:55:59 AM



DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

GALENA-BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

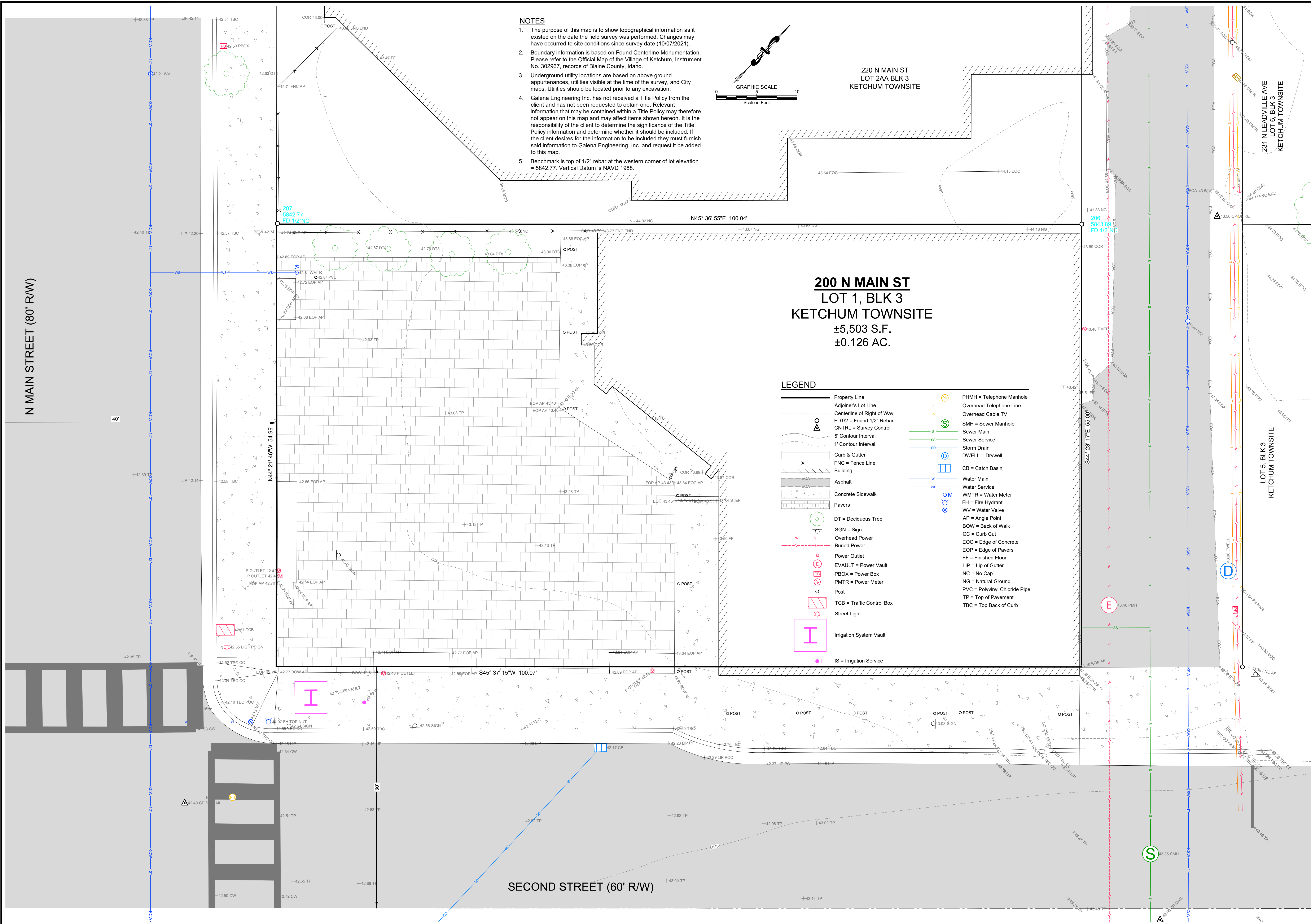
PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO. DATE BY REVISIONS

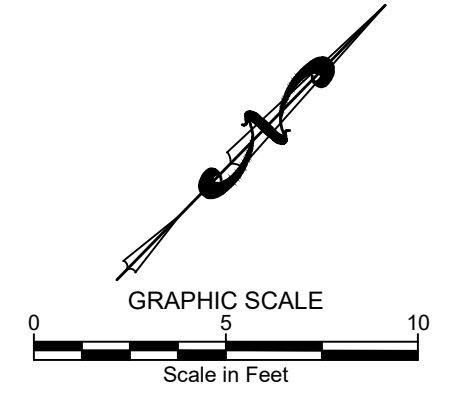
NO.	DATE	BY	REVISIONS

C0.10

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/07/2021).
 - Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
 - Underground utility locations are based on above ground appearances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of 1/2" rebar at the western corner of lot elevation = 5842.77. Vertical Datum is NAVD 1988.

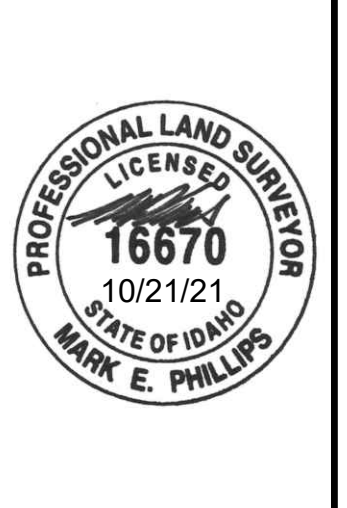


**200 N MAIN ST
LOT 1, BLK 3
KETCHUM TOWNSITE**
±5,503 S.F.
±0.126 AC.

LEGEND

	Property Line		PHMH = Telephone Manhole
	Adjoiner's Lot Line		Overhead Telephone Line
	Centerline of Right of Way		Overhead Cable TV
	FD1/2 = Found 1/2" Rebar		SMH = Sewer Manhole
	CNTRL = Survey Control		Sewer Service
	5' Contour Interval		Storm Drain
	1' Contour Interval		DWELL = Drywell
	Curb & Gutter		CB = Catch Basin
	FNC = Fence Line		Water Main
	Building		Water Service
	Asphalt		WMTR = Water Meter
	Concrete Sidewalk		FH = Fire Hydrant
	Pavers		WV = Water Valve
	DT = Deciduous Tree		AP = Angle Point
	SGN = Sign		BOW = Back of Walk
	Overhead Power		CC = Curb Cut
	Buried Power		EOC = Edge of Concrete
	Power Outlet		EOP = Edge of Pavers
	EVAULT = Power Vault		FF = Finished Floor
	PBOX = Power Box		LIP = Lip of Gutter
	PMTR = Power Meter		NC = No Cap
	Post		NG = Natural Ground
	TCB = Traffic Control Box		PVC = Polyvinyl Chloride Pipe
	Street Light		TP = Top of Pavement
	Irrigation System Vault		TBC = Top Back of Curb
	IS = Irrigation Service		

**A TOPOGRAPHIC MAP SHOWING
200 N MAIN ST, LOT 1, BLOCK 3, KETCHUM TOWNSITE**
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN, LLC

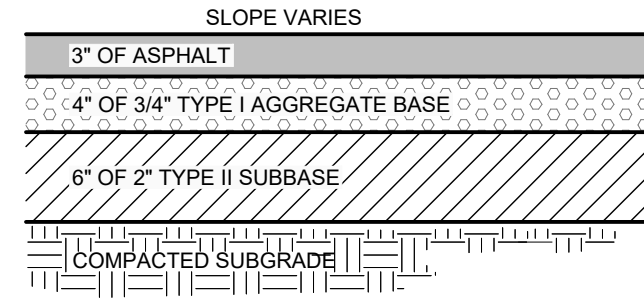


DESIGNED BY
IDV
DRAWN BY
SMF/MEP
CHECKED BY

**GALENA
ENGINEERING, INC.**
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 768-1705
email: galena@galena-engineering.com

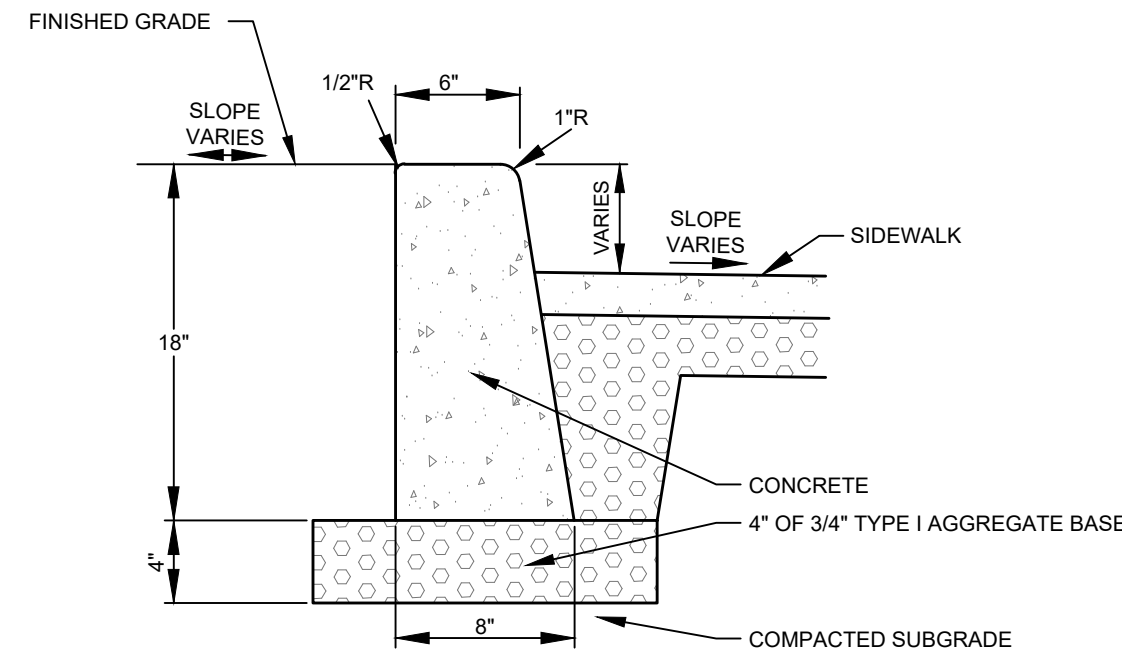
PURPOSE:	REVISIONS	
NO.	DATE	BY

C0.20



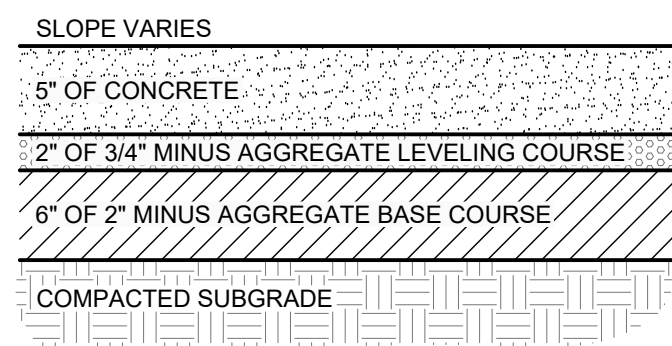
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1 TYPICAL ASPHALT SECTION
N.T.S.



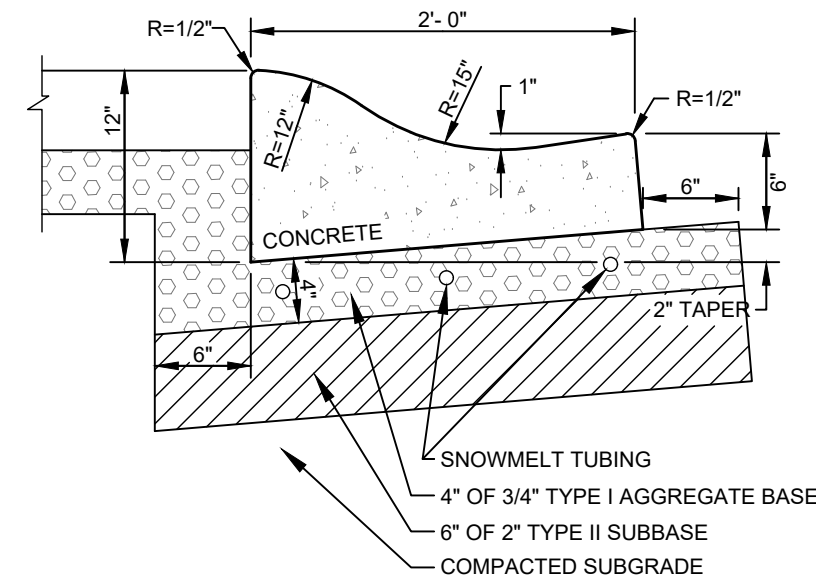
- NOTES:**
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 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

4 CONCRETE VERTICAL CURB
N.T.S.



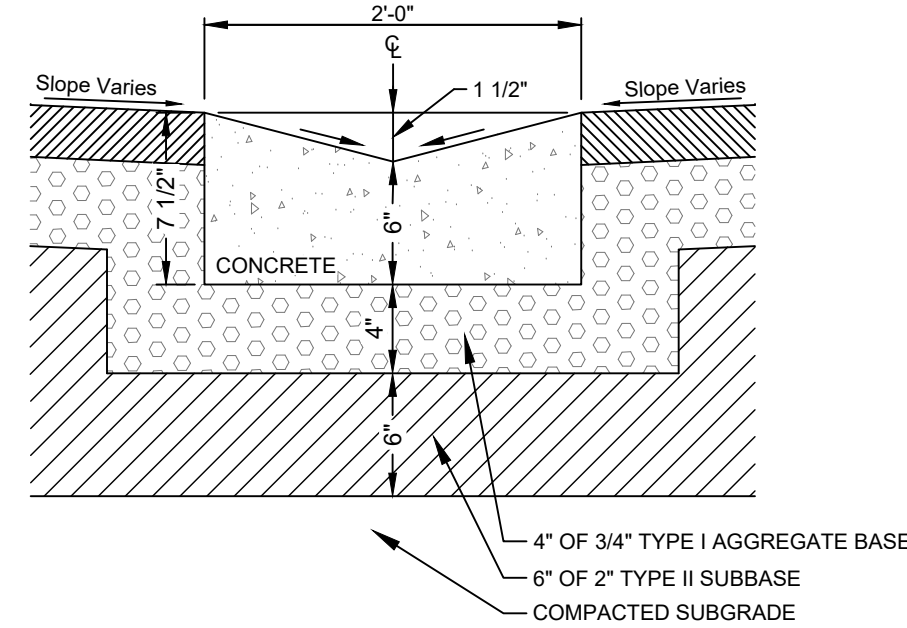
- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE 1/2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 3/8" WIDE, 3/4" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE BACK OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

8 TYPICAL CONCRETE SECTION #2
N.T.S.



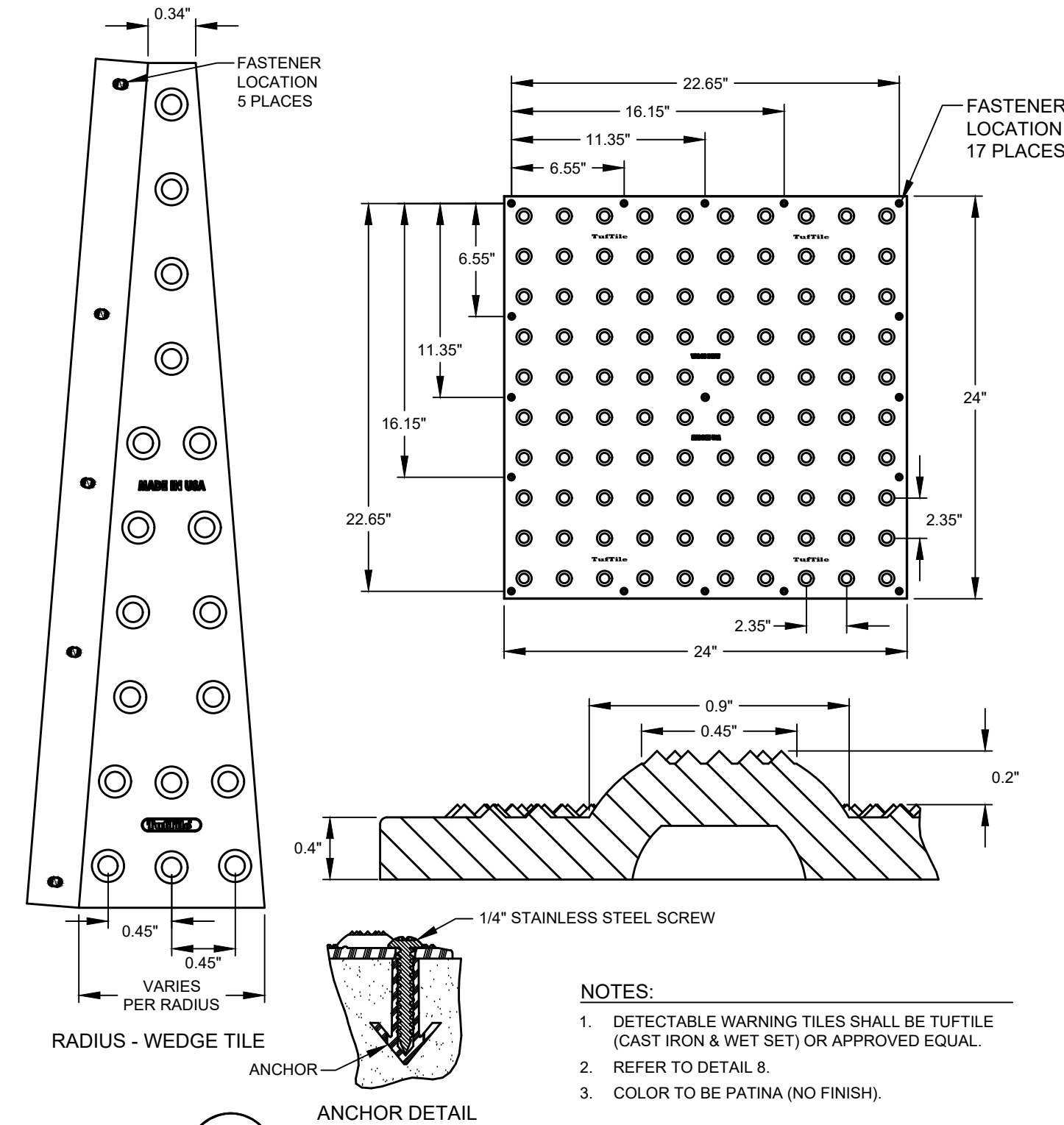
- NOTES:**
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 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

2 HEATED 6" CONCRETE ROLLED CURB & GUTTER
N.T.S.



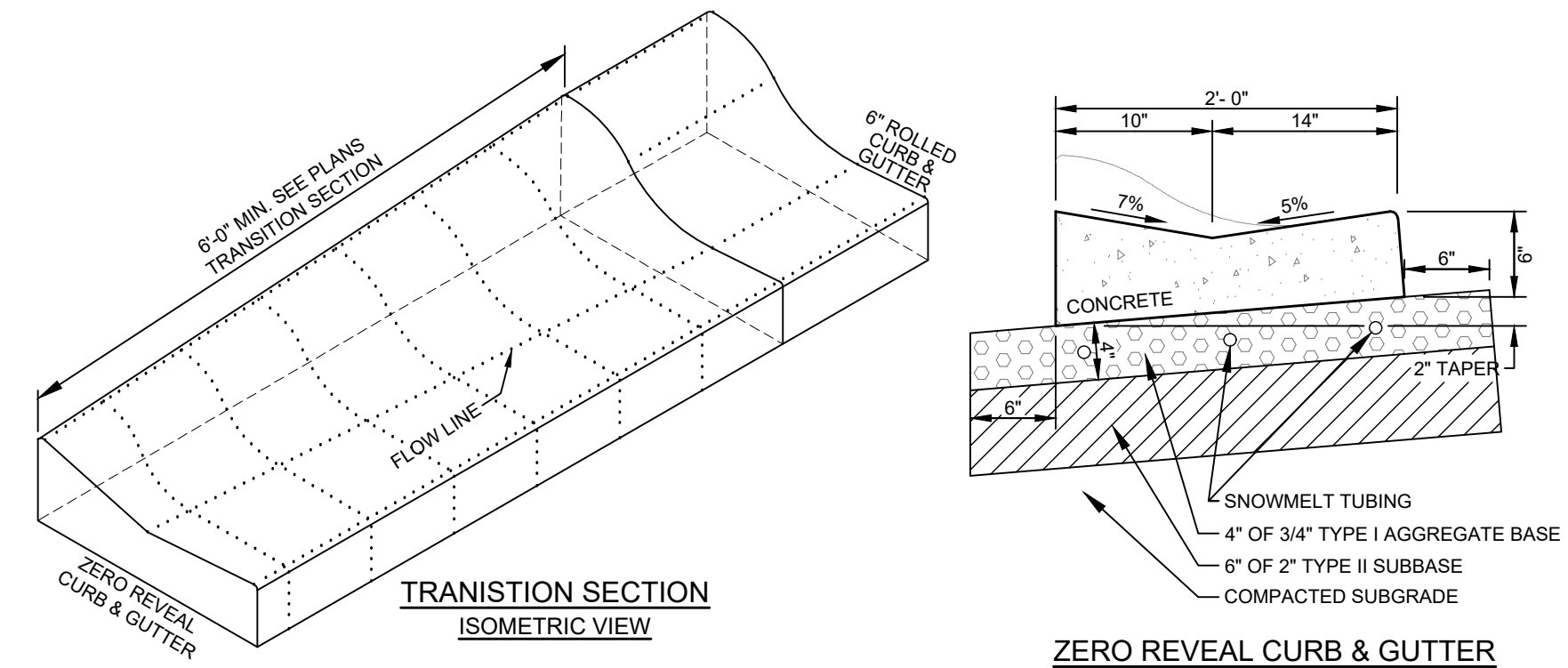
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 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

5 24" WIDE CONCRETE VALLEY GUTTER
N.T.S.



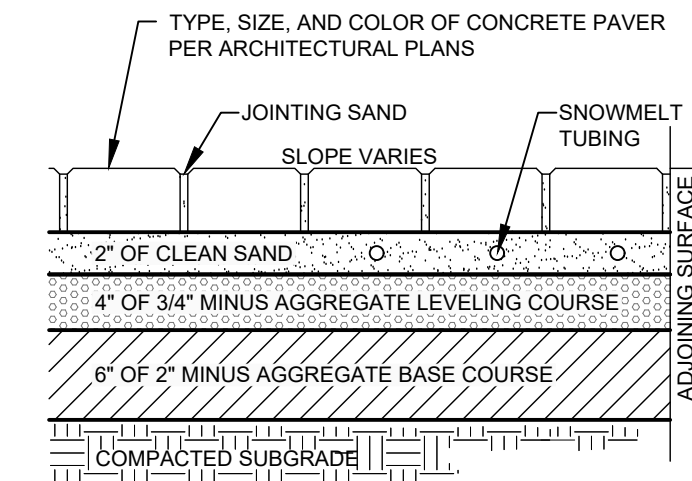
- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTLE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

9 DETECTABLE WARNING PLATE
N.T.S.

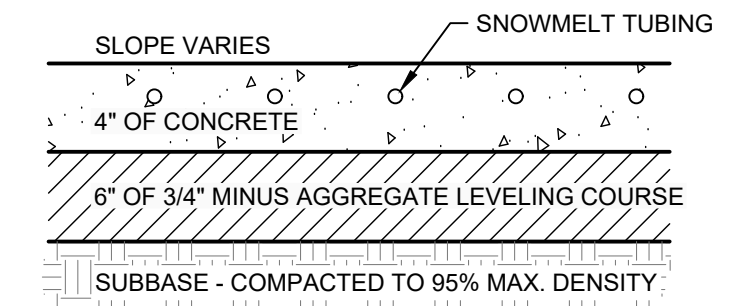


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

3 TYPICAL HEATED ROLLED CURB TRANSITION DETAIL
N.T.S.

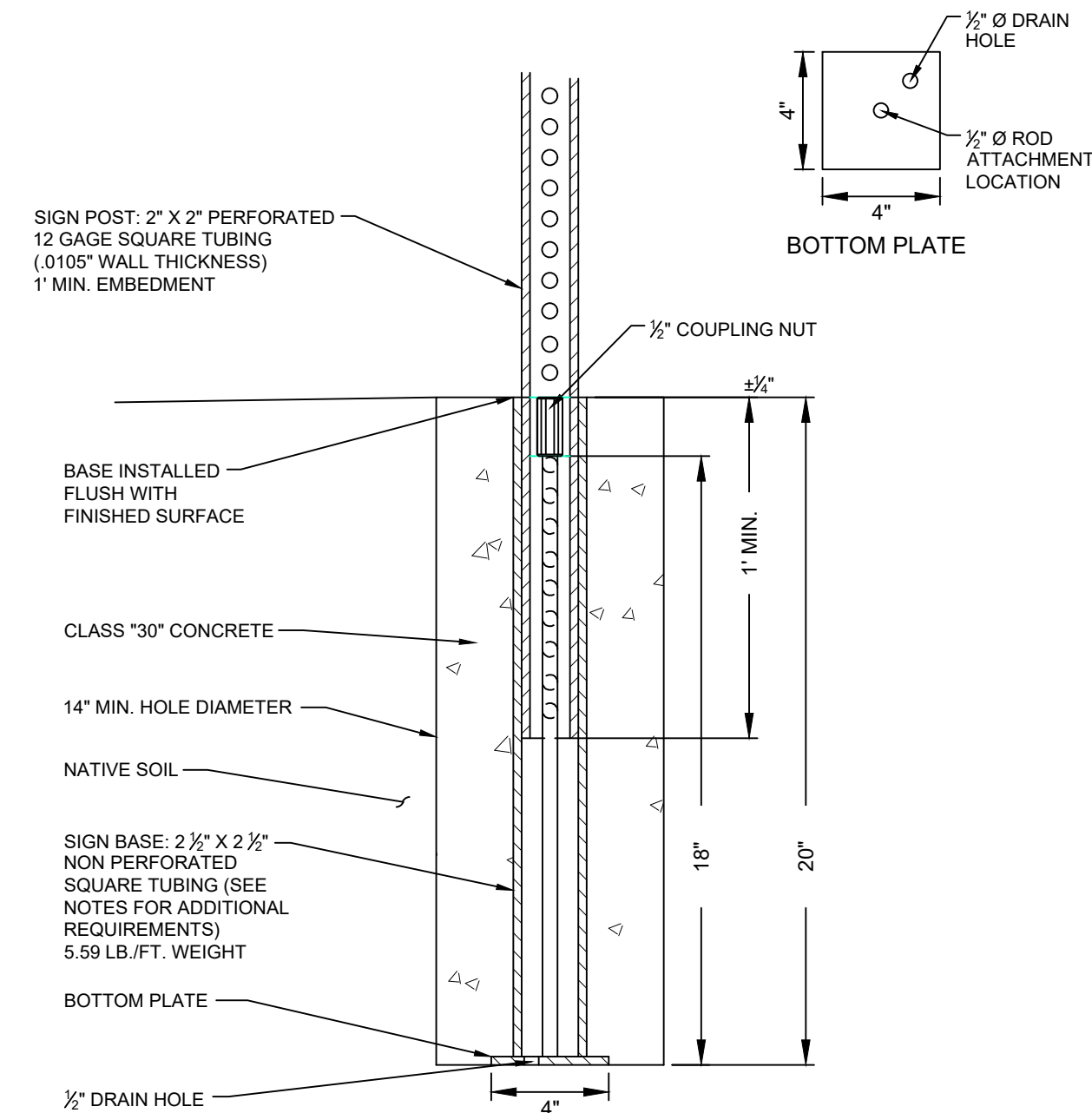


6 HEATED PAVER DETAIL
N.T.S.



- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPMC SPECIFICATIONS.
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

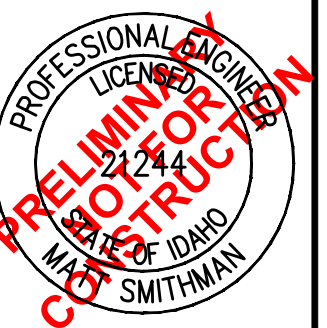
7 TYPICAL CONCRETE SECTION #1 (HEATED)
N.T.S.



- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

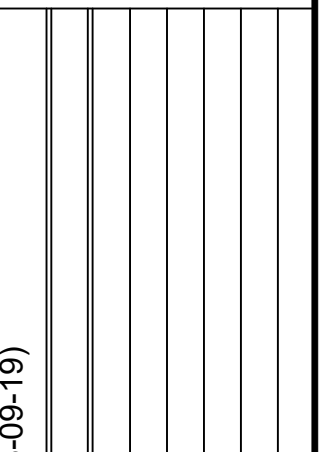
SIGN BASE MATERIAL & DIMENSION REQUIREMENTS	
2 1/2" OUTSIDE TUBE STEEL (20" LENGTH)	
2 1/2" INSIDE TUBE STEEL	
3/4" THICK	
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS	
1/2" COLD ROLLED ROD (18" LENGTH)	
1/2" COUPLING NUTS	
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS	
4" X 4" X 1/2" STEEL STRAP	

10 TYPICAL SIGN BASE
N.T.S.



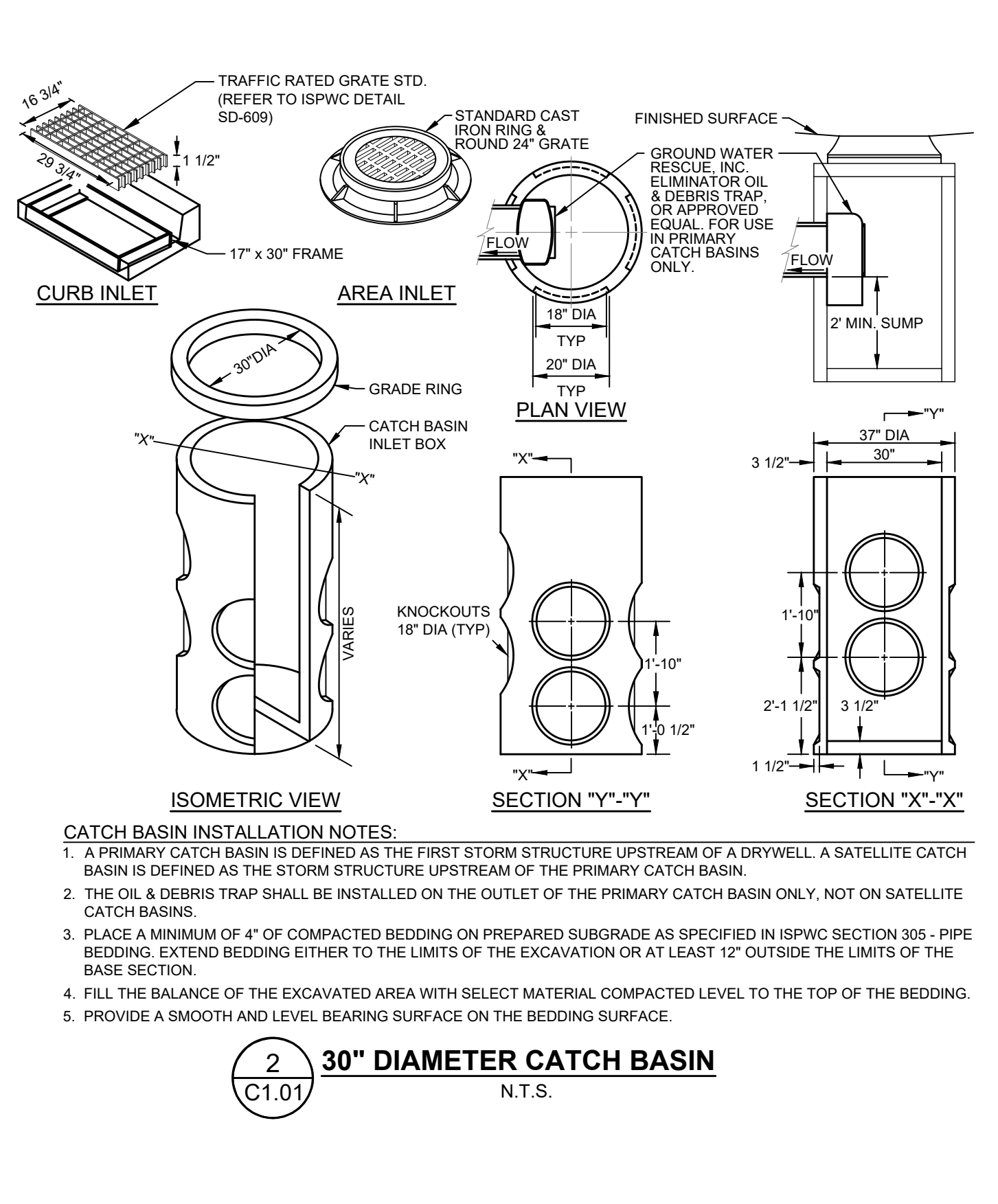
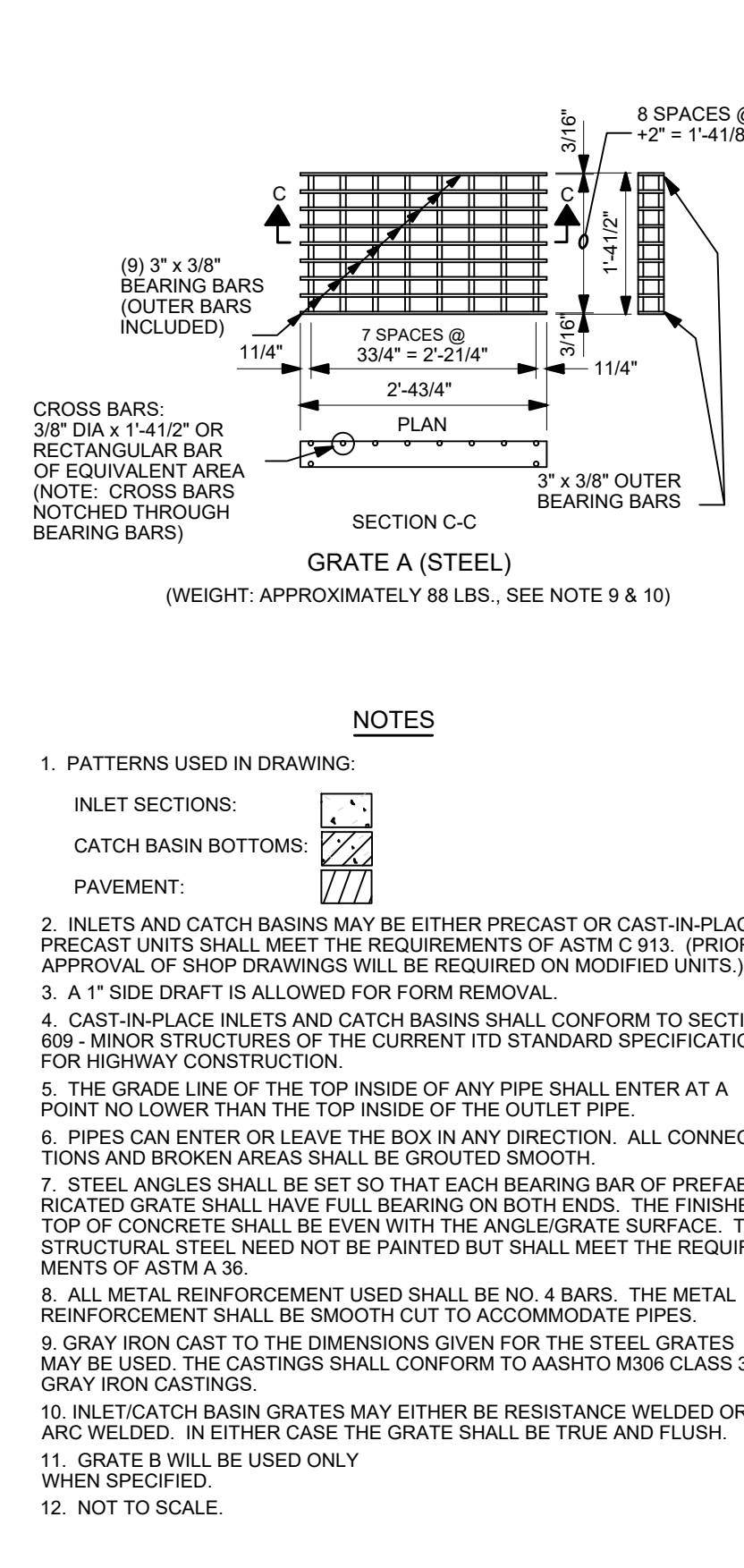
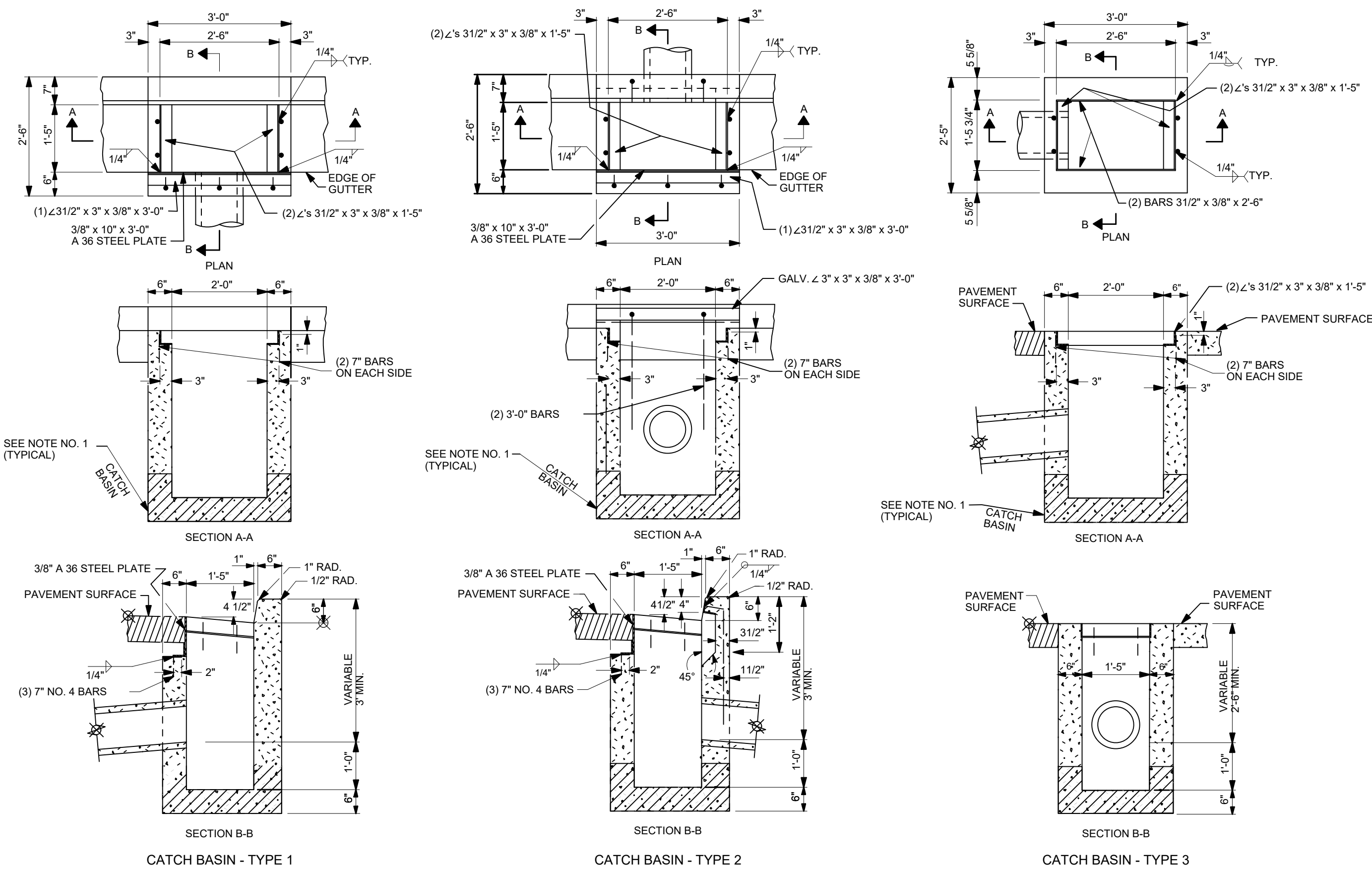
DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

GALENA - BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 133
Ketchum, Idaho 83340
(208) 726-9512
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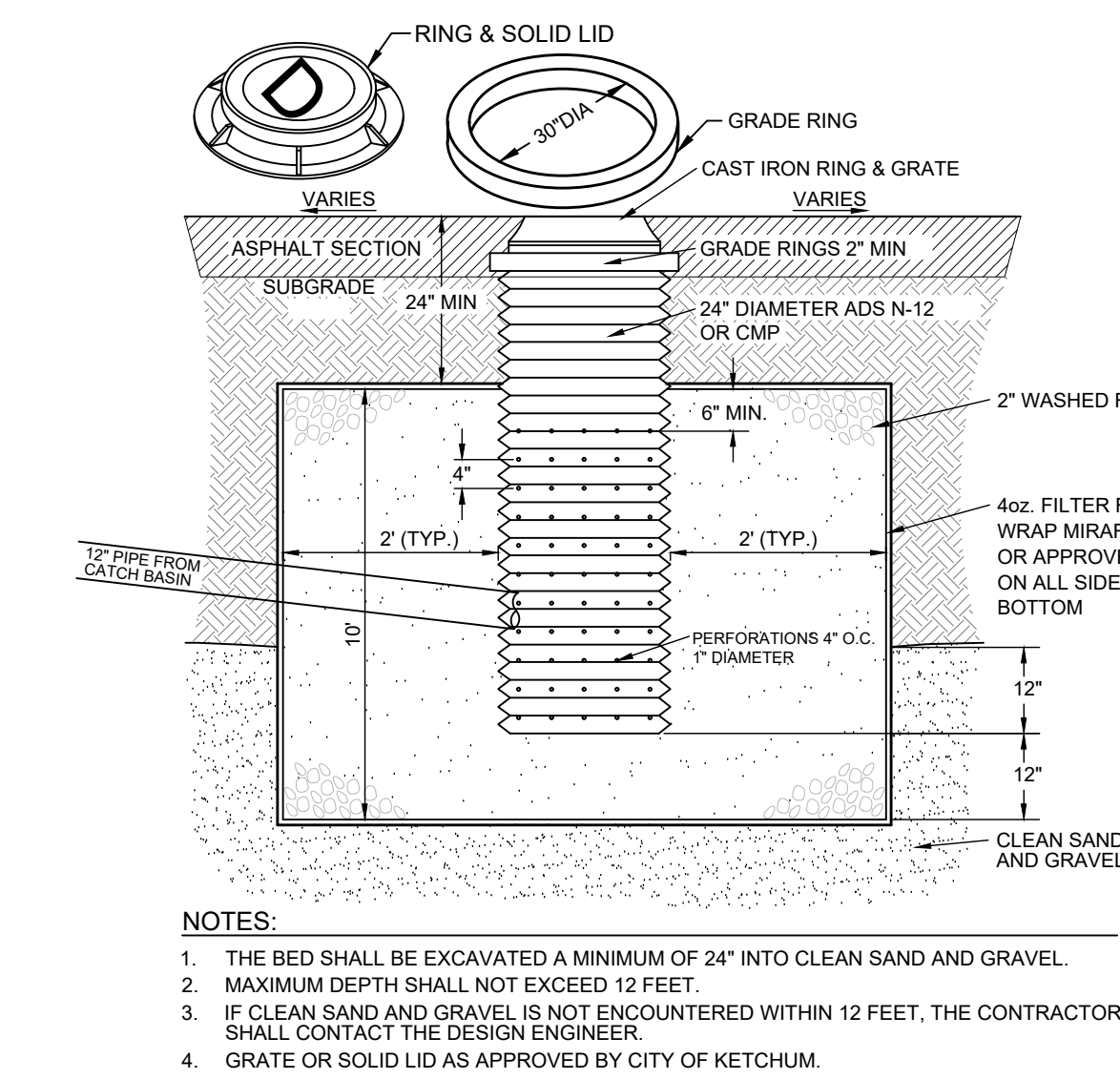
PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS



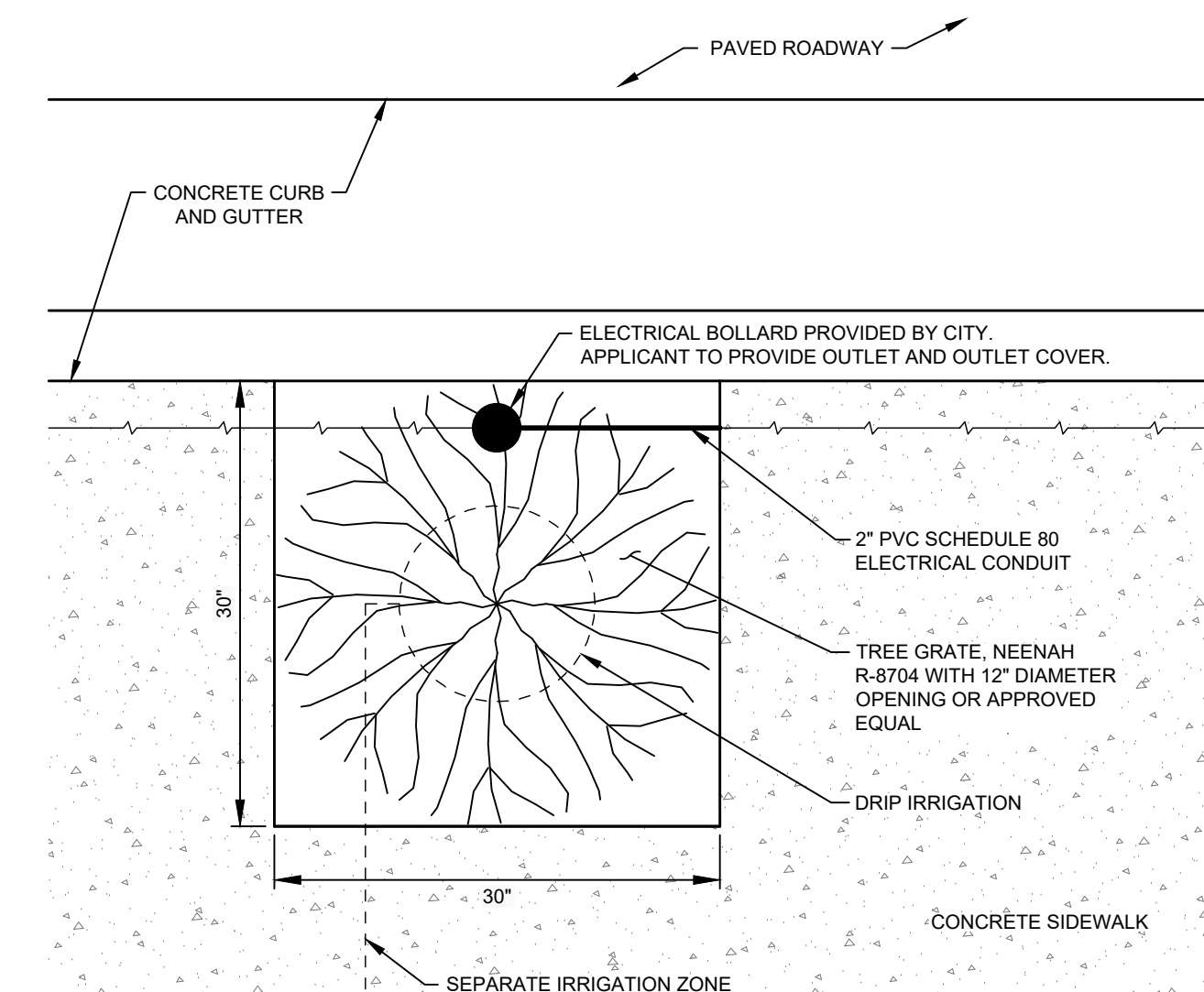
1
C1.01

IDAHO DEPARTMENT OF TRANSPORTATION
CATCH BASINS TYPES 1, 2, & 3
STANDARD DRAWING NO. 605-20
N.T.S.



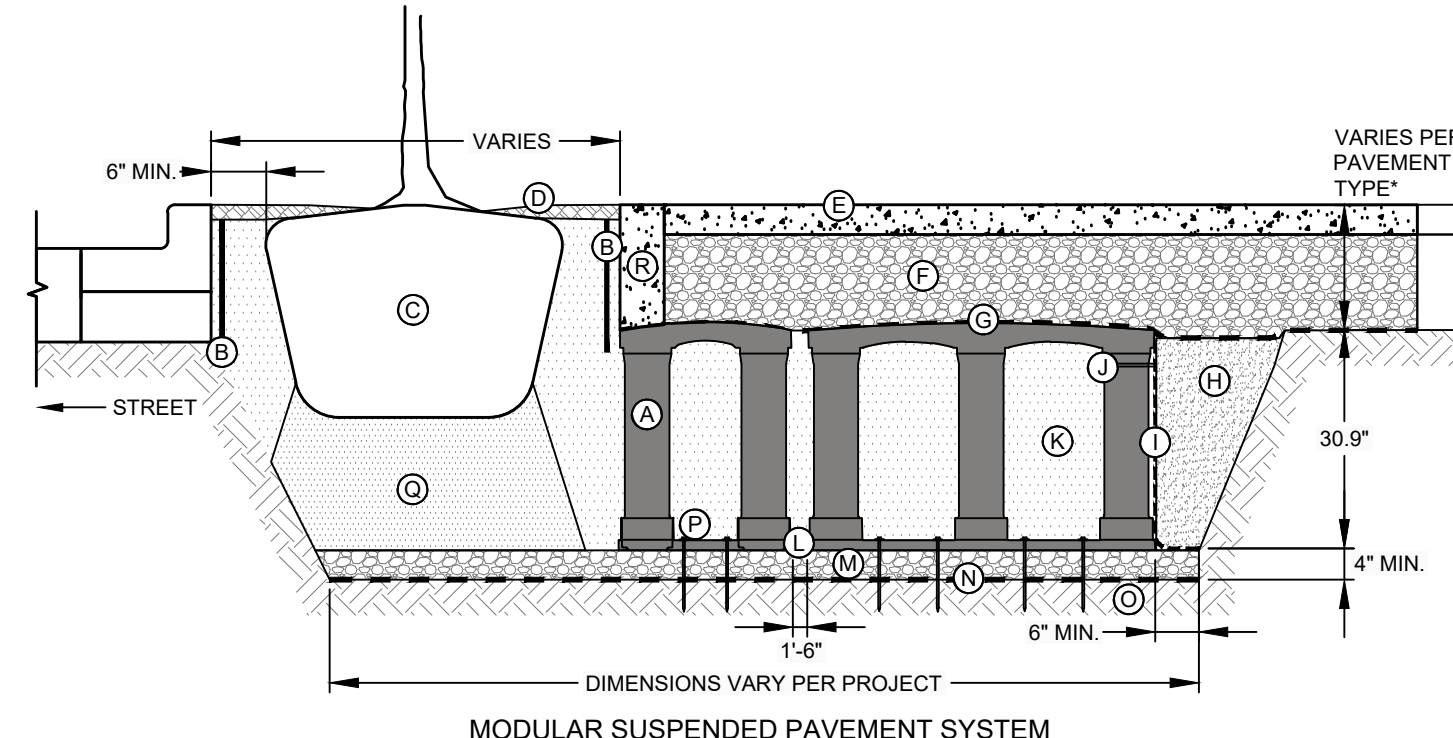
3
C1.01

DRYWELL DETAIL (6" Ø)
N.T.S.



4
C1.01

TREE WELL DETAILS
N.T.S.



KEY PLAN:

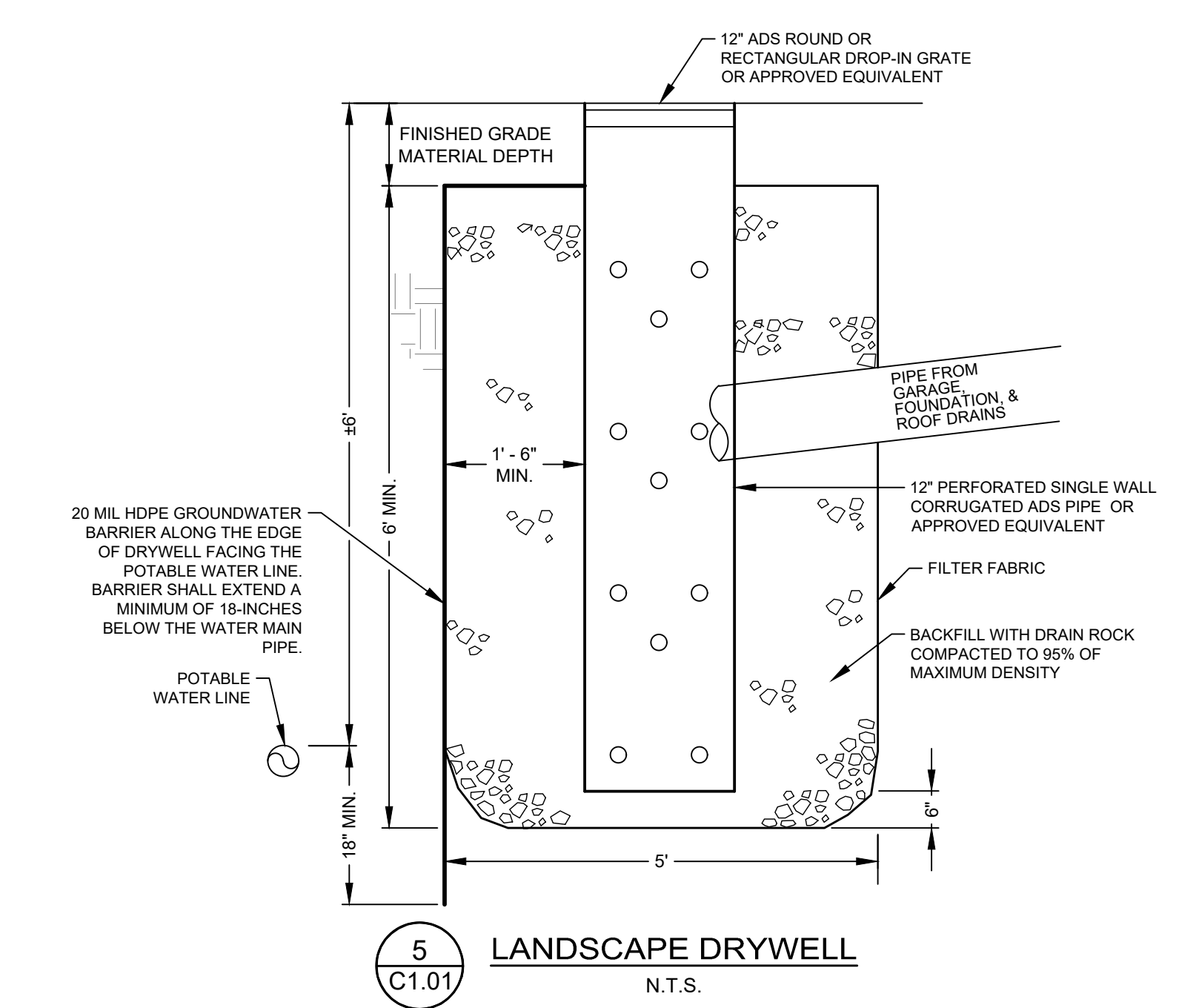
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
- B. DEEPROOT ROOT BARRIER, 12" OR 18" DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
- C. TREE ROOT PACKAGE, SIZE VARIES.
- D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS.
- E. SURFACE TREATMENT, PER PROJECT.
- F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT.
- G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK.
- H. BACKFILL, PER PROJECT SPECIFICATIONS.
- I. GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
- J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
- K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR.
- L. SILVA CELL BASE SLOPE, 10% MAX.
- M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR.
- N. GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE.
- O. SUBGRADE, COMPACTED TO 95% PROCTOR.
- P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
- Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR.
- R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING

PAVEMENT	BASE COURSE
4" CONCRETE	+ 4" AGGREGATE
3" PAVER	+ 12" AGGREGATE
4" ASPHALT	+ 12" AGGREGATE
2.6" PAVER	+ 5" CONCRETE

NOTES:

- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



5
C1.01

LANDSCAPE DRYWELL
N.T.S.

DETAIL SHEET
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
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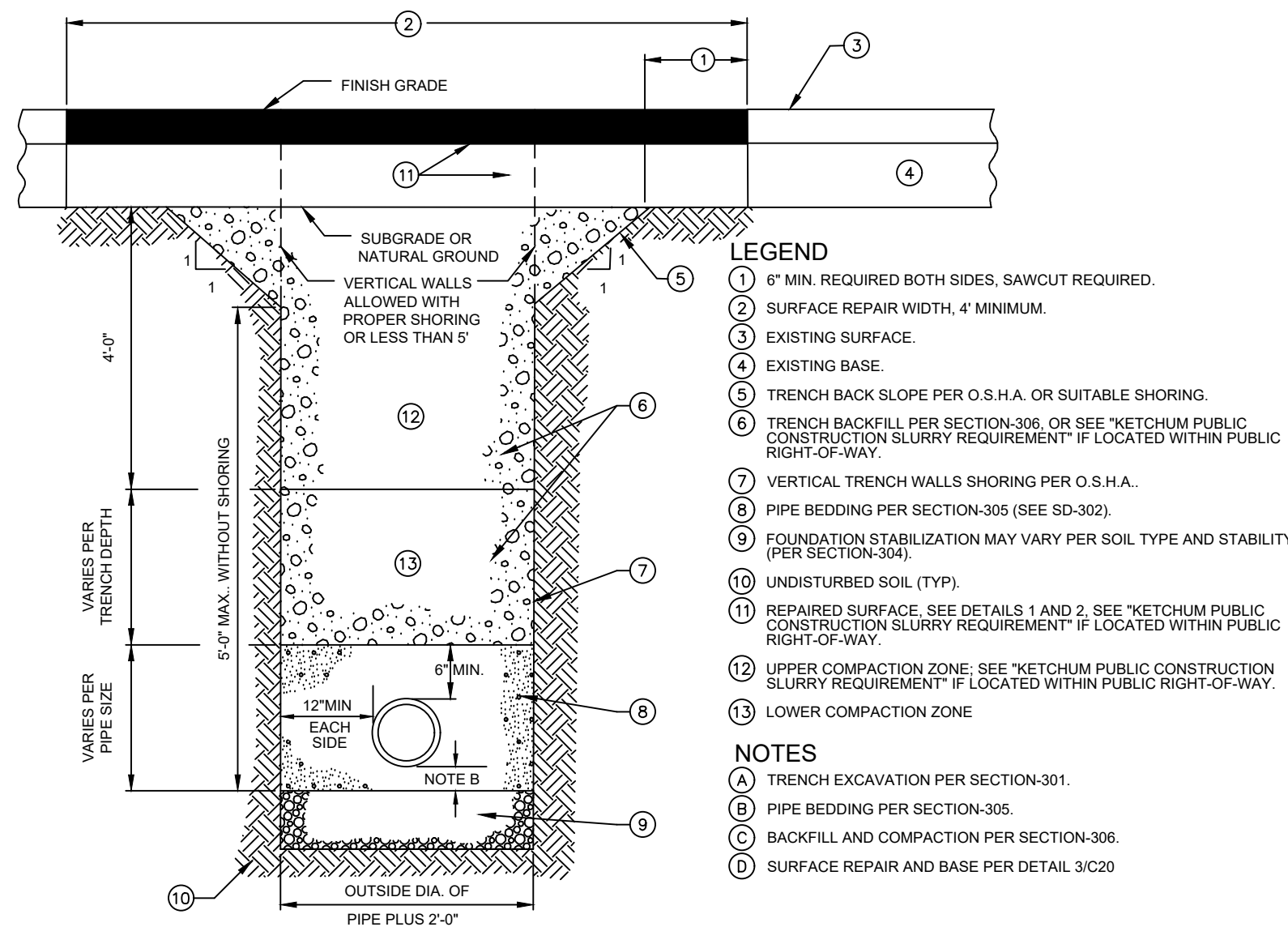
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PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

C1.01



- LEGEND**
- 1 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
 - 2 SURFACE REPAIR WIDTH, 4' MINIMUM.
 - 3 EXISTING SURFACE.
 - 4 EXISTING BASE.
 - 5 TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - 6 TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 7 VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - 8 PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - 9 FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - 10 UNDISTURBED SOIL (TYP).
 - 11 REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 12 UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 13 LOWER COMPACTION ZONE.
- NOTES**
- 1) TRENCH EXCAVATION PER SECTION-301.
 - 2) PIPE BEDDING PER SECTION-305.
 - 3) BACKFILL AND COMPACTION PER SECTION-306.
 - 4) SURFACE REPAIR AND BASE PER DETAIL 3/C20.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

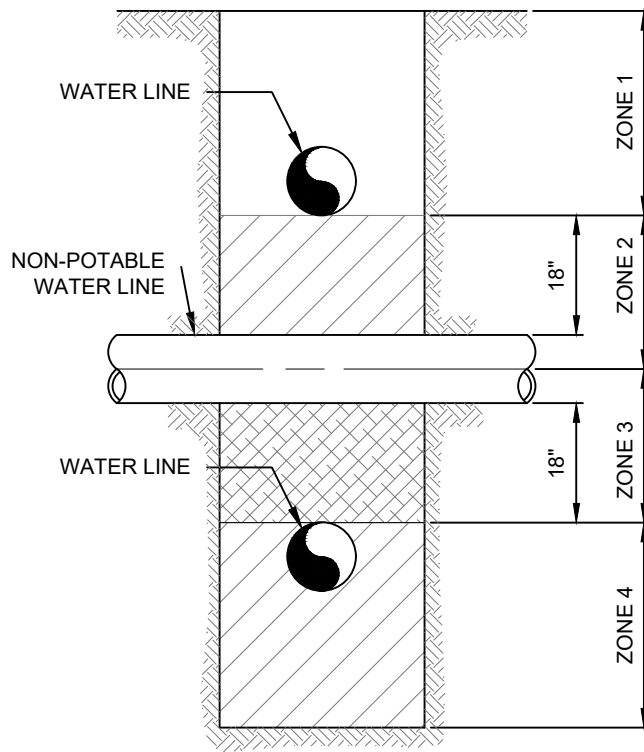
COARSE AGGREGATE (1/2" MINUS)	2,600 LBS.
SAND	800 LBS.
PORTLAND CEMENT	94 LBS.
WATER	11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

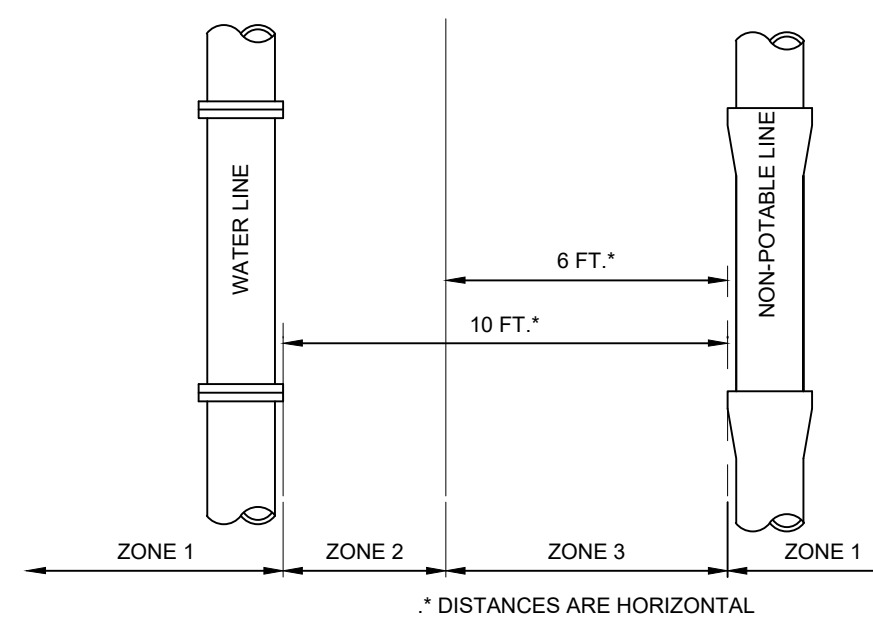
NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

1
C1.02
TYPICAL TRENCH SECTION
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



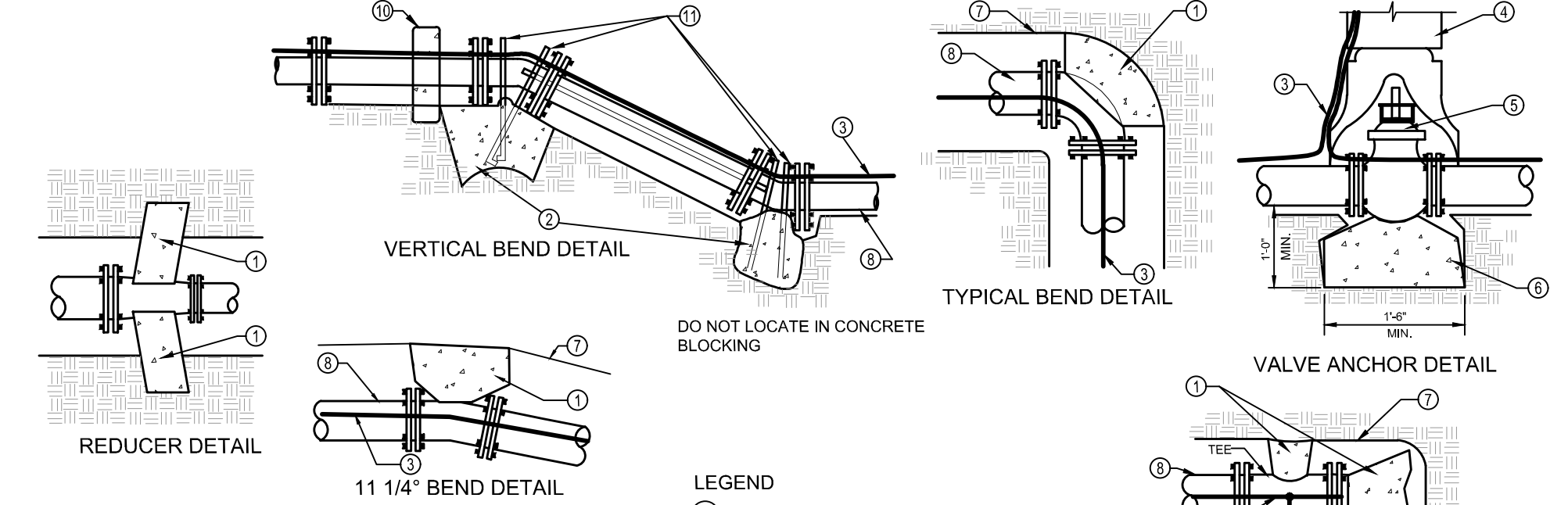
- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR
- ZONE 3: C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

2
C1.02
POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.



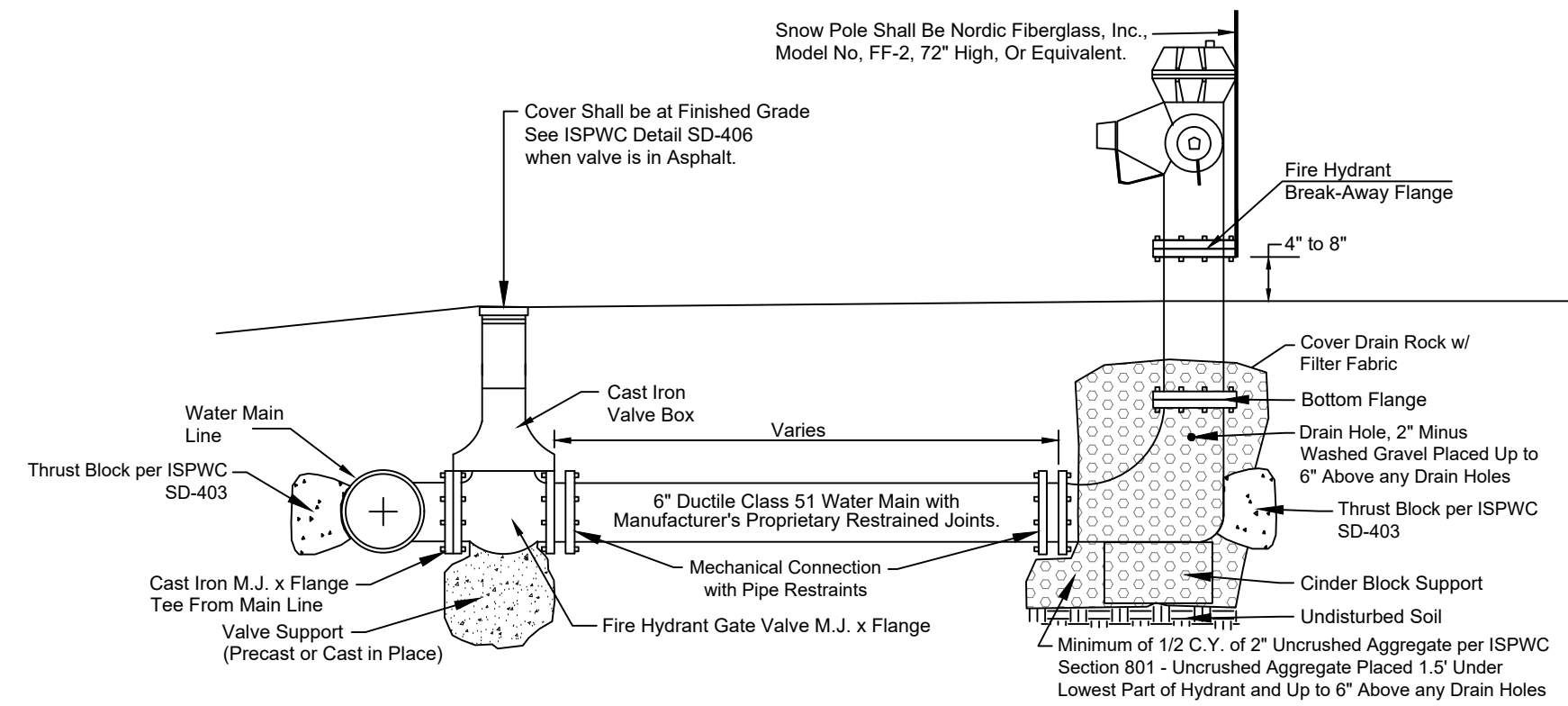
**TABLE 1
THRUST AREA FOR HORIZONTAL BENDS*****

PIPE SIZE	MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH**			
	TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH)
 ** OR TEE ACTING AS A 90° BEND
 *** THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

- LEGEND**
- 1 FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
 - 2 FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
 - 3 NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
 - 4 C.I. VALVE BOX WITH COVER.
 - 5 C.I. GATE VALVE (M.J.).
 - 6 PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN REBAR.
 - 7 TRENCH SIDE.
 - 8 PIPE.
 - 9 PLUG.
 - 10 HAMMERHEAD THRUST BLOCKING.
 - 11 ANCHOR BARS (1/2" MIN)

3
C1.02
THRUST BLOCK AND ANCHOR DETAILS
N.T.S.



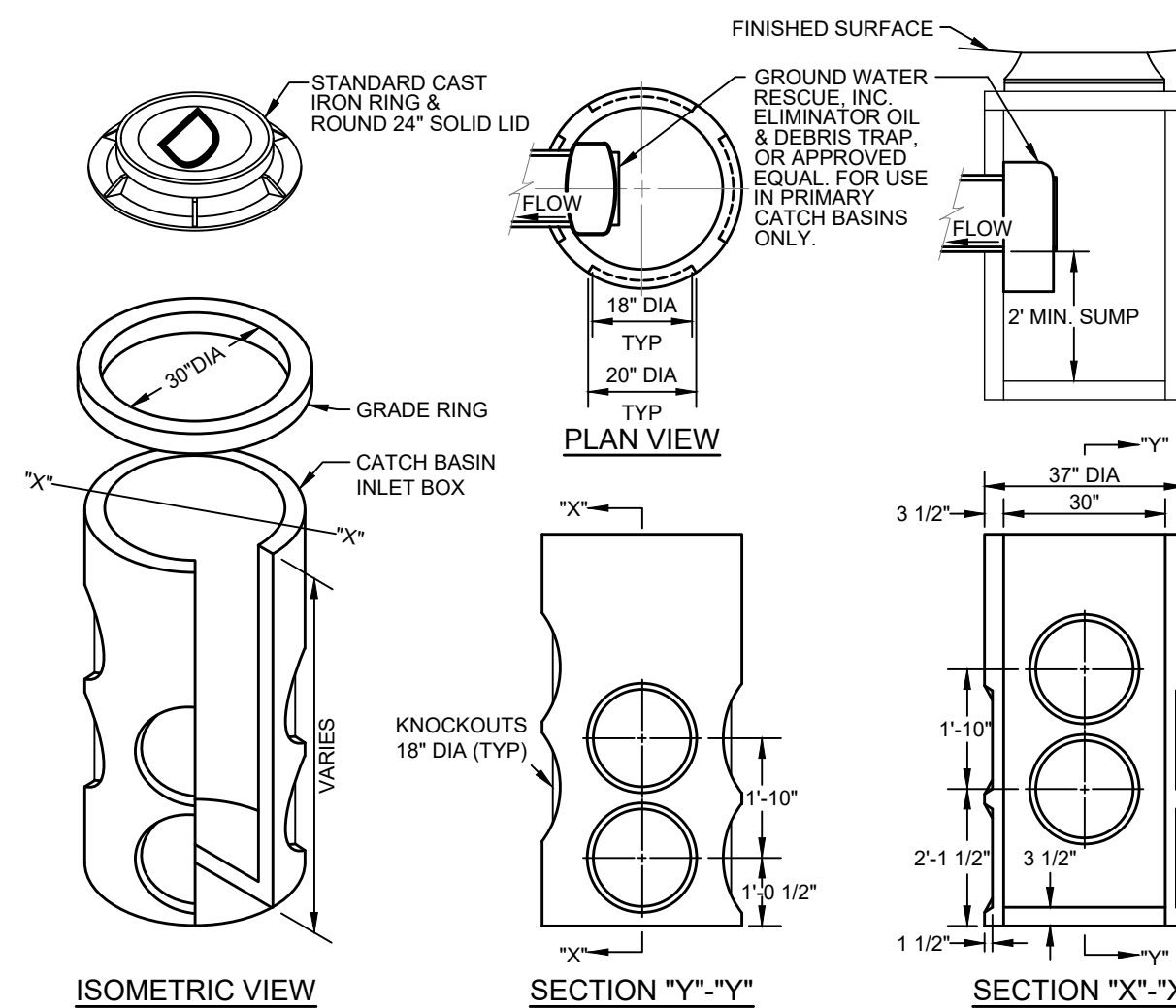
TYPICAL SECTION, FIRE HYDRANT ASSEMBLY
N.T.S.

- NOTES**
1. Hydrants shall have a 6' foot bury.
 2. Hydrants shall be Waterloo Pacer Model WB-67U-250 or Mueller Super Centurion 250 and conform to the following:
 - Traffic "breakaway" design
 - 2 ea. 2-1/2" NST threaded nozzles
 - 1 ea. 4-1/2" NST threaded nozzles
 - Dry Barrel type 6" barrel
 - Red in color
 - Main valve size 5-1/4"
 3. Mechanical Restraints shall be used. Restraints shall be Romac Industries RomaGrip or approved equivalent. No lug or set screw type restraints are to be used on PVC pipe.
 4. City shall approve location and elevation of all Fire Hydrants. Fire Hydrants shall be located at street intersections and at a minimum spacing of 500 feet in residential zones and 450 feet in business and industrial zones. No obstructions shall be placed within 3 feet of the back and 15 feet of the sides and front of Fire Hydrants.
 5. Auxiliary Gate Valve shall meet AWWA C509 (Total rubber encapsulated, resilient seat, waterous series or approved equal).
 6. Valve Box shall be Tyler 664A or approved equal.
 7. Hydrant break away flange elevation equal to street centerline or 4" to 6" above finished grade as approved.
 8. Fire hydrant assemblies located on the opposite side of the roadway from the watermain shall have 2" Dow Board installed over the pipeline leading to the hydrant. The Dow Board shall extend from auxiliary gate valve to the hydrant.
 9. The final number and placement of fire hydrants shall be reviewed and approved by the Sun Valley Fire Department.
 10. Mechanical restraints on PVC pipe are not acceptable in lieu of concrete thrust blocks.

HYDRANT VEHICULAR PROTECTION
 Fire hydrants which may be exposed to vehicular damage or obstruction shall have an approved array of bollards or guard post installed to protect them from damage and maintain the minimum diameter required for proper operation.

- When they are installed, they shall be:
- Constructed of steel not less than (4) inches in diameter and concrete filled.
 - Spaced not more than four (4) feet between posts on center.
 - Set not less than three (3) feet deep in a concrete footing not less than (15) inches in diameter.
 - Set with the top of the posts not less than (3) feet above the ground.
 - The post shall be painted bright red, reflective markings are recommended.
 - Located at least three feet from any portion of the hydrant and located so as not to create an obstruction to its use.

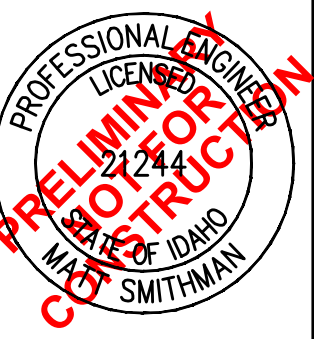
4
C1.02
FIRE HYDRANT DETAIL
N.T.S.



- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL, A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C1.02
30" DIAMETER STORM DRAIN MANHOLE
N.T.S.

DETAIL SHEET
200 N. MAIN STREET
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS



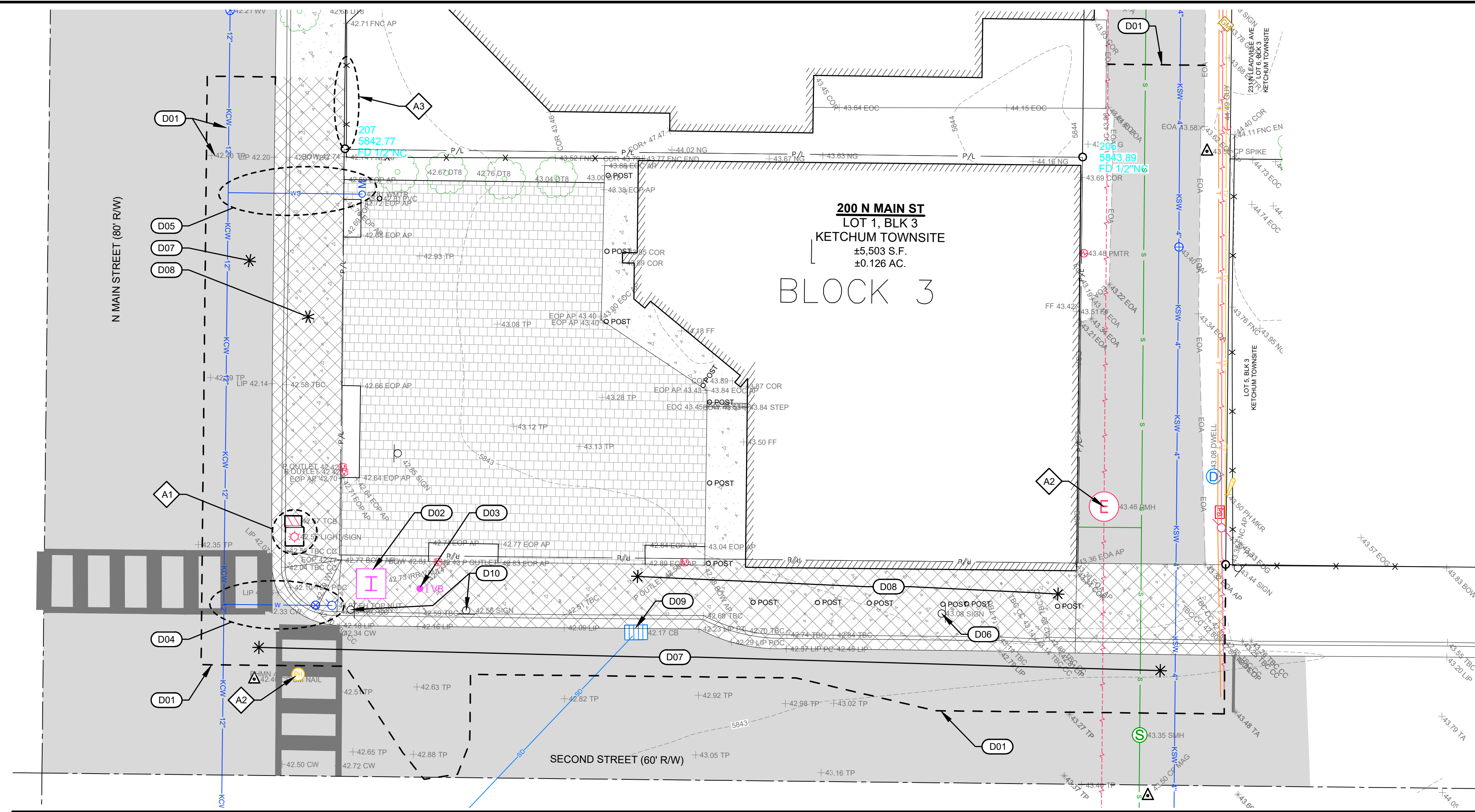
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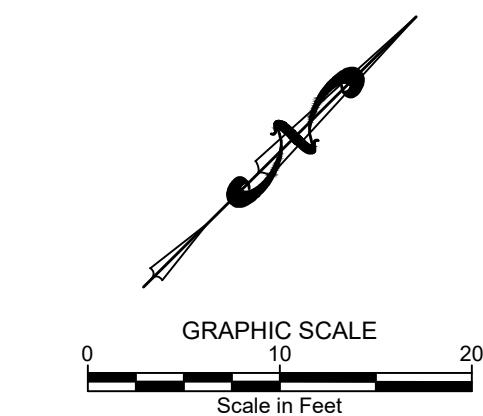
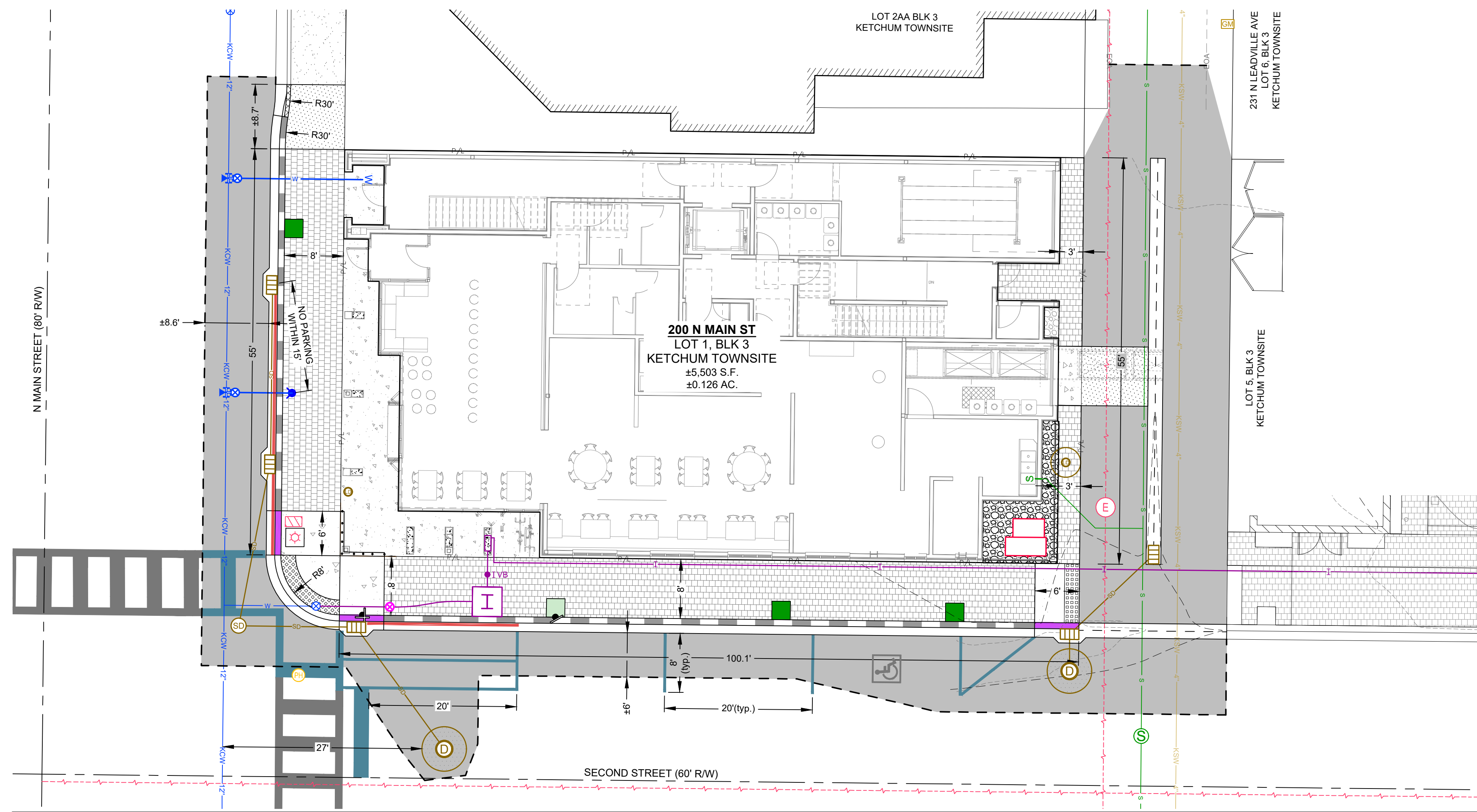
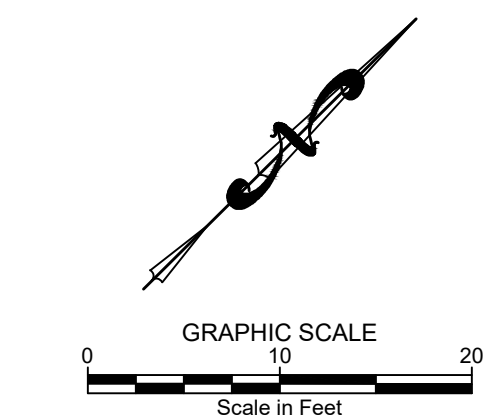
NO.	DATE	BY	REVISIONS

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)
 C1.02

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

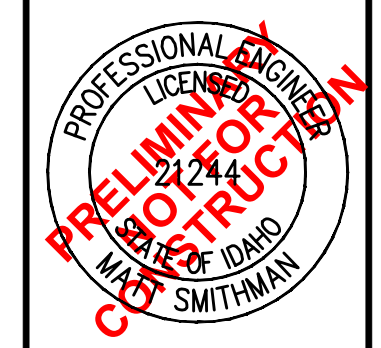


- OFF-SITE DEMOLITION KEY NOTES****
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 RELOCATE IRRIGATION VAULT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - LVB RELOCATE IRRIGATION SERVICE VALVE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D04 RELOCATE FIRE HYDRANT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - W D05 CLOSE CORPORATION STOP AT WATER MAIN AND DISCONNECT EXISTING WATER SERVICE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D06 REMOVE SIGN AND RETURN TO CITY.
 - D07 REMOVE AND DISPOSE OF ASPHALT.
 - D08 REMOVE AND DISPOSE OF CONCRETE.
 - D09 REMOVE AND DISPOSE OF CATCH BASIN. CUT AND CAP STORM DRAIN PIPE.
 - D10 REMOVE AND RETAIN SIGN.
- **EVERYTHING ON-SITE WILL BE REMOVED.**
- A RETAIN AND PROTECT
 1. STREET LIGHT AND POWER HANDHOLE
 2. UTILITY VAULT
 3. FENCE



DEMOLITION AND SITE GEOMETRY PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS



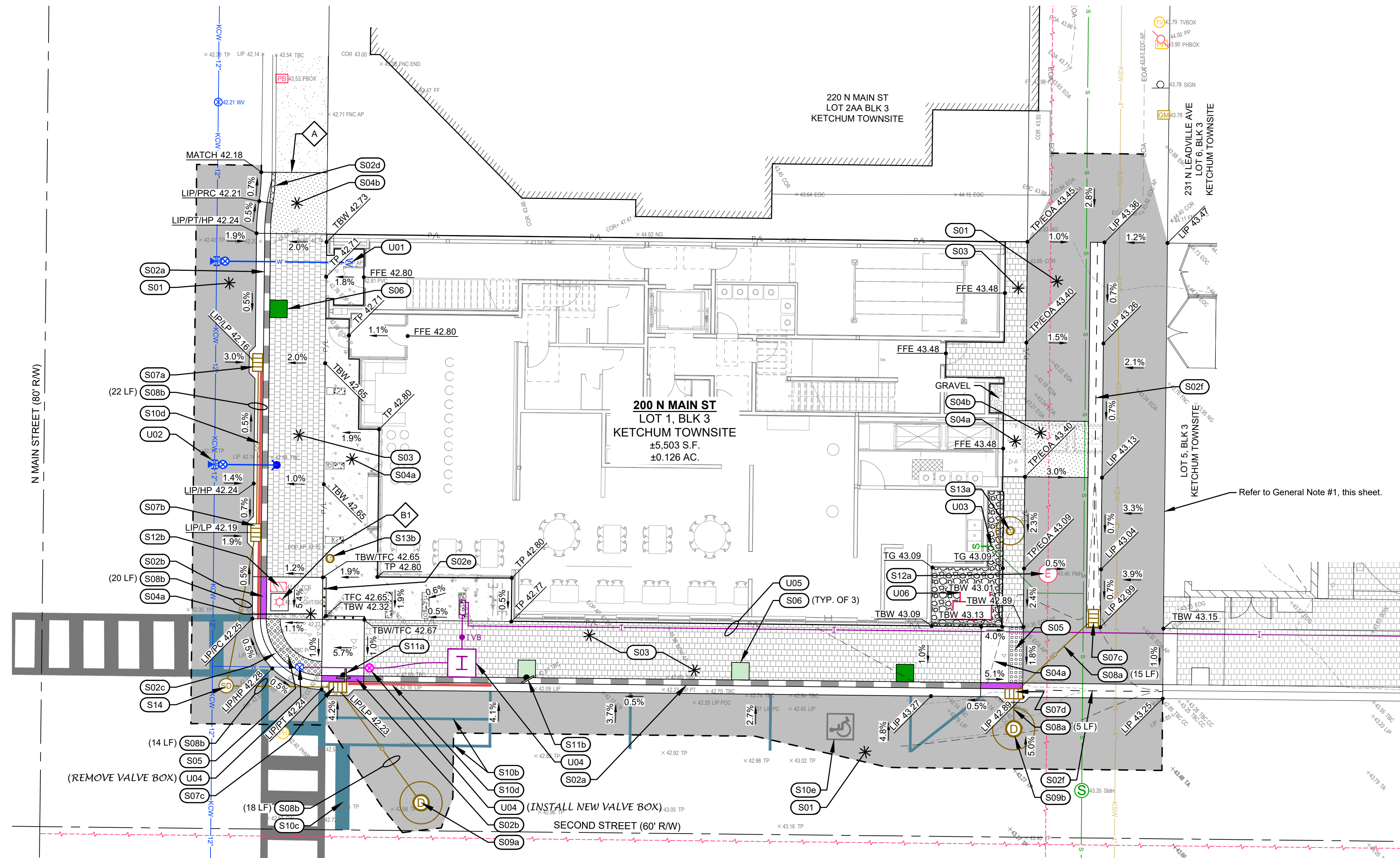
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Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, ID 83440
(208) 726-9512
www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

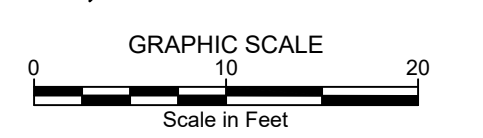


- ### UTILITY IMPROVEMENT KEY NOTES
- U01** INSTALL 6" WATER SERVICE LINE STAINLESS STEEL TAPPING SADDLE GATE VALVE
W/ THRUST BLOCKS
SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING.
COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U02** INSTALL FIRE HYDRANT WITH MOUNTAIN EXTENSION.
12"x6" STAINLESS STEEL TAPPING SADDLE
8" GATE VALVE
W/ THRUST BLOCKS
#9 LF OF 6" PVC C-900 WATER MAIN PIPE
SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING, & 4 / C1.02 FOR FIRE HYDRANT DETAIL.
COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U03** UTILIZE EXISTING 4" SEWER SERVICE.
 - U04** INSTALL IRRIGATION VAULT (MATCH EXISTING RECTANGULAR VAULT REMOVED AT DEMOLITION).
- CONNECT TO EXISTING 6" WATER LINE THAT SUPPLIED THE REMOVED FIRE HYDRANT (SEE DEMOLITION PLAN). ENSURE VALVE IS TURNED ON AND REMOVE ORIGINAL VALVE BOX.
INSTALL NEW 6" GATE IN FLAT AREA OF PAVEMENT SIDEWALK.
- IRRIGATION VALVE BOX
- BACKFLOW PREVENTION DEVICE. REFER TO LANDSCAPE PLANS FOR PLACEMENT.
COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
RIM = 5842.68
 - U05** INSTALL IRRIGATION LINE (SIZE AND FINAL LOCATION BY THE CITY OF KETCHUM).
COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U06** INSTALL POWER TRANSFORMER. SEE ELECTRICAL AND ARCHITECT PLAN FOR DETAILS.

- ### ABBREVIATIONS:
- EOA = EDGE OF ASPHALT
 - FF = FINISHED FLOOR
 - FFE = FINISHED FLOOR AT ENTRY
 - FG = FINISHED GRADE
 - GFEE = GARAGE FINISHED FLOOR AT ENTRY
 - HP = HIGH POINT
 - I.E. = INVERT ELEVATION
 - LF = LINEAL FEET
 - LP = LIP OF GUTTER
 - LP = LOW POINT
 - MAX = MAXIMUM
 - MIN = MINIMUM
 - PC = POINT OF CURVATURE
 - PRC = POINT OF REVERSE CURB
 - PT = POINT OF TANGENT
 - TBW = TOP BACK OF WALK
 - TFC = TOP FACE OF CURB
 - TG = TOP OF GRAVEL
 - TYP = TYPICAL

- ### GENERAL NOTES:
1. CONSTRUCTION OF ALLEY RIGHT-OF-WAY IMPROVEMENTS SHALL BE COORDINATED WITH THE LEADVILLE TRADING PROJECT EAST OF THE ALLEY, LOCATED AT 211 N LEADVILLE AVENUE.
 2. CONTRACTOR SHALL COORDINATE WITH THE CITY OF KETCHUM PRIOR TO CONSTRUCTION ACTIVITY FOR ALL RIGHT-OF-WAY IMPROVEMENTS ALONG MAIN STREET.

- ### SITE IMPROVEMENT KEY NOTES
- S01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C1.00.
 - S02** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. HEATED 6" ROLLED C&G. REFER TO DETAIL 2 / C1.00.
 - b. HEATED CURB TRANSITION. REFER TO DETAIL 3 / C1.00.
 - c. HEATED ZERO REVEAL CURB AND GUTTER. REFER TO DETAIL 3 / C1.00.
 - d. CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
 - e. VERTICAL CURB. REFER TO DETAIL 4 / C1.00.
 - f. 24" WIDE VALLEY GUTTER. REFER TO DETAIL 5 / C1.00.
 - S03** CONSTRUCT HEATED PAVEMENT SIDEWALK/PATIO. WIDTH AS SHOWN HEREON. REFER TO DETAIL 6 / C1.00.
 - S04** CONSTRUCT CONCRETE SIDEWALK/SECTION. WIDTH AS SHOWN HEREON.
 - a. CONCRETE SIDEWALK/SECTION #1 (HEATED). REFER TO DETAIL 7 / C1.00.
 - b. CONCRETE SIDEWALK/SECTION #2. REFER TO DETAIL 8 / C1.00.
 - S05** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. REFER TO DETAIL 9 / C1.00.
 - S06** INSTALL TREE AND TREE WELL AS SHOWN HEREON. REFER TO DETAIL 4 / C1.01.
 - S07** INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12".
- ### 10" STANDARD CATCH BASIN.
- REFER TO DETAIL 1 / C1.01.
- a. RIM = 5841.96
I.E.(OUT) = 5838.69
 - b. RIM = 5841.91
I.E.(IN) = 5838.30
I.E.(OUT) = 5838.20
- ### 30" DIAMETER CATCH BASIN.
- REFER TO DETAIL 2 / C1.01.
- c. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT.
RIM = 5842.79
I.E.(OUT) = 5839.79
 - d. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT.
RIM = 5842.69
I.E.(IN) = 5839.49
I.E.(OUT) = 5839.39
- ### INSTALL STORM DRAIN:
- a. 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING AND DETAIL 2 / C1.02 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION.
 - b. 12" PVC WATER QUALITY PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING
- ### DRYWELL:
- a. INSTALL NEW DRYWELL REFER TO DETAIL 3 / C1.01.
RIM = 5842.69
I.E.(IN) = 5837.50
 - b. ASSUMED "EXISTING" DRYWELL PER PROJECT EAST OF ALLEY, OR ELSE NEW DRYWELL PER THIS PROJECT.
RIM = 5842.87
I.E.(IN) = 5839.39
- ### INSTALL ROAD STRIPING / PAINT
- a. WHITE CROSSWALK STRIPING (12" WIDE).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - e. ADA PARKING SYMBOL. MATCH CITY PATTERNS.
- ### RELOCATE SIGNS. REFER TO DETAIL 10 / C1.00 FOR SIGN BASE DETAIL.
- a. STOP & STREET SIGN
 - b. REGULATORY PARKING
- ### RESET UTILITY BOX LID ELEVATION.
- a. POWER VAULT LID
ORIGINAL RIM = 5843.46
NEW RIM = 5843.07
 - b. POWER HANDHOLE
ORIGINAL RIM = 5842.57
NEW RIM = 5842.44
- ### INSTALL LANDSCAPE DRYWELL. CONNECT ROOF DRAINS AND/OR SLOT DRAINS TO DRYWELL. SEE DETAIL 5 / C1.01.
- a. RIM = 5843.16
b. RIM = 5842.66
- ### INSTALL 30" CONCRETE STORM DRAIN MANHOLE. REFER TO DETAIL 5 / C1.02.
- RIM = 5842.38
- A** MATCH EXISTING LINES AND GRADES
 - B** RETAIN AND PROTECT
1. SIGNAL POLE



SITE GRADING, DRAINAGE, AND UTILITY PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
G:\BNA\Ketchum Village\book 3\Lot 1\2023-09-17.dwg 09/05/23 11:55:59 AM

DESIGNED BY: [Signature]

DRAWN BY: CT

CHECKED BY: MS

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PROFESSIONAL ENGINEER
LICENSED IN IDAHO
NO. 24724
DATE OF BIRTH
05/21/1978
NAME OF FIRM
MS SWITMAN

NO.	DATE	BY	REVISIONS

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

C1.20

PLANT SCHEDULE (STREET TREES ONLY)

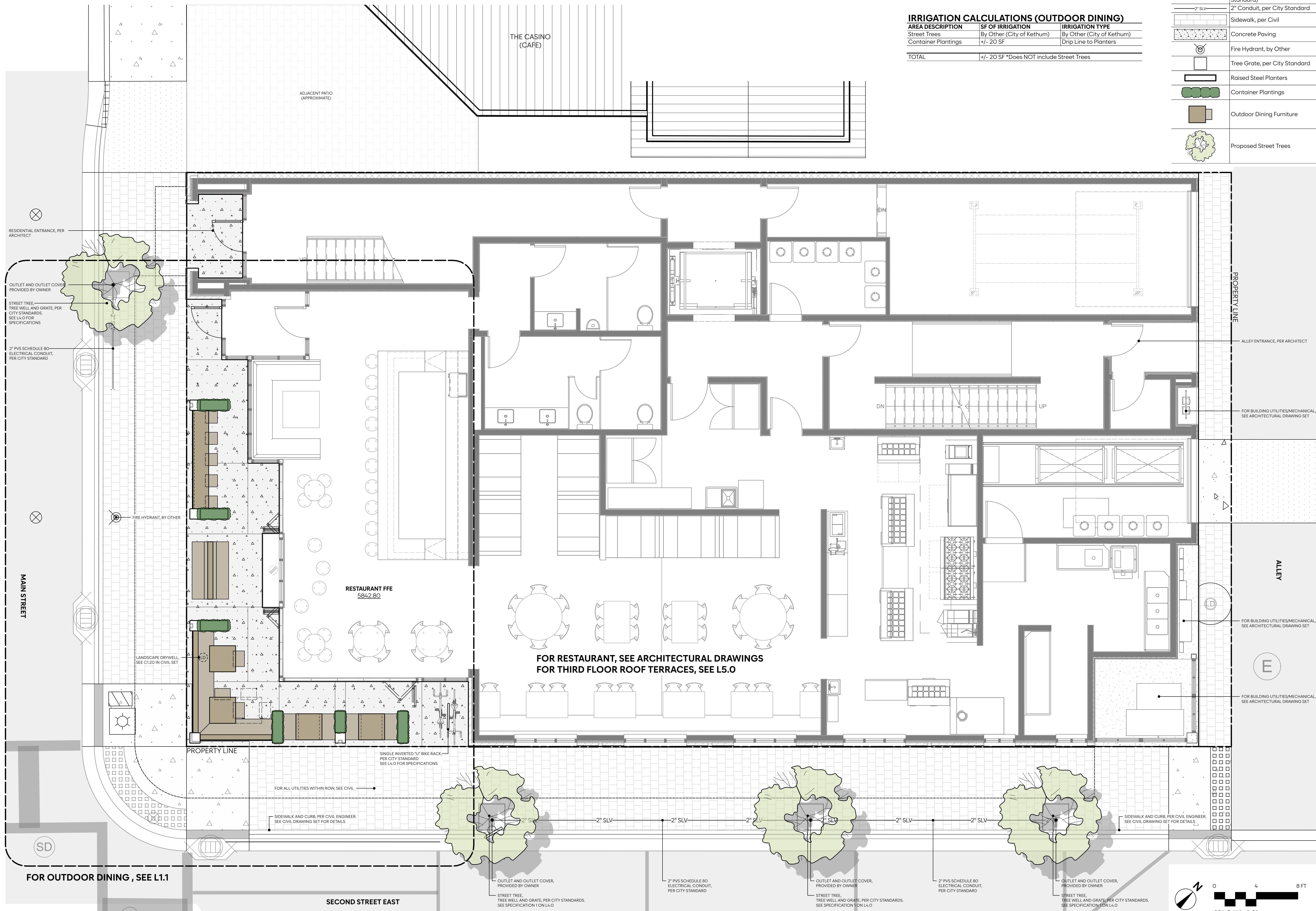
STREET TREES	ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
	AFA	4	3" CAL	Acer x freemanii 'Armstrong'	Armstrong Maple

IRRIGATION CALCULATIONS (OUTDOOR DINING)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Street Trees	By Other (City of Kethum)	By Other (City of Kethum)
Container Plantings	+/- 20 SF	Drip Line to Planters
TOTAL	+/- 20 SF	*Does NOT include Street Trees

LEGEND

SYMBOL	DESCRIPTION
—	Property Line
—IRR	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
—2" SLV	2" Conduit, per City Standard
▭	Sidewalk, per Civil
▨	Concrete Paving
⊙	Fire Hydrant, by Other
□	Tree Grate, per City Standard
▭	Raised Steel Planters
◻	Container Plantings
◻	Outdoor Dining Furniture
🌳	Proposed Street Trees



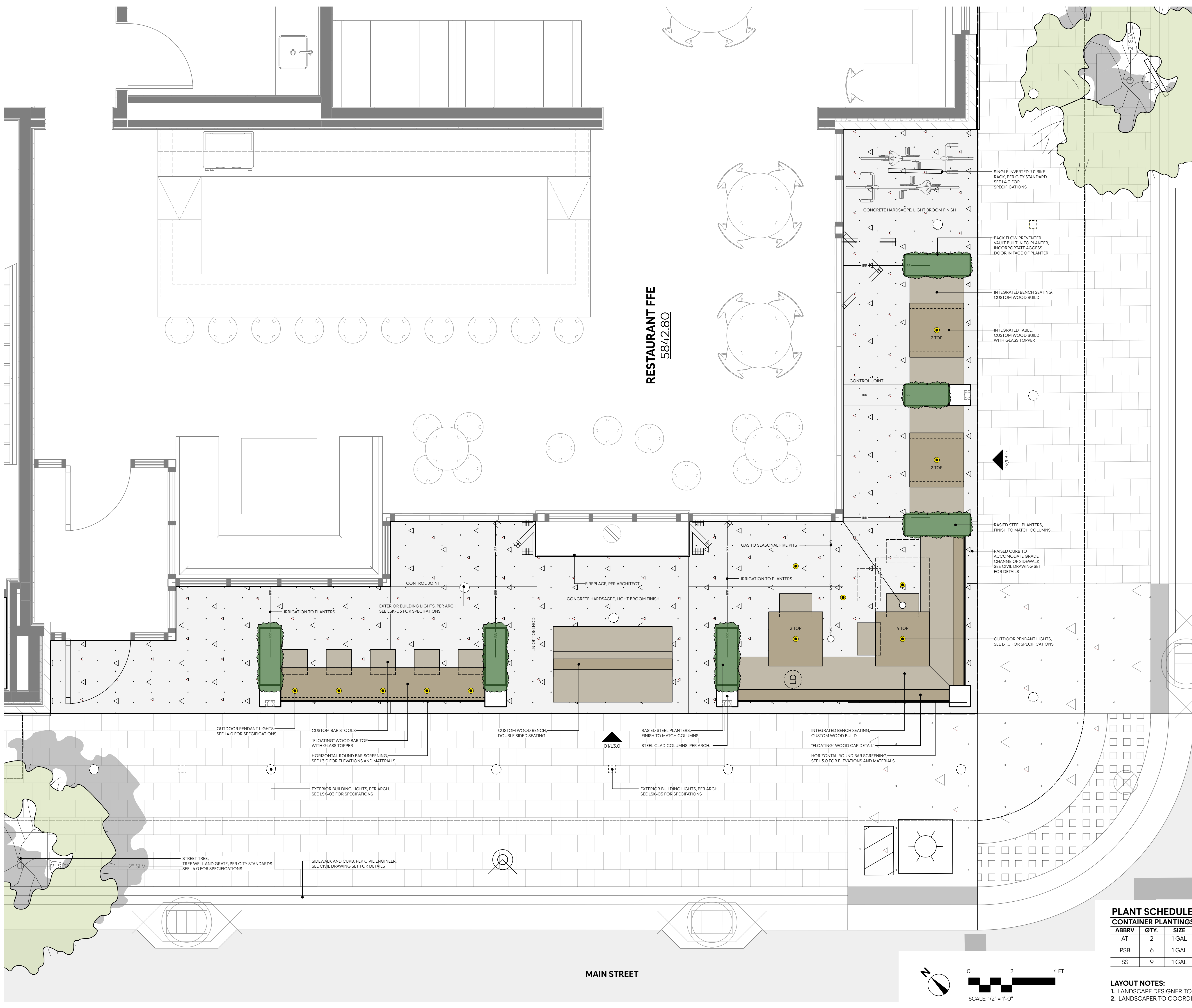
LEGEND

SYMBOL	DESCRIPTION
---	Property Line
---IRR---	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
---	2" SLV
---	2" Conduit, per City Standard
---	Gas Line to Seasonal Fire Pits
●	Hanging Light Fixtures
○	Architectural Lighting, Per Arch.
---	Sidewalk, per Civil
---	Concrete Paving
○	Fire Hydrant, by Other
○	Tree Grate, per City Standard
---	Raised Steel Planters
---	Container Plantings
---	Outdoor Dining Furniture
○	Proposed Street Trees

LIGHTING ZONE SCHEDULE

SYMB	LOCATION	QTY.	FIXTURE	TYPE
●	Outdoor Dining	12	Pendant	A

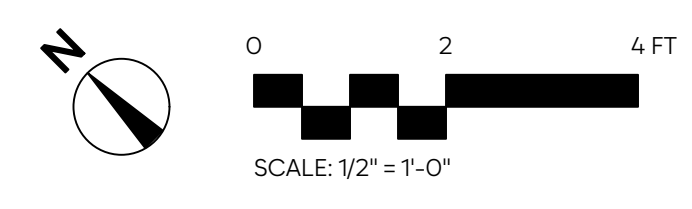
- LIGHTING NOTES:**
- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
 - EXTERIOR LIGHTS TO BE ON DIMMER AND ONLY ON DURING OPERATING BUSINESS HOURS.
 - FOR ARCHITECTURAL LIGHTING, SEE LSK-03



PLANT SCHEDULE (RESTAURANT ONLY)

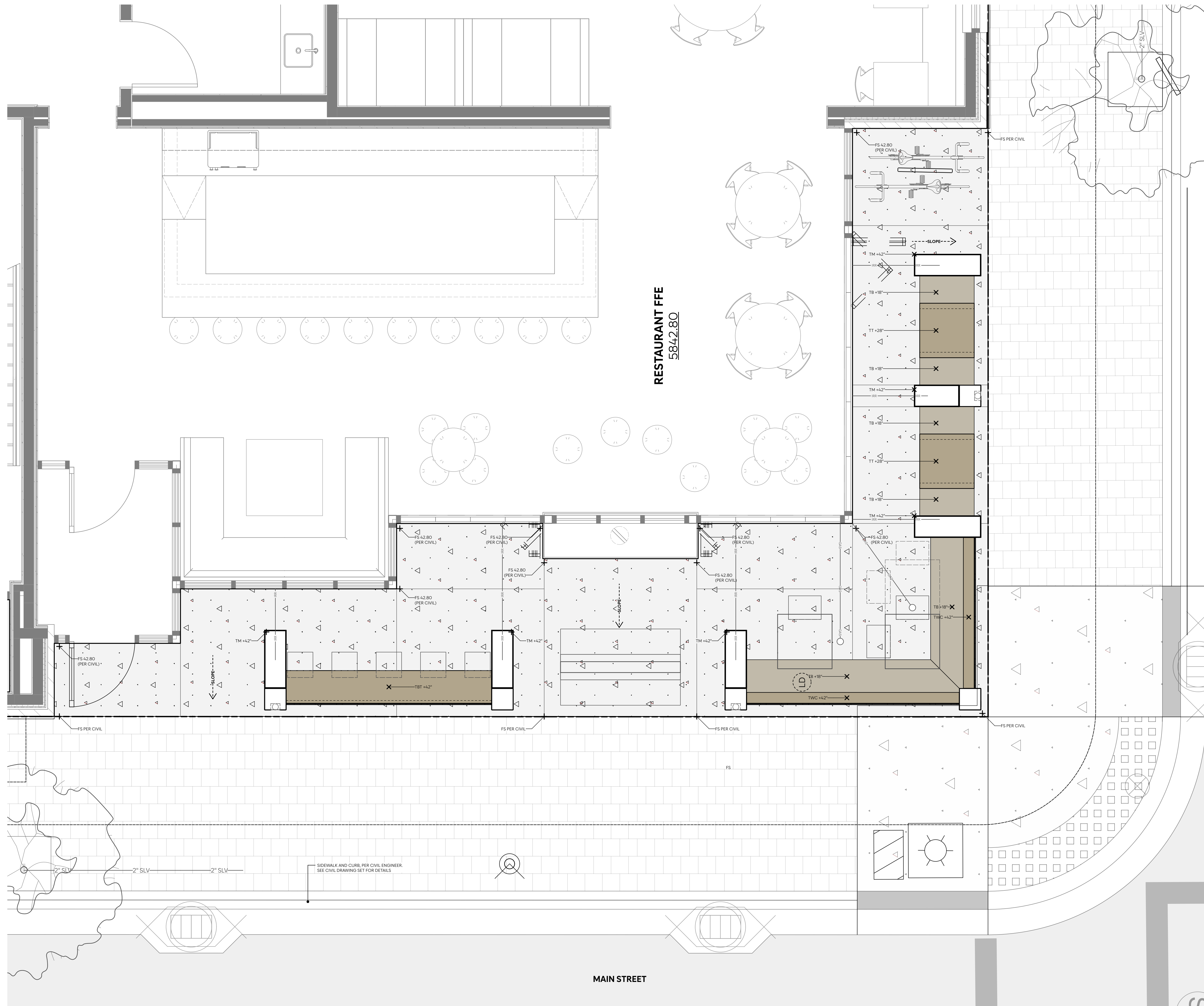
ABBREV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AT	2	1 GAL	Achillea Terracotta	Terracotta Yarrow
PSB	6	1 GAL	Penstemon strictus 'Blanca Peak'	Blanca Peak™ White Penstemon
SS	9	1 GAL	Schizachyrium scoparium	Little Bluestem

- LAYOUT NOTES:**
- LANDSCAPE DESIGNER TO LAYOUT CONTAINER PLANTS PRIOR TO INSTALL.
 - LANDSCAPER TO COORDINATE AND SCHEDULE ACCORDINGLY



MAIN STREET

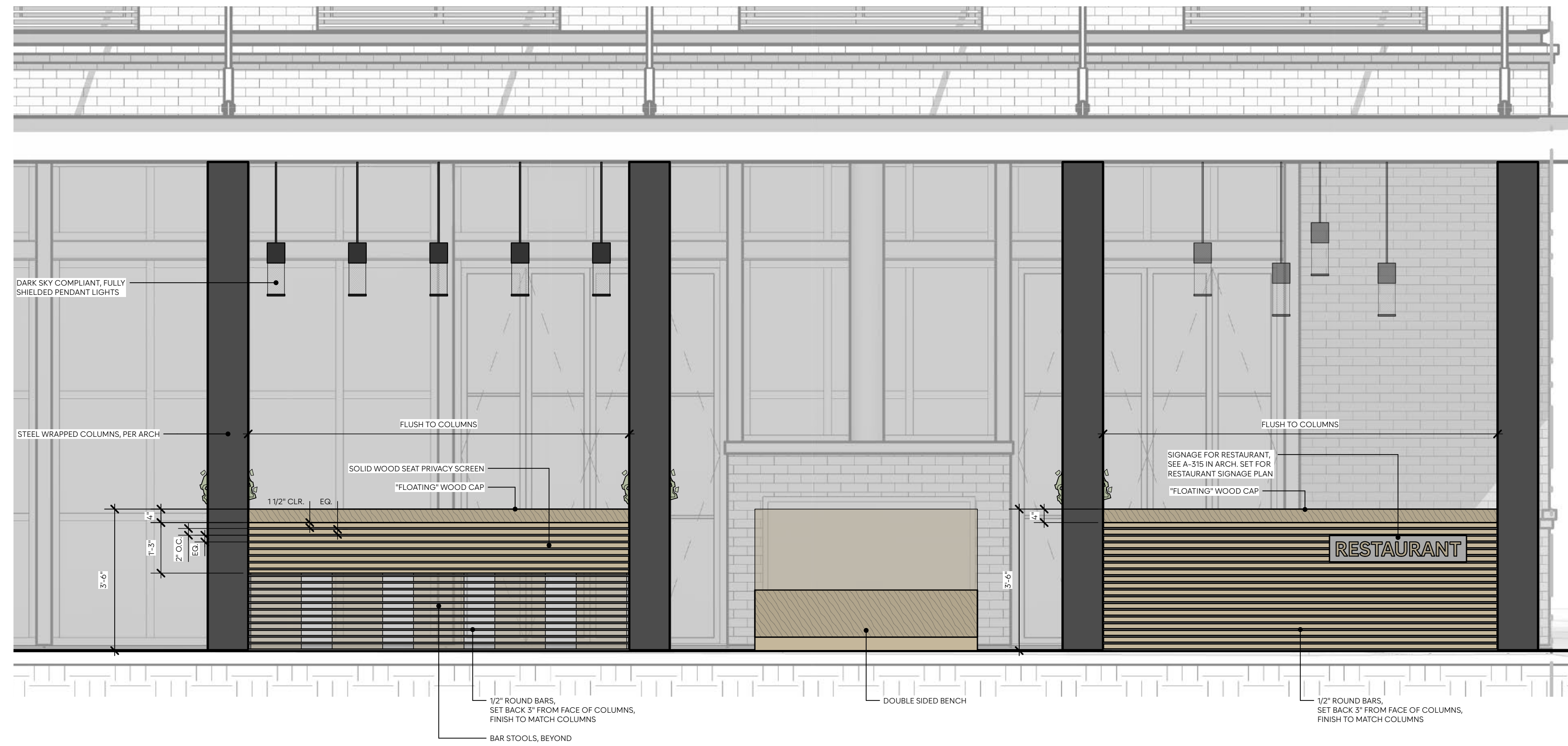
SECOND STREET EAST



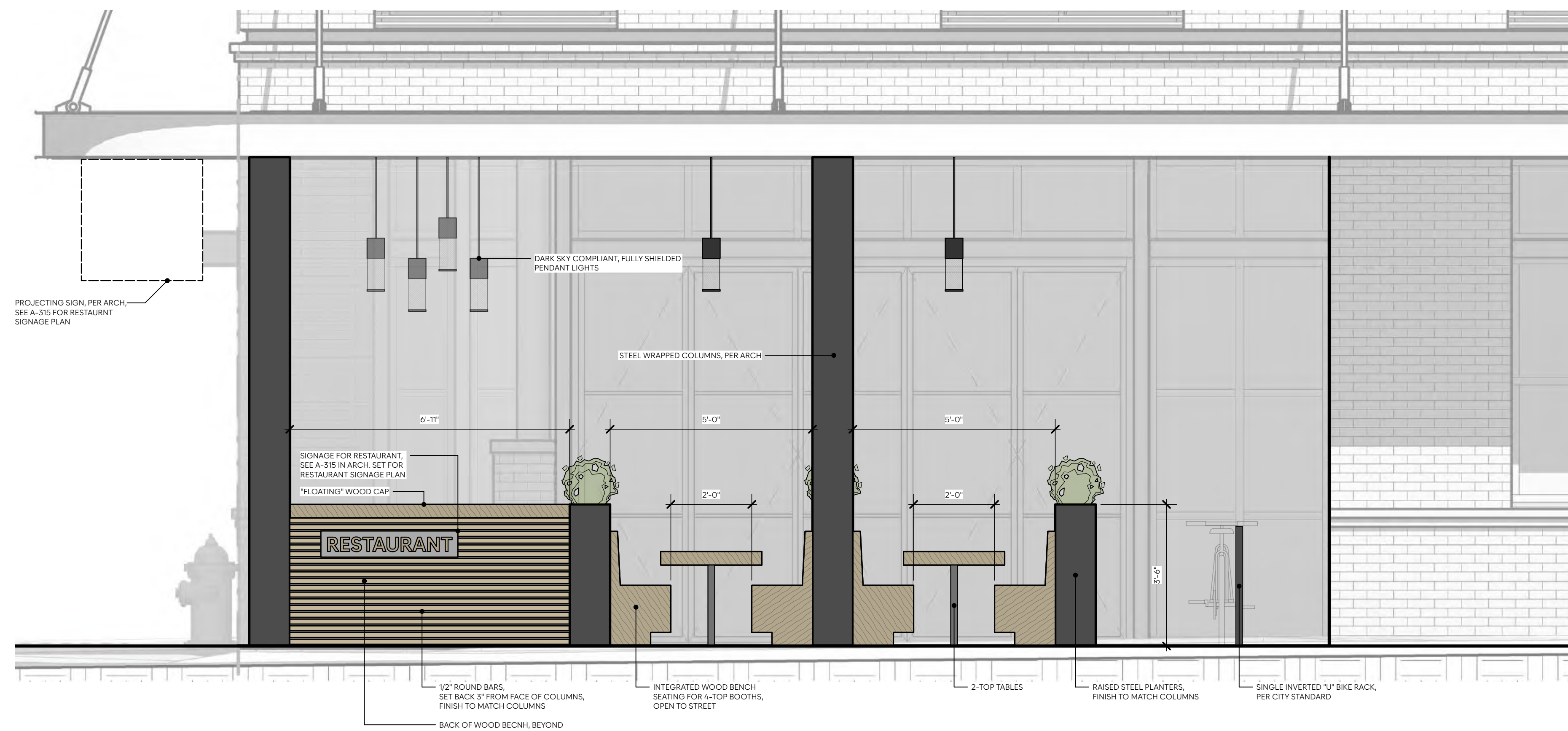
LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
IRR	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
2" SLV	2" Conduit, per City Standard
[Pattern]	Sidewalk, per Civil
[Pattern]	Concrete Paving
[Symbol]	Fire Hydrant, by Other
[Symbol]	Tree Grate, per City Standard
[Symbol]	Raised Steel Planters
[Symbol]	Outdoor Dining Furniture
---SLOPE---	Slope Surface
FS	Finished Surface
TM	Top of Metal
TB	Top of Bench
TBT	Top of Bar Top
TWC	Top of Wood Cap

GRADING NOTES:
 1. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL SIDEWALK AND CURB FINISHED GRADES AND DETAILS.
 2. THIS SHEET DEPICTS GRADING INTENT FOR PROJECT PAVING AND BUILT ELEMENTS. ANY DISCREPANCIES TO BE REVIEWED WITH LANDSCAPE DESIGNER.

OUTDOOR DINING ELEVATIONS

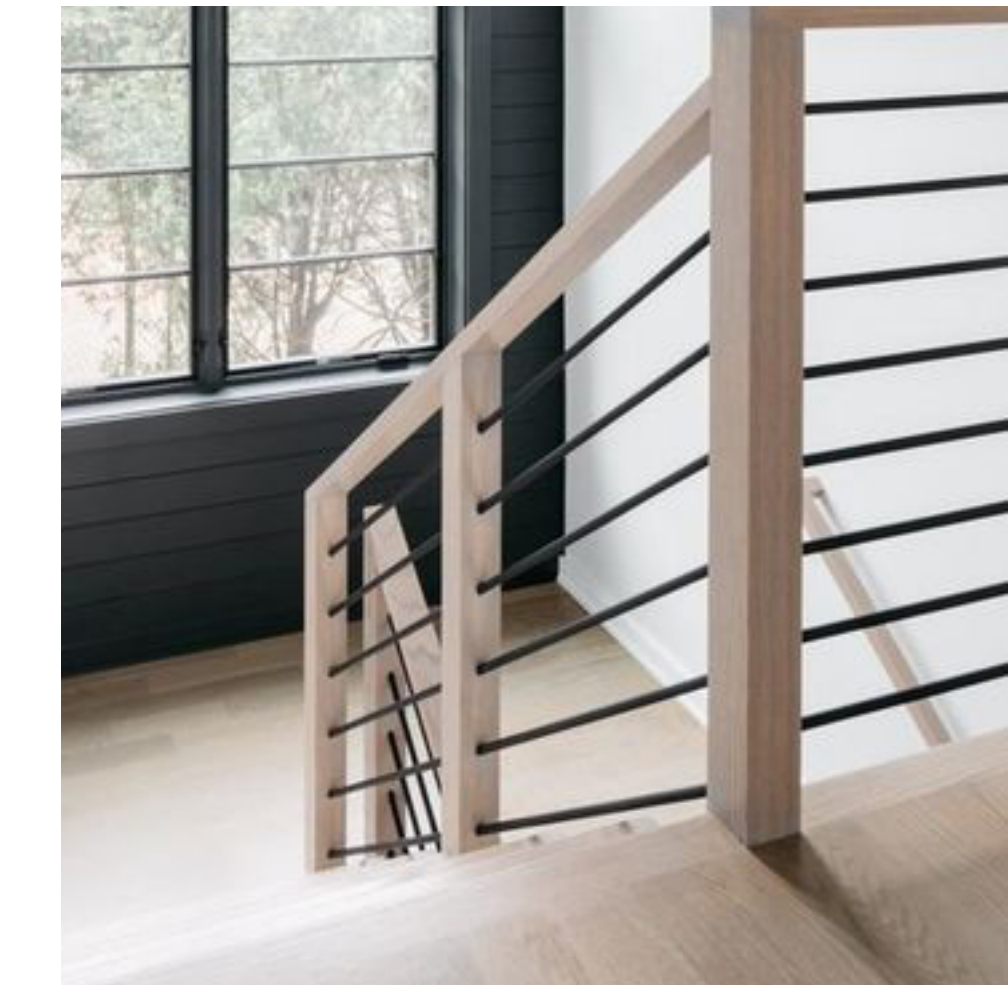


01 MAIN STREET ELEVATION
Scale: 1/2" = 1'-0"



02 SECOND STREET ELEVATION
Scale: 1/2" = 1'-0"

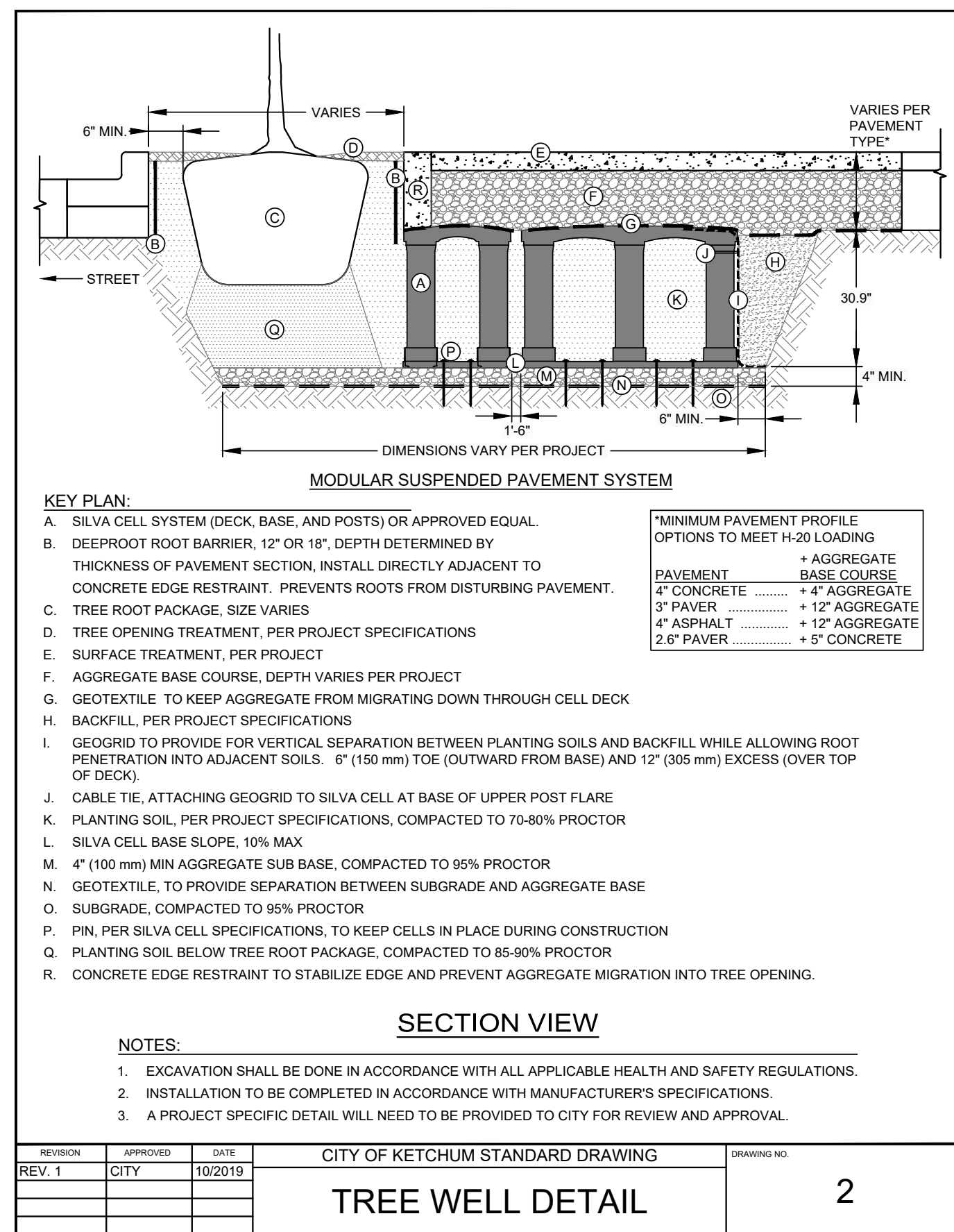
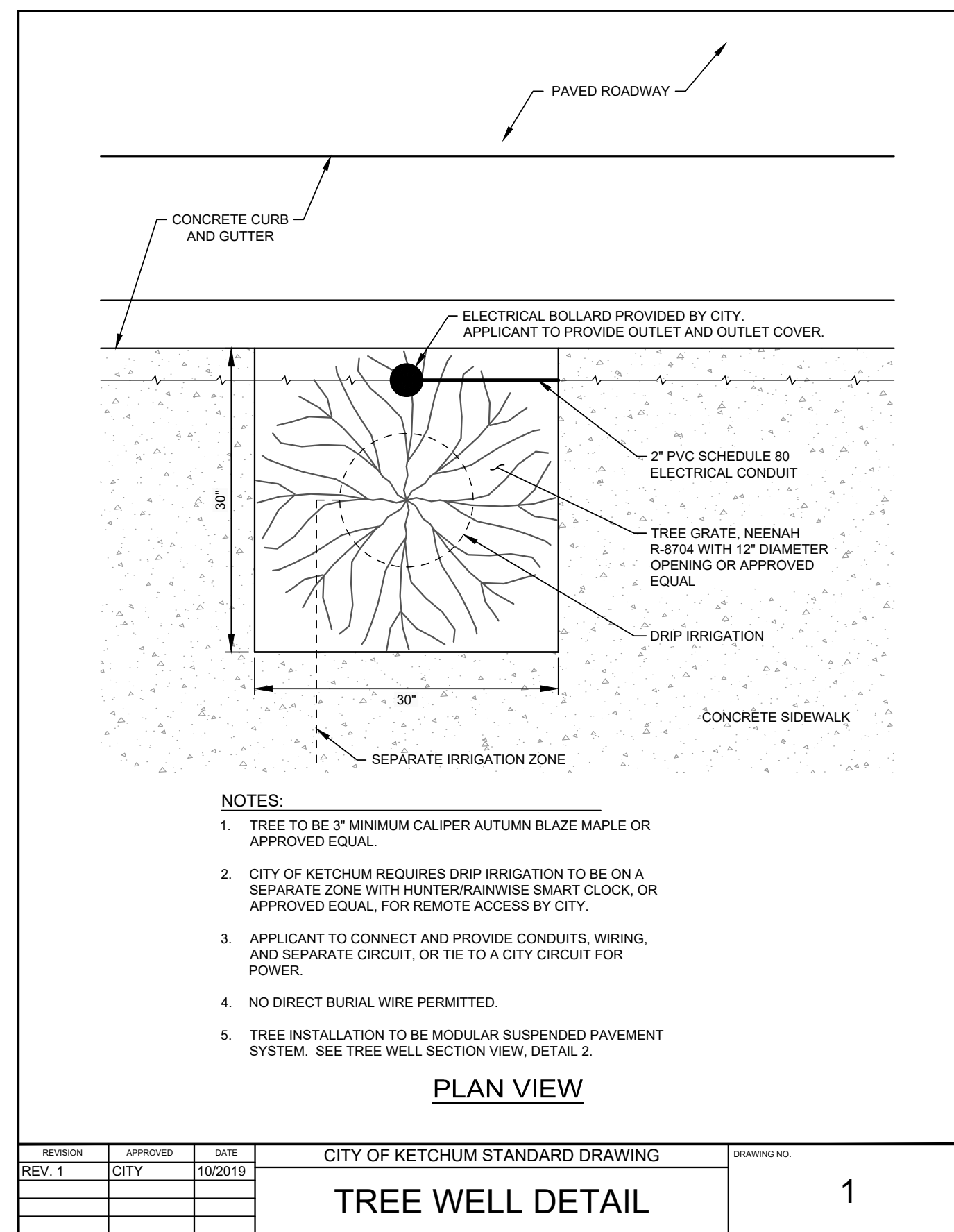
MATERIALS BOARD



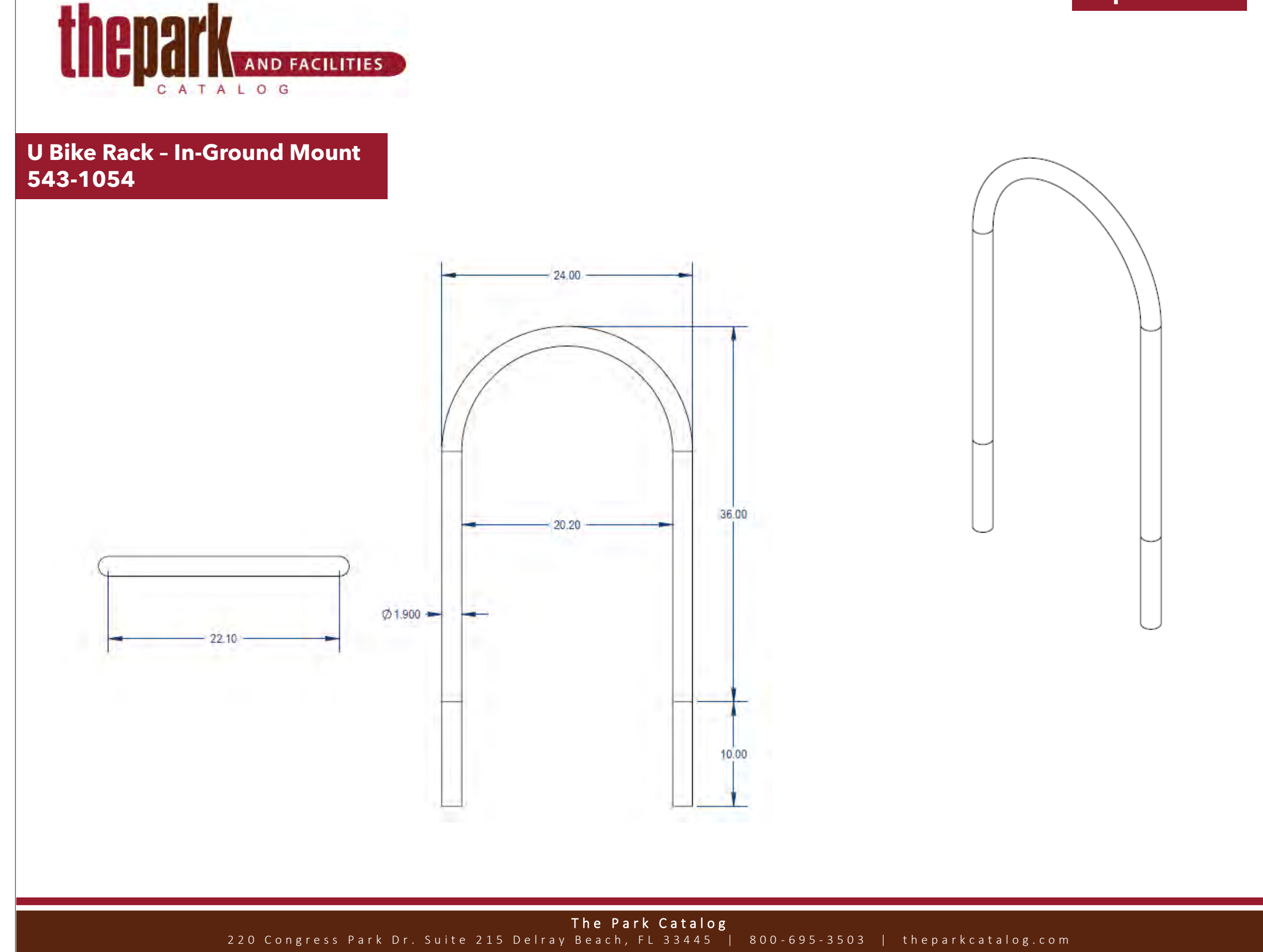
MATERIALS KEY

- ① ROUND IRON BAR
FINISH: BLACK
- ② WOOD SLAB BAR TOP
MATERIAL: WALNUT
FINISH: CLEAR COAT
- ③ HANGING LIGHT FIXTURE
FINISH: BLACK
- ④ RAISED STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

STREETSCAPE AND AMENITIES SPECIFICATIONS



01 TREE WELL
Scale: NTS



02 BIKE RACK
Scale: NTS

OUTDOOR LIGHTING SPECIFICATIONS



03 PENDANT LIGHT (TYPE A)
Scale: NTS

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE
DESIGN REVIEW - LANDSCAPE

DRAWING SET TYPE

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1/16/24 10:00:30 AM

PLOT DATE

ISSUE

LEGEND

SYMBOL	DESCRIPTION
	Property Line
	Architectural Lighting, Per Arch.
	Sidewalk (Below), per Civil
	Pavers (On Pedestal)
	SynLawn
	Groundcover
	Wood Deck
	Low Accent/Seat Walls
	Integrated Furniture
	Raised Steel Planters
	Container Plantings
	Shade Trees

PLANT SCHEDULE

THIRD FLOOR TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AC	5	8" B&B	<i>Acer circinatum</i>	Vine Maple
THIRD FLOOR CONTAINER PLANTINGS (SHRUBS)				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
POD	37	5 GAL.	<i>Physocarpus opulifolius 'Dart's Gold'</i>	Dart's Gold Ninebark

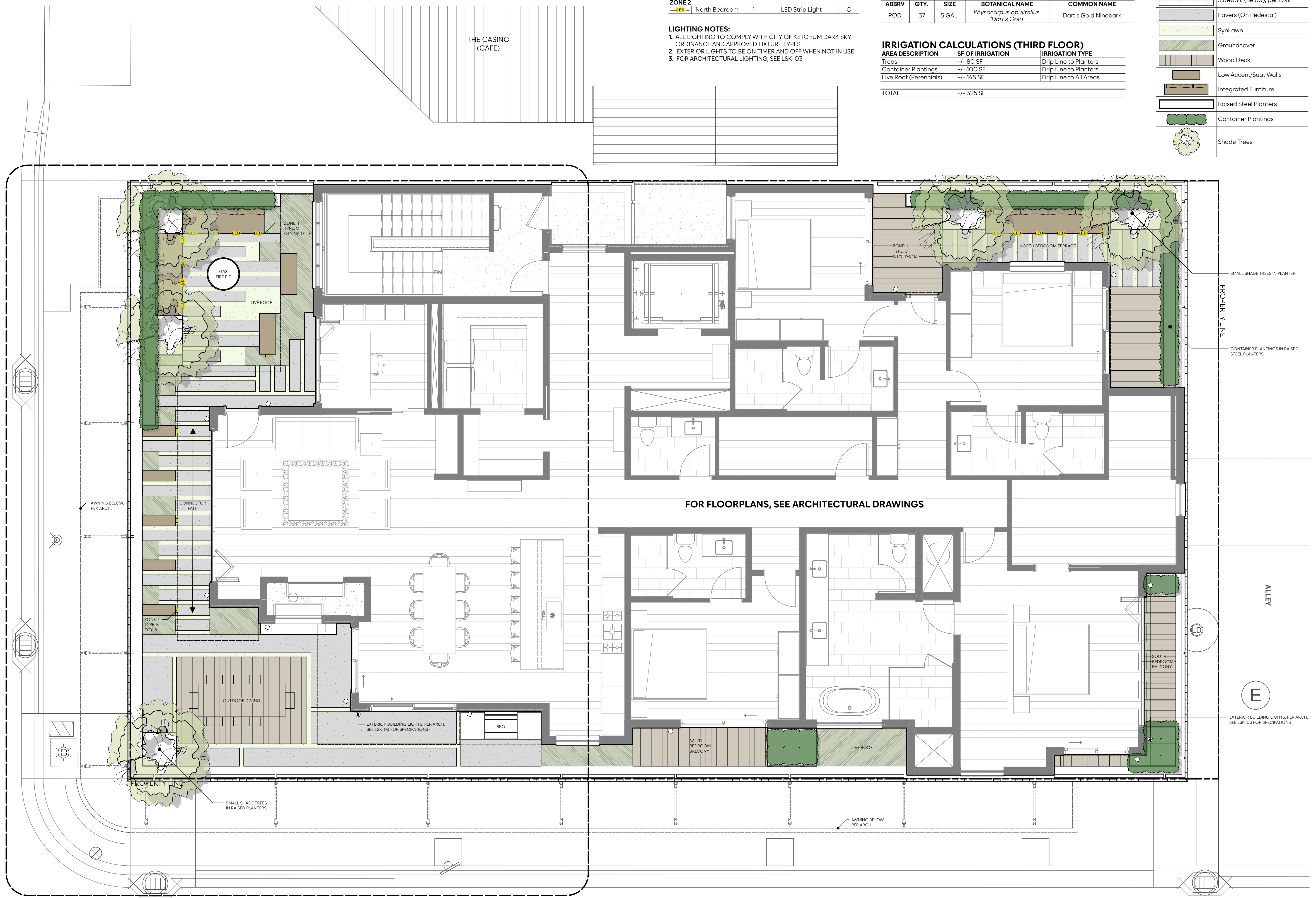
IRRIGATION CALCULATIONS (THIRD FLOOR)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Trees	+/- 80 SF	Drip Line to Planters
Container Plantings	+/- 100 SF	Drip Line to Planters
Live Roof (Perennials)	+/- 145 SF	Drip Line to All Areas
TOTAL	+/- 325 SF	

LIGHTING ZONE SCHEDULE

SYMB	LOCATION	QTY.	FIXTURE	TYPE
ZONE 1				
LED	Dining + Fire Pit	2	LED Strip Light	C
LED	Dining + Fire Pit	6	Wall Light (Recessed)	B
ZONE 2				
LED	North Bedroom	1	LED Strip Light	C

- LIGHTING NOTES:**
- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
 - EXTERIOR LIGHTS TO BE ON TIMER AND OFF WHEN NOT IN USE
 - FOR ARCHITECTURAL LIGHTING, SEE LSK-03

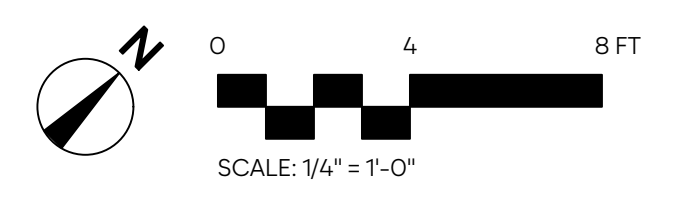


MAIN STREET

SD

FOR WEST TERRACE, SEE L5.1
NOTE: PLAN ROTATION OF 90° ON L5.1

SECOND STREET EAST



FOR FLOORPLANS, SEE ARCHITECTURAL DRAWINGS

THE CASINO
(CAFE)

SMALL SHADE TREES IN PLANTER

CONTAINER PLANTINGS IN RAISED STEEL PLANTERS

ALLEY

E

EXTERIOR BUILDING LIGHTS, PER ARCH.
SEE LSK-03 FOR SPECIFICATIONS

LD

SOUTH-BEDROOM-BALCONY

AWNING BELOW, PER ARCH.

EXTERIOR BUILDING LIGHTS, PER ARCH.
SEE LSK-03 FOR SPECIFICATIONS

BBQ

SOUTH-BEDROOM-BALCONY

LIVE ROOF

PROPERTY LINE

SMALL SHADE TREES IN RAISED PLANTERS

AWNING BELOW, PER ARCH.

CONNECTOR PATH

ZONE-1 TYPE-B QTY: 6

ZONE-1 TYPE-G QTY: 16 QTY: 1 LF

GAS FIRE PIT

LIVE ROOF

ZONE-1 TYPE-C QTY: 11 QTY: 6 LF

NORTH-BEDROOM-TERRACE

THE **200 N MAIN**
AT 200 N MAIN ST / KETCHUM, ID 83340

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE
DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

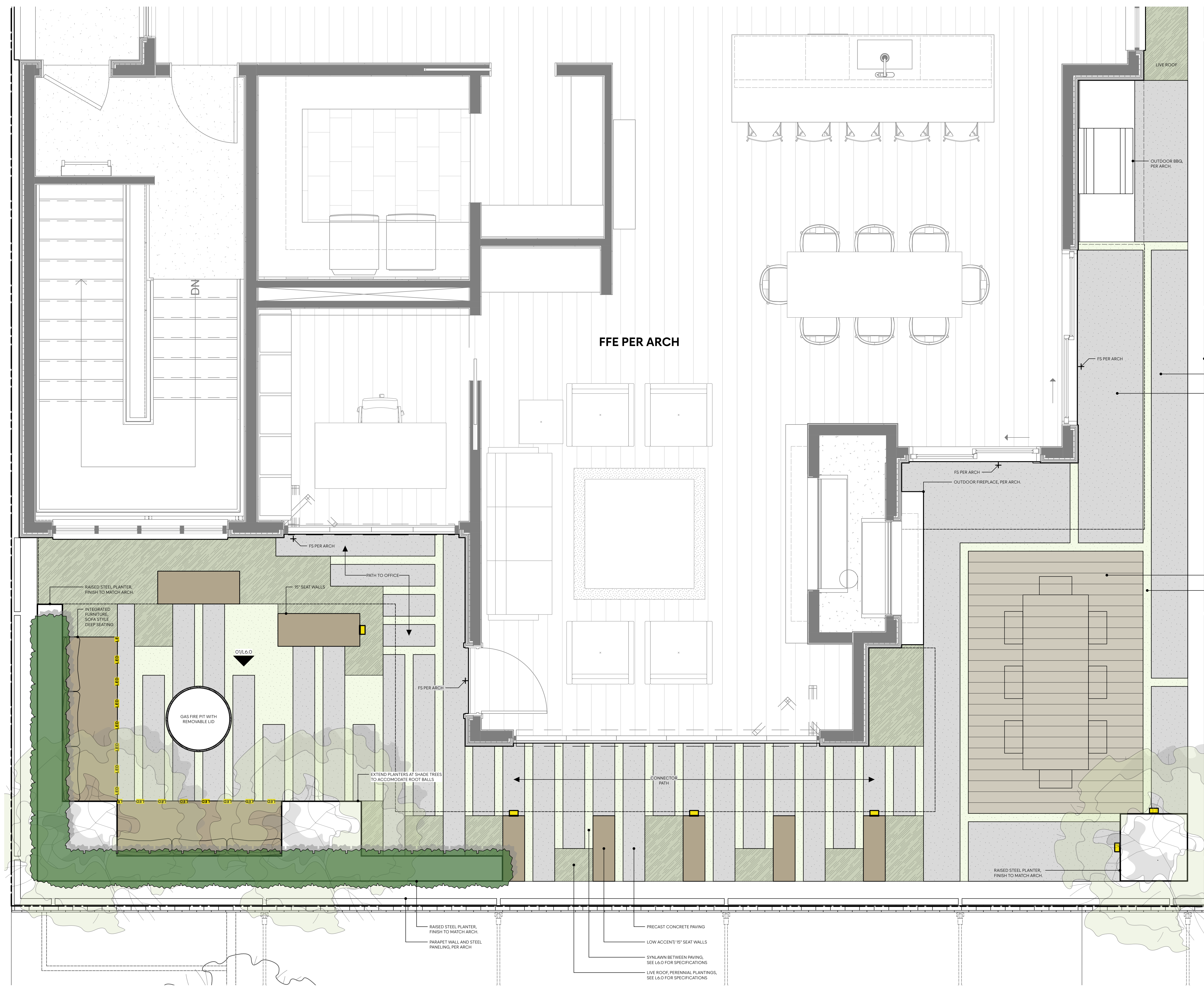
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1/16/24 10:00:31 AM
PLOT DATE

ISSUE

L5.1
WEST TERRACE

SYMBOL	DESCRIPTION
	Property Line
	Architectural Lighting, Per Arch.
	Sidewalk (Below), per Civil
	Pavers (On Pedestal)
	SynLawn
	Groundcover
	Wood Deck
	Low Accent/Seat Walls
	Integrated Furniture
	Raised Steel Planters
	Container Plantings
	Shade Trees

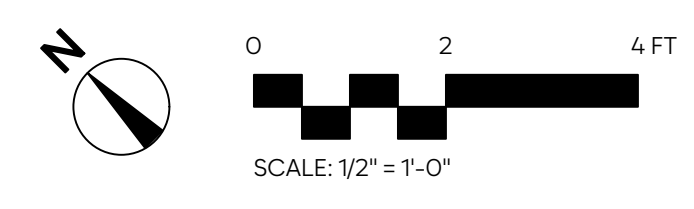
- THIRD FLOOR TERRACE NOTES:**
1. DRAINAGE TIES IN TO ROOF DRAIN SYSTEM. SEE ARCHITECTURAL DRAWING SET.
 2. ALL LOAD CALCULATIONS AND ENGINEERING, PER STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWING SET.
 3. DRIP IRRIGATION TO ALL PLANTERS AND LIVE ROOF AREAS

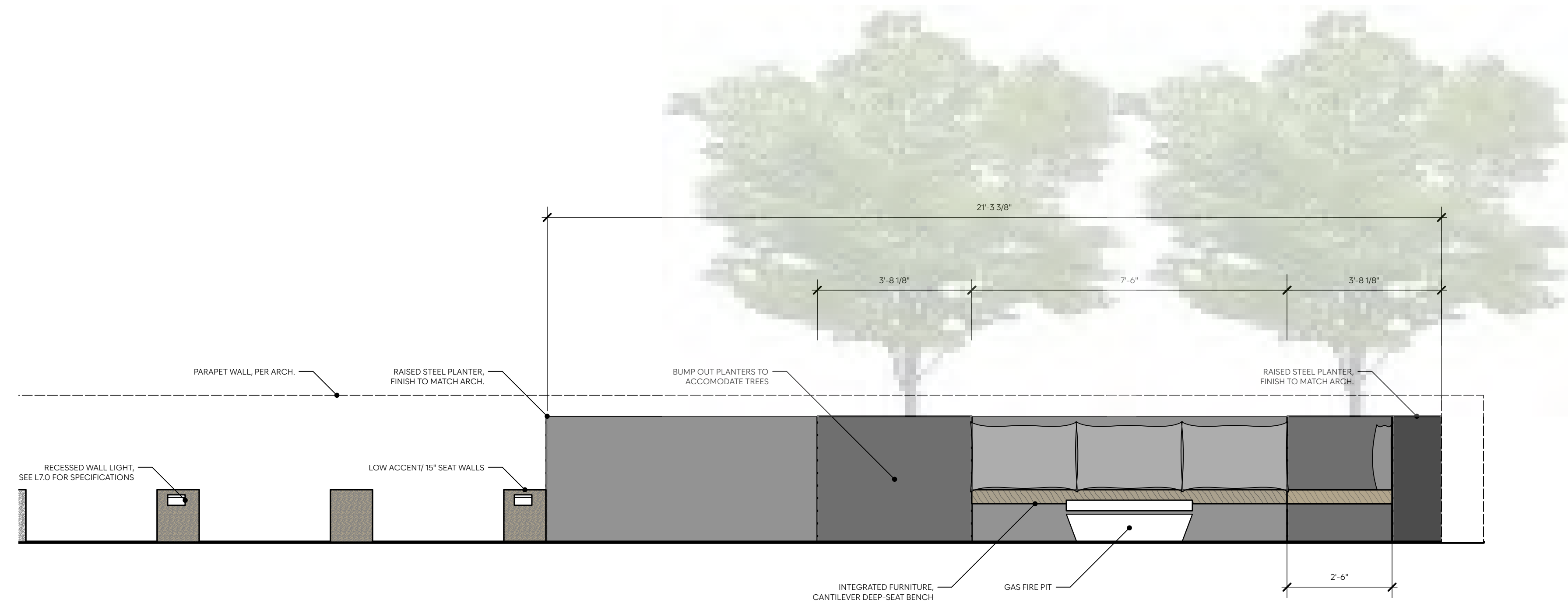


PARAPET WALL AND STEEL PANELING, PER ARCH
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS
PRECAST CONCRETE PAVING, FINAL LAYOUT AND PATTERN, TBD

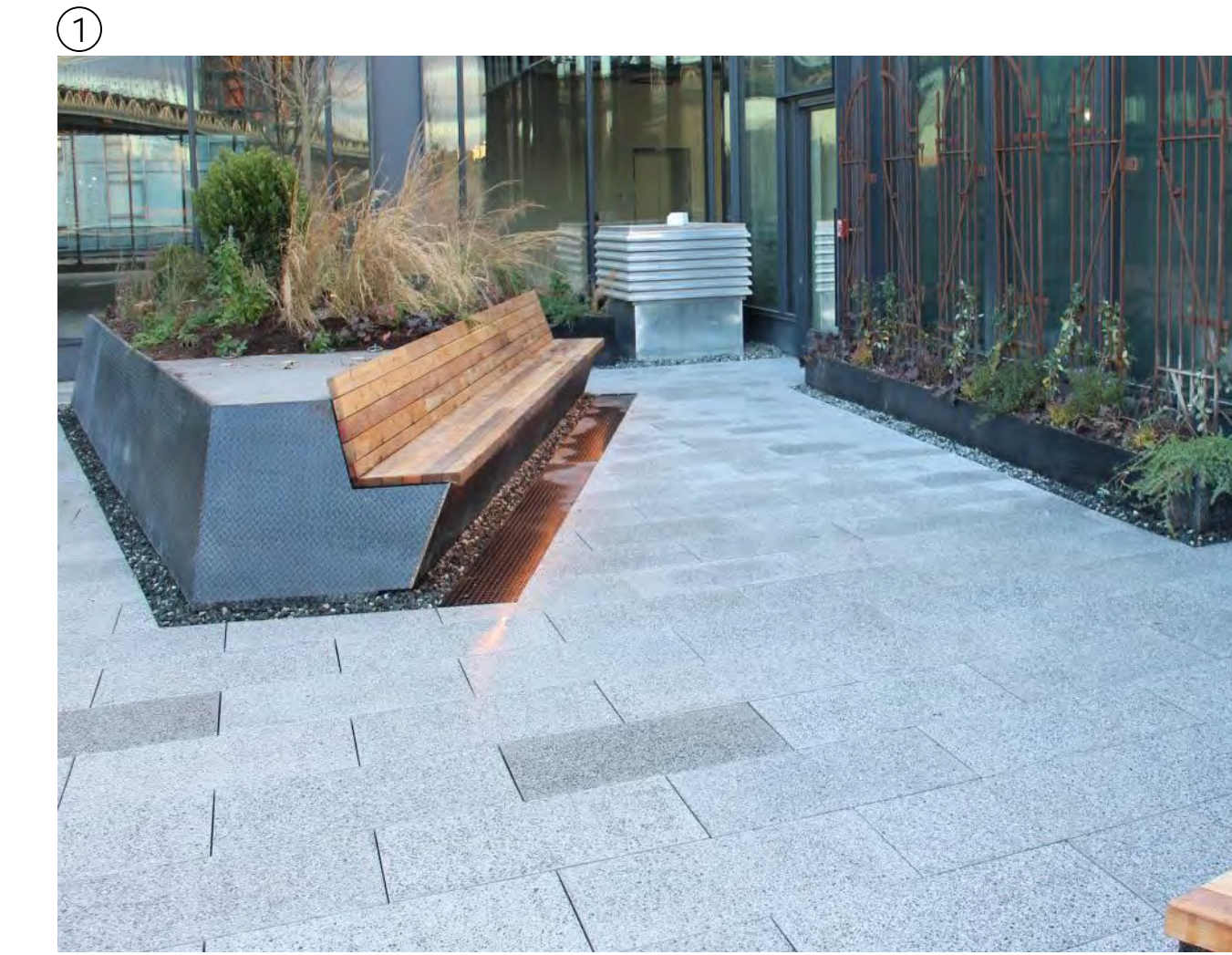
WOOD DECK AT OUTDOOR DINING
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS

RAISED STEEL PLANTER, FINISH TO MATCH ARCH.
PARAPET WALL AND STEEL PANELING, PER ARCH
PRECAST CONCRETE PAVING
LOW ACCENT/15" SEAT WALLS
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS
LIVE ROOF, PERENNIAL PLANTINGS, SEE L6.0 FOR SPECIFICATIONS





01 INTEGRATED SEATING AND RAISED PLANTER AT FIRE PIT ELEVATION
Scale: 1/2" = 1'-0"



MATERIALS KEY

- ① PAVER
FINISH: GREY (NATURAL)
- ② WOOD DECKING
MATERIAL: THERMORY
FINISH: NONE
- ③ WALL LIGHT
FINISH: BLACK
- ④ STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

DRAWN BY

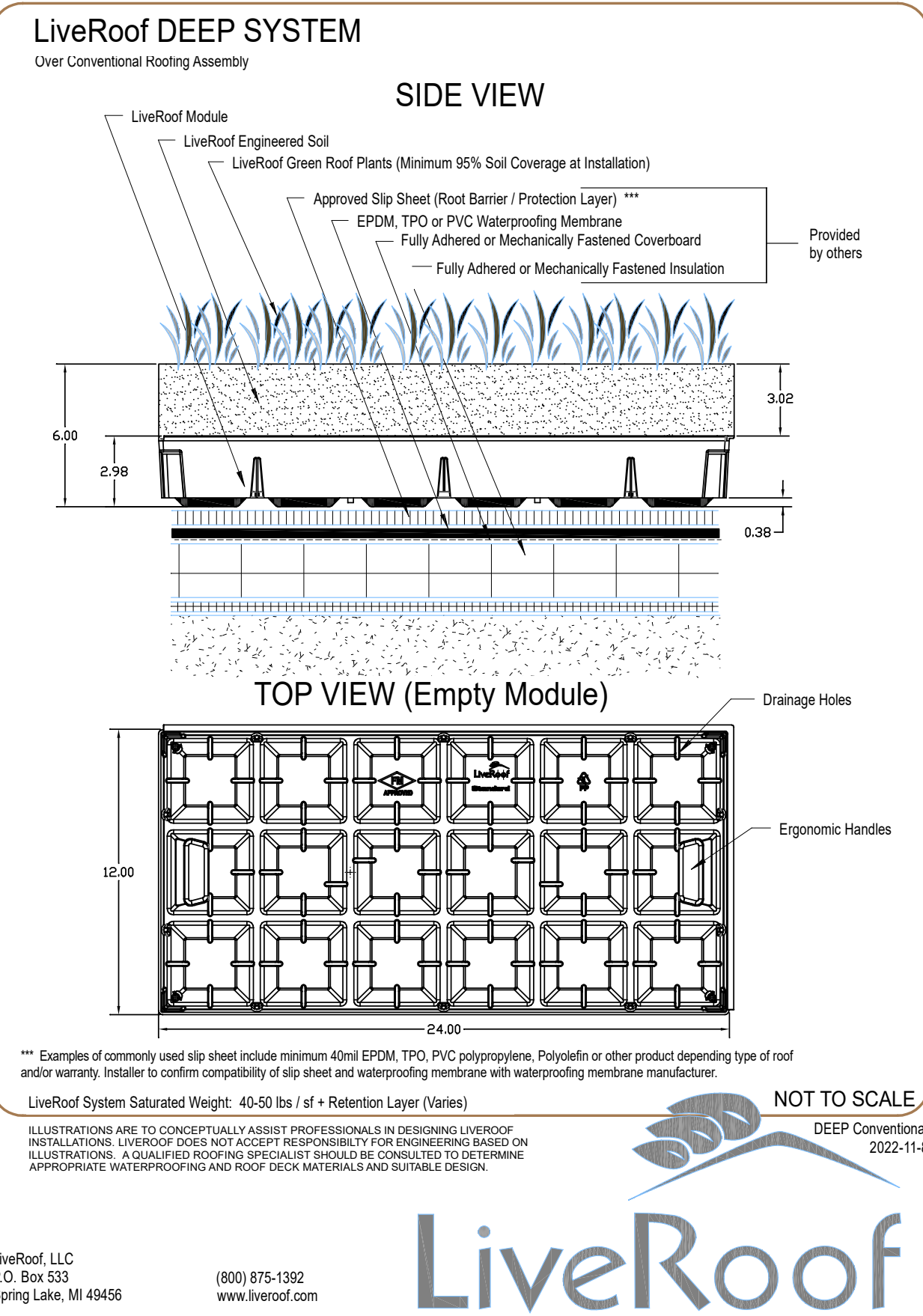
1/16/24 10:00:31 AM

PLOT DATE

ISSUE

L6.0

THIRD FLOOR
TERRACES:
MATERIALS +



01 LIVE ROOF SYSTEM / DEEP
Scale: NTS

SYNLAWN
Plant-Based Artificial Grass

PRODUCT SPECIFICATIONS

ROOFDECK PLATINUM

Nylon fibers give this grass guaranteed resistance against melting from reflective light, along with an ASTM CERTIFIED E108 CLASS A FIRE-RATING for the highest level of safety and security. Ideal for rooftops, decks, and patios, indoors or out.

SUPER YARN™ TECHNOLOGY

SANITIZED* ANTIMICROBIAL
DUALCHILL™ IR REFLECTIVE
STATBLOCK™ ANTI-STATIC

- UNMATCHED LIFETIME WARRANTY
- UV PROTECTED FROM REFLECTING LIGHT
- IDEAL FOR HIGH-TRAFFIC ROOFTOPS AND DECKS
- ASTM E108 CLASS A FIRE RATING

ASK ABOUT OUR...
USDA CERTIFIED ORGANIC INFILL SYSTEM

SYNLawn® 547 is a USDA Certified Bio-Based artificial grass system in combination with organic infill, able to display a unique USDA label highlighting its percentage of bio-based content.

USDA CERTIFIED BIOBASED PRODUCT

MADE IN U.S.A.

SYNLAWN.COM • SYNLAWN@GOLF.COM • (866) 798-5298

SPECIFICATIONS SUBJECT TO CHANGE 02/07/2023

SKU	SR200_ROOF
Grass Zone Yarn/Color	Nylon / Field Green
Grass Zone Denier	8,400 / 16
Thatch Zone Yarn/Color	Nylon / Field Green
Thatch Zone Denier	4,200 / 8
Grass Zone Yarn Shape	Diamond Mono
Finished Pile Height	1 1/8"
Finished Pile Weight	60 oz.
Backing	18/18 pic PP 2-Part/22oz. EnviroLoc+™
Tuft Gauge	3/8"
Total Weight	88 oz.
Tuft Bind	> 8 lbs.
Permeability	> 500 inches p/hr
Features	EnviroLoc+™, HeatBlock™, UV Stabilizers
Test Data	USDA SYSTEM, ASTM E108 CLASS A, D2859, E84, L648, F1292, F1951, IPEMA, PFA FREE

02 SYNLAWN
Scale: NTS

OUTDOOR LIGHTING SPECIFICATIONS

FSLED™ Step lights

- Easy installation into a recessed 2" x 4" j-box
- Deep recess of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

Specifications

UL Listing: Suitable for wet locations
IP Rating: Rated IP66, protected against dust and water ingress
LEDs: Long-life, high-efficiency surface mount LEDs
Current: 120V: 0.108A, 300mA, PF 95% 277V: 0.201A, 550mA, PF 95%
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Color Temperature	4000K	3000K	2700K
Input Watts	3	3	3
Output Lumens*	94	88	82
Color Accuracy (CRI)*	82	82	79

Housing: Precision die-cast aluminum
Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Starting: The minimum starting temperature is -40°C (-40°F)
Mounting: Recessed junction box. Trim and trimless models available.
Lens: Tempered glass
Gaskets: High-temperature silicone
Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC, or toxic heavy metals.
Green Technology: Mercury and UV free, and RoHS compliant.
*Performance for white models. For performance of bronze, black and silver, visit ashweb.com

Dimensions and weight

Surface Plate Models
Weight: 0.55 lb

Trimless Models
Weight: 0.55 lb

Photometrics

FSLED Horizontal 1" 6" Mounting Height
Photometric Report #1217-16

FSLED Vertical 1" 6" Mounting Height
Photometric Report #1217-16

Grid scales: Multiples of mounting height - Values shown in foot-candles

Ordering information

Product Family: FSLED
Orientation: H (Horizontal), V (Vertical)
Wattage: 3 (3W)
Color Temperature: YY (4000K, 3000K, 2700K)
Finish: B (Blank), W (White), Black, S (Matte Silver)
Voltage: /120 (120V, 277V)
Trim Options: Blank, Surface Plate, Trimless Mount

03 RECESSED STEP LIGHT (TYPE B)
Scale: NTS

aspectLED
A WILSON TOOL COMPANY

N-SERIES (NARROW) FLEXIBLE LED STRIP LIGHT
Standard Bright (18 LEDs/foot)

MODEL: AL-SL-N-S

Description

aspectLED's Flexible LED strip lights are a perfect solution for a wide variety of architectural and accent lighting applications including: cove lighting, under-cabinet lighting, back-lighting, pathway lighting and decorative lighting. Our Standard Bright N-Series (narrow) flexible LED strip lights are made with wire leads on both ends of each 16.4' reel and can be cut every 2" (12VDC), allowing you to cut pieces to the exact length that you need.

Learn more

UL LISTED, ROHS COMPLIANT, 1YR WARRANTY, DIMMABLE

www.aspectLED.com | 888.503.1317 | sales@aspectled.com

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4900 Constellation Drive | Saint Paul, MN 55127

04 STRIP LIGHT (TYPE C)
Scale: NTS

N-SERIES (NARROW) FLEXIBLE LED STRIP LIGHT
MODEL: AL-SL-N-S

Specifications

	NON-WATERPROOF	WATER RESISTANT	WATERPROOF
Dimensions	5/16" (8mm) wide 1/16" (2mm) thick 16.4' (5M) long	5/16" (8mm) wide 1/8" (2.6mm) thick 16.4' (5M) long	7/16" (11mm) wide 3/16" (6mm) thick 16.4' (5M) long
Distance Between LEDs	9/16" (14mm)	9/16" (14mm)	9/16" (14mm)
Cut Length	12VDC: 2' (50.8mm) 24VDC: 4' (100.16mm)	12VDC: 2' (50.8mm) 24VDC: 4' (100.16mm)	12VDC: 2' (50.8mm) 24VDC: 4' (100.16mm)
IP Rating	IP20 Indoor Use, Dry Location	IP65 Splash Resistant	IP68 Submersible
Adhesive Backing	Yes / 3M Adhesive	Yes / 3M Adhesive	No
Mounting Method	Adhesive Backing	Adhesive Backing	Mounting Straps or Adhesive Caulk
Input Voltage	12VDC or 24VDC	12VDC or 24VDC	12VDC or 24VDC
Beam Angle	120 Degrees	120 Degrees	120 Degrees
Dimmable	Yes	Yes	Yes
Max Power Consumption	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)
Max Luminous Flux	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)
LED Color	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow
Color Temperature	Soft White = 2700K Warm White = 3000K Neutral White = 4000K DayWhite = 6000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K
LED Type	SMD 3528 LED Chips	SMD 3528 LED Chips	SMD 3528 LED Chips
LED Quantity	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)
Max Run	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC
Weight	0.4 lbs per reel	0.6 lbs per reel	1.0 lbs per reel
Estimated Lifespan	50,000 hours	50,000 hours	50,000 hours
Warranty	1 Year	1 Year	1 Year
Suitable Uses	Dry Location Only	Dry or Damp Locations	Dry, Damp or Wet Locations
Standards/Certifications	UL Listed, RoHS	UL Listed, RoHS	UL Listed, RoHS

www.aspectLED.com | 888.503.1317 | sales@aspectled.com

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4900 Constellation Drive | Saint Paul, MN 55127

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

DRAWN BY

1/16/24 10:01:00 AM

PLOT DATE

ISSUE

L7.0
SPECIFICATIONS AND
CUT SHEETS

LIGHT TRESSPASS

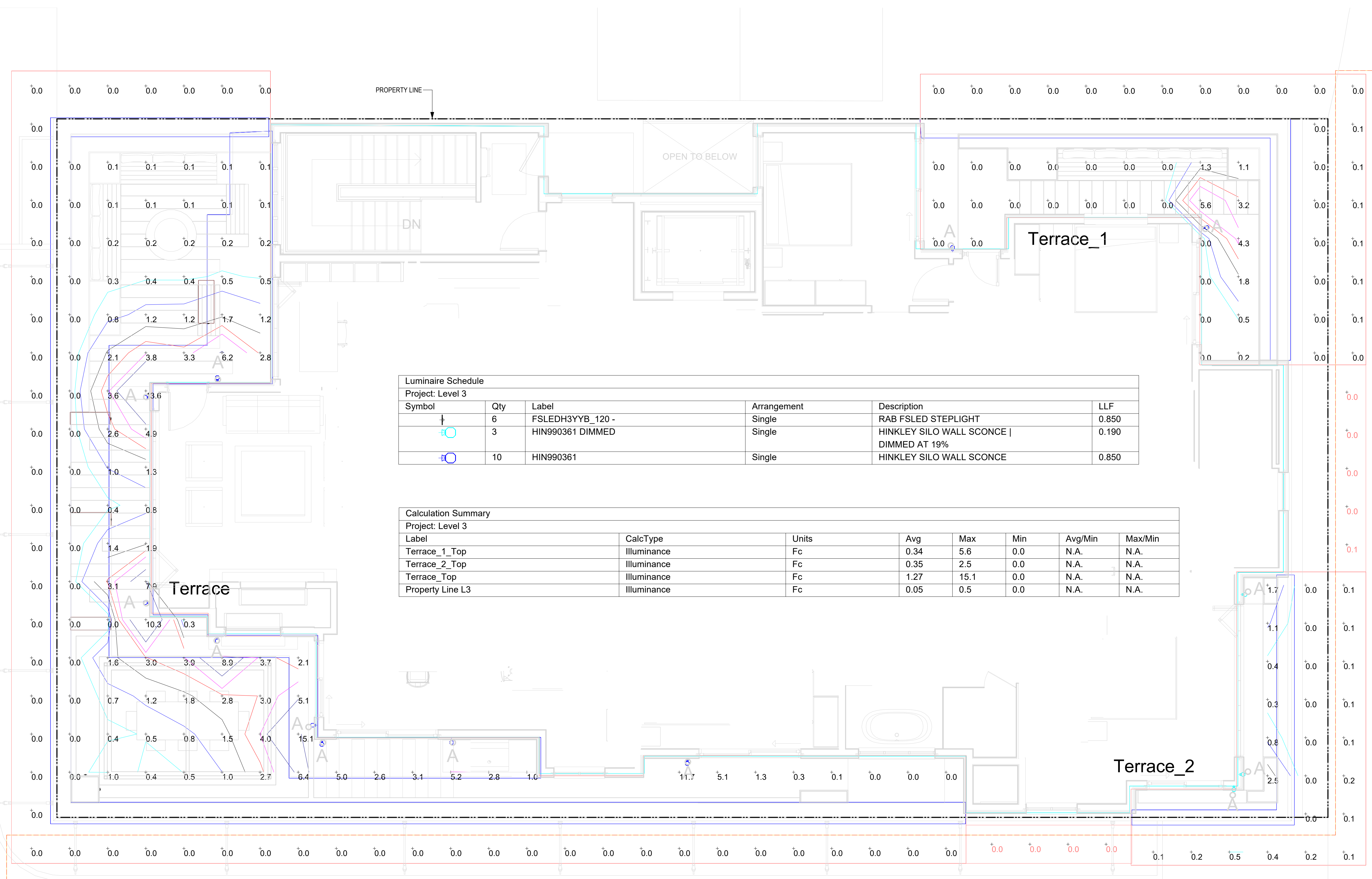
Illuminance (Fc)
Average = 0.20
Maximum = 0.8
Minimum = 0.0

Property Line L1

Illuminance (Fc)
Average = 0.19

Luminaire Schedule					
Project: Level 1					
Symbol	Qty	Label	Arrangement	Description	LLF
☐	5	2302BK_1	Single	HINKLEY ARIA PENDANT DIMMED AT 15%	0.150
☐	5	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED_1	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 25%	0.250
☐	7	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 8%	0.080
☐	2	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
☐	6	2302BK	Single	HINKLEY ARIA PENDANT DIMMED AT 40%	0.400

Calculation Summary							
Project: Level 1							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bar_Planar	Illuminance	Fc	5.34	6.4	3.6	1.48	1.78
GROUNDPLANE 1_Planar	Illuminance	Fc	0.93	5.6	0.0	N.A.	N.A.
Tabletop_1_Tabletop_1	Illuminance	Fc	5.48	8.0	3.4	1.61	2.35
Tabletop_2_Planar	Illuminance	Fc	4.50	6.7	1.9	2.37	3.53
Tabletop_3_Planar	Illuminance	Fc	3.53	3.8	3.2	1.10	1.19
Tabletop_4_Planar	Illuminance	Fc	4.53	5.0	4.0	1.13	1.25
LIGHT TRESSPASS	Illuminance	Fc	0.20	0.8	0.0	N.A.	N.A.
Property Line L1	Illuminance	Fc	0.19	0.7	0.0	N.A.	N.A.



ILLUMINANCE AVG
OUTSIDE OF
PROPERTY LINE

Property Line L3


Illuminance (Fc)
Average = 0.05

Luminaire Schedule					
Project: Level 3					
Symbol	Qty	Label	Arrangement	Description	LLF
⬇	6	FSLEDH3YYB_120 -	Single	RAB FSLED STEPLIGHT	0.850
⊖	3	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
⊖	10	HIN990361	Single	HINKLEY SILO WALL SCONCE	0.850

Calculation Summary							
Project: Level 3							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Terrace_1_Top	Illuminance	Fc	0.34	5.6	0.0	N.A.	N.A.
Terrace_2_Top	Illuminance	Fc	0.35	2.5	0.0	N.A.	N.A.
Terrace_Top	Illuminance	Fc	1.27	15.1	0.0	N.A.	N.A.
Property Line L3	Illuminance	Fc	0.05	0.5	0.0	N.A.	N.A.

Lightology Silo Dark Sky Outdoor Wall Sconce
ITEM NUMBER: HIN950361

DESCRIPTION
The Silo Dark Sky Outdoor Wall Sconce is the perfect addition to exteriors from coastal to modern. The compact design blends seamlessly into your space. Dark Sky Ordinance was developed as outdoor lighting standards that reduce glare, light trespass, and sky glow. Coated with anti-fading finishes, for maximum durability in harsh climates. Note: Title 24 Compliant with included bulb.



Shown in: Black / Etched Glass

SHADE COLOR	Etched Glass
BODY FINISH	Black
WATTAGE	6.5W
DIMMER	Low Voltage Electronic
DIMENSIONS	4.5W x 8.1H x 5.5D (in)
BULB INCLUDED	1 x HIN950361/040/2700K/LED

Technical Information:
LUMINOUS FLUX: 500 Lumens
LUMENS/WATT: 76.92
LAMP COLOR: 2700 K
COLOR RENDERING: 80 CRI

ITEM NUMBER: HIN950361

WALL SCONCE ('A')
- MOUNTING HEIGHT 7'6" UON ON LIGHTING PLANS

LUTRON Finire 3" Specifications

High-Performance LED

Finire Model	Standard	Warm Dimming
CRI (Typical)	95, R9-85	95, R9-85
Lumens (Delivered)	650-1750	800
Wattage	15	15
Efficacy (Lumens/Watt)	30-85	50

Lens & Finish Options for Every Ceiling Type

Micro Prism Solite™	Frosted Glass	Wall Wash	No Lens
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Note: All lens and finish options (except no lens) are wet (damp) location rated for covered, ceiling mount interior or exterior applications.

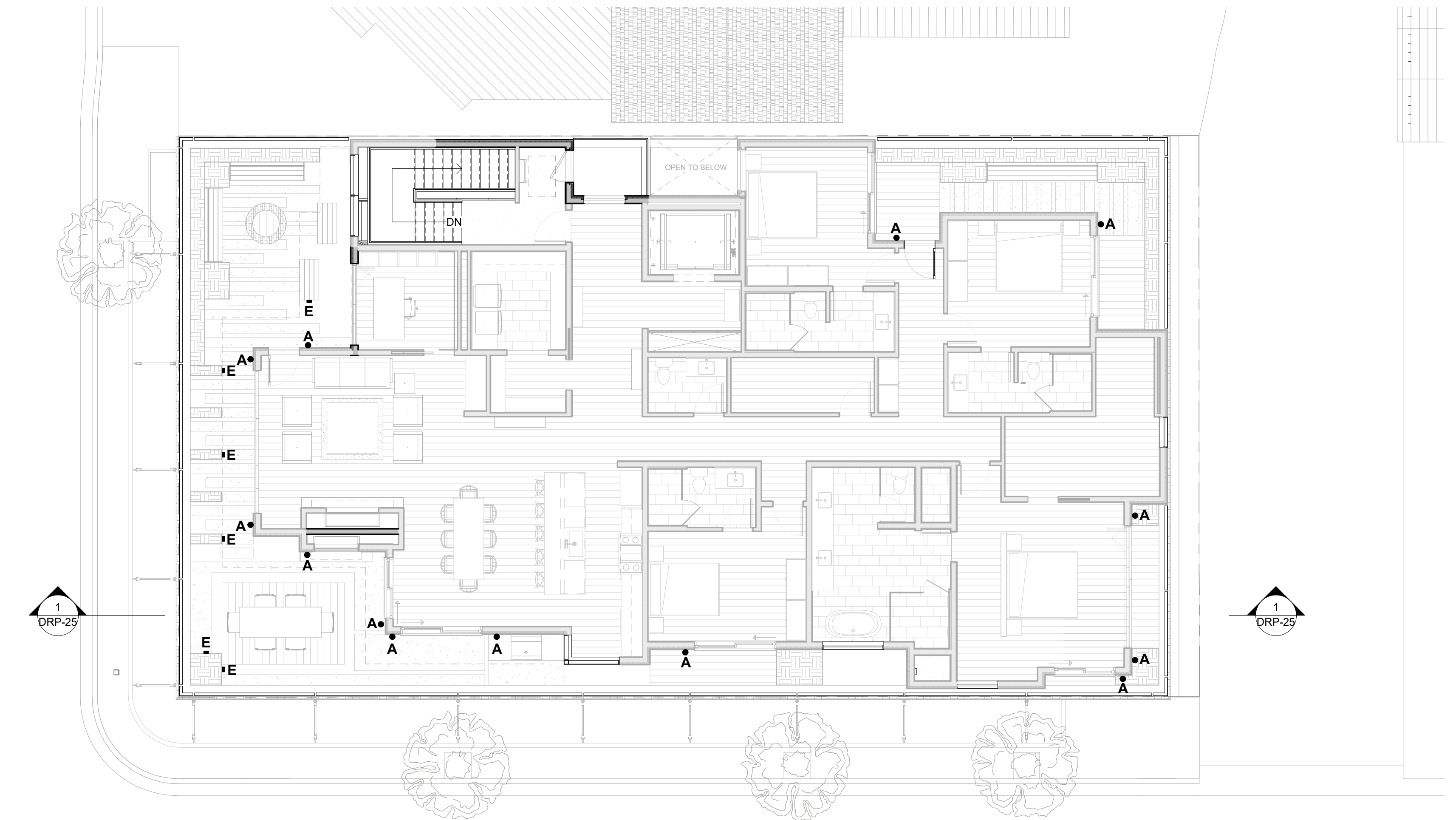
Matte White*	Matte Black*	Silver*	Bronze*	Silver/Chrome/White**	Clear Anodized/White**	Clear Chrome/White**	Black Chrome/White**
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Housings
IC housing: 18.9 in. Non-IC housing: 13.6 in.

Field Changeable Beam Angles
15°, 30°, 40°, 55°, Wall Wash (trim lens option)

RECESSED CAN LIGHTS ('B')
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS

RECESSED CAN STREETLIGHTS ('D')
- MOUNTING HEIGHT 12"
- TO BE METERED SEPARATELY AND DIMMED PER CITY STANDARDS (TO BE DEVELOPED)



THIRD FLOOR EXTERIOR LIGHTING
1/8" = 1'-0" 2

ARIA 2302BK MEDIUM HANGING LANTERN

Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant!

DETAILS	Finish: Black
MATERIAL	Aluminum
SLOPE DEGREE	90

DIMENSIONS	Width: 5.3"
HEIGHT	15.8"
WEIGHT	2.8lb

LIGHT SOURCE	LED Lamp
LED NAME	SL090D3-30K
VOLTAGE	120V
COLOR TEMP	3000*
LUMENS	325
CRI	90
INCANDESCENT EQUIVALENCY	1 x 50w
DIMMABLE	Yes - CL Type Dimmer (SBLTA)

MOUNTING
CANOPY: 6" Dia.
LEAD WIRE: 1" x 100"
MAX HEIGHT: 48"

SHIPPING
CARTON LENGTH: 22.5"
CARTON WIDTH: 8.5"
CARTON HEIGHT: 9"
CARTON WEIGHT: 14"
*RELAMP WITH 7 WATT, 2700K BULB

PRODUCT DETAILS:
• This stem hung fixture may be hung on a sloped ceiling.
• This fixture includes multiple down stems in various lengths to customize the installation height of the fixture, including one 6" stem and two 12" stems.
• Suitable for use in damp locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
• Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
• 2 year finish warranty.
• LED Bulbs carry a 3-year limited warranty.
• All-in-one fixture design comes with an LED bulb.
• Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade.

HINKLEY
HINKLEY 3300 Pin Oak Parkway Avon Lake, OH 44012
PHONE: (440) 653-5500
Toll Free: 1 (800) 444-5539
hinkley.com

HANGING LANTERN ('C')
- MOUNTING HEIGHT 8'6" UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.

FSLED™ Step lights

- Easy installation into a recessed 2" x 4" jbox
- Deep recess of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

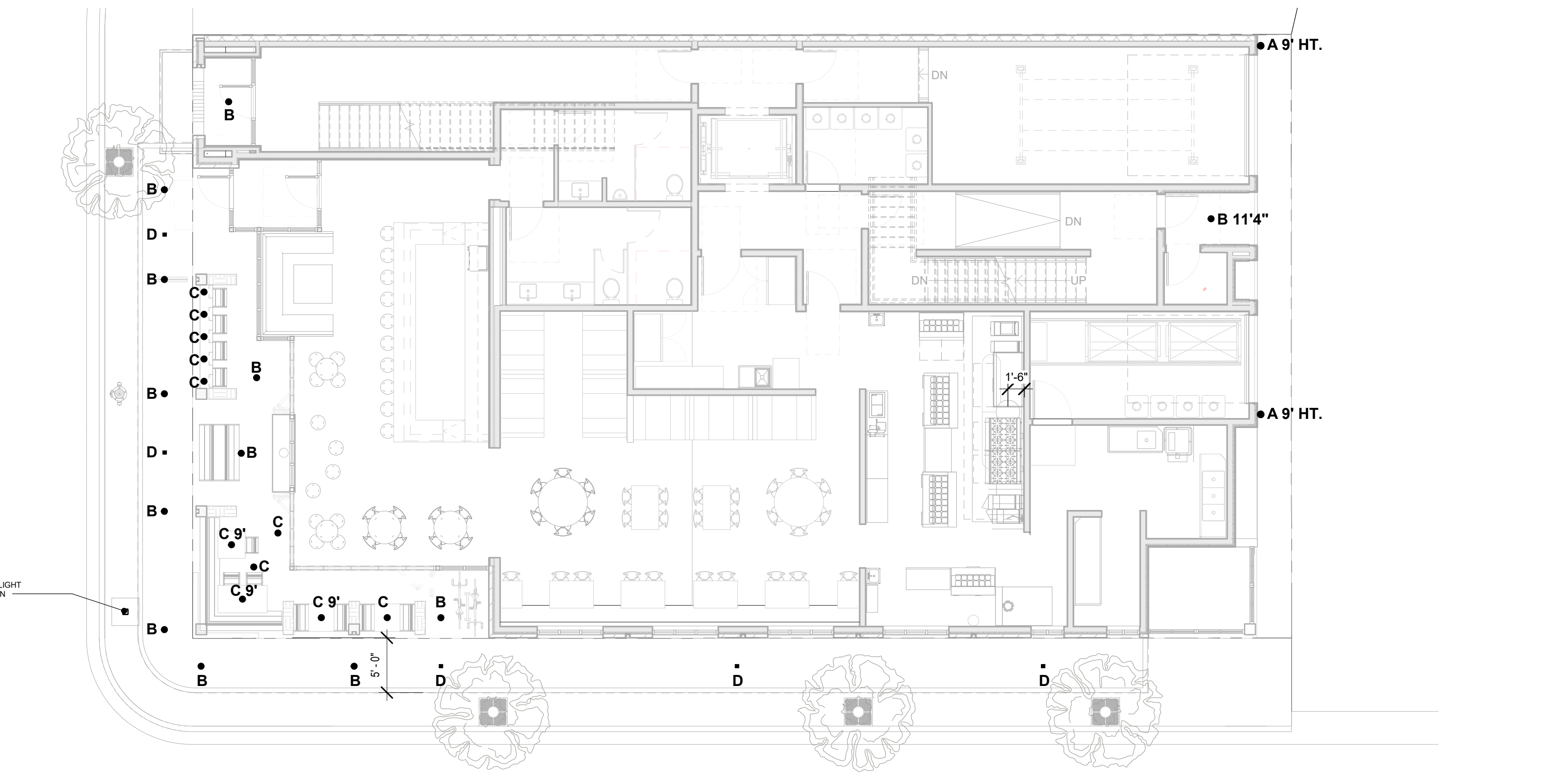
Specifications
UL Listing: Suitable for wet locations
IP Rating: Rated IP65, protected against dust and water ingress
LEDs: Long-life, high-efficiency surface mount LEDs
Current: 120V: 0.108A, 300mA, PF 95% 277V: 0.201A, 550mA, PF 95%
Lifetime: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
Color Temperature: 4000K, 3000K, 2700K
Input Watts: 3, 3, 3
Output Lumens*: 88, 88, 82
Color Accuracy (CRI)*: 82, 82, 79

Photometrics
FSLED Horizontal 1' 6" Mounting Height
FSLED Vertical 1' 6" Mounting Height

Ordering information

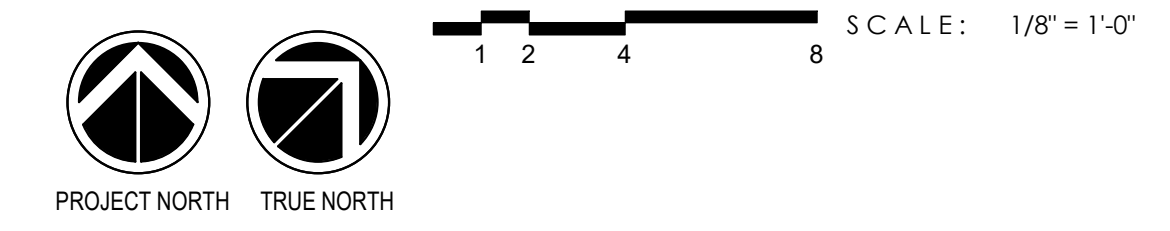
Finish	Color	Mounting	Output	Color	Voltage	Mounting
FSLED	H	V	3	N	120	TL
	W	Y	3	Y	277	TL
	B	S	3	B	277	TL
	W	S	3	W	277	TL
	B	S	3	B	277	TL
	W	S	3	W	277	TL
	B	S	3	B	277	TL
	W	S	3	W	277	TL
	B	S	3	B	277	TL

STEP LIGHTS ('E')
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.



FIRST FLOOR EXTERIOR LIGHTING
1/8" = 1'-0" 1

PROPOSED LIGHTING PLANS AND SPECIFICATIONS



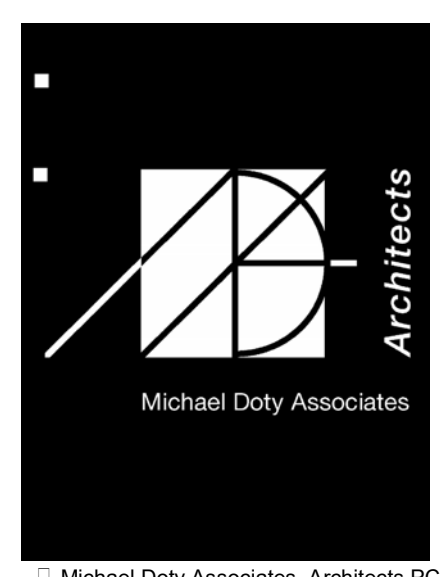
LIGHTING NOTES:

-ALL PROPOSED EXTERIOR LIGHTS COMPLY WITH KETCHUM MUNICIPAL CODE DARK SKIES CHAPTER 17.132.

200 NORTH MAIN

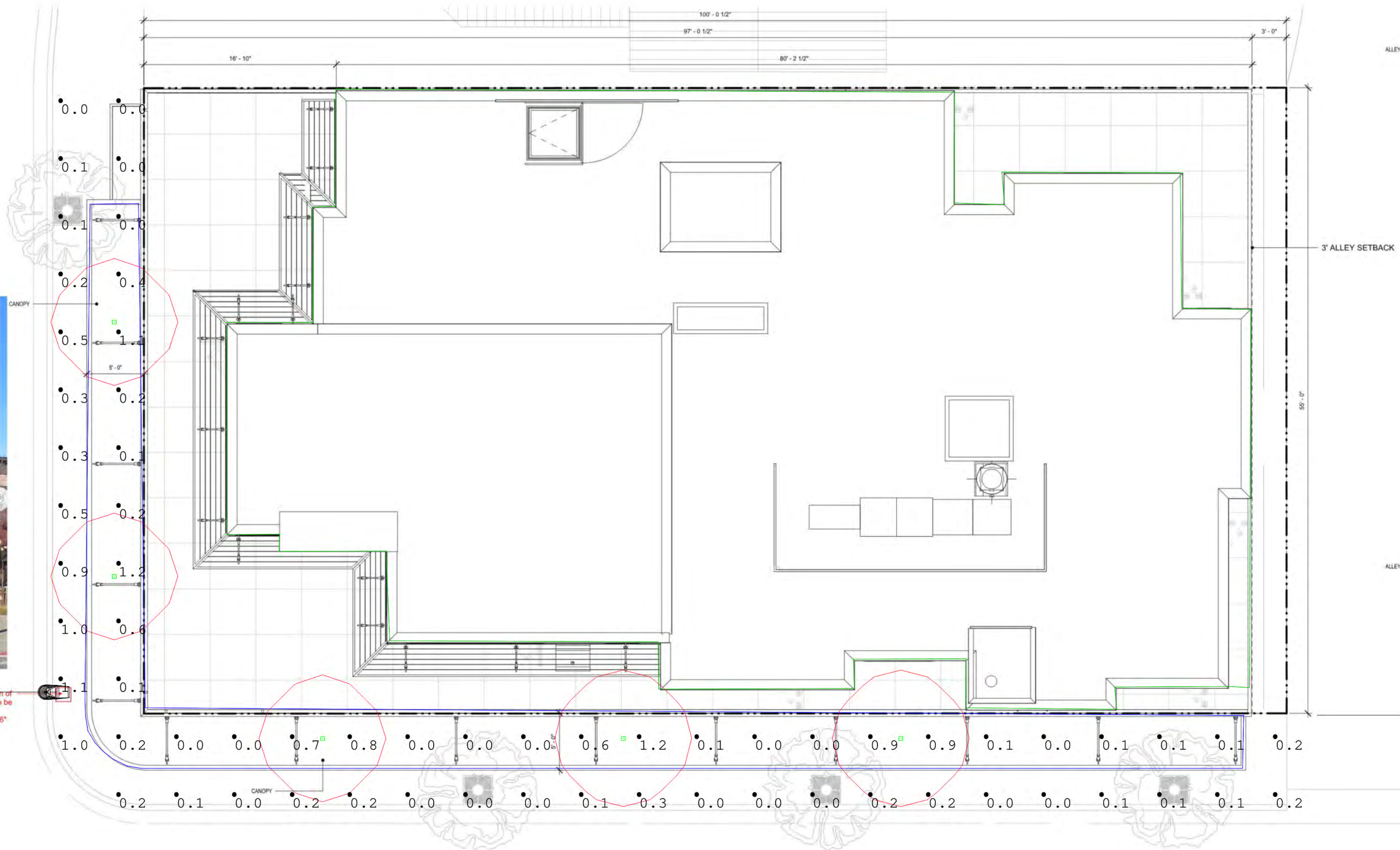
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
11/17/2024





Approximate location of existing streetlight to be re-lamped
Fixture height: ±16'-6"



Approximate location of power pole-mounted light
Fixture height: ±23'-6"

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
☐	1	ERLC_03C527-120-277V	SINGLE	N.A.	0.900	ERLC_03C527-120-277V
☐	1	800 Lumens ERLC	SINGLE	N.A.	0.300	ERLC_03C527-120-277V
☐	3	LFR 4%	SINGLE	N.A.	0.040	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S
☐	2	LFR 5%	SINGLE	N.A.	0.050	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calc Points	Illuminance	Fc	0.28	1.2	0.0	N.A.	N.A.

PHOTOMETRIC PLAN PREPARED BY THE MH COMPANIES

STREETLIGHT PHOTOMETRIC

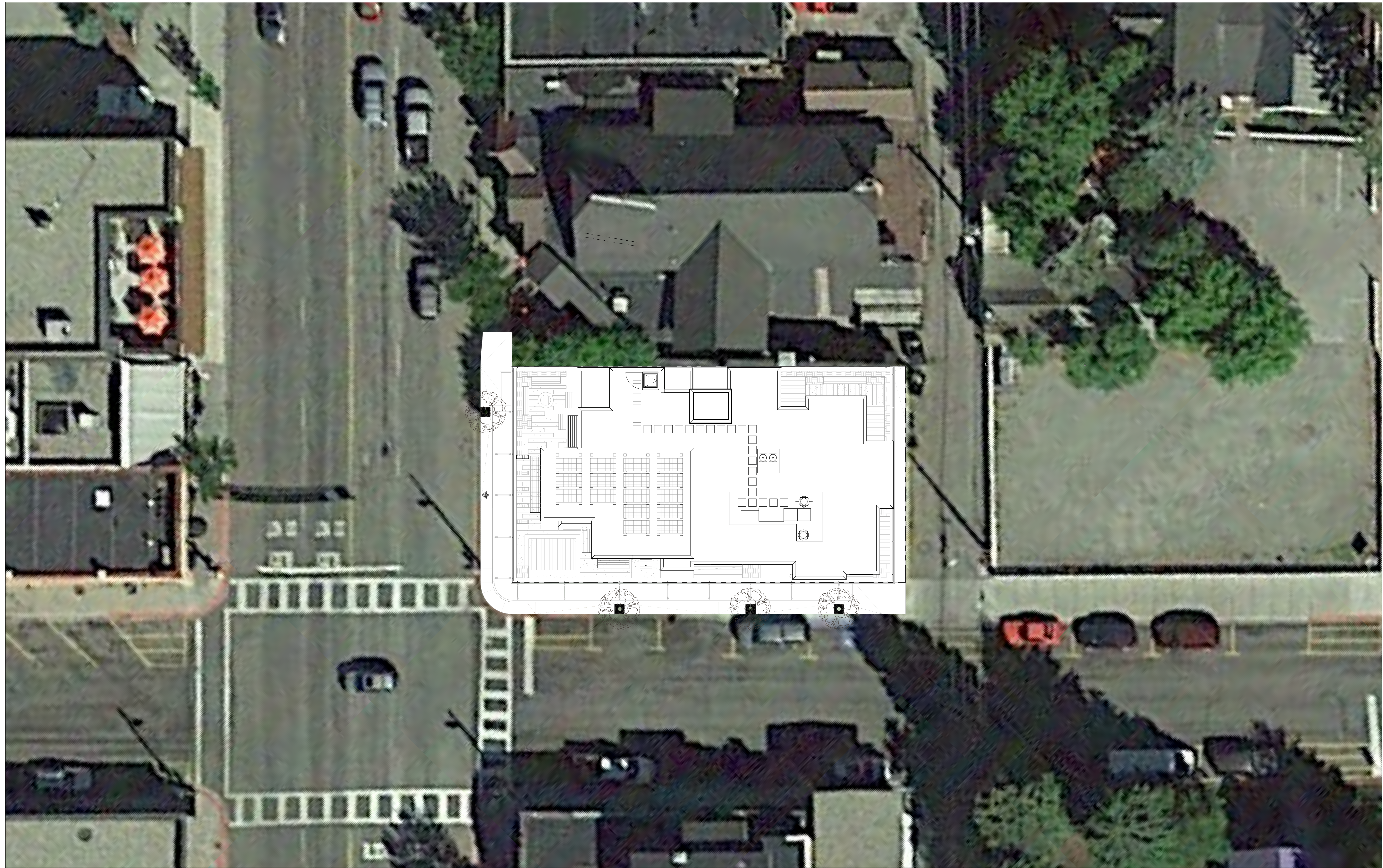
SCALE: N.T.S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED ARCHITECTURAL SITE PLAN

ZONING

ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION

RESIDENTIAL GROUP R-2

STORAGE GROUP S-2

ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION

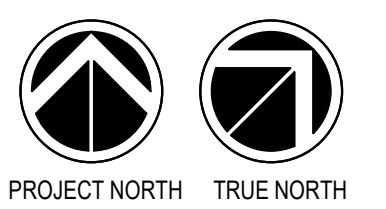
NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA

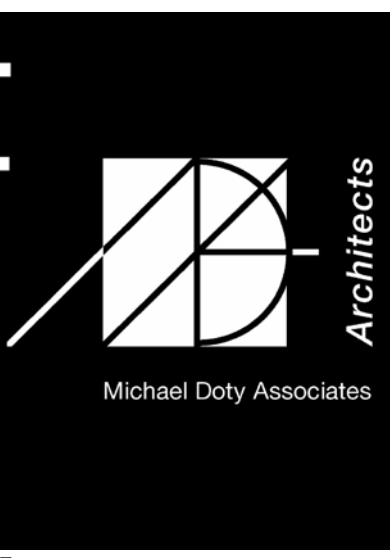
BUILDING AREA (GROSS): 12,398 SF

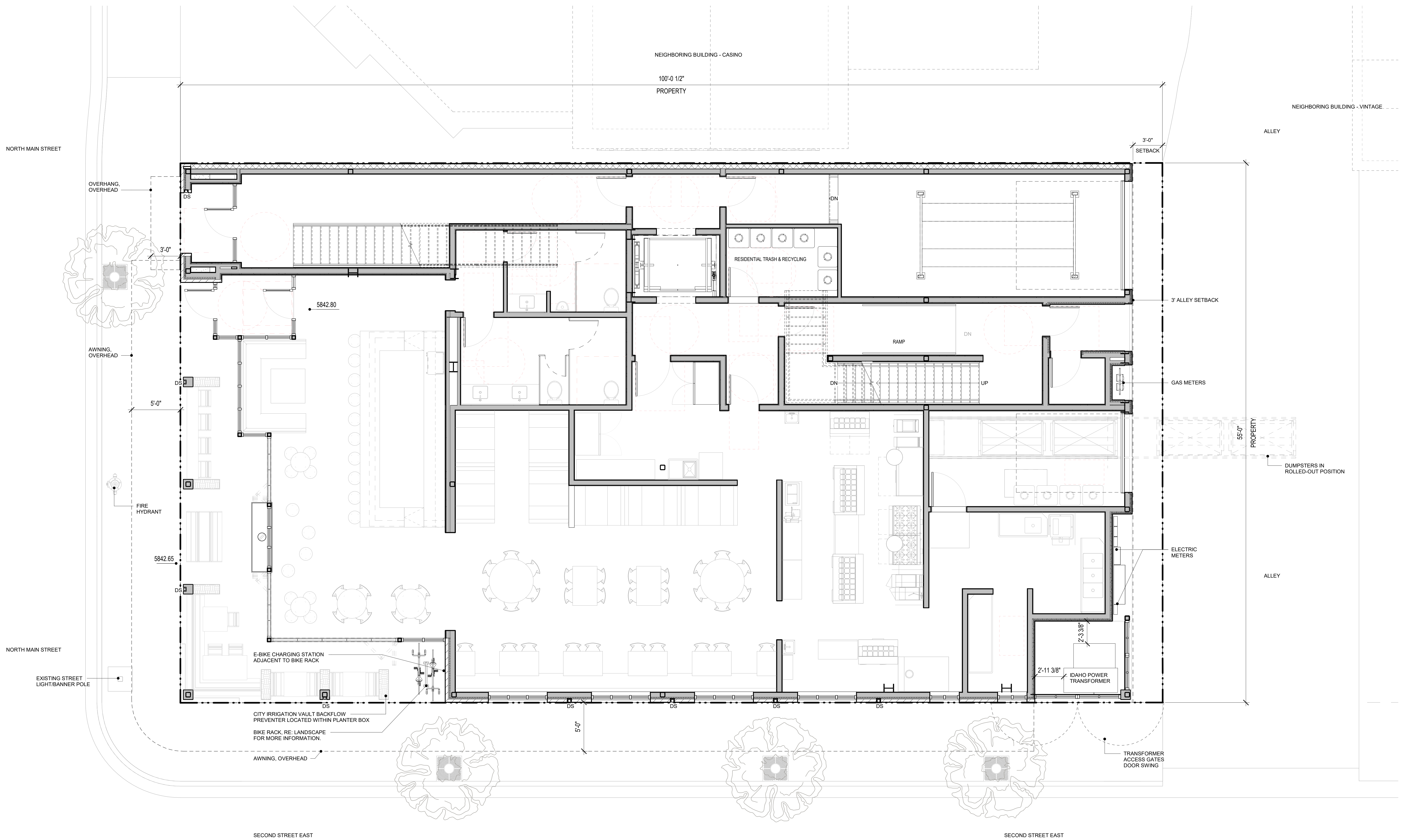


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED

ZONING
 ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION
 RESIDENTIAL GROUP R-2
 STORAGE GROUP S-2
 ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION
 NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

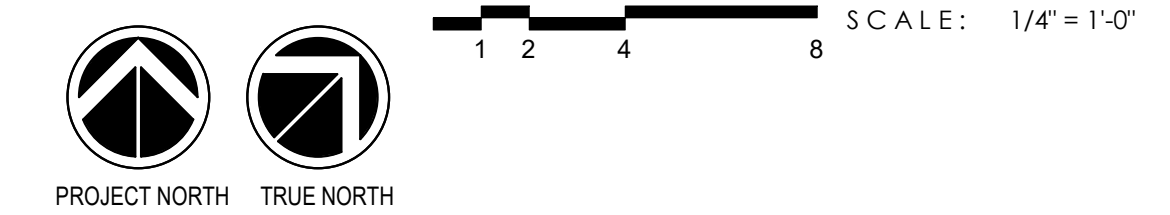
CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA
 BUILDING AREA (GROSS): 12,398 SF

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

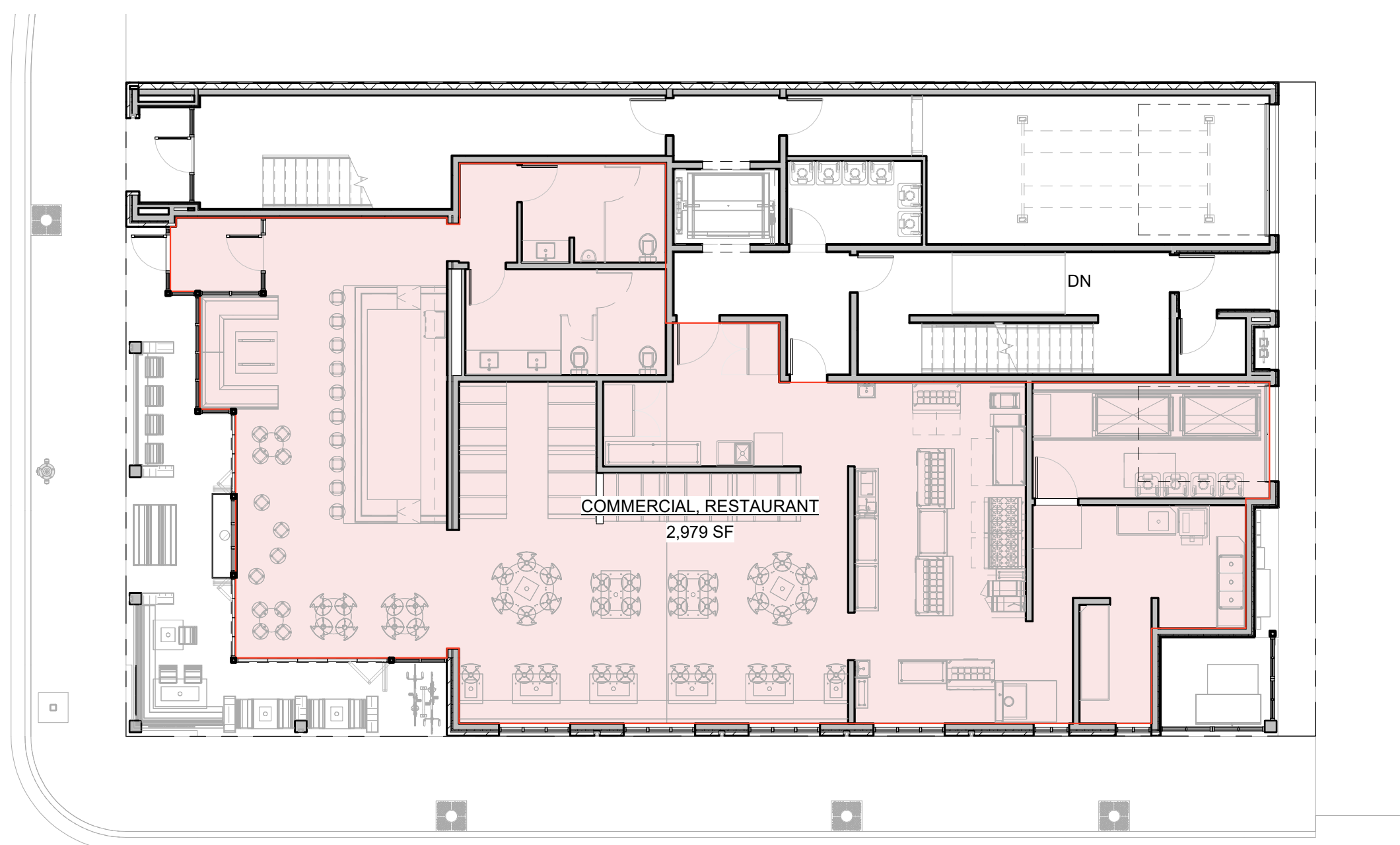


200 NORTH MAIN

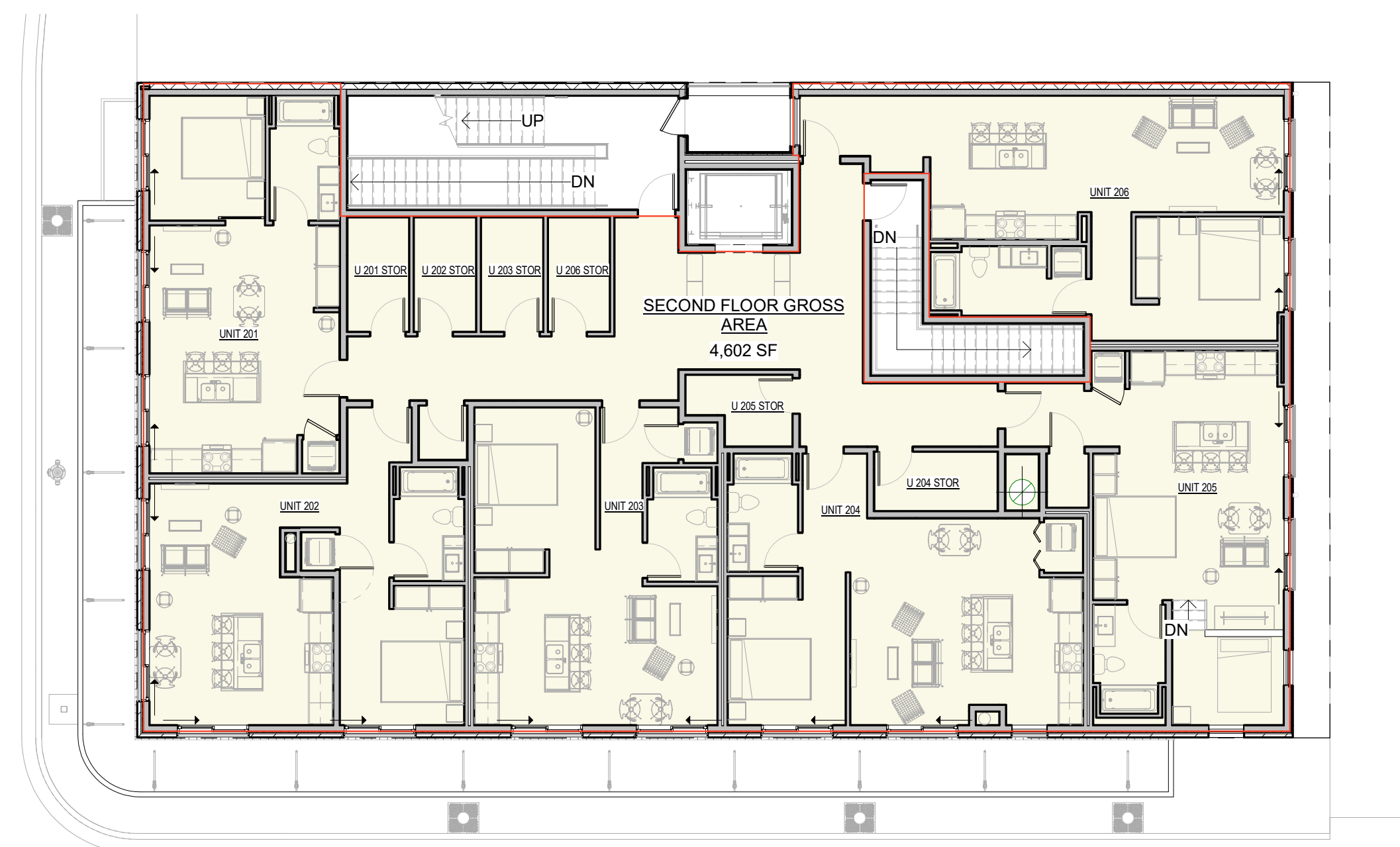
200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





GROUND FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"

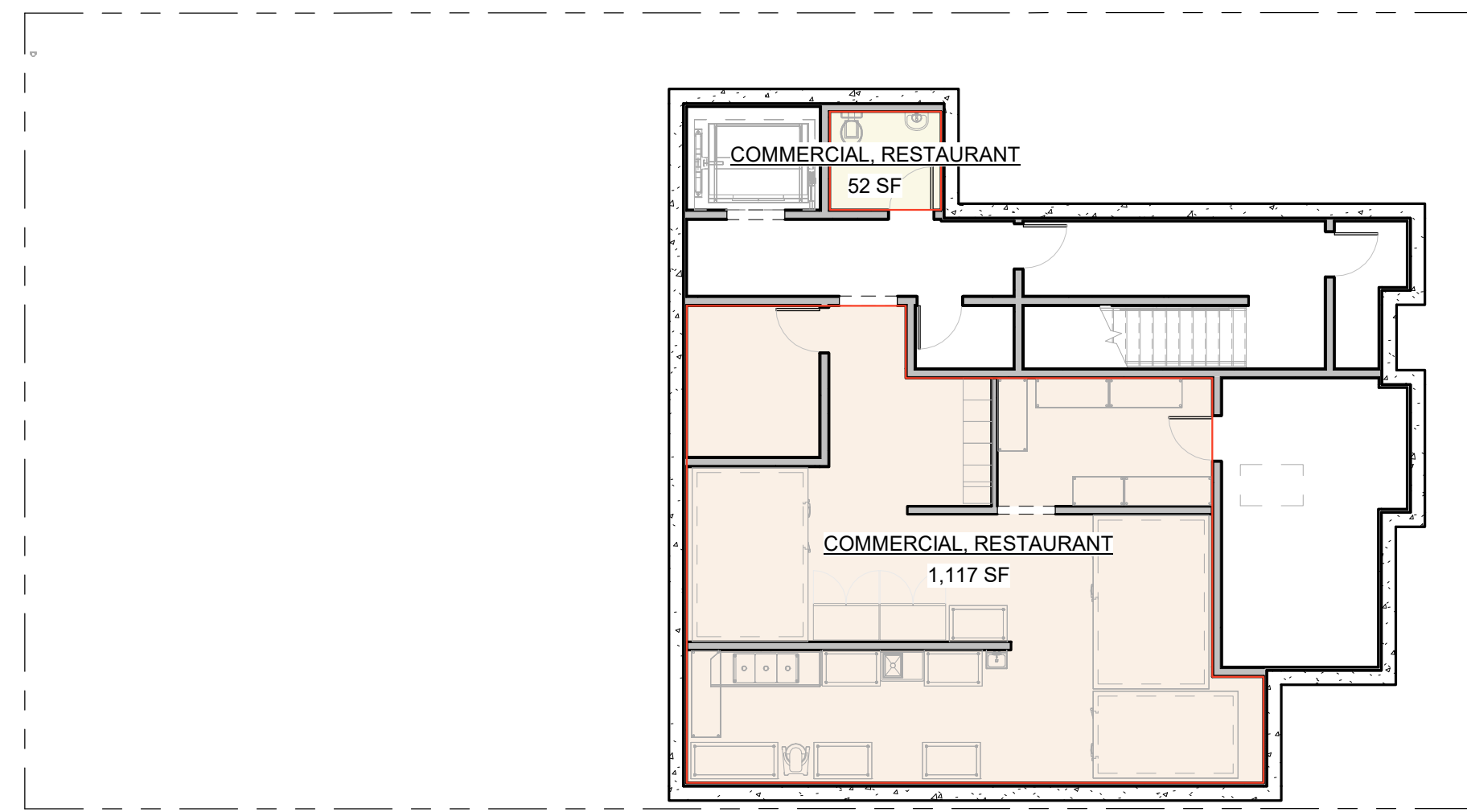


SECOND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

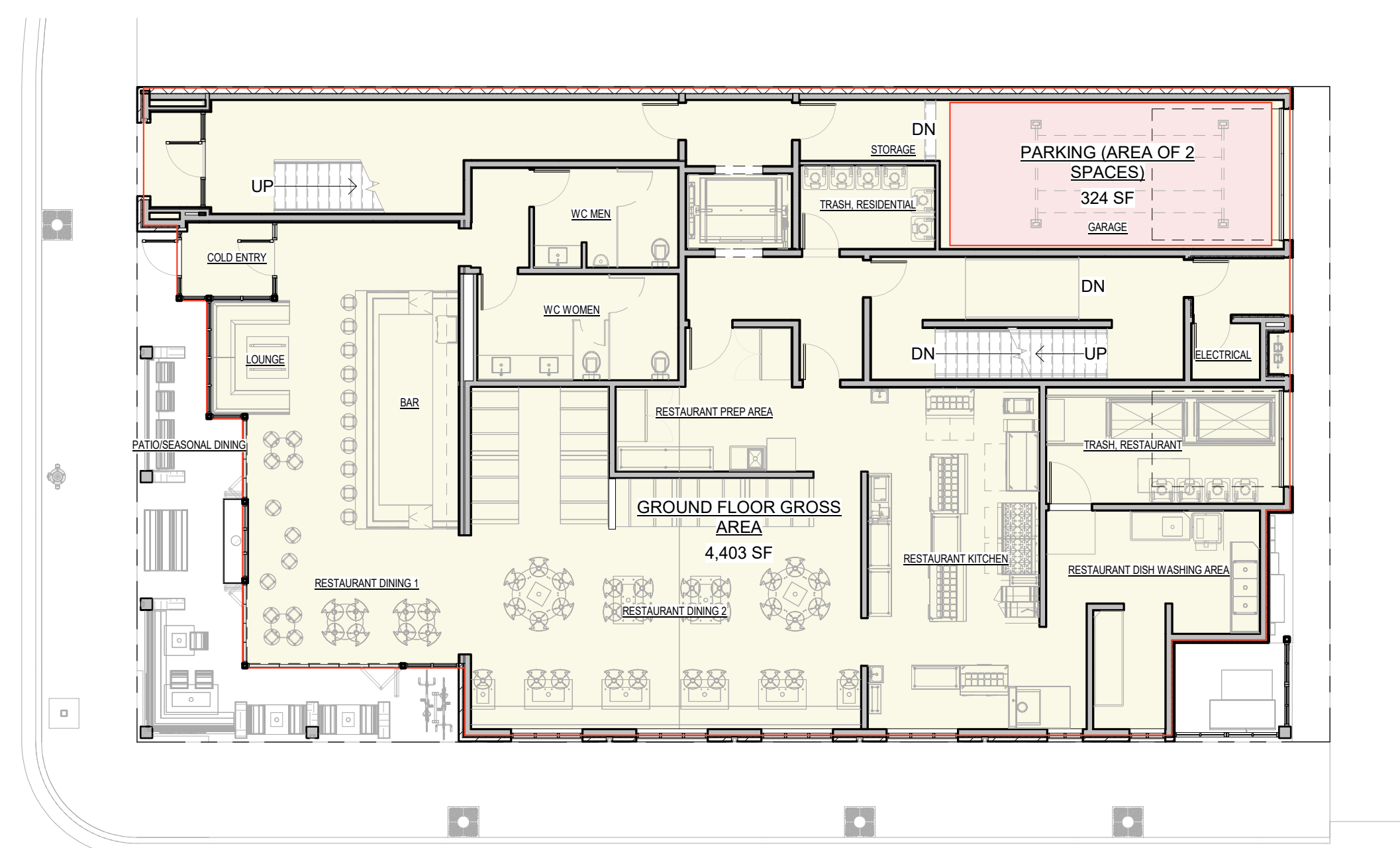
AREA SCHEDULE		
AREA NAME	AREA	NOTES
BASEMENT LEVEL GROSS AREA	2,117 SF	NOT INCLUDED IN TOTAL GROSS FLOOR AREA
	2,117 SF	
GROUND FLOOR GROSS AREA	4,403 SF	
PARKING (AREA OF 2 SPACES)	324 SF	SUBTRACTED FROM TOTAL GROSS FLOOR AREA
	4,727 SF	
SECOND FLOOR GROSS AREA	4,602 SF	
	4,602 SF	
THIRD FLOOR GROSS AREA	3,393 SF	
	3,393 SF	
TOTAL FLOOR AREA	14,839 SF	

AREA SCHEDULE - GROSS - FAR			
AREA NAME	AREA	LEVEL	LEVEL
GROUND FLOOR GROSS AREA	4,403 SF	GROUND LEVEL	
	4,403 SF		
SECOND FLOOR GROSS AREA	4,602 SF	SECOND FLOOR	
	4,602 SF		
THIRD FLOOR GROSS AREA	3,393 SF	THIRD FLOOR	
	3,393 SF		
TOTAL GROSS FLOOR AREA*	12,398 SF		

*PER CITY OF KETCHUM DEFINITION: FLOOR AREA, GROSS



BASEMENT FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"



GROUND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

AREA SCHEDULE - NET - COMMERCIAL			
AREA NAME	AREA	LEVEL	LEVEL
COMMERCIAL, RESTAURANT	1,117 SF	BASEMENT LEVEL	
COMMERCIAL, RESTAURANT	52 SF	BASEMENT LEVEL	
	1,169 SF		
COMMERCIAL, RESTAURANT	2,979 SF	GROUND LEVEL	
	2,979 SF		
TOTAL NET/COMMERCIAL FLOOR AREA	4,148 SF		

FLOOR AREA RATIO

BUILDING GROSS AREA
TOTAL FLOOR AREA LESS BASEMENT, LESS AREA OF 2 PARKING SPACES
12,398 SF

FAR
DIVIDE BUILDING GROSS AREA BY LOT AREA
 $12,398 \div 5,503 =$
2.25 FAR

ORDINANCE 1234, MINIMUM RESIDENTIAL DENSITY

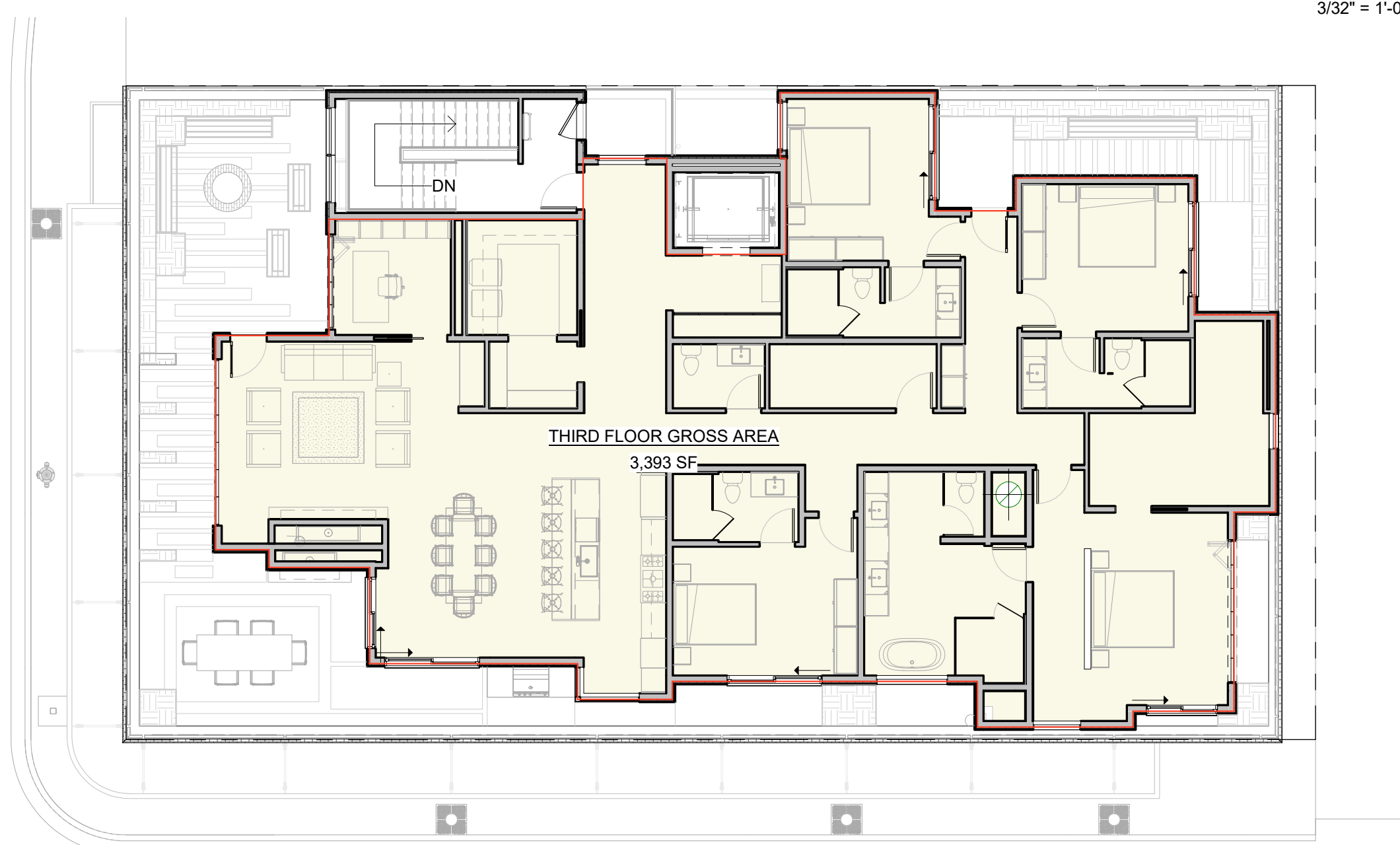
MINIMUM HOUSING DENSITY
DIVIDE NET COMMERCIAL AREA BY BUILDING GROSS AREA =
 $4,148 \div 12,398 =$
33%
3 RESIDENTIAL UNITS REQUIRED
7 RESIDENTIAL UNITS PROVIDED
4 RESIDENTIAL UNITS OVER MINIMUM

ORDINANCE 1234, GROUND FLOOR COMMERCIAL AREA RATIO

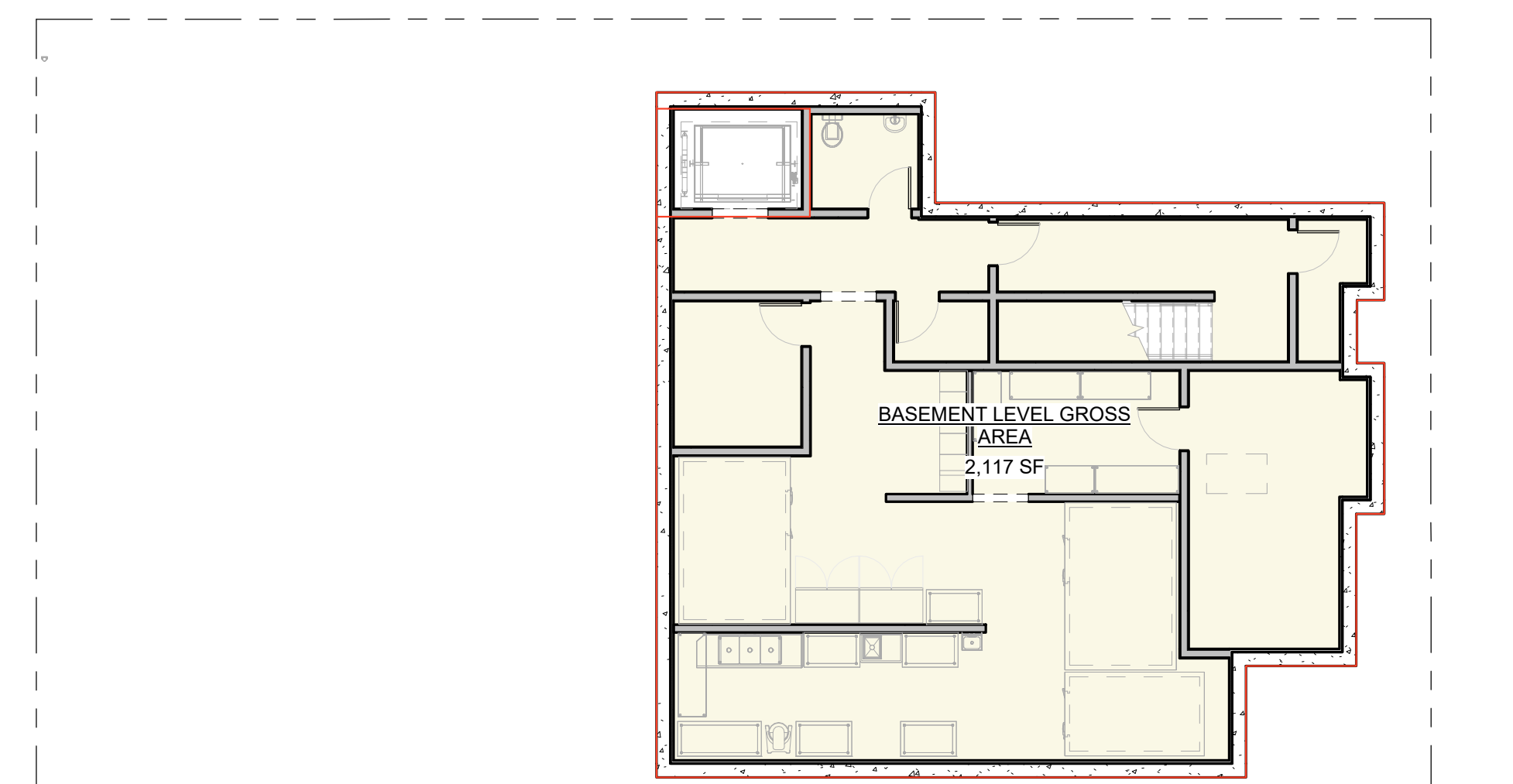
GROUND FLOOR NET COMMERCIAL AREA
2,979 SF
GROUND FLOOR GROSS AREA
4,403 SF
GROUND FLOOR COMMERCIAL AREA RATIO
DIVIDE GROUND FLOOR NET COMMERCIAL AREA BY GROUND FLOOR GROSS AREA
 $2,979 \div 4,403 =$
68% OF GROUND FLOOR AREA IS COMMERCIAL
13% OVER MINIMUM 55%

INCLUSIONARY HOUSING INCENTIVE CALCULATION

BUILDING GROSS AREA OVER 1.0 FAR
 $12,398 \text{ SF} - 5,503 \text{ SF} (1.0 \text{ FAR}) = 6,895 \text{ SF}$
REQUIRED AREA OF DEED RESTRICTED HOUSING
 $6,895 \text{ SF} \times 20\% = 1,379 \text{ SF}$
 $1,379 \text{ SF} - 15\% (\text{NET LIVABLE}) = 1,172 \text{ SF}$ REQUIRED AS DEED RESTRICTED
COMMUNITY HOUSING DESIGNATION FOR INCOME CATEGORY 4
UNIT 205 (600 SF) + UNIT 206 (692) = 1,292 SF DEED RESTRICTED PROVIDED



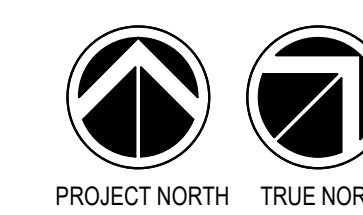
THIRD FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



BASEMENT FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS

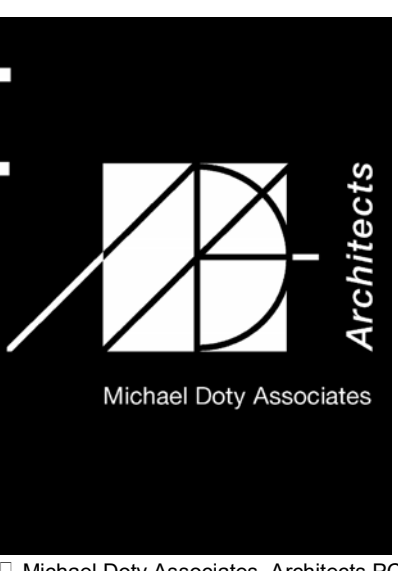
SCALE: 3/32" = 1'-0"

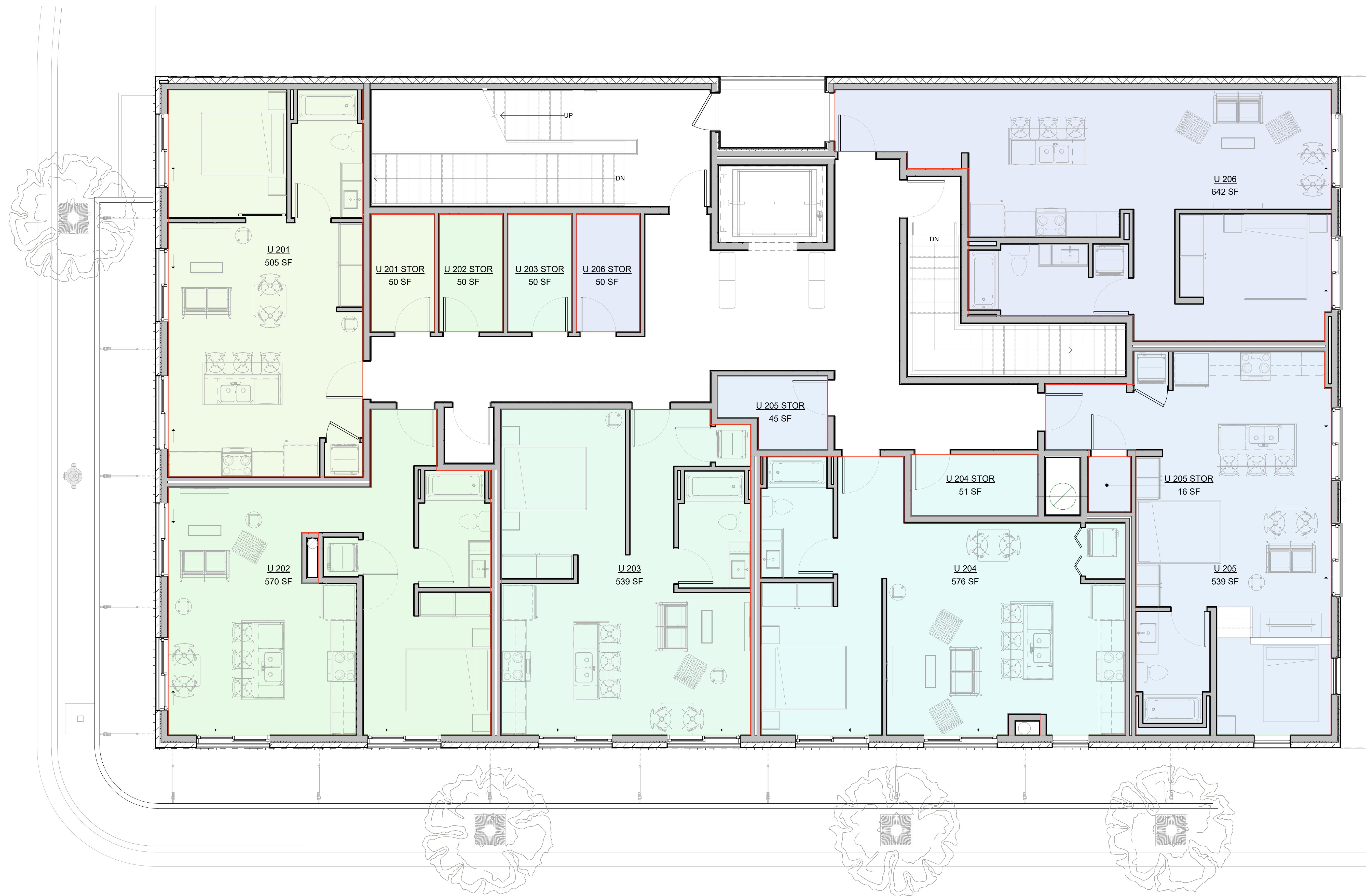


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

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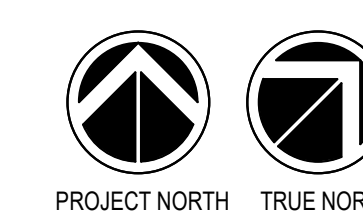




AREA SCHEDULE 2ND FLOOR RESIDENTIAL UNITS	
NAME	NET AREA
U 201	505 SF
U 201 STOR	50 SF
	555 SF
U 202	570 SF
U 202 STOR	50 SF
	620 SF
U 203	539 SF
U 203 STOR	50 SF
	589 SF
U 204	576 SF
U 204 STOR	51 SF
	627 SF
U 205	539 SF
U 205 STOR	45 SF
U 205 STOR	16 SF
	600 SF
U 206	642 SF
U 206 STOR	50 SF
	692 SF
2ND FLOOR TOTAL	3,683 SF

PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS

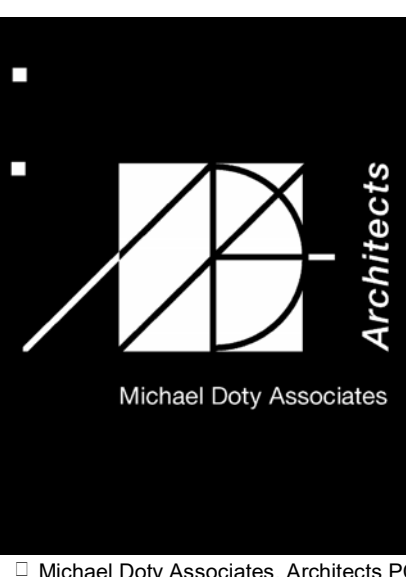
SCALE: 1/4" = 1'-0"

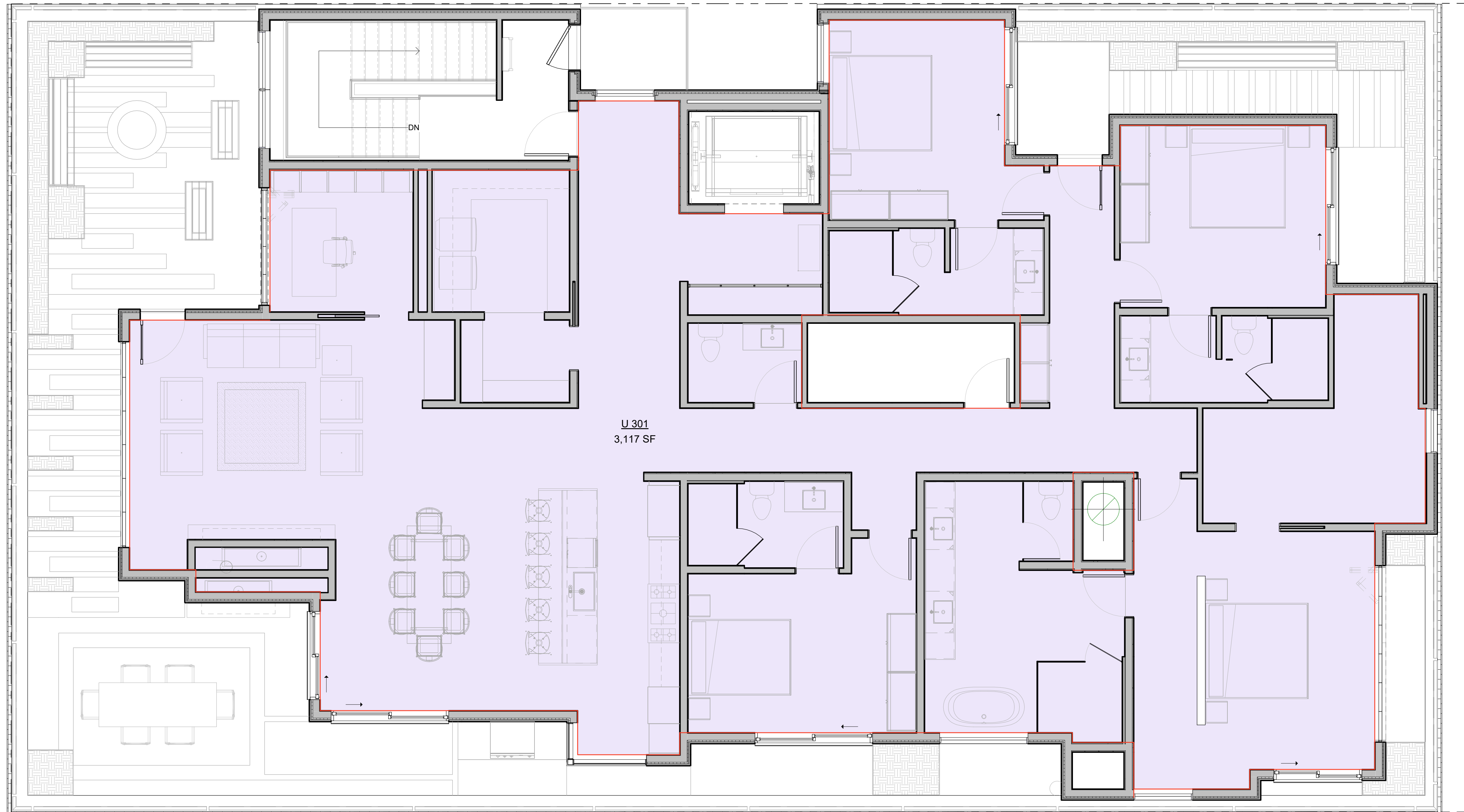


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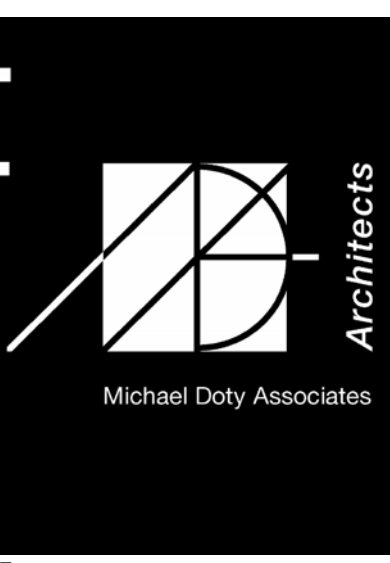
PROPOSED THIRD FLOOR PLAN - NET UNIT AREA

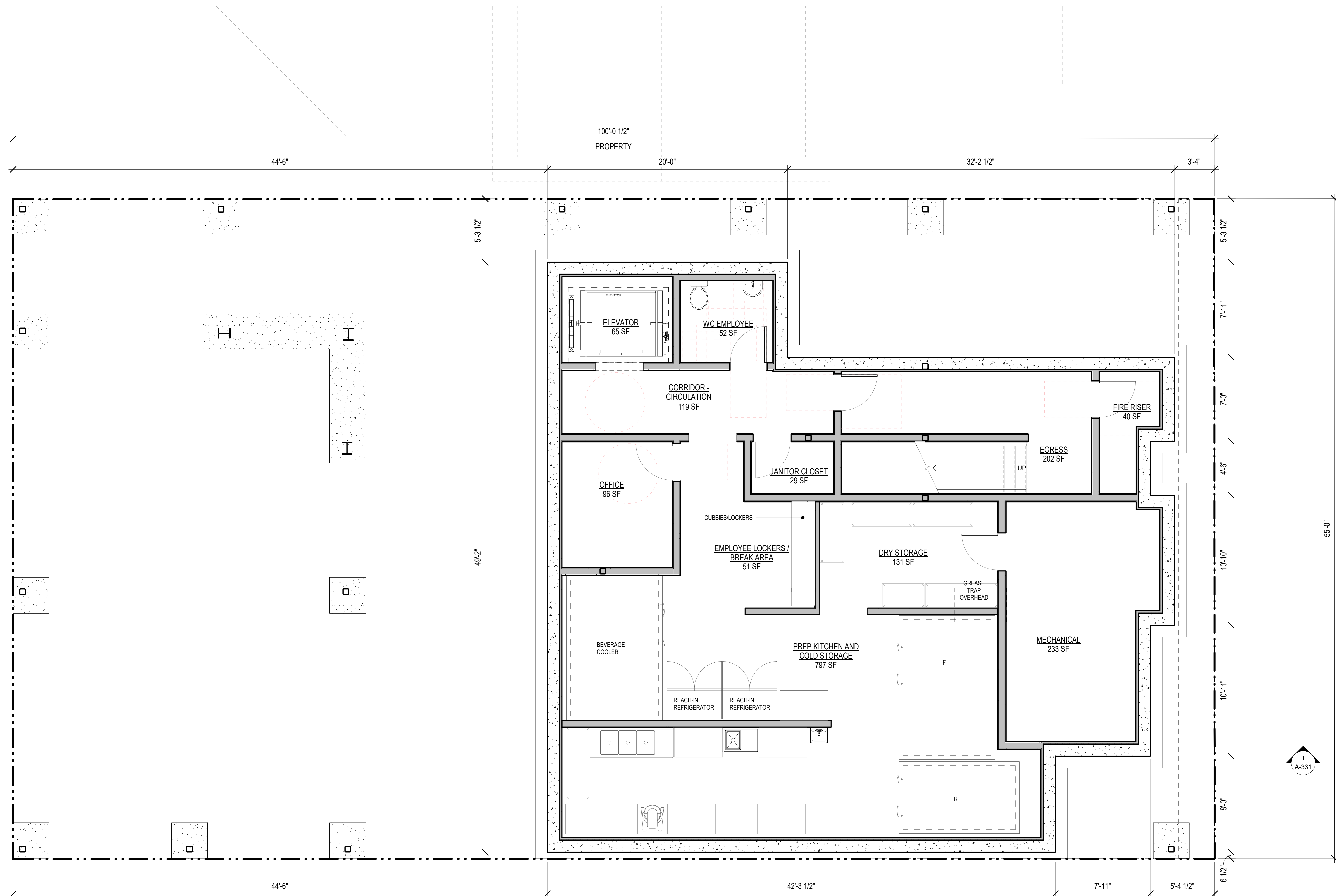
SCALE: 1/4"=1'-0"

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KETCHUM, ID 83340

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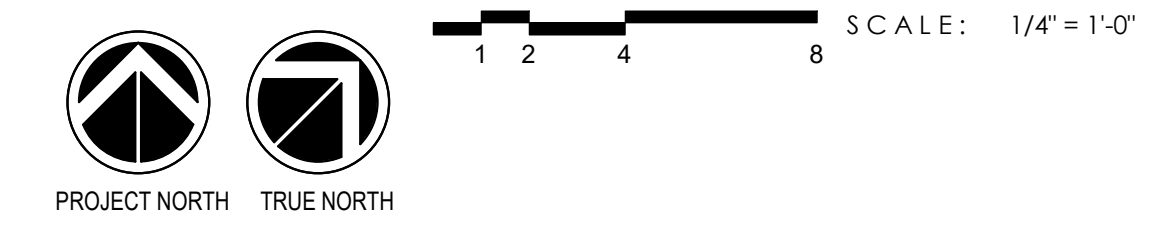
SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP A-2
 RESIDENTIAL GROUP R-2

DRAWING NOTES
 ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

PROPOSED BASEMENT PLAN

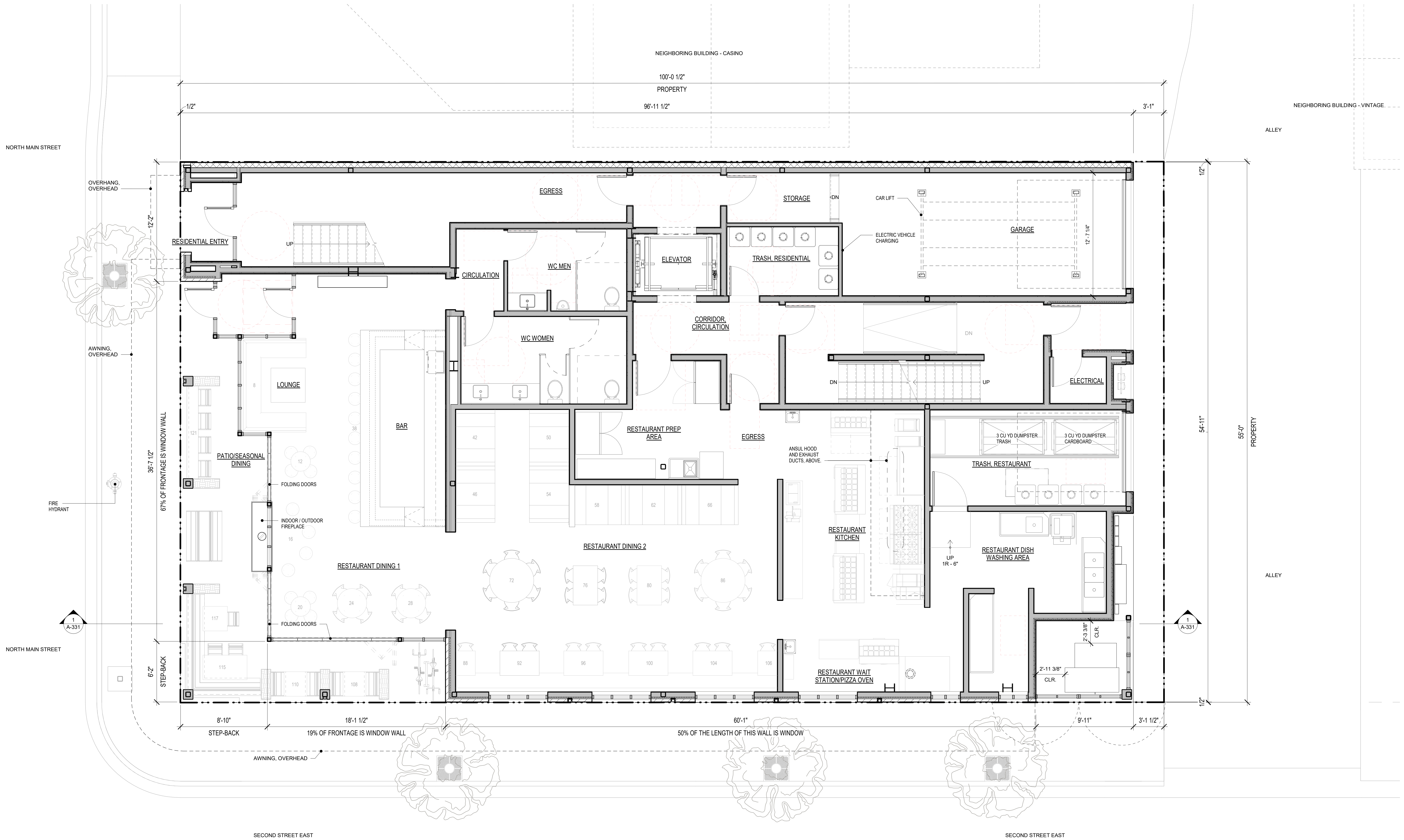


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PROPOSED GROUND FLOOR PLAN

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

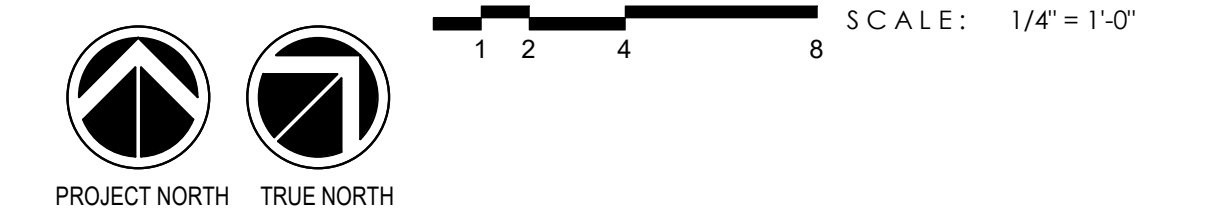
SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

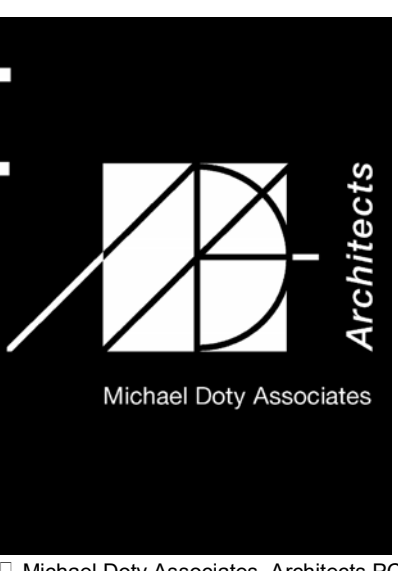
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

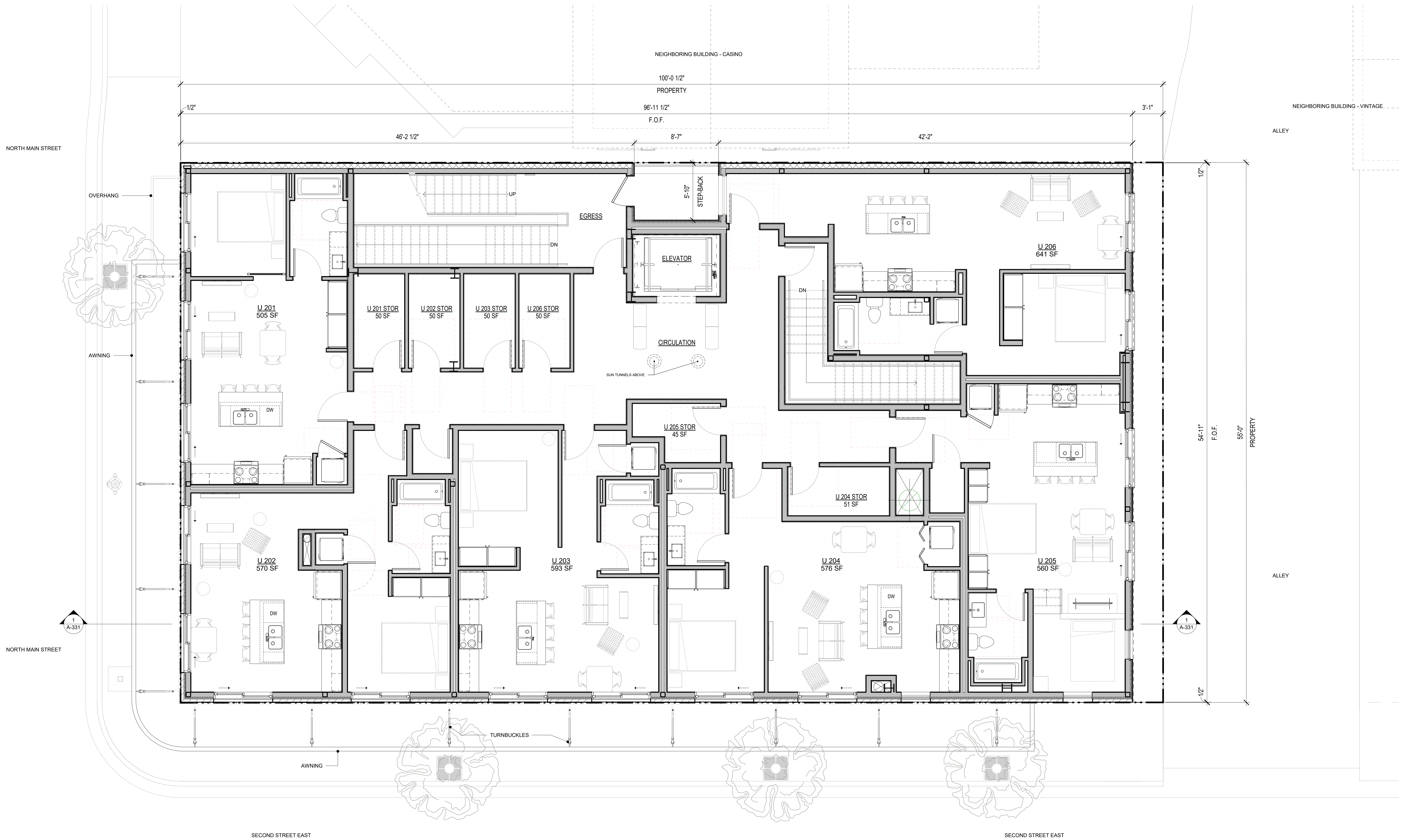


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PROPOSED SECOND FLOOR PLAN

SITE DIMENSIONS & AREAS

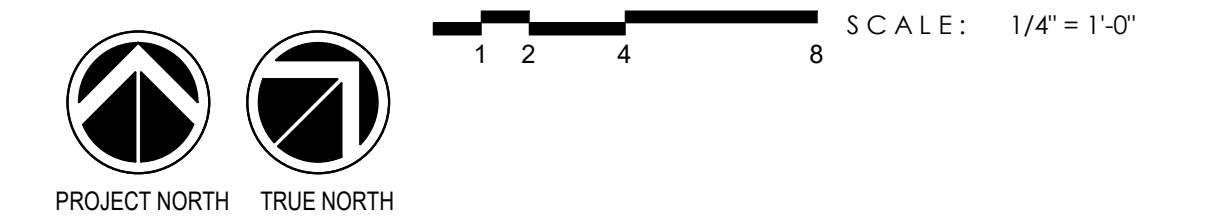
LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

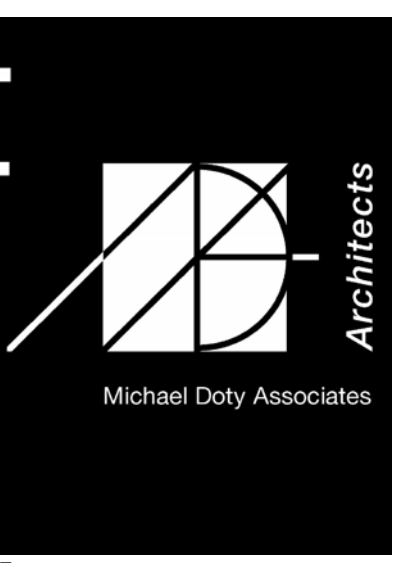
ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

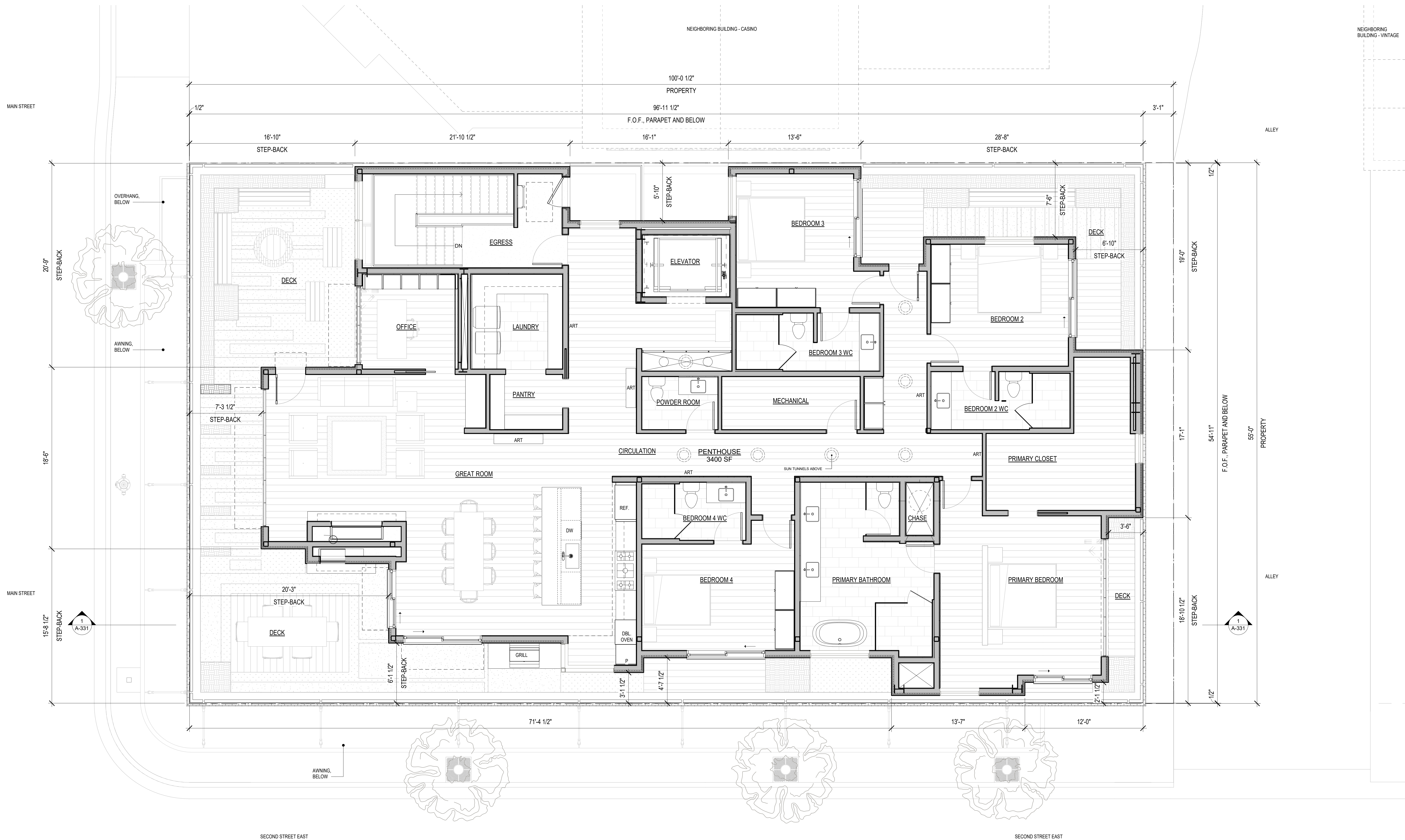


200 NORTH MAIN

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KETCHUM, ID 83340

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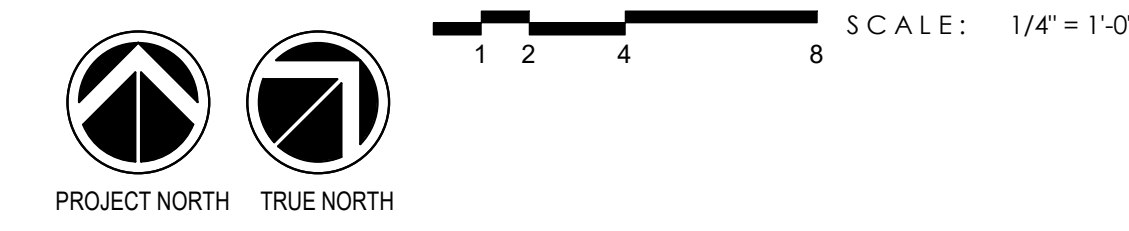
PROPOSED THIRD FLOOR PLAN

SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP A-2
 RESIDENTIAL GROUP R-2

DRAWING NOTES
 ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

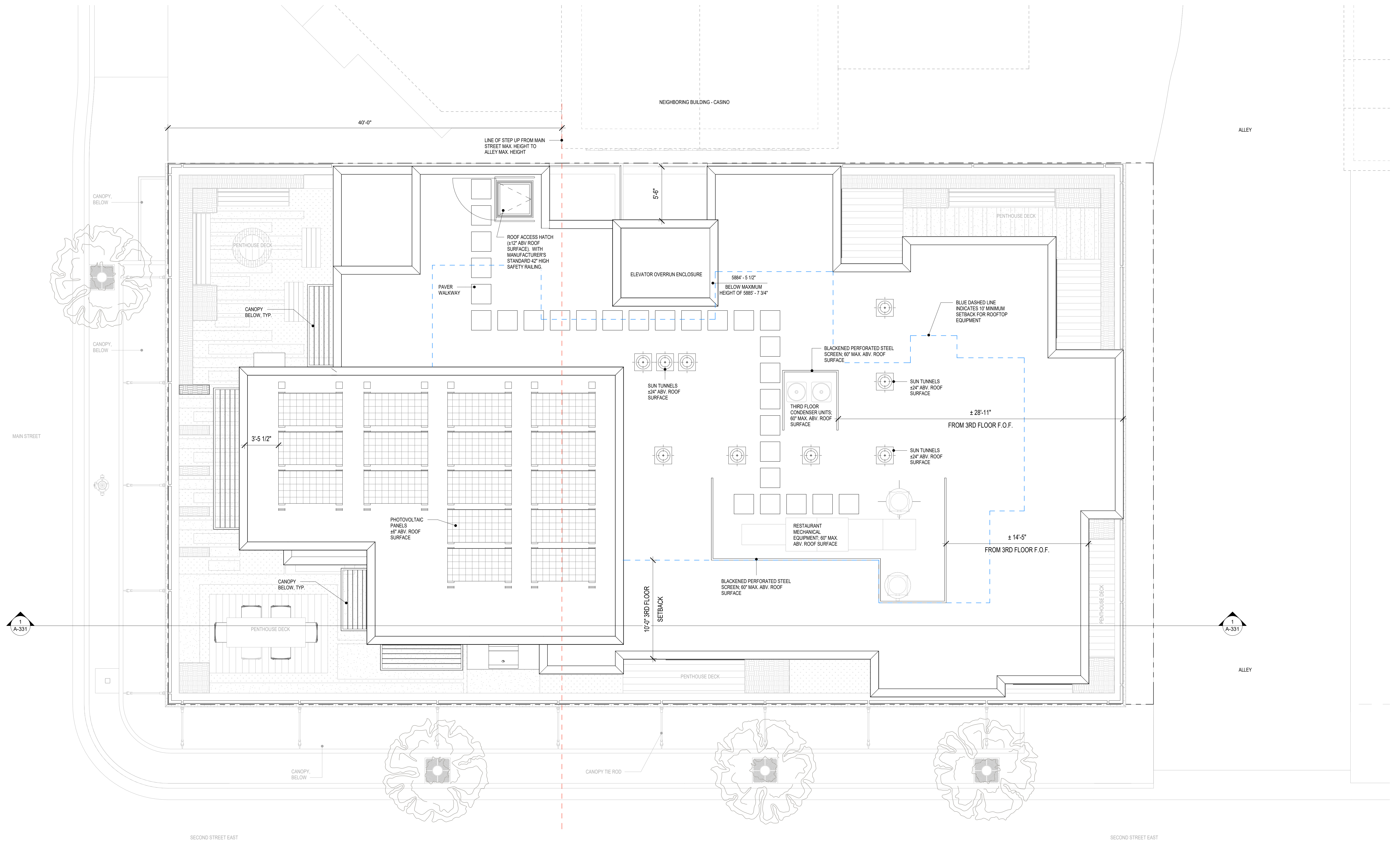


200 NORTH MAIN

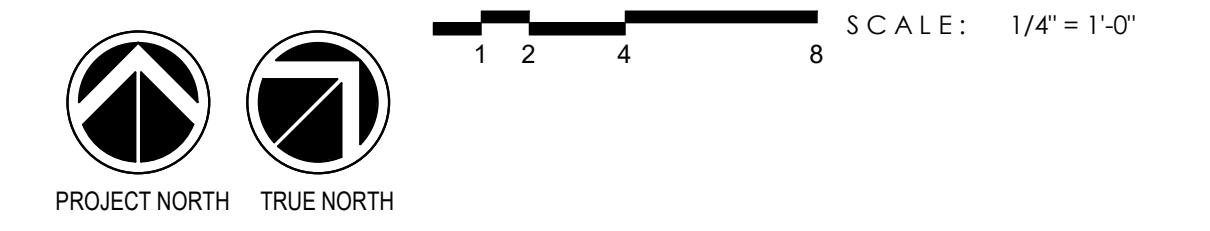
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 KETCHUM, ID 83340

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PROPOSED ROOF PLAN



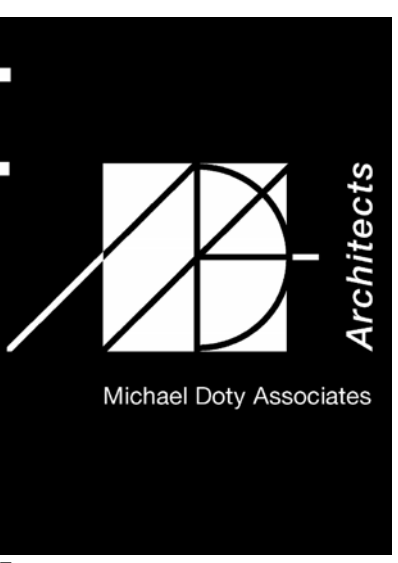
DRAWING NOTES

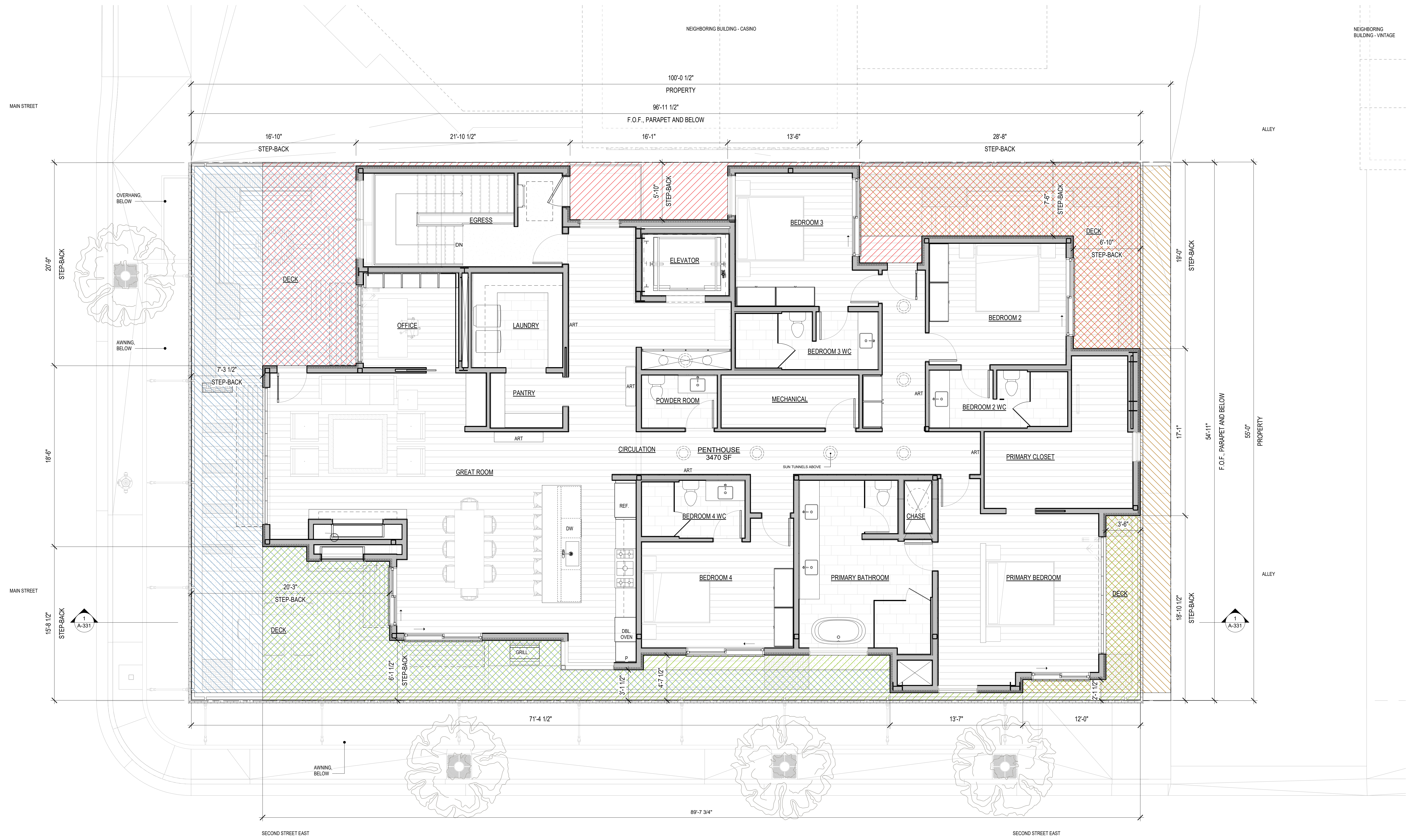
ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F.) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

200 NORTH MAIN

200 N. MAIN ST.
 KETCHUM, ID 83340

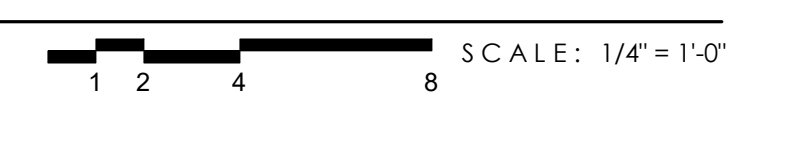
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THIRD FLOOR SETBACK DIAGRAM

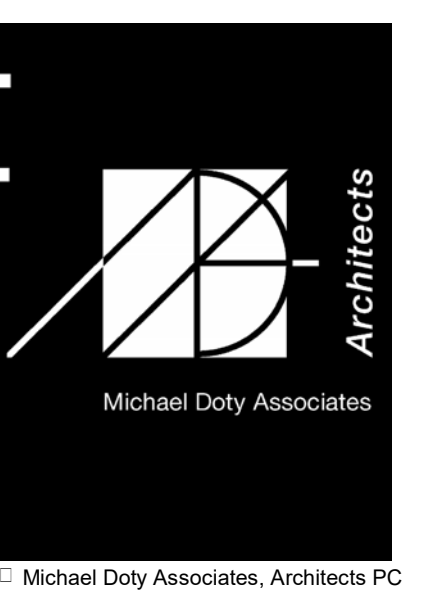
- NORTH WALL: 6'-10" AVERAGE SETBACK
37% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE
- SOUTH WALL: 6'-0" AVERAGE SETBACK
15% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE
- EAST WALL: 9'-7" AVERAGE SETBACK
31% OF WALL LENGTH WITHIN 6' OF 3-FOOT ALLEY SETBACK
- WEST WALL: 17'-1" AVERAGE SETBACK
0% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE

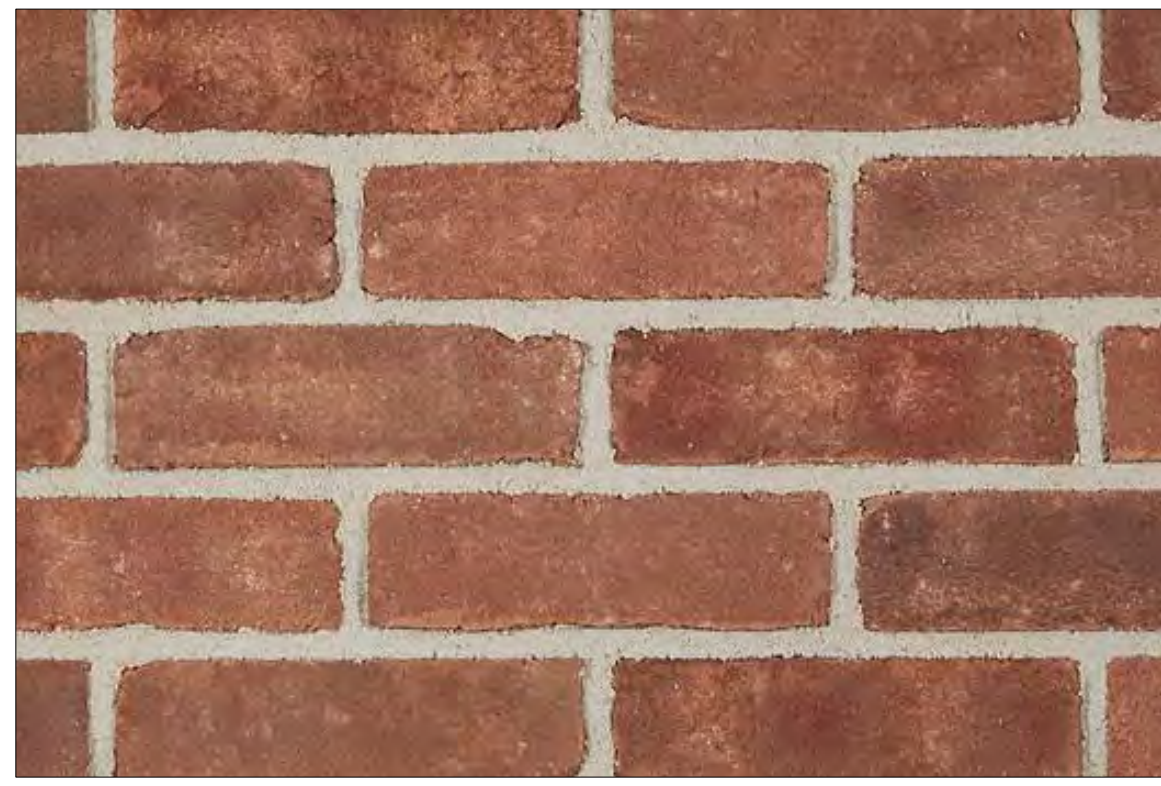


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EXTERIOR FINISH 1 (EF-1):
FULL SIZE BRICK, SANDMOLD TEXTURE
RED COLOR, SAND COATING
BELDEN BRICK COMPANY



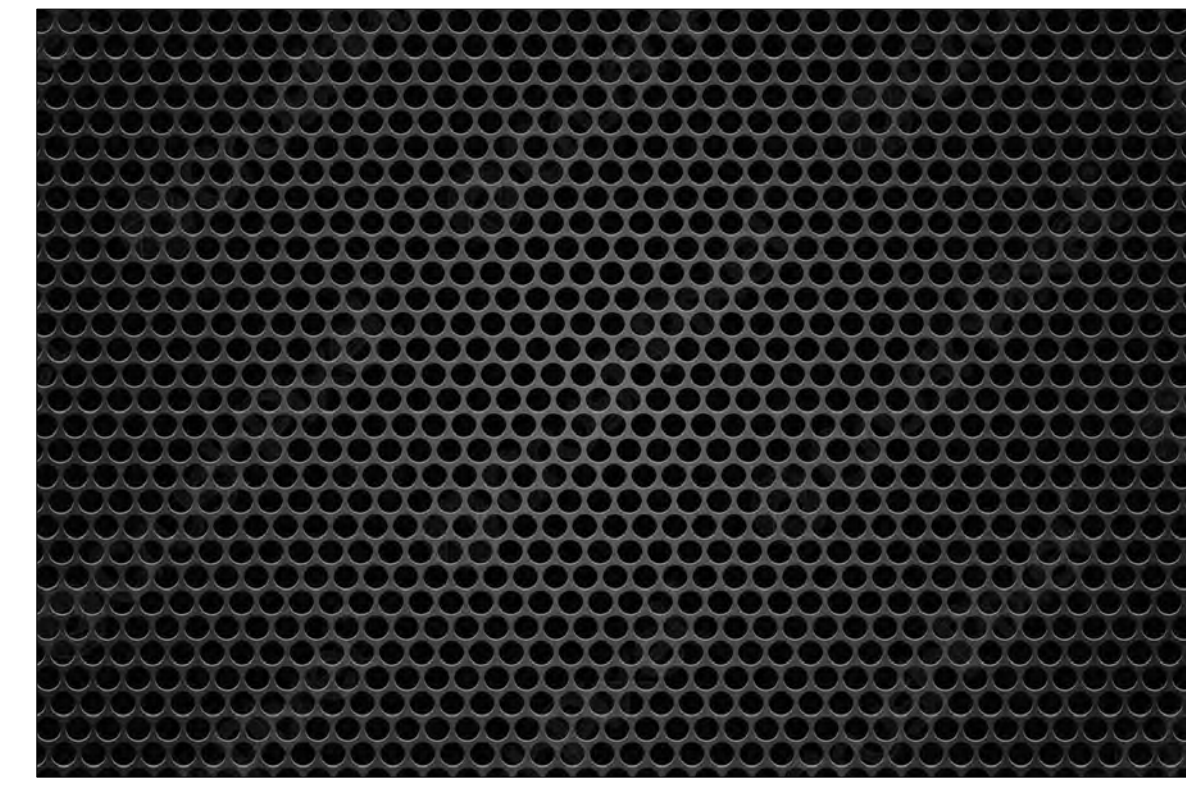
EXTERIOR FINISH 2 (EF-2):
INDIANA LIMESTONE
COLOR: FULL COLOR BLEND



EXTERIOR FINISH 3 (EF-3):
EXTERIOR STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 4 (EF-4):
MATAVERDE PREMIUM DECKING AND SIDING
SOLUTIONS: THERMALLY MODIFIED HEM-FIR



EXTERIOR FINISH 5 (EF-5):
EXTERIOR PERFORATED STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 6 (EF-6):
NEOLITH SINTERED STONE SIDING PANELS;
IRON CORTEN



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



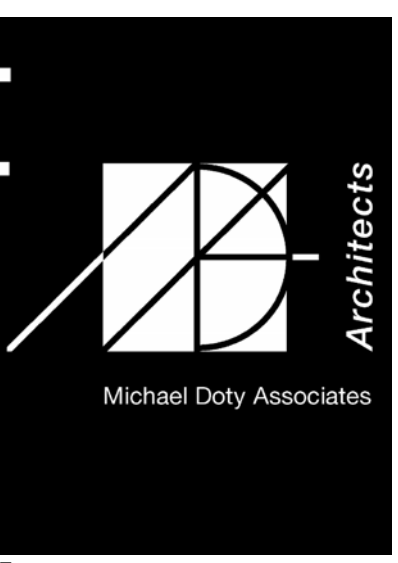
WINDOW AND DOOR SYSTEM
BLACK METAL FINISH

PROPOSED EXTERIOR FINISHES

200 NORTH MAIN

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PROPOSED BUILDING ELEVATIONS - WEST

JUNE 21 - 4:30PM 1 2 4 8 SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= 5842.80' + 5842.77' / 2 = 5842.79'

WEST PROPERTY LINE MAXIMUM HEIGHT

= 5842.79' + 42' = **5884.79'** or 5884' 9 1/2"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= 5843.40' + 5843.89' / 2 = 5843.65'

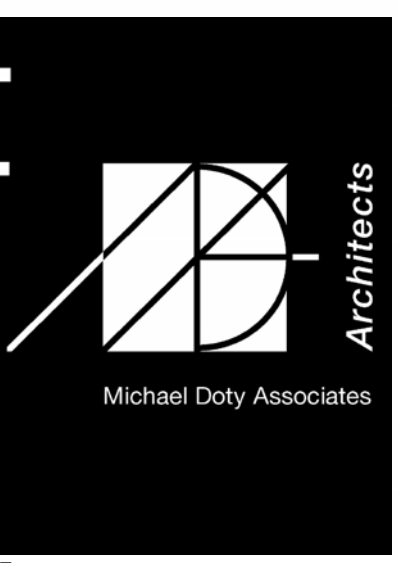
EAST PROPERTY LINE MAXIMUM HEIGHT

= 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"

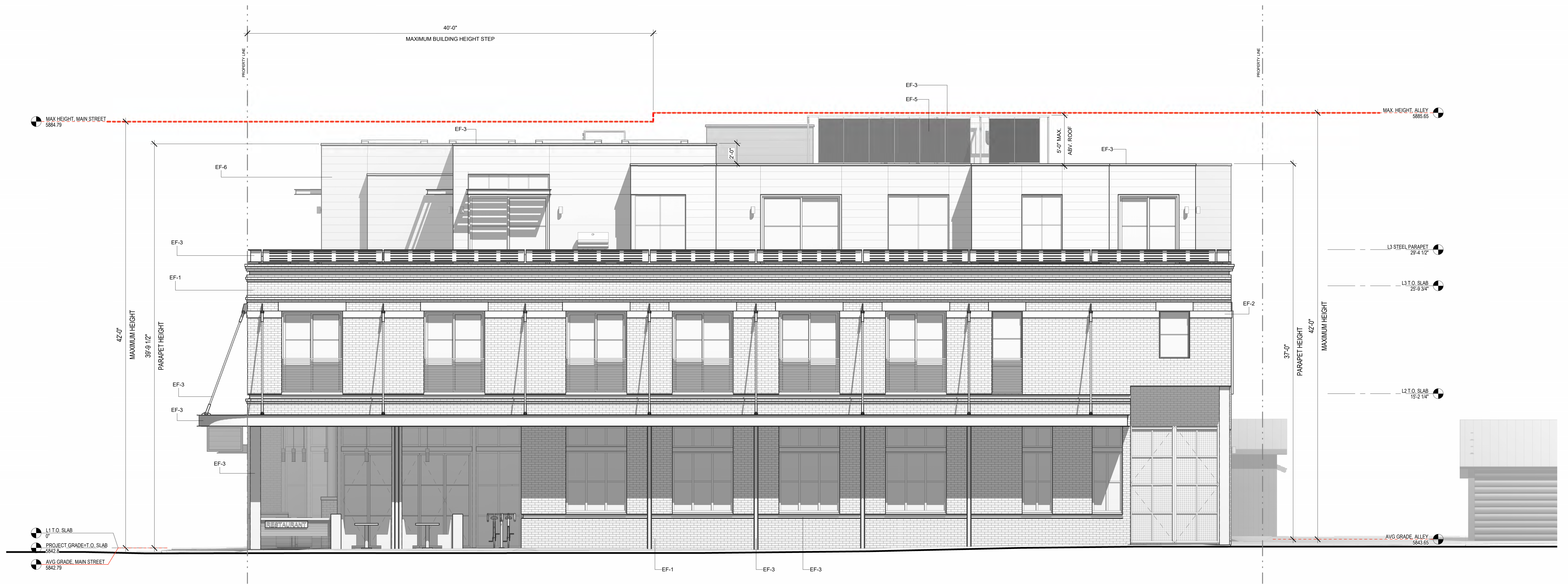
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

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PROPOSED BUILDING ELEVATIONS - SOUTH

SHADOWS: 06/21, 11:00 AM SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= $5842.80' + 5842.77' / 2 = 5842.79'$

WEST PROPERTY LINE MAXIMUM HEIGHT

= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2''$

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= $5843.40' + 5843.89' / 2 = 5843.65'$

EAST PROPERTY LINE MAXIMUM HEIGHT

= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4''$

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

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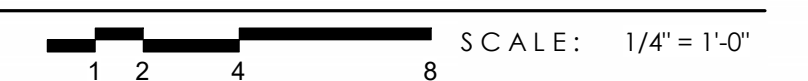
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BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE	MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE
= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"	= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"
= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS	= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS
SW CORNER GROUND ELEVATION = 5842.80' NW CORNER GROUND ELEVATION = 5842.77'	SE CORNER GROUND ELEVATION = 5843.40' NE CORNER GROUND ELEVATION = 5843.89'
= $5842.80' + 5842.77' / 2 = 5842.79'$	= $5843.40' + 5843.89' / 2 = 5843.65'$
WEST PROPERTY LINE MAXIMUM HEIGHT	EAST PROPERTY LINE MAXIMUM HEIGHT
= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2"$	= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4"$

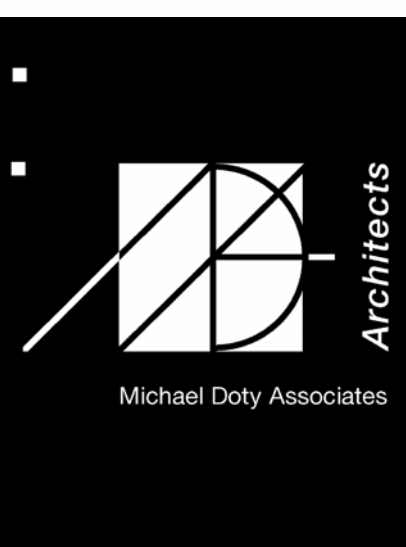
PROPOSED BUILDING ELEVATIONS - EAST

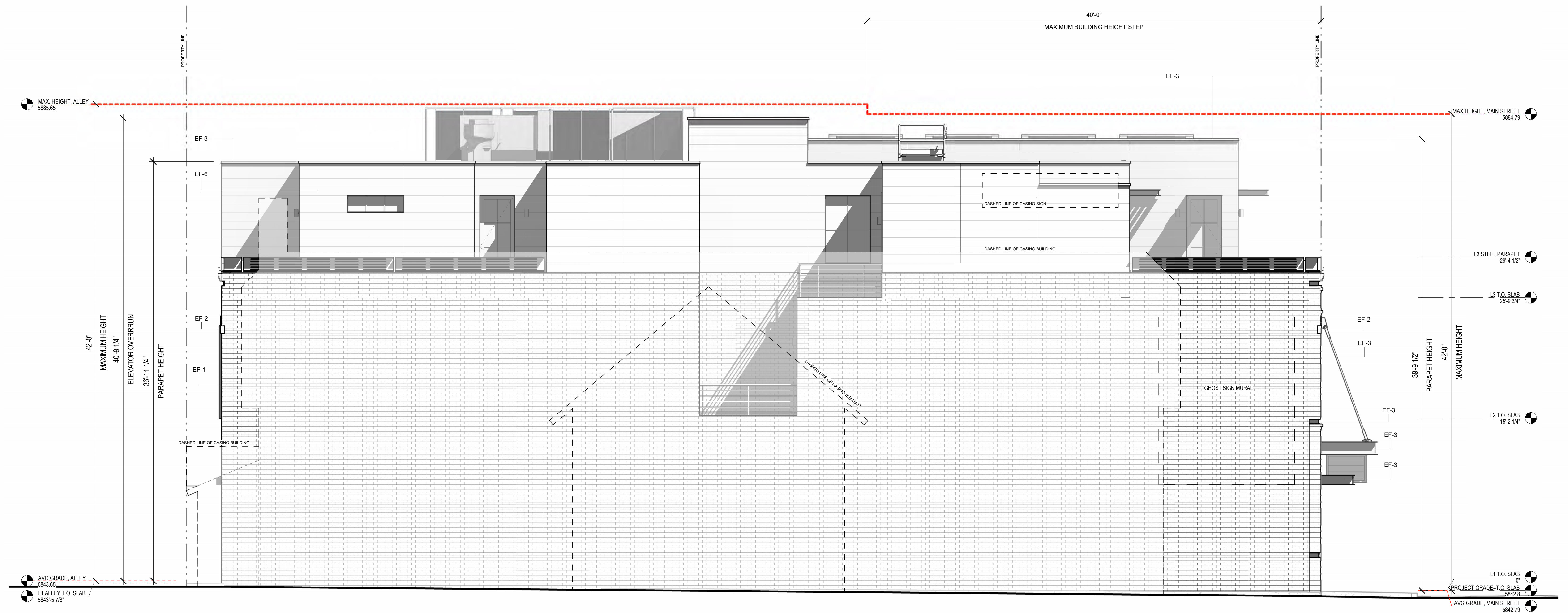


200 NORTH MAIN

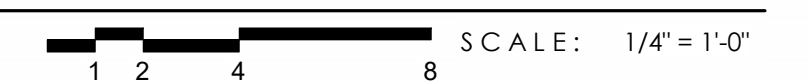
200 N. MAIN ST.
KETCHUM, ID 83340

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PROPOSED BUILDING ELEVATIONS - NORTH



BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= 5842.80' + 5842.77' / 2 = 5842.79'

WEST PROPERTY LINE MAXIMUM HEIGHT

= 5842.79' + 42' = **5884.79'** or 5884' 9 1/2"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= 5843.40' + 5843.89' / 2 = 5843.65'

EAST PROPERTY LINE MAXIMUM HEIGHT

= 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"

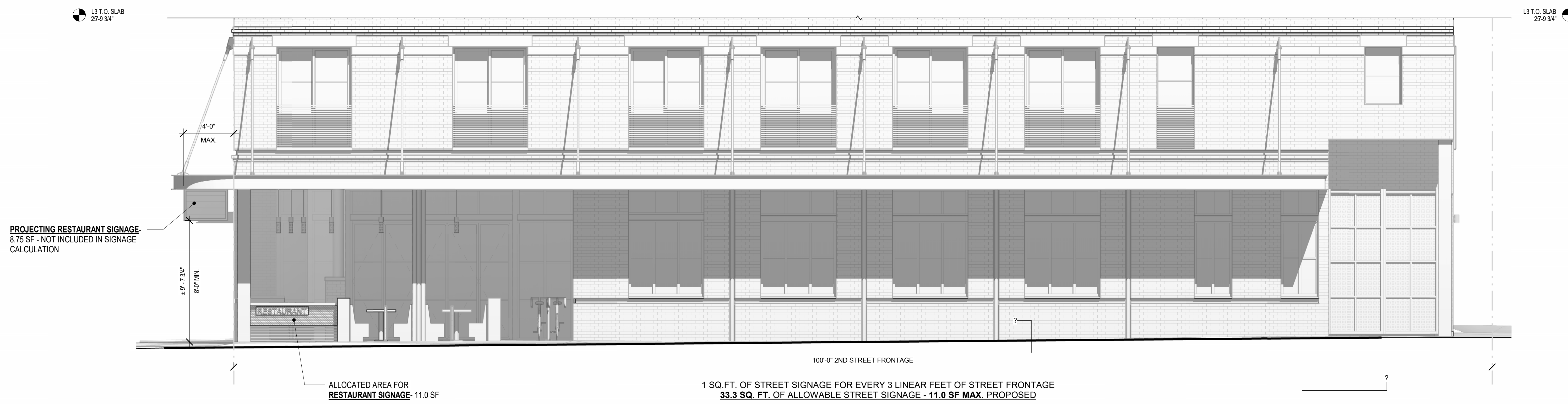
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

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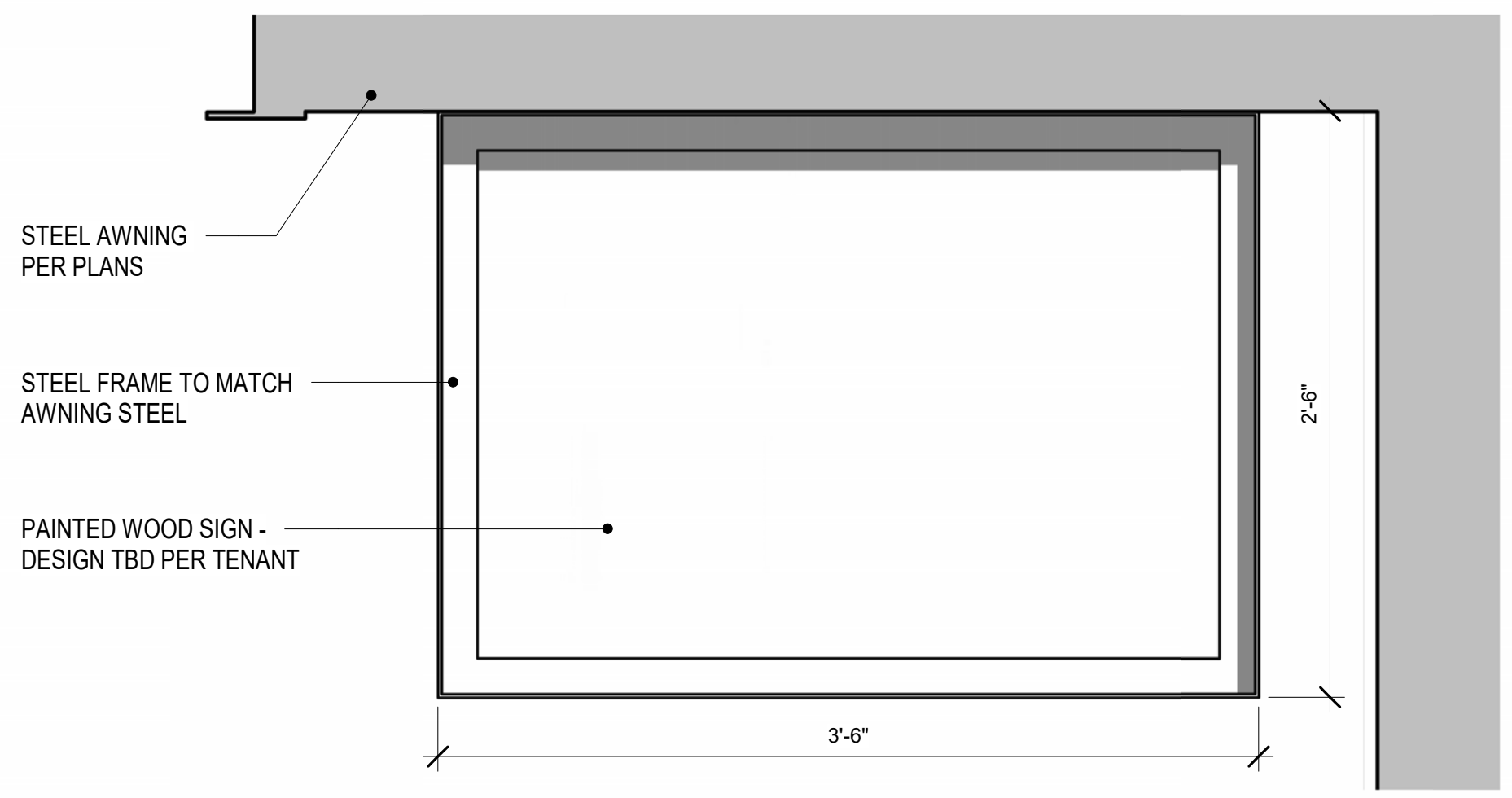


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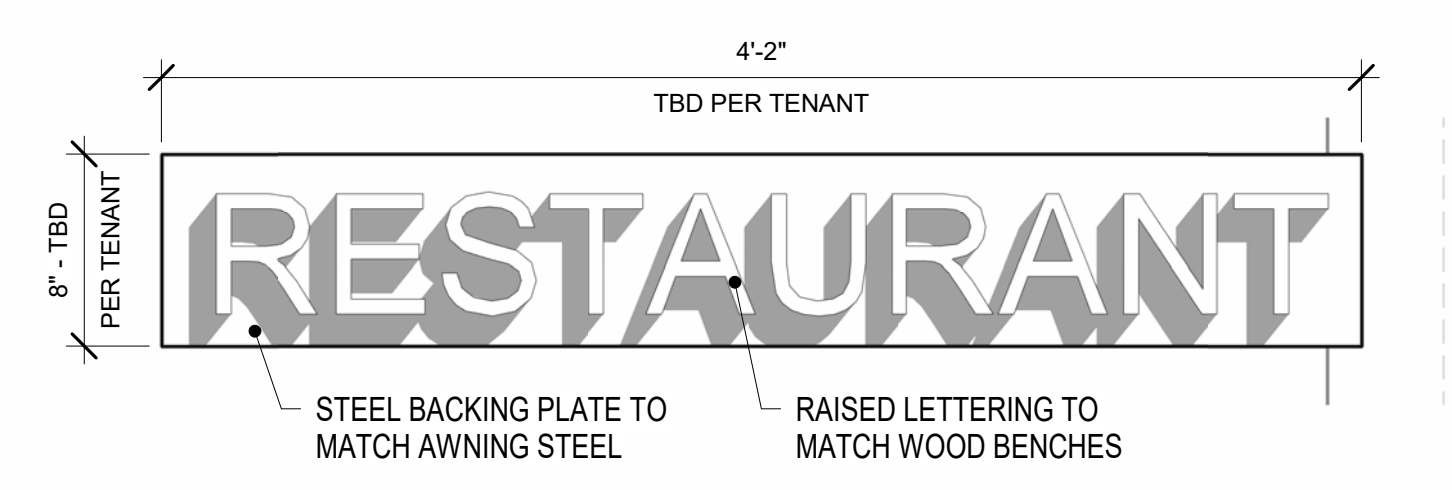
2ND STREET FRONTAGE SIGNAGE ②

1 2 4 8 1/4" = 1'-0"



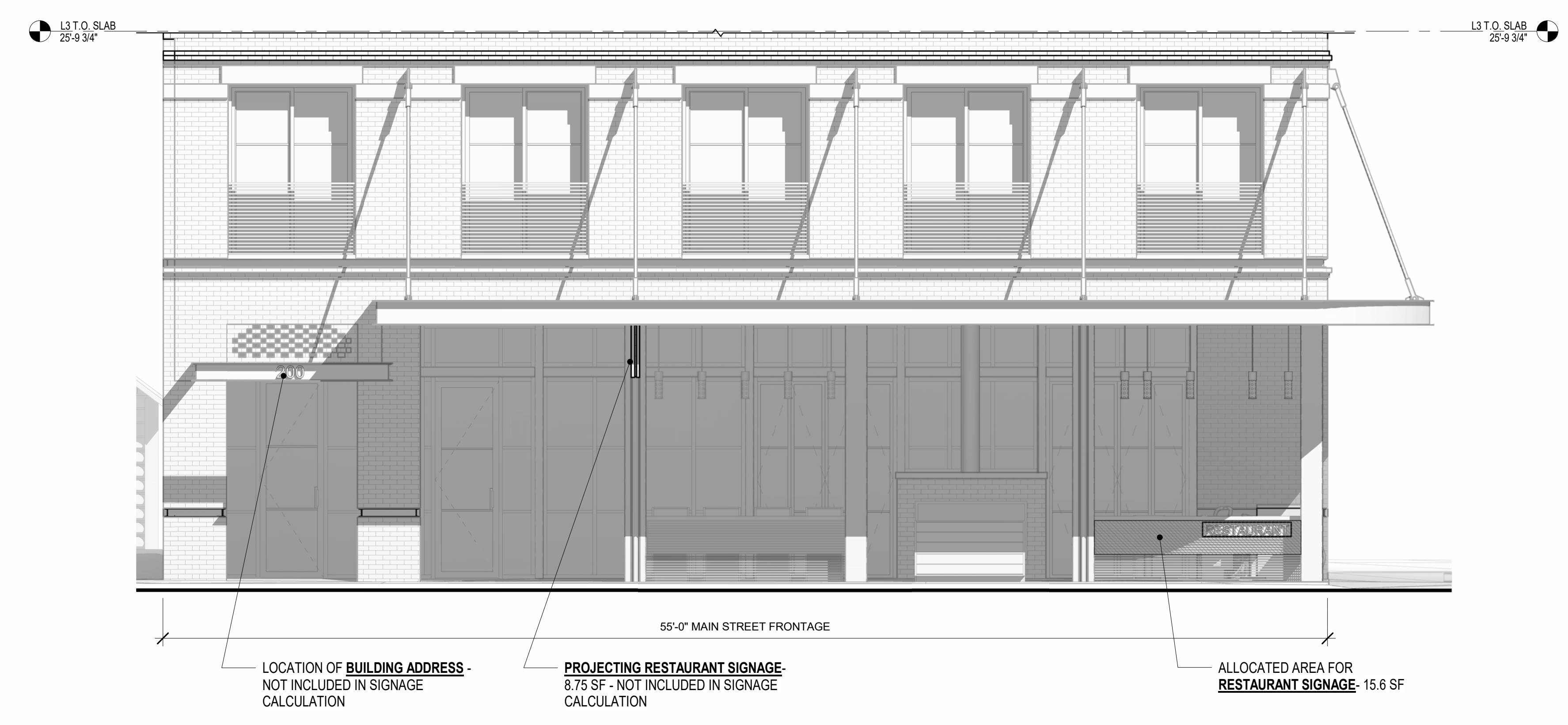
PROJECTING RESTAURANT SIGNAGE ④

1 1/2" = 1'-0"



RESTAURANT SIGNAGE ③

1 1/2" = 1'-0"



MAIN STREET FRONTAGE SIGNAGE ①

1 2 4 8 1/4" = 1'-0"

PROPOSED BUILDING SIGNAGE

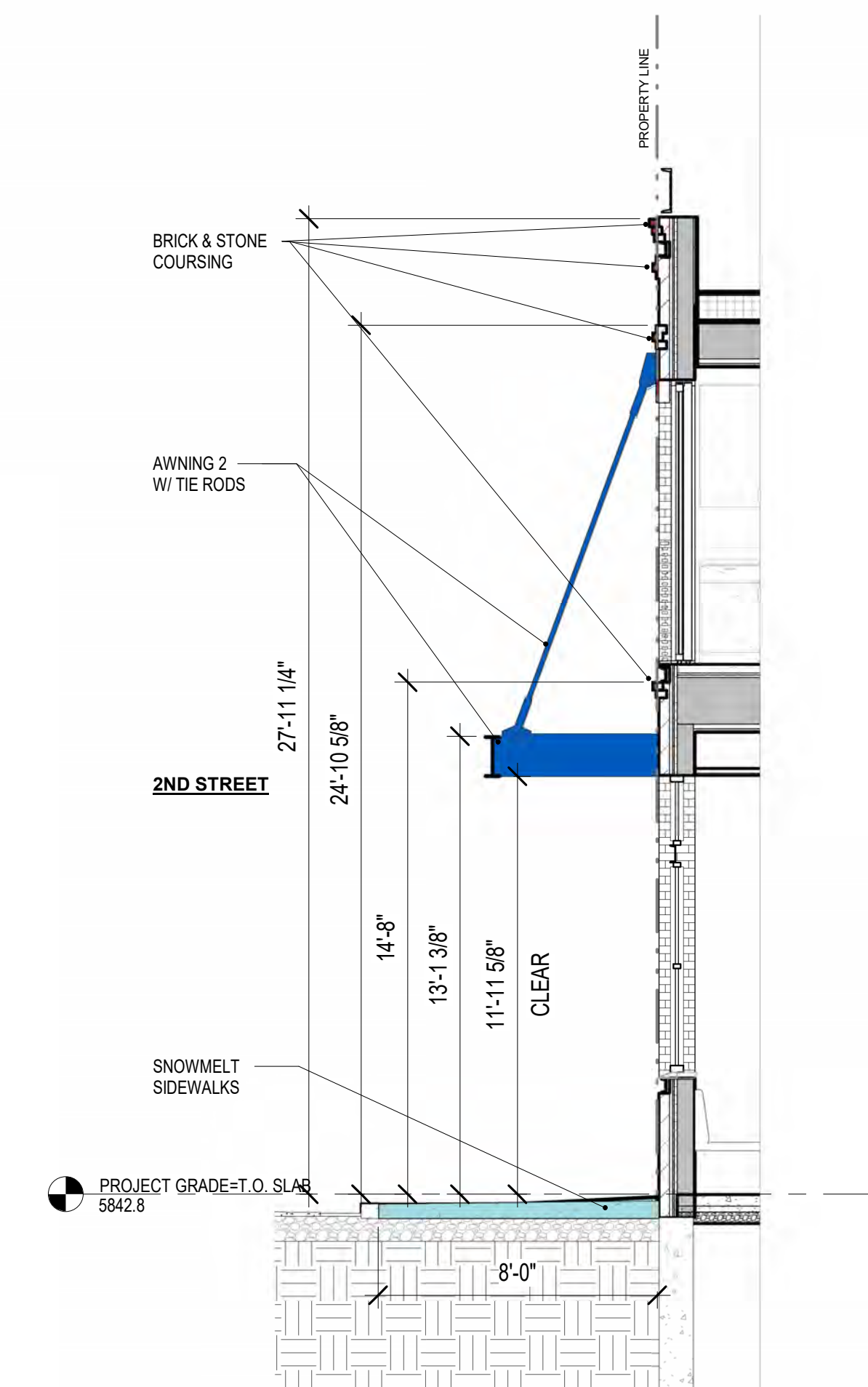
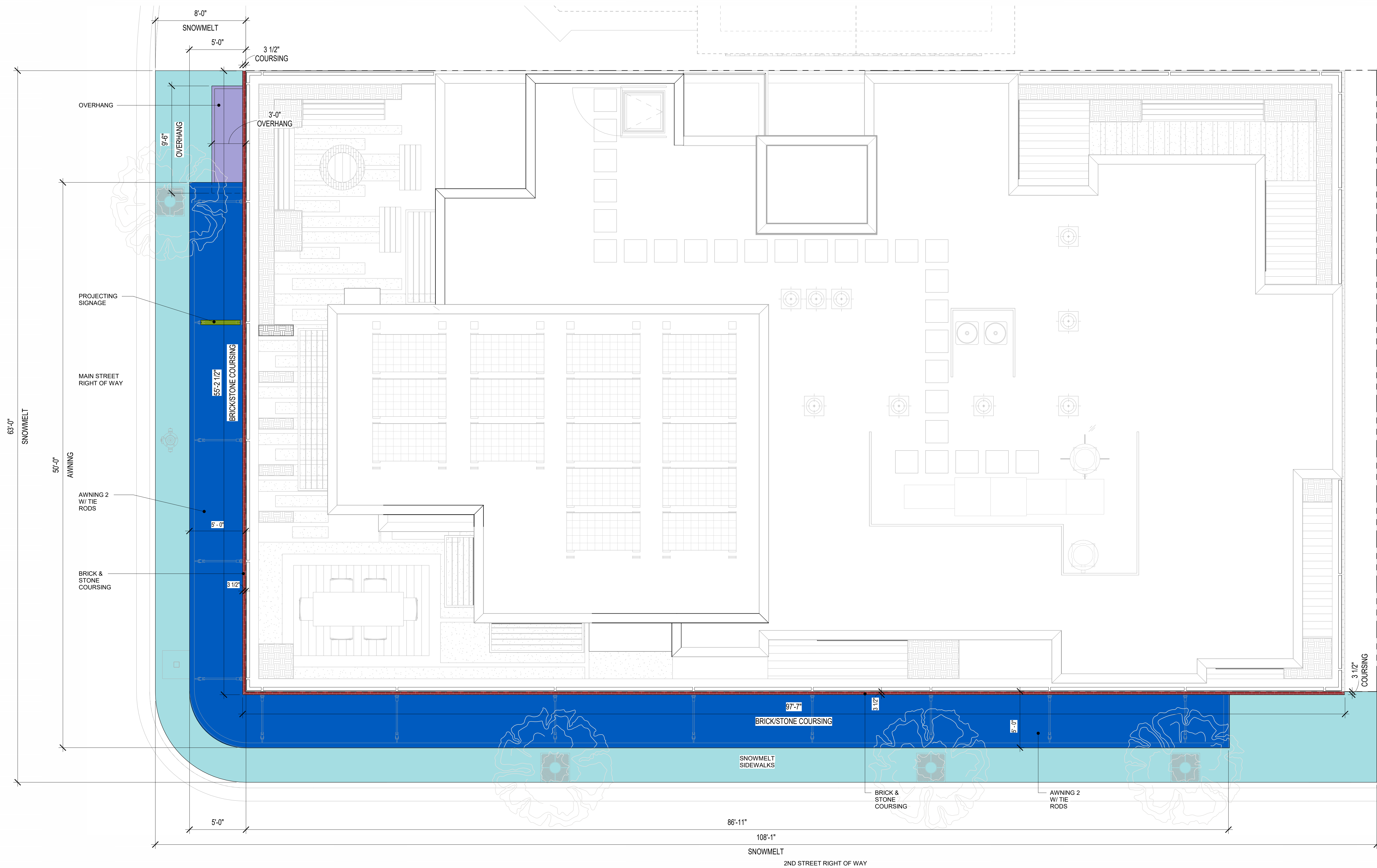
SCALE: As indicated

200 NORTH MAIN

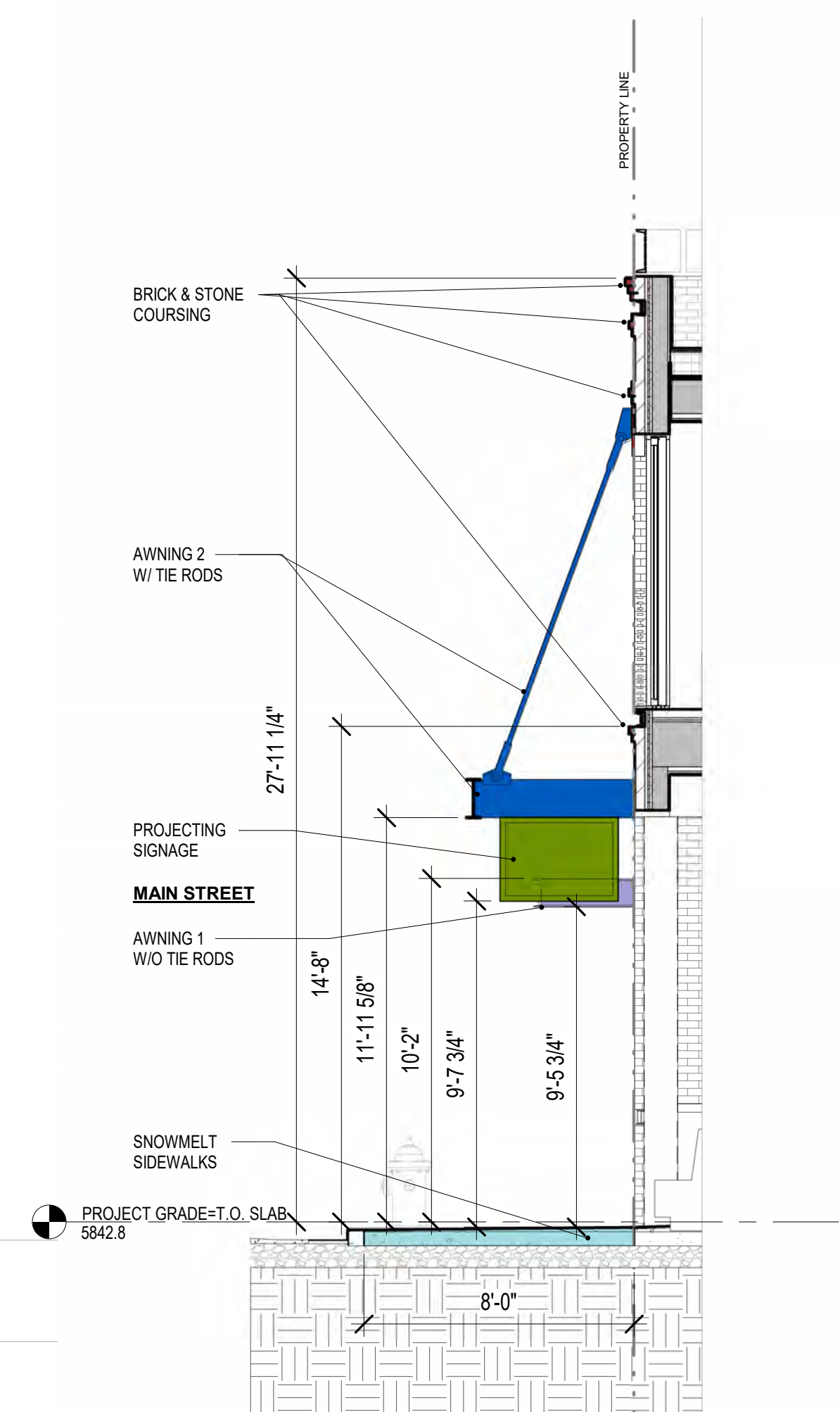
200 N. MAIN ST.
 KETCHUM, ID 83340

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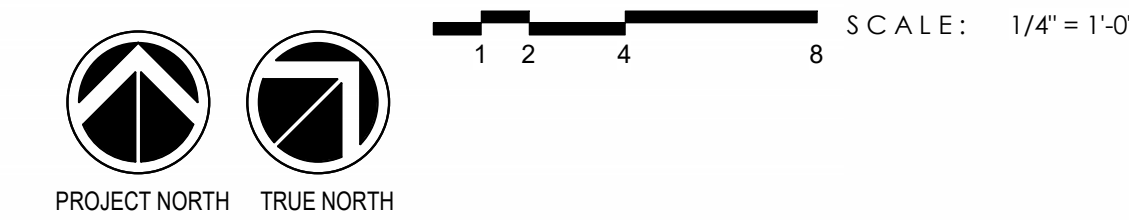


2ND STREET FACADE



MAIN STREET FACADE

PROPOSED RIGHT-OF-WAY ENCROACHMENT

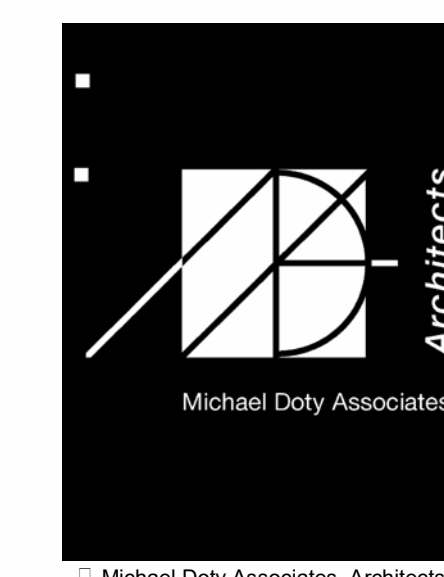


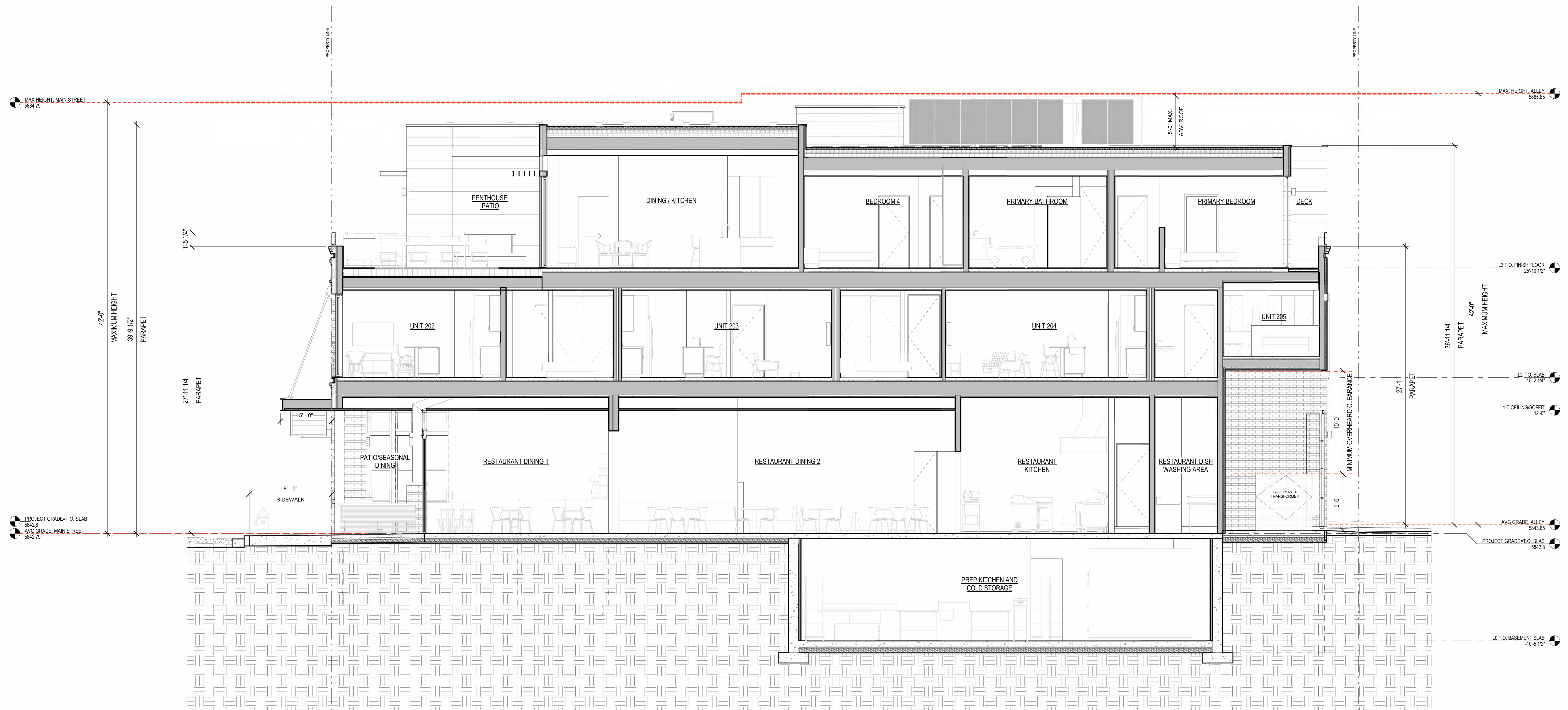
ENCROACHMENT AND CONDITIONAL USE LEGEND	
	AWNING 1 WITHOUT TIE RODS 2'-11 1/2" ENCROACHMENT ON MAIN STREET RIGHT OF WAY
	AWNING 2 WITH TIE RODS 5'-0" ENCROACHMENT ON MAIN STREET & 2ND STREET RIGHT OF WAY; INCLUDES COMMERCIAL AND STREET LIGHTING
	BRICK & STONE COURSING 3 1/2" ENCROACHMENT ON MAIN STREET & 2ND STREET RIGHT OF WAY
	SIDEWALK SNOW MELT 8' ENCROACHMENT (FULL SIDEWALK WIDTH) ON MAIN STREET & 2ND STREET RIGHT OF WAY
	PROJECTING SIGNAGE 4' ENCROACHMENT ON MAIN STREET RIGHT OF WAY

200 NORTH MAIN

200 N. MAIN ST.
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PROPOSED BUILDING SECTION

SCALE: 1/4" = 1'-0"

200 NORTH MAIN

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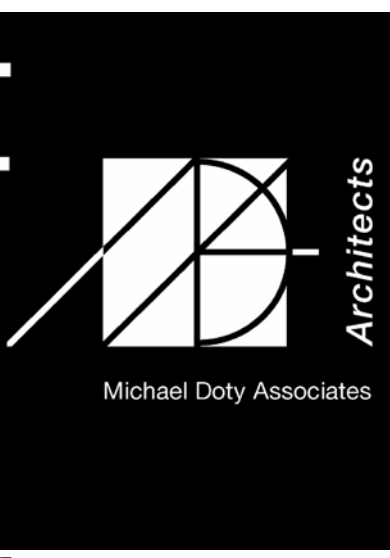


EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

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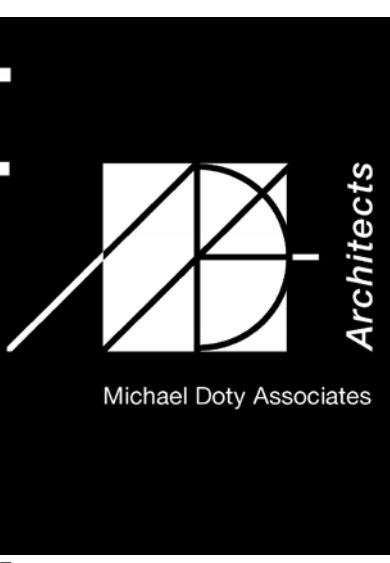


ORIGINAL DESIGN WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

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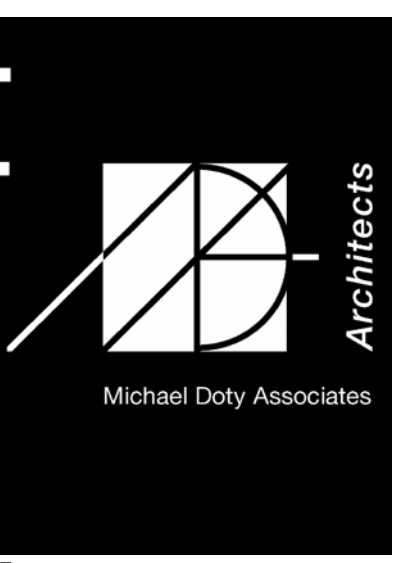


PROPOSED REVISION WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



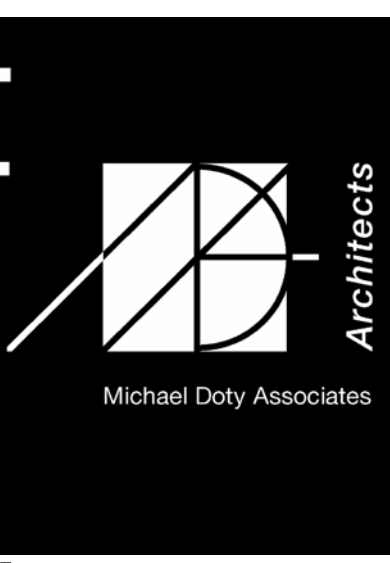


EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



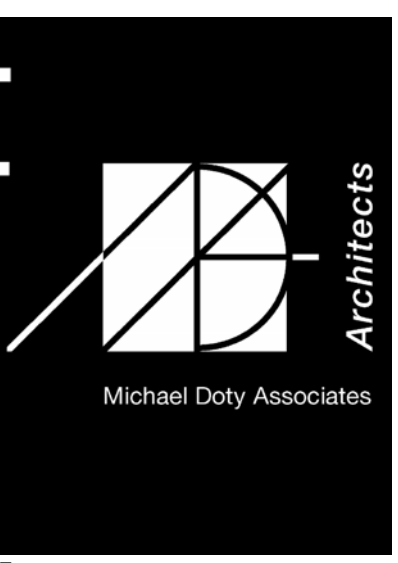


PROPOSED REVISION WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



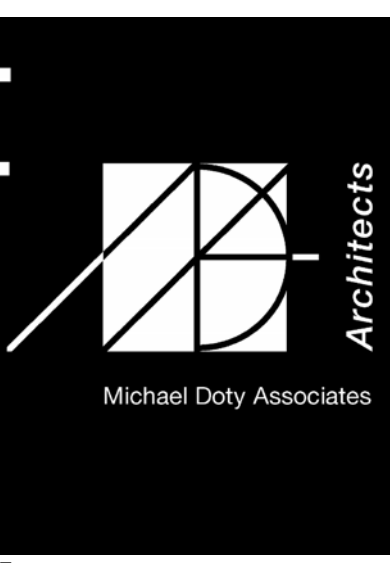


EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



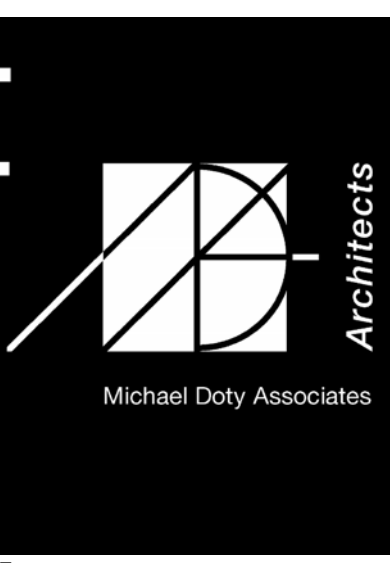


ORIGINAL DESIGN SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



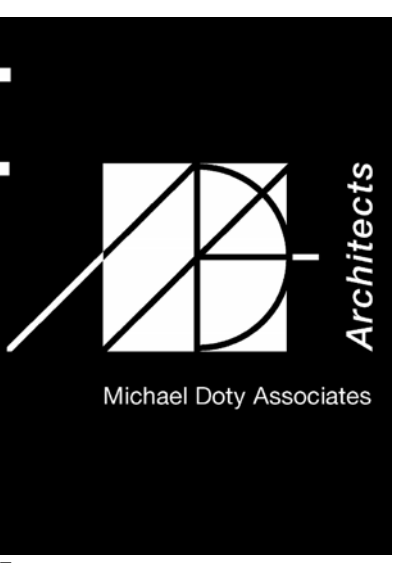


PROPOSED REVISION SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



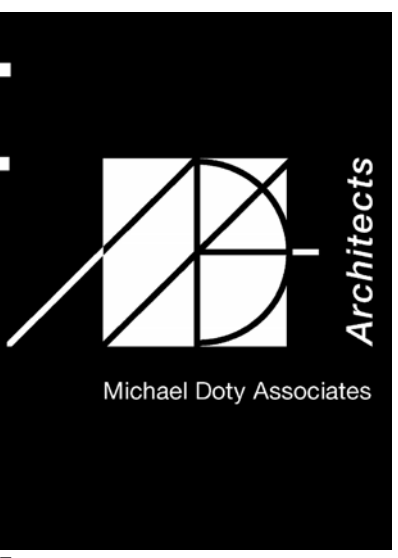


EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



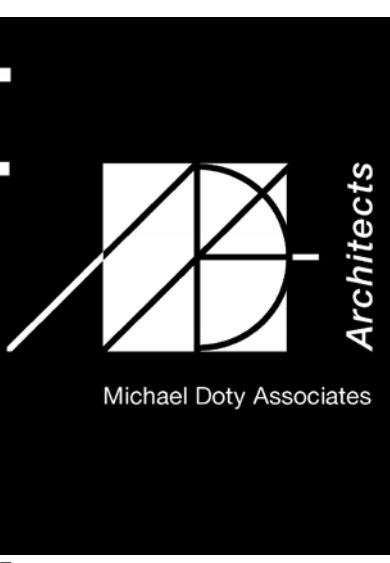


PROPOSED REVISION SOUTH PERSPECTIVE

200 NORTH MAIN

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DESIGN REVIEW 2
1/17/2024



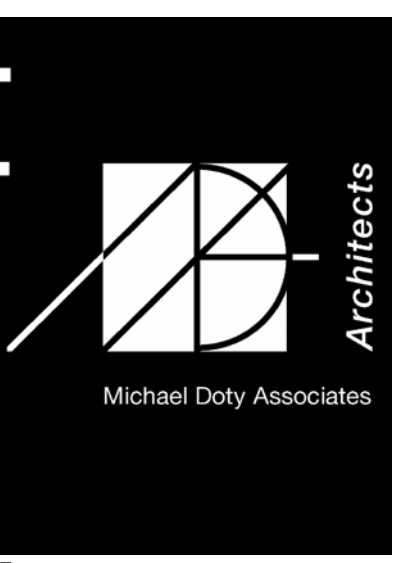


EXISTING NORTH PERSPECTIVE

200 NORTH MAIN

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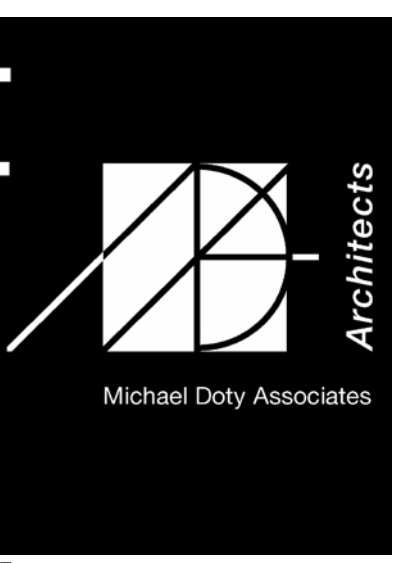


PROPOSED REVISION NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
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1/17/2024



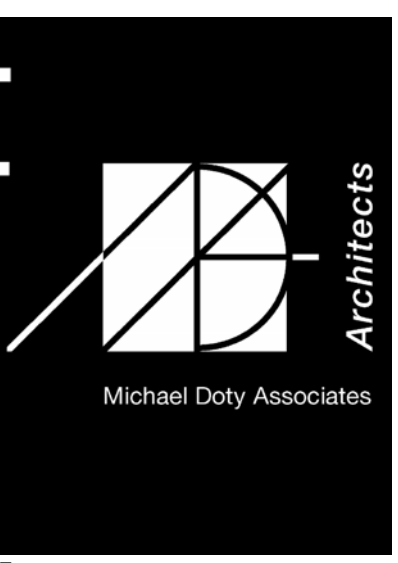


PROPOSED REVISION NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



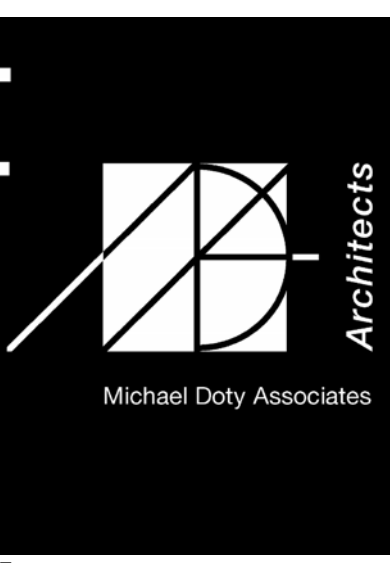


EXISTING EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



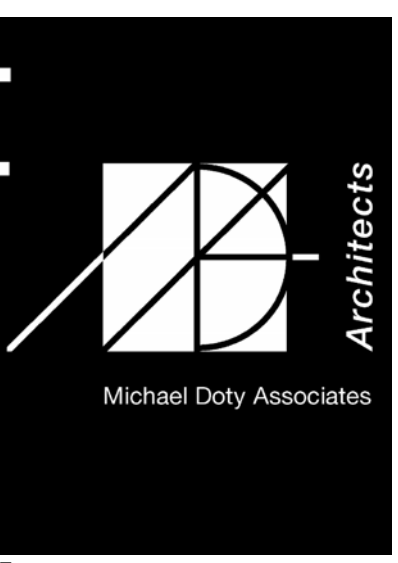


PROPOSED REVISION EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



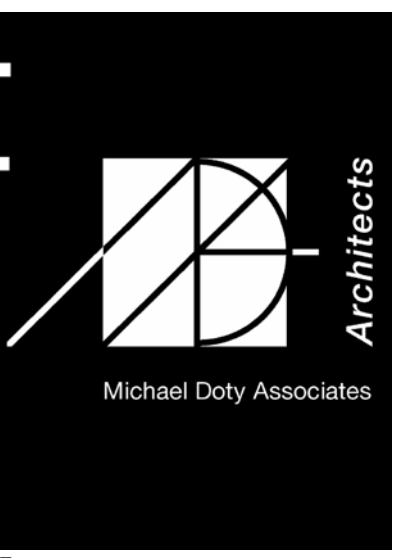


EXISTING MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects PC

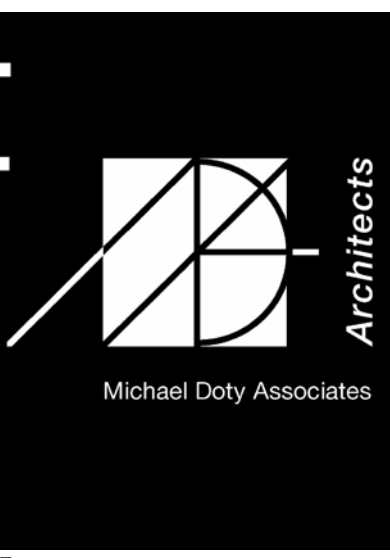


ORIGINAL DESIGN MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED REVISION MAIN STREET PERSPECTIVE

200 NORTH MAIN

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