



City of Ketchum  
Planning & Building

**AFFIDAVIT**  
**300' ADJOINERS**

OFFICIAL USE ONLY	
File Number:	P23-081
Date Received:	9/11/23
By:	HLN
Fee Paid:	\$250
Approved Date:	
Denied Date:	
By:	

## Floodplain Development Permit and Riparian Alteration Application

NOTE: This permit is required for all properties containing 100 year floodplain area and Riparian Setbacks

PROPERTY OWNER INFORMATION			
Property Owner Name(s): <b>MICHAEL HARTLEY</b>			
Property Owner's Mailing Address: <b>4348 WAIALAE AVE. # 593, HONOLULU, HI 96816</b>			
Phone: <b>808-358-7339</b>			
Email: <b>MH96816@GMAIL.COM</b>			
PROJECT INFORMATION			
Project Name: <b>HARTLEY</b>			
Project Representative's Name (main point of contact for project): <b>KURT EGGETS</b>			
Project Representative's Phone: <b>208-725-0988</b>			
Project Representative's Mailing Address: <b>PO BOX 953, KETCHUM, ID 83340</b>			
Project Representative's Email: <b>KURT@EGGETSASSOCIATES.COM</b>			
Architect's name, phone number, e-mail: <b>CHAD BLINCOE</b>			
Landscape Architect's name, phone number, e-mail: <b>KURT EGGETS</b>			
Environmental consultant's name, phone number, e-mail: <b>N/A</b>			
Engineer's name, phone number, e-mail: <b>N/A</b>			
Project Address: <b>130 RIVER ROCK ROAD</b>			
Legal Description of parcel: <b>BIRWOOD SUBS #1 LOT 1 BLOCK 1</b>			
Lot Size: <b>2.9 ACRES</b>			
Zoning District: <b>LR 2</b>			
Overlay Zones – indicate all that apply: <input checked="" type="checkbox"/> Floodplain <input checked="" type="checkbox"/> Floodway <input checked="" type="checkbox"/> Riparian Zone <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Brief description of project scope: <b>HOUSE ADDITION AND ACCESSORY DWELLING UNIT</b>			
Value of Project: \$ <b>500,000</b>			
TYPE OF PROJECT – indicate all that apply:			
<input type="checkbox"/> New Building in Floodplain	<input type="checkbox"/> Building Addition in Floodplain	<input type="checkbox"/> Streambank Stabilization / Stream Alteration	<input checked="" type="checkbox"/> Other. Please describe: <b>NONE OF THESE</b>
<input type="checkbox"/> Riparian Alteration	<input type="checkbox"/> Floodplain Development		
PROPOSED SETBACKS – if project is a new building or an addition to an existing building			
Front: <b>33</b>	Side: <b>22</b>	Side: <b>15</b>	Rear: <b>491</b>
ADDITIONAL INFORMATION			
Will fill or excavation be required in floodplain, floodway or riparian zone? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If Yes, Amount in Cubic Yards: Fill: CY      Excavation: CY			
Will Existing Trees or Vegetation be Removed? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Will new trees or vegetation be planted? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

**Kurt Eggets**  
Signature of Owner/Representative

**4-17-23**  
Date

# FLOODPLAIN MANAGEMENT OVERLAY EVALUATION STANDARDS

Please provide a narrative to address each of the criteria below.

Criteria for Evaluation of Applications: The criteria of floodplain development permit applications and riparian alteration permits shall be as follows:

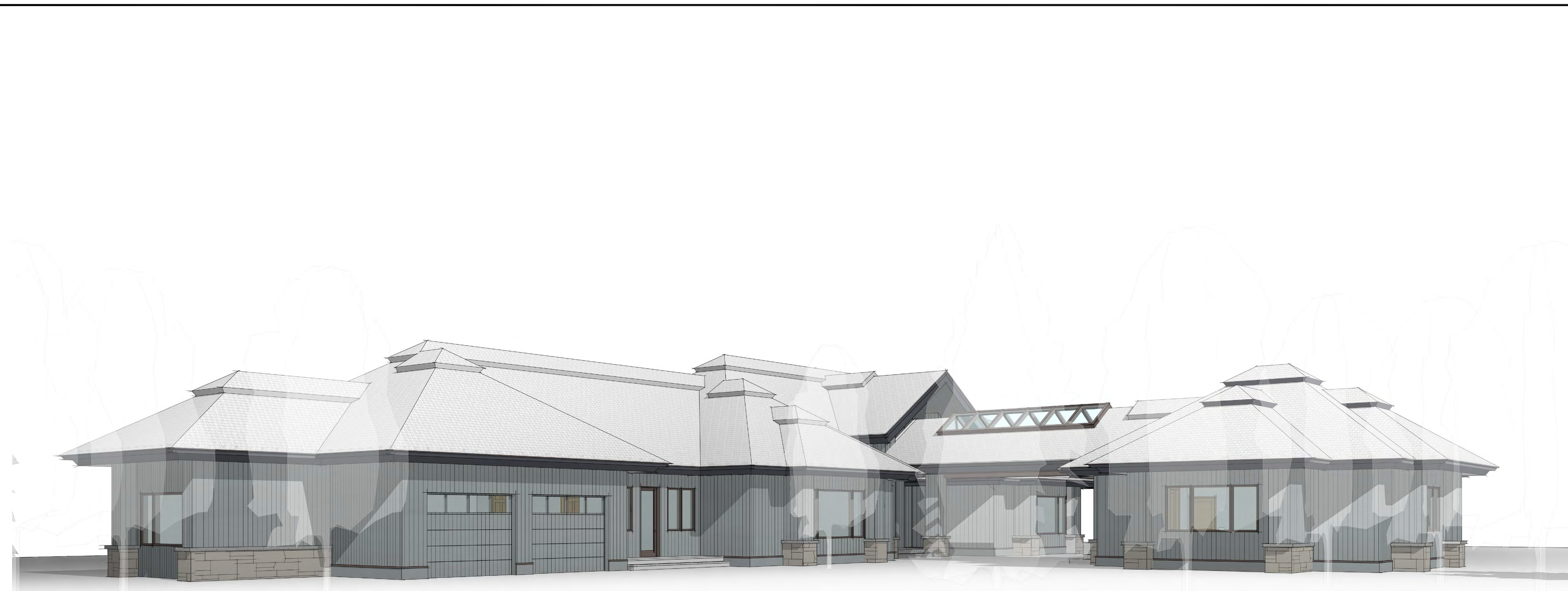
1. The proposal preserves or restores the inherent natural characteristics of the river, floodplain, and Riparian Zone, including riparian vegetation and wildlife habitat. Development does not alter river channel unless all stream alteration criteria for evaluation are also met. *NO DEVELOPMENT IS PROPOSED IN THE FLOODPLAIN OR RIPARIAN ZONE.*
2. No temporary construction activities, encroachment, or other disturbance into the twenty-five foot (25') Riparian Zone, including encroachment of below grade structures, shall be permitted, except for approved stream stabilization work and restoration work associated with a riparian zone that is degraded. *NO ACTIVITIES ARE PROPOSED IN THE 25' RIPARIAN ZONE.*
3. No permanent development shall occur within the twenty-five foot (25') Riparian Zone, except for approved stream stabilization work and restoration work associated with permit issued under this title, or exceptions as described below: *NO PERMANENT DEVELOPMENT IS PROPOSED IN THE 25' RIPARIAN ZONE.*
  - a. Access to a property where no other primary access is available.
  - b. Emergency access required by the Fire Department.
  - c. A single defined pathways or staircases for the purpose of providing access to the river channel and in order to mitigate multiple undefined social paths.
  - d. Development by the City of Ketchum
4. New or replacement planting and vegetation in the Riparian Zone shall include plantings that are low growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings most commonly include red osier dogwood, common chokecherry, serviceberry, elderberry, river birch, skunk bush sumac, Beb's willow, Drummond's willow, little wild rose, gooseberry, and honeysuckle. However, in rare instances the distance from the top-of-bank to the mean high-water mark is significant and the native vegetation appropriate for the Riparian Zone are low growing, drought resistant grasses and shrubs. Replacement planting and vegetation shall be appropriate for the specific site conditions. Proposal does not include vegetation within the twenty-five foot (25') Riparian Zone that is degraded, not natural, or which does not promote bank stability. *N/A*
5. Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways. *N/A*
6. Floodwater carrying capacity is not diminished by the proposal. *N/A*

7. Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not negative. *N/A*
8. Building setback in excess of the minimum required along waterways is encouraged. An additional ten-foot (10') building setback beyond the required twenty-five foot (25') Riparian Zone is encouraged to provide for yards, decks and patios outside the twenty five foot (25') Riparian Zone.  
*BUILDING SETBACK IS IN EXCESS OF 25'*
9. The top of the lowest floor of a building located in, or partially within, the SFHA shall be at or above the Flood Protection Elevation (FPE). A building is considered to be partially within the SFHA if any portion of the building or appendage of the building, such as footings, attached decks, posts for upper story decks, are located within the SFHA. See section 17.88.060, figures 1 and 2 of this chapter to reference construction details. See Chapter 17.08 of this title for definition of "lowest floor." *N/A - NO BUILDING IN FLOODPLAIN*
  - a. In the SFHA where Base Flood Elevations (BFEs) have been determined, the FPE shall be twenty-four inches (24") above the BFE for the subject property; twenty-four inches (24") or two (2) feet is the required freeboard in Ketchum city limits. *N/A - NO BUILDING IN FLOODPLAIN.*
  - b. In the SFHA where no BFE has been established, the FPE shall be at least two (2) feet above the highest adjacent grade. *N/A*
10. The backfill used around the foundation in the SFHA floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent. *N/A*
  - a. Compensatory storage shall be required for any fill placed within the floodplain.
  - b. A CLOMR-F shall be obtained prior to placement of any additional fill in the floodplain.
11. All new buildings located partially or wholly within the SFHA shall be constructed on foundations that are designed by a licensed professional engineer. *N/A*
12. Driveways shall comply with City of Ketchum street standards; access for emergency vehicles has been adequately provided for by limiting flood depths in all roadways to one foot (1-ft) or less during the 1% annual chance event. *N/A*
13. Landscaping or revegetation shall conceal cuts and fills required for driveways and other elements of the development. *N/A*
14. (Stream alteration.) The proposal is shown to be a permanent solution and creates a stable situation.
15. (Stream alteration.) No increase to the one percent (1%) annual chance flood elevation at any location in the community, based on hydrologic and hydraulic analysis performed in accordance with standard engineering practice and has been certified and submitted with supporting calculations and a No Rise Certificate, by a registered Idaho engineer.
16. (Stream alteration.) The project has demonstrated No Adverse Impact or has demonstrated all impacts will be mitigated.

17. (Stream alteration.) The recreational use of the stream including access along any and all public pedestrian/fisher's easements and the aesthetic beauty shall not be obstructed or interfered with by the proposed work.
18. (Stream alteration.) Fish habitat shall be maintained or improved as a result of the work proposed.
19. (Stream alteration.) The proposed work shall not be in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
20. (Stream alteration.) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
21. (Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement.

# HARTLEY RESIDENCE REMODEL

AUGUST 21st, 2023  
130 RIVER ROCK RD  
KETCHUM, ID 83340



EXTERIOR PERSPECTIVE (SOUTHEAST)



EXTERIOR PERSPECTIVE (NORTHEAST)

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- L1 EXISTING CONDITIONS
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- L3 LANDSCAPE PLAN
- X1 EXISTING MAIN LEVEL FLOOR PLAN/EXISTING ROOF PLAN/DEMOLITION PLAN
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- S5 STRUCTURAL DETAILS

## PROJECT TEAM

### CURRENT ARCHITECT:

**Blincoe Architecture**

POST OFFICE BOX 4414  
KETCHUM, IDAHO 83340  
(208) 724-1925  
chad@blincoearchitecture.com

### STRUCTURAL ENGINEER:

**Konrad & Stohler Structural Engineering, LLC**

414 S MAIN ST  
BELLEVUE, ID 83313  
(208) 928-7811

### LANDSCAPE ARCHITECT:

**Eggers Associates P.A.**

PO BOX 353  
KETCHUM, ID 83340  
(208) 725-0988

### SURVEYOR:

**Benchmark Associates**

PO BOX 733  
KETCHUM, ID 83340  
(208) 724-5912

### CIVIL ENGINEER:

**Alpine Enterprises INC.**

640 BELL DRIVE #1  
KETCHUM, ID 83340  
(208) 727-1388

### ENERGY:

**John Reuter Greenworks**

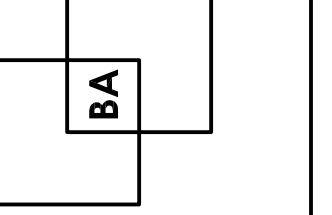
124 S MAIN ST, SUITE D4  
HAILEY, ID 83333  
(208) 721-2922

### CONTRACTOR:

**Young Construction**

140 7TH ST W #C1  
KETCHUM, ID 83340  
(208) 725-2001

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
201 Northwood Way Suite E  
Ketchum, Idaho 83340  
Tel: 208.727.1925  
Email: info@blincoearchitecture.com



LICENSED ARCHITECT  
AR 884802  
CHAD E. BLINCOE  
STATE OF IDAHO

# HARTLEY RESIDENCE REMODEL

130 RIVER ROCK RD  
KETCHUM, ID 83340

JOB #: 00622  
PLOT DATE: 4/20/23  
DESIGN REVIEW:  
PERMIT:  
CONSTRUCTION:

REVISIONS:  
△  
△  
△  
△  
△

CS1

PERMIT SET  
AUGUST 21st, 2023

# HARTLEY RESIDENCE REMODEL

AUGUST 21st, 2023  
130 RIVER ROCK RD  
KETCHUM, ID 83340

## CODE COMPLIANCE:

- MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE.
- PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
- ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
- ALL RIGHT-OF-WAY IMPROVEMENTS MUST BE COMPLETED PRIOR TO ISSUANCE OF TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY UNLESS OTHERWISE AGREED UPON IN WRITING BY THE CITY.

- ROOFING:**
- ALL ROOFING SHALL COMPLY WITH CHAPTER 15 OF THE 2018 INTERNATIONAL BUILDING CODE.
- HANDRAILS & GUARDRAILS:**
- ALL STAIRWAYS SHALL COMPLY WITH CHAPTER 10 OF THE 2018 INTERNATIONAL BUILDING CODE.
- BUILDING ENVELOPE:**
- SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
- LIGHTING EQUIPMENT:**
- SHALL COMPLY WITH SECTION 404.1 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
- ATTIC ACCESS:**
- SHALL COMPLY WITH SECTION 402.2.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
- CHIMNEYS AND FIREPLACES:**
- ALL CHIMNEYS AND FIREPLACES SHALL COMPLY WITH CHAPTER 21 OF THE 2018 INTERNATIONAL BUILDING CODE AND SECTION 402.4.9 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
- GLASS AND GLAZING:**
- SHALL COMPLY WITH CHAPTER 24 OF THE 2018 INTERNATIONAL BUILDING CODE.
  - SHALL COMPLY WITH SECTION 402.2 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
- CRAWLSPACE VENTING:**
- SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE.
- LIVING SPACE VENTILATION:**
- SHALL HAVE A RECOMMENDED AIR EXCHANGE OF 35 EXCHANGES PER HOUR. VERIFY WITH THE MECHANICAL SYSTEM.
- DOORS AND WINDOWS:**
- ALL DOORS AND WINDOWS TO COMPLY WITH CITY OF KETCHUM ORDINANCES.
- GUTTERS AND DOWNSPOUTS:**
- GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL. GUTTERS SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- DEFENSIBLE SPACE:**
- ALL MATERIALS WITHIN 12" VERTICAL OF FINISHED GRADE SHALL BE 1 HOUR RATED, NONCOMBUSTIBLE, OR COVERED WITH MINIMUM 28 GAUGE FLASHING THE AREA 12" HORIZONTAL FROM THE BASE OF A WALL SHALL BE FINISHED IN A WAY TO PREVENT ANY VEGETATION GROWING, AND FOR THE VEGETATIVE DEBRIS TO BE EASILY REMOVED.
- DUCTS:**

## GENERAL NOTES:

- NOTE:
- CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
  - ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
  - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
  - ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF KETCHUM BUILDING DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS.
  - THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE.
  - THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER.
  - THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION, NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES.
  - THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE DETAILING FOR WATERPROOFING AND ENVELOPE PENETRATIONS.
  - ANY DEFERRED ITEMS ARE THE RESPONSIBILITY OF THE OWNER & GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS & DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE.
  - ALL HYDRONIC HEAT TUBING AND CONCRETE MIX IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR. THE ARCHITECT IS NOT RESPONSIBLE FOR CRACKING OF CONCRETE.

## BUILDING DATA

OCCUPANCY : R3  
CONSTRUCTION TYPE : II-B WOOD FRAME

PROPERTY AREA : TOTAL LOT AREA: 0.1808 ACRE

SQUARE FOOTAGE :

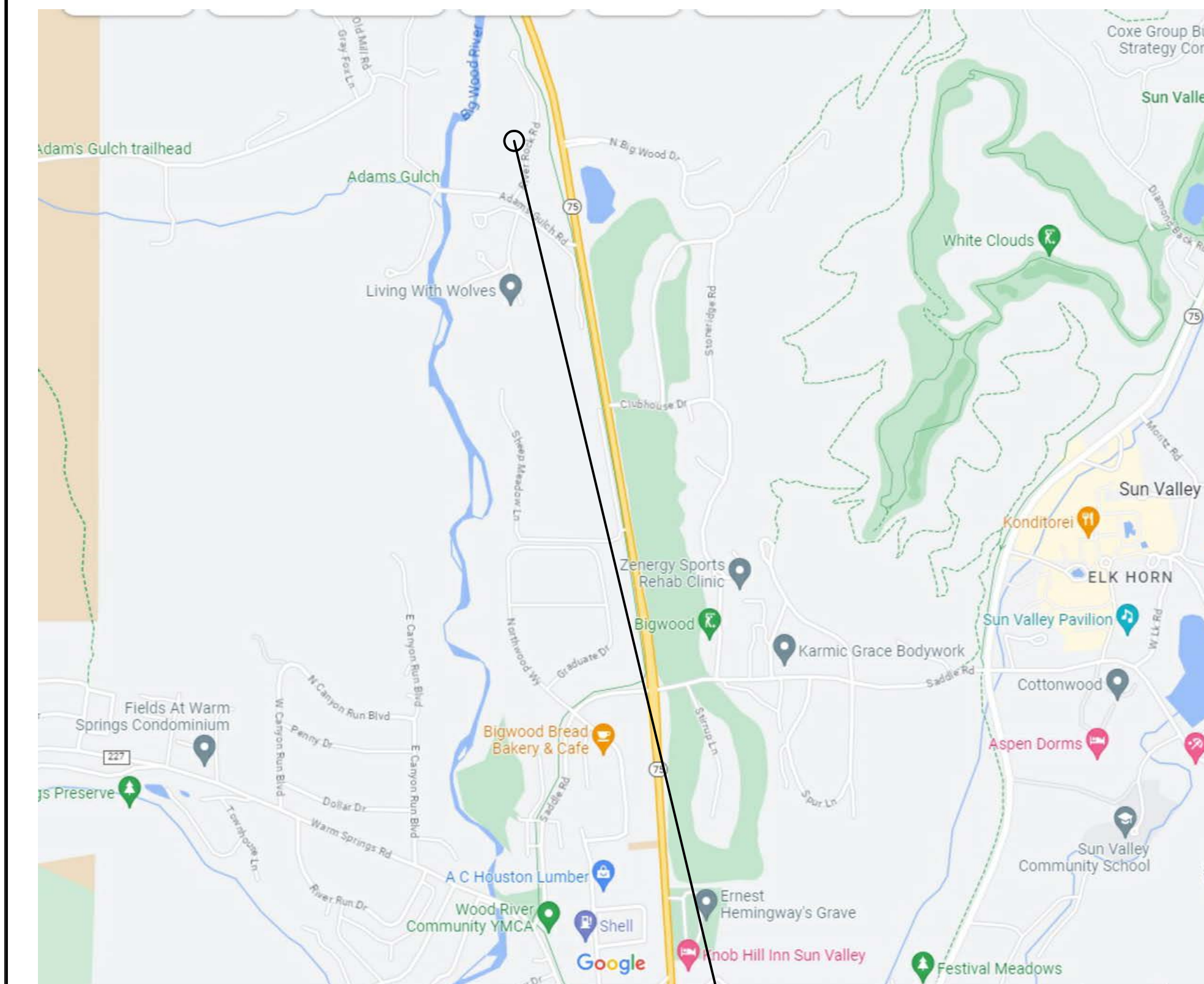
MAIN LIVING AREA	4,757	350	#
ATTACHED GARAGE	704	171	#
TOTAL:	5,461	521	#
GUEST HOUSE		1,123	#

BUILDING COVERAGE : 62.7%  
PROPERTY AREA : 2.93 ACRE  
BUILDING CODE : 2018 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE CITY OF KETCHUM  
PROPERTY AREA : 2.93 ACRE  
BUILDING CODE : 2018 INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY OF KETCHUM  
BUILDING CODE : 2018 INTERNATIONAL EXISTING BUILDING CODE AS ADOPTED BY THE CITY OF KETCHUM  
BUILDING CODE : 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE CITY OF KETCHUM

ZONING : LR  
PHYSICAL ADDRESS : 130 RIVER ROCK RD  
LEGAL DESCRIPTION : BIGWOOD SUB #1 LOT 1 BLK 1  
PARCEL NUMBER : RPK2484001010

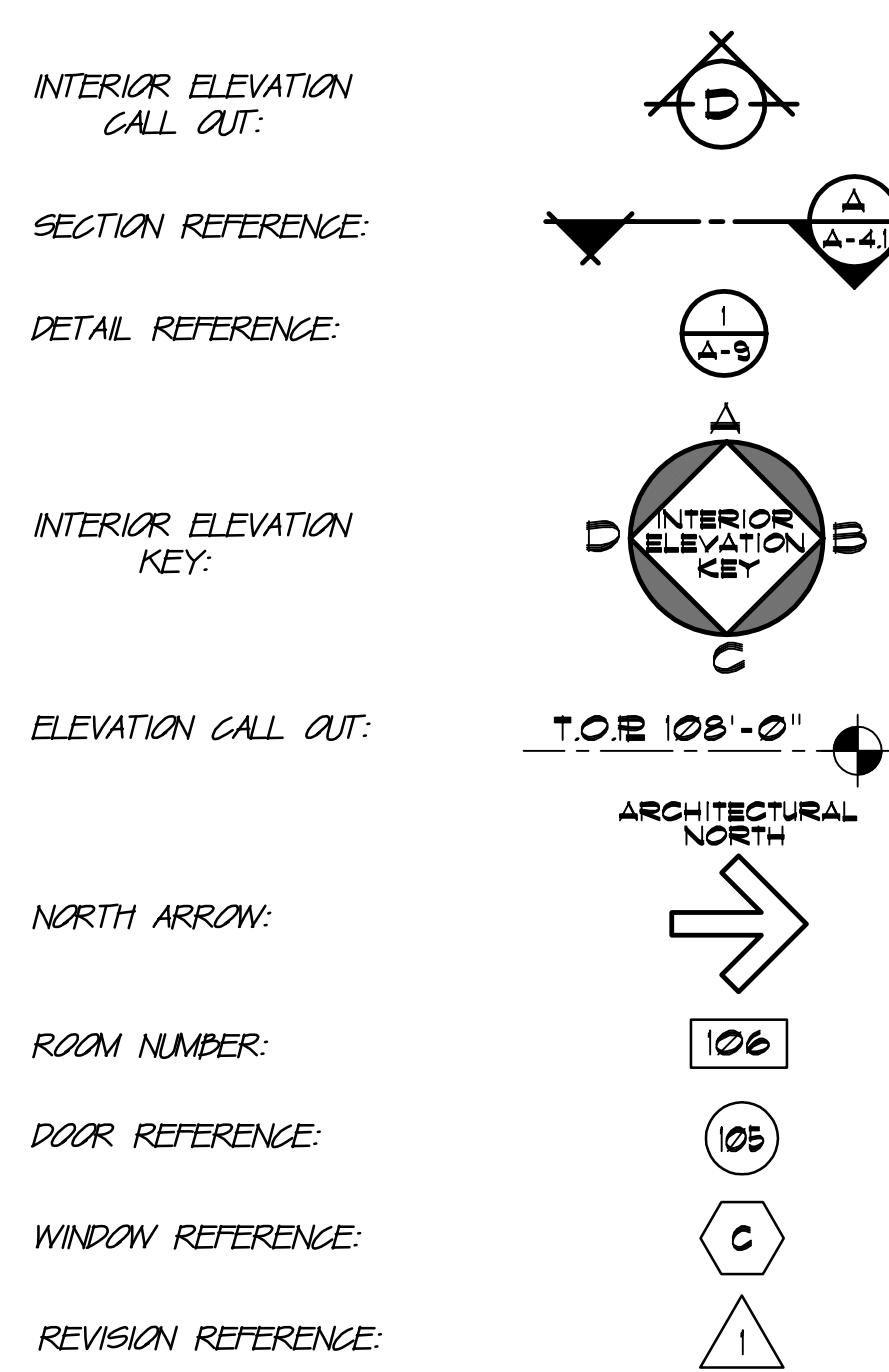
KETCHUM BUILDING DEPARTMENT.  
KETCHUM RURAL FIRE DEPARTMENT.

## VICINITY MAP



SITE

## ARCHITECTURAL SYMBOLS



## ENERGY REPORT

John Reuter Greenworks  
Tel: 208.721.2922  
john@johnreuter-greenworks.com  
120 S Main St, Suite 104  
Hailey, ID 83333

Hartley Addition  
2018 IECC Prescriptive Path with Idaho Amendment  
May 2, 2023

The Hartley Addition at 130 River Rock Road, Ketchum, ID intends to use the 2018 IECC prescriptive path with Idaho amendment for insulation and fenestration requirements for climate zone 6, as shown in the table below:

Climate Zone	Fenestration U-Value*	Rooflight U-Value*	Glazed Fenestration SHGC**	Ceiling R-Value	Roof Frame R-Value	Attic Floor R-Value	Basement Wall R-Value	Slab R-Value & Depth	CrawlSpace* Wall R-Value	
5	0.32	0.85	NR	38	22 or 19**	19/17	30*	15/18	10, 2.1	15/19
6	0.30	0.85	NR	49	22 or 19**	19/10	30*	15/18	10, 4.1	15/19

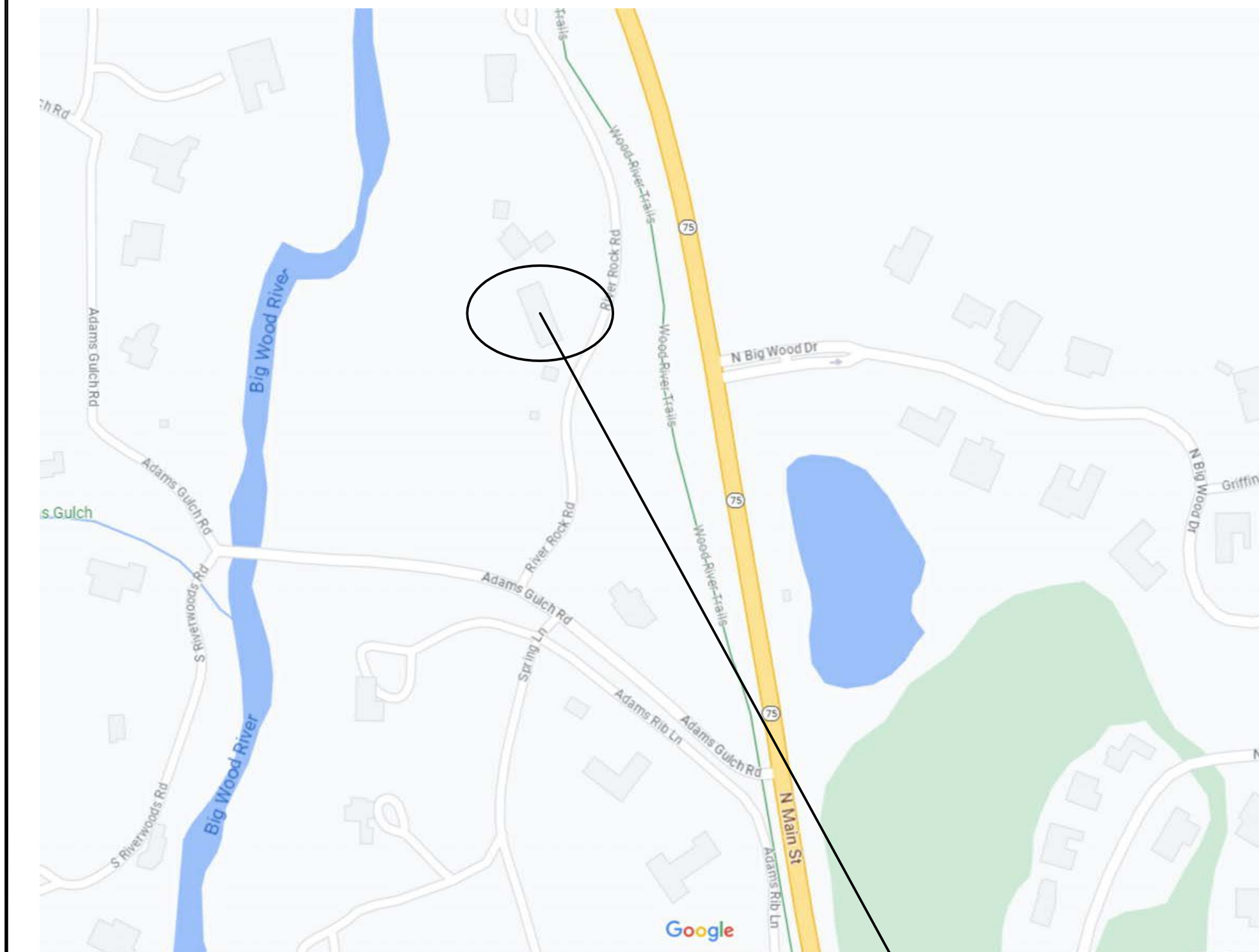
Source: Division of Building Safety, 2020, Idaho Statutes and Administrative Rules, page 8

Specifically, this project intends to use the following components:

Building Component	Insulation Type	R-value / U-value
Garage slab (only required if heated)	2" thick XPS, 4" depth at foundation perimeter	10
Crawl Walls	Match existing type	15
Floors (optional over crawlspace)	Fiberglass batt	30
Above Grade Walls	Blown Fiberglass	22
Windows and Glass Doors	Double pane low E	0.3
Solid Doors	Insulated Door	0.28
Ceilings	4" closed cell foam + balance of blown fiberglass (or 8" closed cell foam)	49

John Reuter

## NEIGHBORHOOD MAP



PROJECT LOCATION

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
201 Northwood Way Suite E  
Ketchum, Idaho 83340  
Tel: 208.721.2922  
Email: info@blincoearchitecture.com

LICENSED ARCHITECT  
AR 884602  
**CHAD E. BLINCOE**  
STATE OF IDAHO

# HARTLEY RESIDENCE REMODEL

130 RIVER ROCK RD  
KETCHUM, ID 83340

JOB #: 006.22  
PLOT DATE: 4/20/23  
DESIGN REVIEW:  
PERMIT:  
CONSTRUCTION:  
REVISIONS:

- △
- △
- △
- △
- △

CS2

PERMIT SET  
AUGUST 21st, 2023

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect. Blincoe Architecture does not intend to be used, in whole or in part, for any other project without written authorization.



**NOTES**

- SURVEY NARRATIVE:**
1. THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO PLATTED LOT LINES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
  2. REFERENCED SURVEYS: PLAT OF BIGWOOD SUBDIVISION NO. 1, INST. NO. 278229
  3. BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED, FOR RECORD DIMENSIONS. SEE REFERENCED SURVEYS.
  4. VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORS STATION IDKM.
  5. UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
  6. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT BY BENCHMARK ASSOCIATES AND IS NOT VALID OR TO BE USED BY OTHER PARTIES FOR ANY REASON INCLUDING BUT NOT LIMITED TO REAL ESTATE TRANSACTIONS, BUILDING APPLICATIONS, PERMITS, ETC.
  7. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
  8. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
  9. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
10. BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
  11. GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

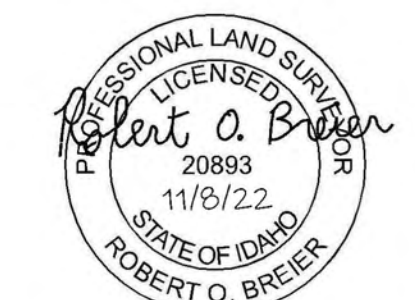
- SURVEY AND SITE FEATURES:**
12. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83. CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
  13. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
  14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
  15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
  17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
  18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
  19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
  20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
  21. FEATURES OBLSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

**WETLANDS**  
 WETLANDS AND RIPARIAN: CERTAIN AREAS WITHIN THIS MAP MAY CONTAIN RIPARIAN, RIVERINE OR WETLANDS CONDITIONS. SAID AREAS AND THE LOCATION OF ORDINARY HIGH WATER (OHW), IF SHOWN HEREON, ARE SUBJECT TO INTERPRETATION. IT IS RECOMMENDED THAT THE LANDOWNER OR CLIENT RETAIN THE SERVICES OF AN ENVIRONMENTAL SPECIALIST IN ORDER TO ASCERTAIN IF SAID CONDITIONS EXIST, AND TO FURTHER IDENTIFY SAID AREAS IF THEY DO EXIST. PERMITS MAY BE REQUIRED FROM LOCAL, STATE OR FEDERAL AGENCIES PRIOR TO CONSTRUCTION, EXCAVATION OR FILL ACTIVITIES.

**STORMWATER**  
 STORM WATER PLAN: IF SOIL DISTURBANCE, CLEARING, GRADING AND/OR EXCAVATION OF ONE (1) ACRE OR MORE IS TO TAKE PLACE A FEDERAL GENERAL CONSTRUCTION PERMIT, INCLUDING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MUST BE PREPARED AND SUBMITTED TO AND APPROVED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY PRIOR TO ANY SITE DISTURBANCE.

**FLOOD NOTES**  
 FLOOD PLAIN: THE 100-YR FLOOD PLAIN AREA, IF DESIGNATED ON THIS MAP IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES. HOWEVER, BENCHMARK ASSOCIATES DOES NOT REPRESENT, GUARANTEE, WARRANT NOR IMPLY THAT AREAS OUTSIDE OF THE DESIGNATED FLOOD PLAIN AREA ARE SAFE AND FREE FROM FLOODS OR FLOOD DANGER. FLOOD INFORMATION IS BASED ON THE FLOOD INSURANCE STUDY FOR: BLAINE COUNTY, IDAHO (UNINCORPORATED AREAS) COMMUNITY NUMBER 16013C - PANEL NO. 0453 E - NOVEMBER 26, 2010.

FLOOD PLAIN DESIGN ELEVATIONS: CURRENT FEMA FLOOD INSURANCE REGULATIONS SPECIFY THE BOTTOM FLOOR OF STRUCTURE AS EITHER THE BOTTOM OF FOUNDATION CRAWL SPACE OR TOP OF SLAB. THE BASE FLOOD ELEVATION ON THE UPSTREAM SIDE OF THE STRUCTURE DETERMINES THE FLOOD ELEVATION FOR THE ENTIRE STRUCTURE AND SHOULD BE CONSIDERED PRIOR TO DESIGN. REFER TO LOCAL BUILDING CODES FOR ADDITIONAL CONSTRAINTS AND REGULATIONS.



PREPARED BY:  
 BENCHMARK ASSOCIATES  
 P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
 PHONE (208)726-9512 FAX (208)726-9514  
 WEB: <http://benchmark-associates.com/>  
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**BENCHMARK ASSOCIATES**

**BIGWOOD SUBDIVISION NO. 1  
 BLOCK 1 - LOT 1**

LOCATED WITHIN  
 SECTION 1, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M.,  
 CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : IAN BLACKER - LOOMIS CONSTRUCTION

PROJECT NO. 22146	DWG BY: HDB	CRD: 22146.CRD	22146.TPO.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 10/27/2022	SHEET: 1 OF 1	

**LEGEND**

- |  |   |  |                                    |                                    |
|--|---|--|------------------------------------|------------------------------------|
|  | PROPERTY LINE                                       |  | NXX°XXX'E XX.XX'                   | MEASURED BEARINGS AND DISTANCES    |
|  | ADJOINING PROPERTY LINE                             |  | FOUND 1/2" REBAR (MARKED AS NOTED) | FOUND 1/2" REBAR (MARKED AS NOTED) |
|  | EXTERIOR BUILDING FOOTPRINT                         |  | FOUND 5/8" REBAR (MARKED AS NOTED) | FOUND 5/8" REBAR (MARKED AS NOTED) |
|  | EASEMENT (DIGITIZED PER PLAT)<br>DESCRIBED AS SHOWN |  | CONTROL POINT                      | CONTROL POINT                      |
|  | APPROX. EDGE OF POND                                |  | CALCULATED POINT                   | CALCULATED POINT                   |
|  | FLOW LINE   |  | SEWER MANHOLE                      | SEWER MANHOLE                      |
|  | ASPHALT   |  | POWER BOX                          | POWER BOX                          |
|  | PAVERS  |  | CABLE TV RISER                     | CABLE TV RISER                     |
|  | 1% 100 YR FLOOD (FIRM MAP)                          |  | TELEPHONE RISER                    | TELEPHONE RISER                    |
|  | FLOODWAY (FIRM MAP)                                 |  | WATER VALVE                        | WATER VALVE                        |
|  | BUILDING ENVELOPE (PER PLAT)                        |  | FIRE HYDRANT                       | FIRE HYDRANT                       |
|  |   |  | DRY WELL                           | DRY WELL                           |
|  |   |  | DECIDUOUS TREE                     | DECIDUOUS TREE                     |
|  |   |  | CONIFER TREE                       | CONIFER TREE                       |

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	479.08'	176.05'	175.06'	S 18°31'09" W	21°03'17"
C2	312.48'	13.10'	13.10'	S 27°37'03" W	2°24'08"



THE DESIGN OF THE ROADWAY AND DRAINAGE IMPROVEMENTS HAVE ONLY BEEN PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. SEE THE SITE & GRADING PLANS FROM EGGERS ASSOCIATES P.A. FOR THE REMAINDER OF THE DESIGN.

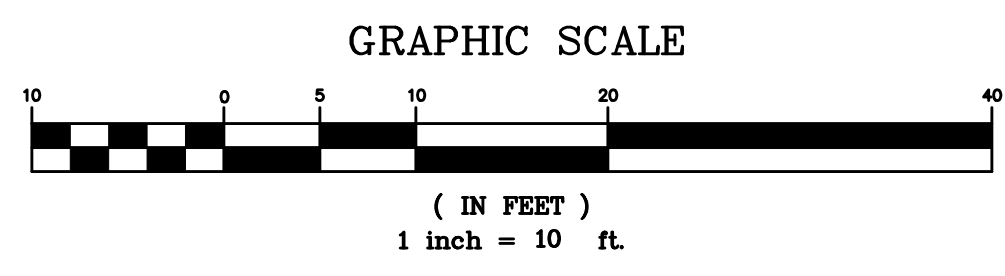
BIGWOOD SUB. NO. 1  
BLOCK 1 - LOT 1  
2.93 A.C. (PER PLAT)

**LEGEND**

- Subject Boundary
- Adjainers Boundary
- EOA — EOA Existing Edge of Asphalt Roadway
- B/S — B/S Building Setback
- Existing 5' Major Contour Line
- Existing 1' Minor Contour Line
- Proposed 5' Major Contour
- Proposed 1' Minor Contour
- Proposed Drainage Flowline
- Existing Structure
- Proposed Structure
- Existing 10" Water Main
- Existing Water Service
- Existing 8" Sewer Main
- Existing Sewer Service
- Found 1/2" Rebar
- Found Aluminum Cap
- Existing Sewer Manhole
- Existing Fire Hydrant
- Existing Water Valve
- Existing Dry Well
- Existing Dry Well (To Be Removed)
- Existing Phone Box
- Existing CA/TV Box
- Existing Power Box
- 1.0% Existing Road Grade
- 1.0% Proposed Grade
- 92.00' TA Proposed Finish Grade Spot Elevation
- 22.0 Proposed Finish Grade Spot Elevation
- Existing Asphalt Driveway (To Be Removed)
- Existing Asphalt Driveway (To Remain)
- Proposed Asphalt Driveway (C2.0, Detail 2)
- Existing Paver Patio
- Proposed Paver Patio/Walkway
- Proposed Gravel (C2.0, Details 1 & 4)
- Existing Vegetation
- Existing Vegetation (To Be Removed)
- Proposed Landscape Dry Well (C2.0, Detail 3)
- SLAB Garage Slab Elevation
- EOA Edge of Asphalt Elevation
- RIM Dry Well/Catch Basin Rim Elevation
- MATCH Match Existing Elevation

**NOTES**

- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Ground in US Survey Feet. Vertical Datum is NAVD1988.
- 2) Boundary Information and Site Conditions are from an October 27, 2022 site survey conducted by Benchmark Associates.
- 3) Subject Property lies within the City of Ketchum Limited Residential—Two Acre District, (LR-2). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone.
- 4) The design of the roadway and drainage improvements have only been performed within the Public Right-of-Way. See the Site & Grading Plans from Eggers Associates P.A. for the remainder of the design.



PROJECT PATH AND PRINT DATE: U:\CarlsonProjects\2039\_BigWoodSub1\_Blk1L1\dwg\2039\_BigWoodSub1\_Blk1L1\_CivilROW2023.dwg 08/08/2023 11:12:29 AM MST

**REVISIONS**

NO	DATE	BY
1	08AUG23	AHN

BUILDING PERMIT SET

Alpine Enterprises Inc.  
Surveying, Mapping, Civil Engineering,  
and Natural Hazards Consulting  
660 Bell Dr., Unit 1 83340 USA  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 727-1808 (208) 727-1967 fax  
email: bennett@alpineenterprisesinc.com

PROFESSIONAL ENGINEER  
ALEX NEVILL  
STATE OF IDAHO  
18075  
08AUG23

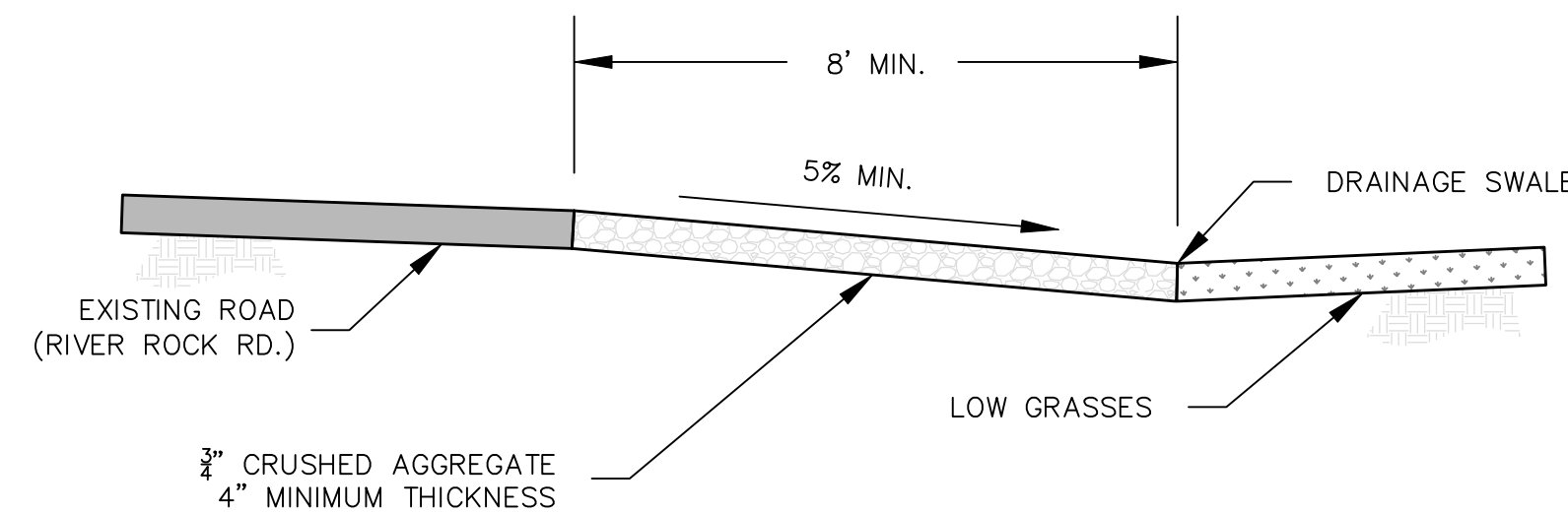
**C1.0**

A RIGHT-OF-WAY IMPROVEMENT PLAN SHOWING  
LOT 1, BLK 1, BIG WOOD SUBDIVISION NO. 1  
WITHIN S1, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
HARTLEY RESIDENCE

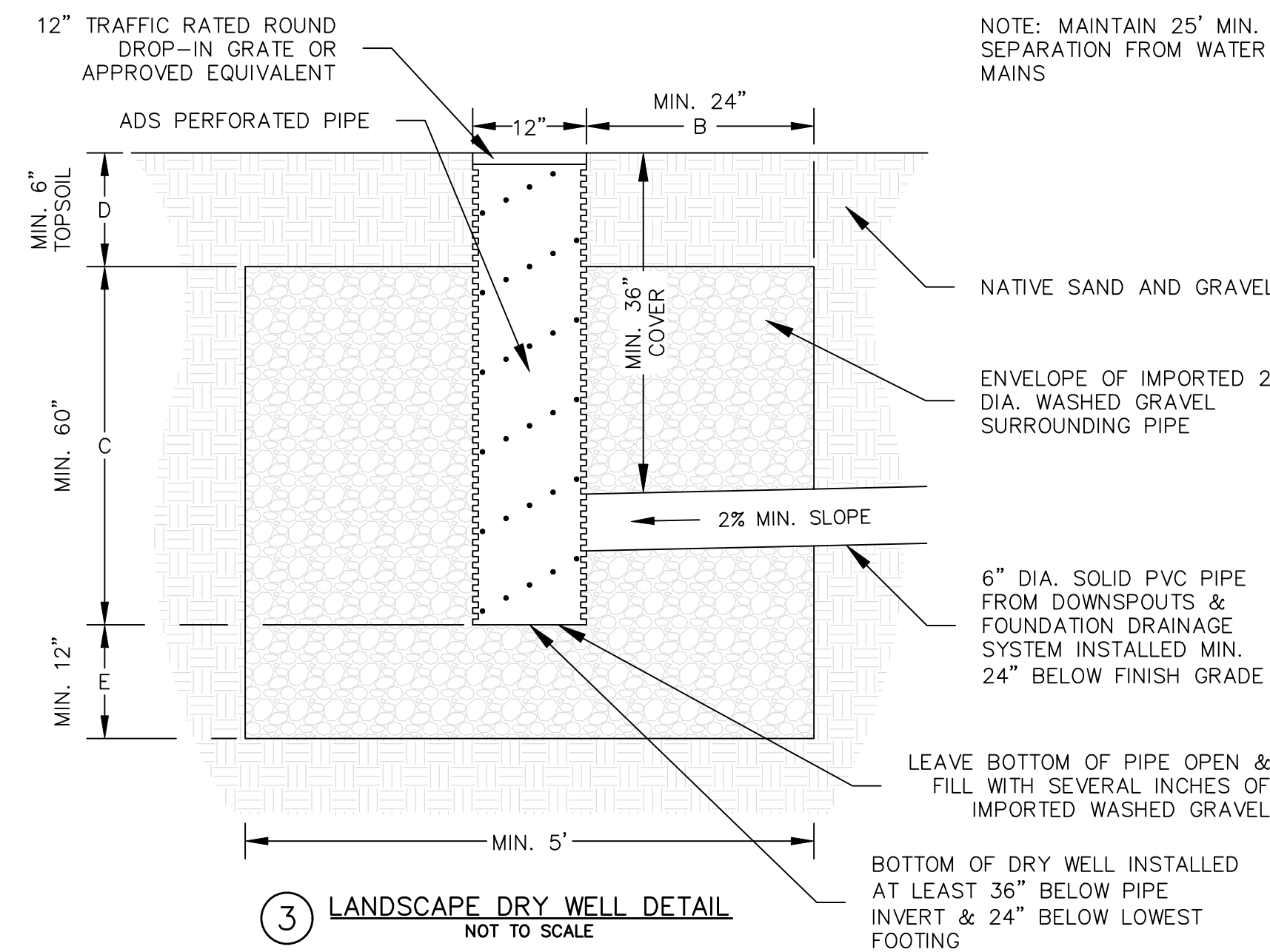


**GENERAL CONSTRUCTION NOTES**

- The location of existing underground utilities are shown on the plans in an approximate way. The contractor shall be responsible for locating existing utilities during the construction. The contractor agrees to be fully responsible for any and all damages which result from his failure to accurately locate and preserve any and all underground utilities.
- The design of the roadway and drainage improvements have only been performed within the Public Right-of-Way. See the Site & Grading Plans from Eggers Associates P.A. for the remainder of the design.
- Contractor shall assure positive drainage away from the building and driveway.
- Contractor shall be responsible for dust control during construction of all items hereon. Dust control shall be continuous during construction, 24 hours per day 7 days per week. The contractor shall follow the requirements of the Storm Water Pollution Prevention Program at all times until permanent erosion control is established.
- All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPWC, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPWC and the City of Ketchum Codes and Standards on site during construction.
- Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- All clearing and grubbing shall conform to ISPWC Section 201 and City of Ketchum standards of excavation and backfill.
- All excavation and embankment shall conform to ISPWC Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPWC Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 2" minus aggregate shall be placed in conformance with ISPWC Section 802. It shall be compacted per ISPWC Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPWC Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 3/4" minus aggregate shall be placed in conformance with ISPWC Section 802. It shall be compacted per ISPWC Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPWC Table 802 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All asphaltic concrete pavement work shall conform to ISPWC Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table 803b in ISPWC Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPWC Section 805.
- All concrete work shall conform to ISPWC Sections 701 and 703. All concrete shall be 3,000 psi minimum. 28 day, as defined in ISPWC Section 703, Table 1.C.
- All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
- The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
- All drainage is to be retained on-site. Grade open areas to drain to Dry Wells as shown hereon.
- Grade away from foundation at 2% minimum.
- Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.
- All right-of-way improvements per sheet C1.0 must be completed prior to issuance of a temporary or final Certificate of Occupancy unless otherwise agreed upon in writing by the City.



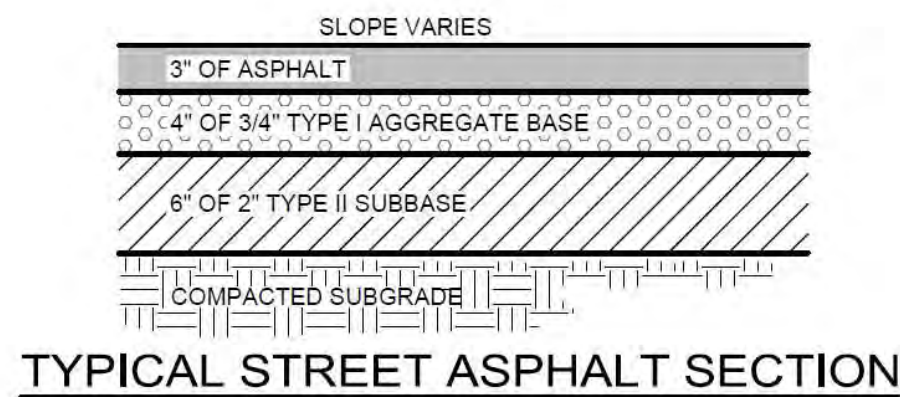
1 CROSS-SECTION: ROADSIDE SWALE  
R.O.W. RIVER ROCK ROAD  
NOT TO SCALE



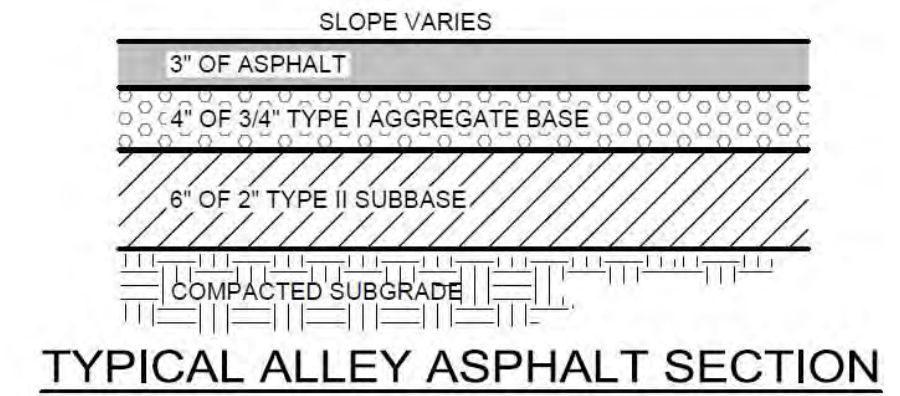
3 LANDSCAPE DRY WELL DETAIL  
NOT TO SCALE

**NOTES**

- Material shall be pervious/permeable to allow drainage.
- Surface must allow for vehicle parking and be consistent along the entire property frontage.
- Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
- Grading and drainage improvements as required by City Engineer - Minimum 5% slope.
- No obstructions, such as boulders or berms.
- No buried irrigation systems within the first eight (8) feet the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
- No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species are preferred.
- No snow-melt systems permitted within public right-of-way.



TYPICAL STREET ASPHALT SECTION

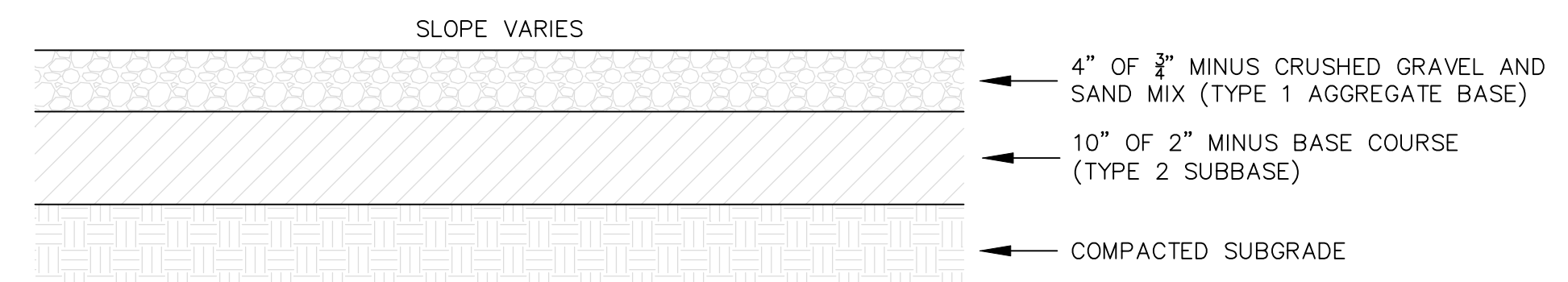


TYPICAL ALLEY ASPHALT SECTION

**NOTES:**

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2 TYPICAL ROAD SECTIONS  
CITY OF KETCHUM - SD-3  
NOT TO SCALE

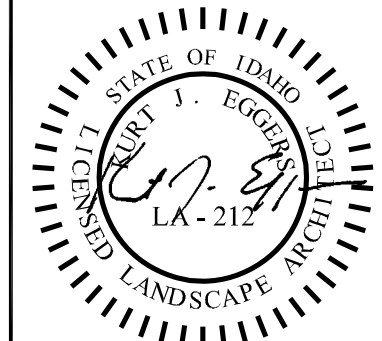


**NOTES:**

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

4 TYPICAL GRAVEL SECTION  
NOT TO SCALE

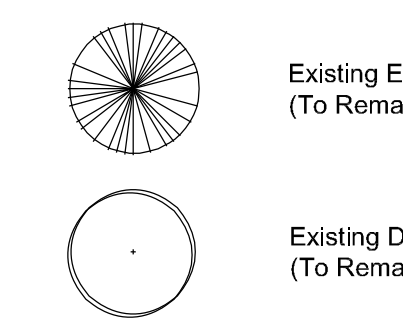
REVISIONS	NO	DATE	BY
BUILDING PERMIT SET	1	08AUG23	AHN



General Notes

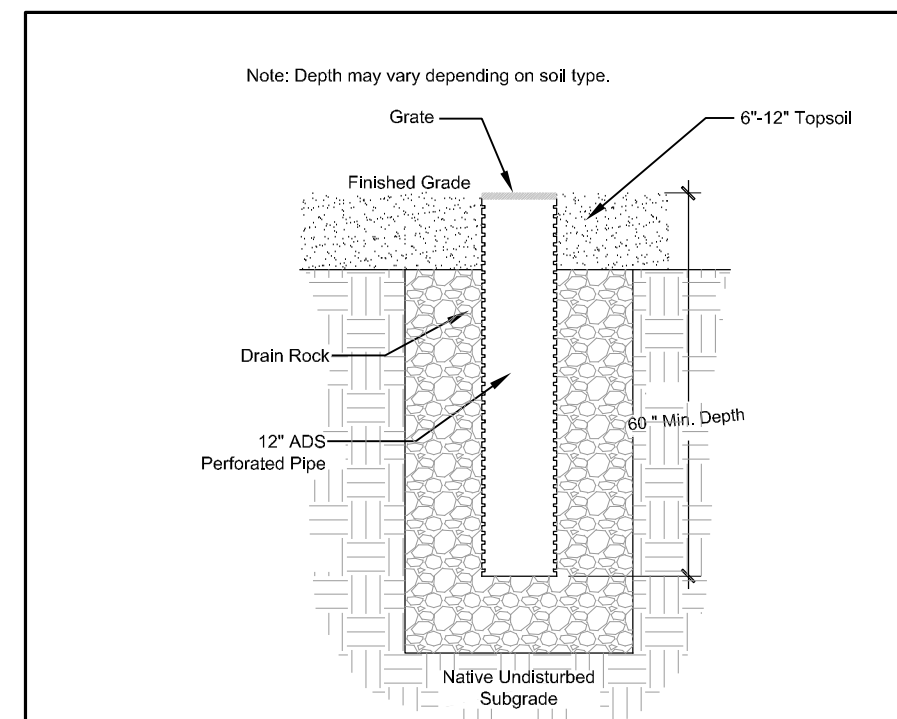
1. Base map information taken from survey by Benchmark Associates dated 10/27/22 and from on-site information. Architectural information provided by Blincoe Architecture dated 05/24/23. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Existing Tree Legend

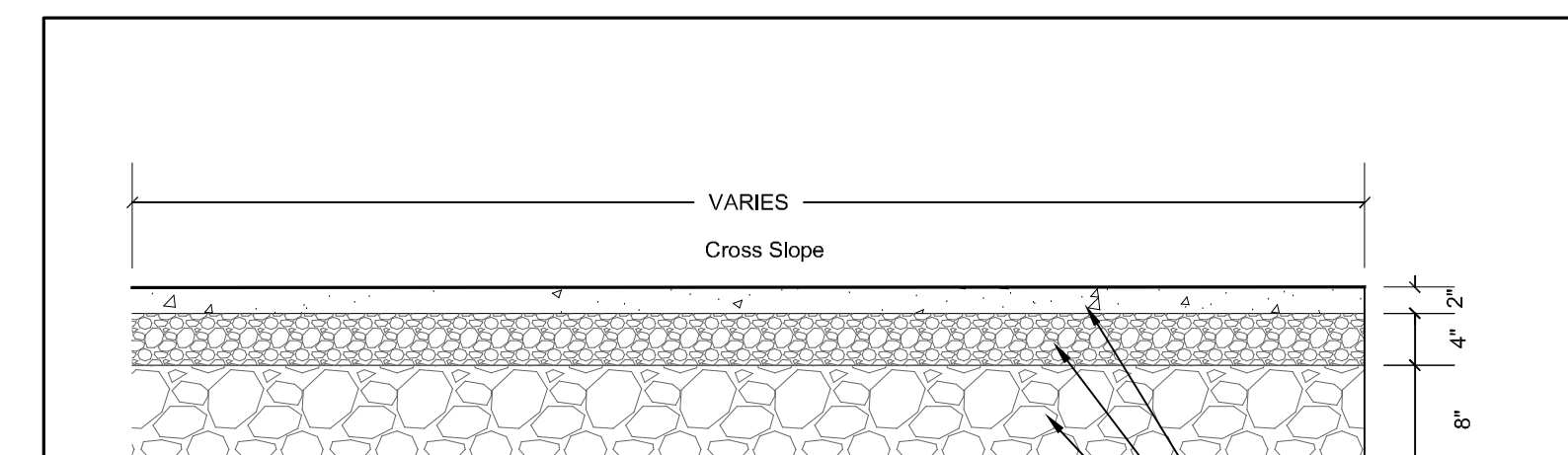


Plan Legend

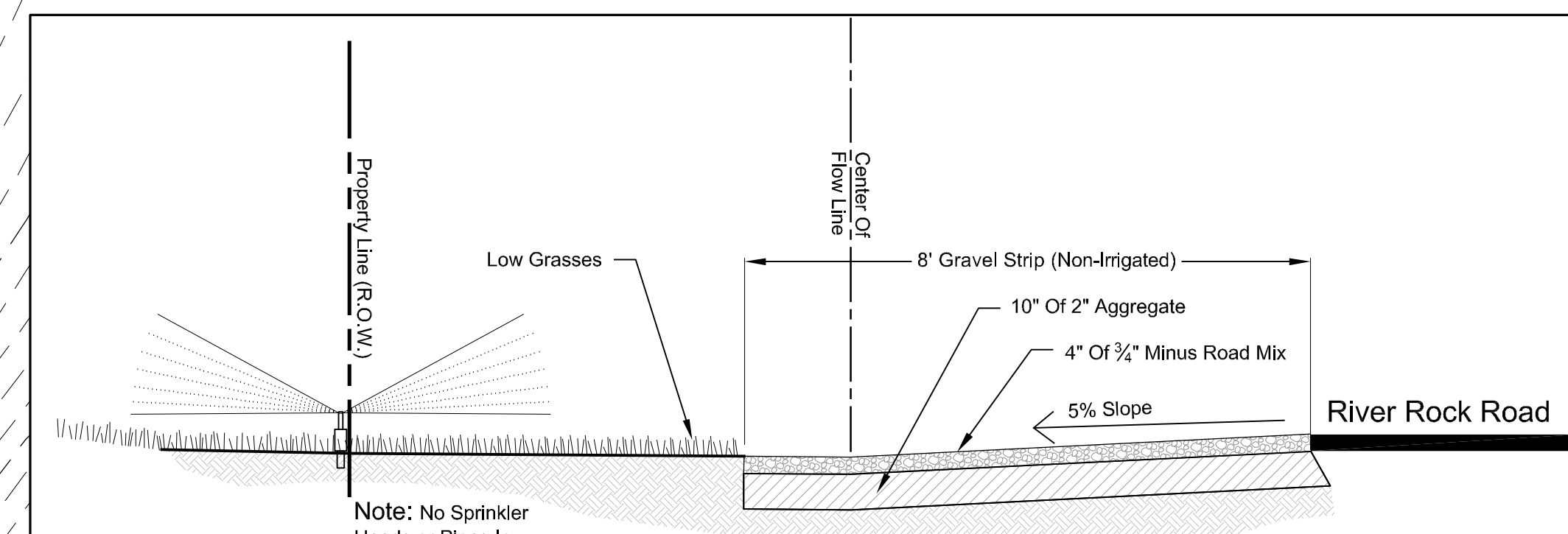
- Property Line
- Utility Easement
- Existing Driveway To Be Removed
- Existing Drywell
- Drystack Retaining Wall
- New Construction
- ROW Drainage
- Existing Contour
- Proposed Contour
- Proposed Spot Elevations
- Proposed Drainage Direction With Slope Percentage
- Landscape Drywell



Landscape Drywell (12" x 6") Scale: No Scale



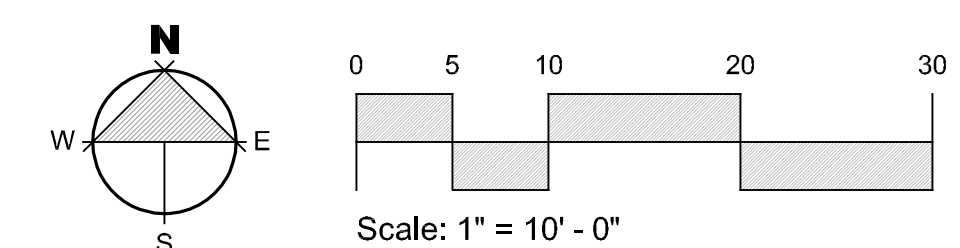
Asphalt Driveway Cross Section Scale: No Scale



Cross Section A - Right Of Way Scale: 1/2" = 1' - 0"

RIGHT OF WAY NOTES:

1. Material within the first eight (8) feet from edge of the asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking.
2. No buried irrigation systems within the first eight feet (8) from the edge of asphalt (Street). Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in ROW.
3. No live plant material in the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.



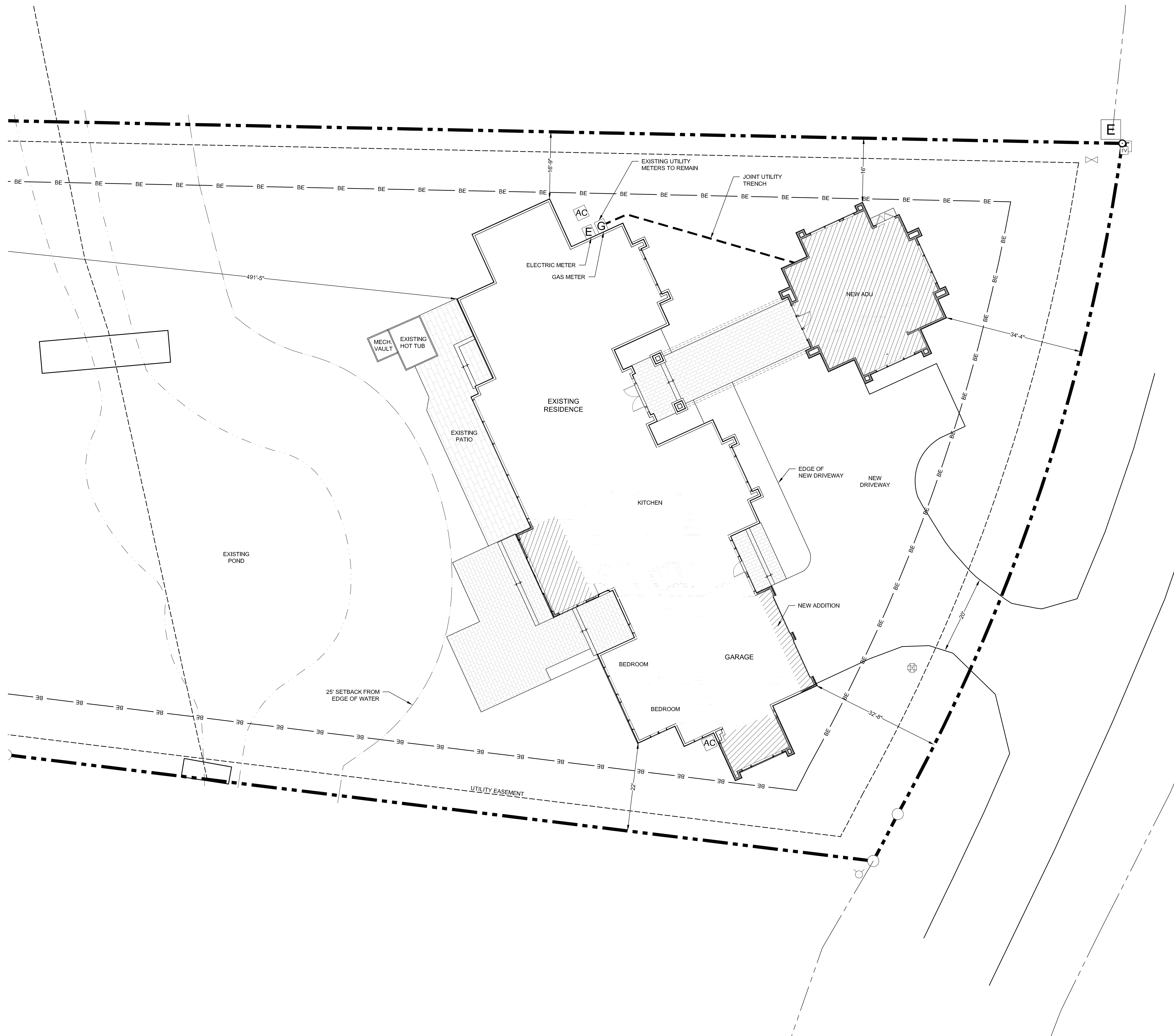


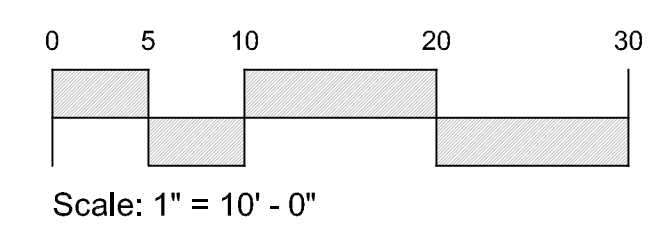
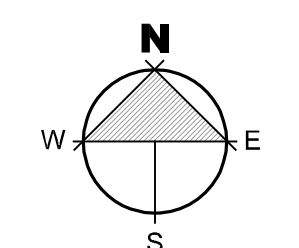
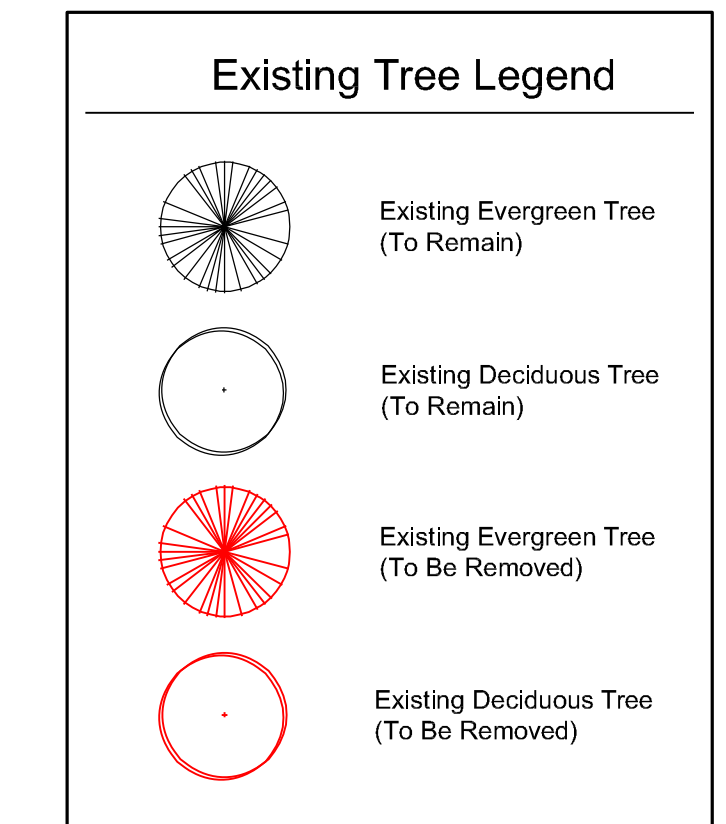
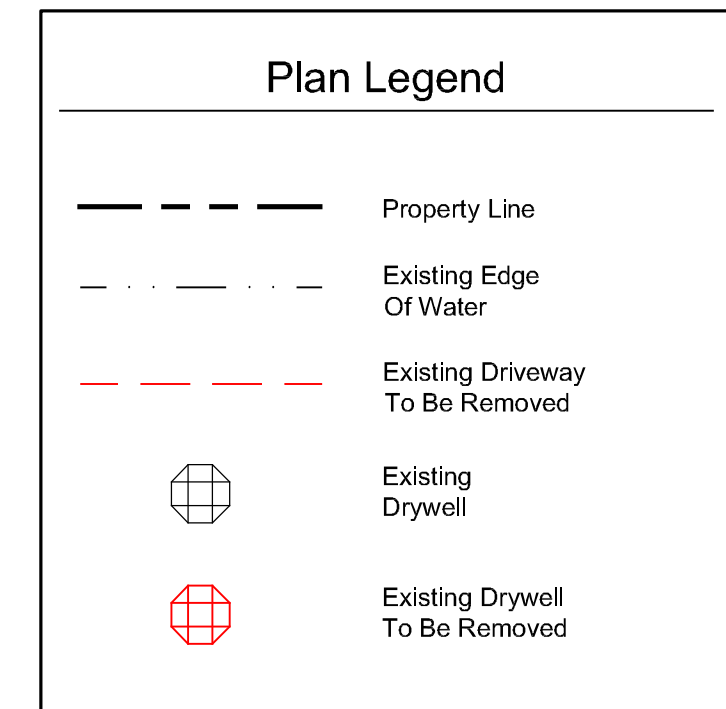
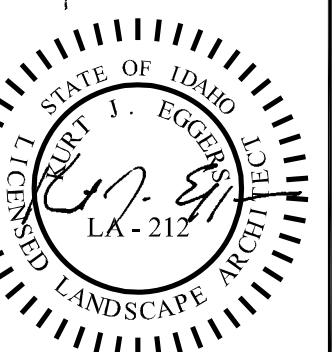
General Notes

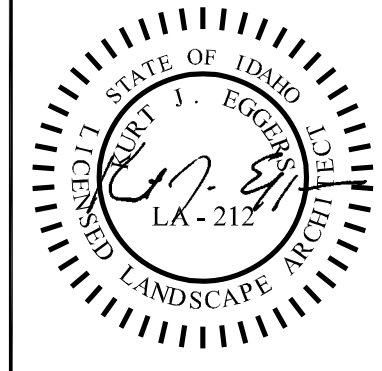
1. Base map information taken from survey by Benchmark Associates dated 10/27/22 and from on-site information. Architectural information provided by Blincoe Architecture dated 05/24/23. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

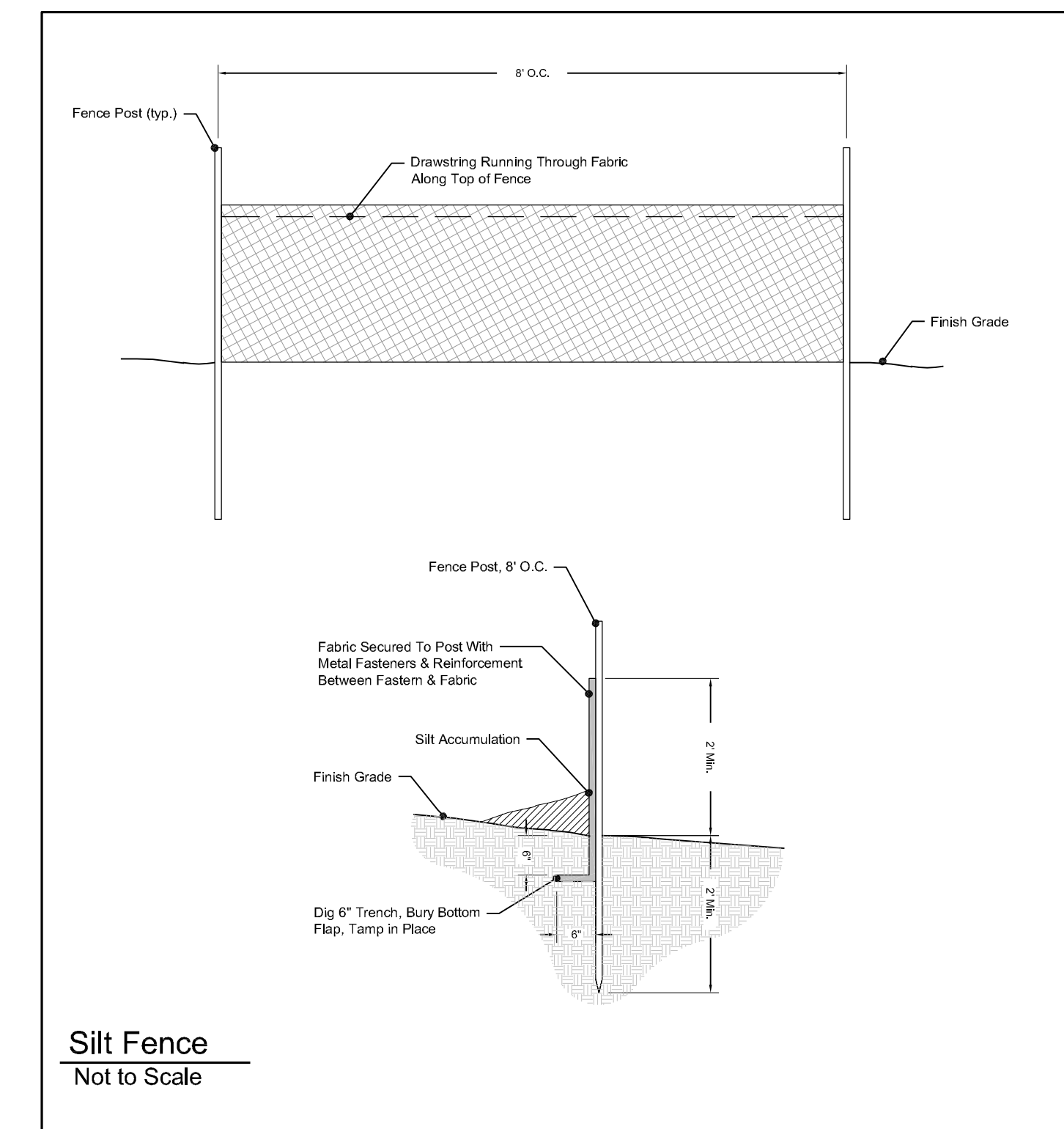
- Property Line
- - - Existing Edge Of Water
- 25' Water Setback
- - - Utility Easement
- - - Existing Driveway To Be Removed
- BE Building Envelope
- ⊕ Existing Drywell
- ▨ New Construction
- ▤ New Pavers
- ▥ Existing Pavers







Plan Legend	
	Property Line
	Existing Edge Of Water
	Silt Fence
	Construction Fence

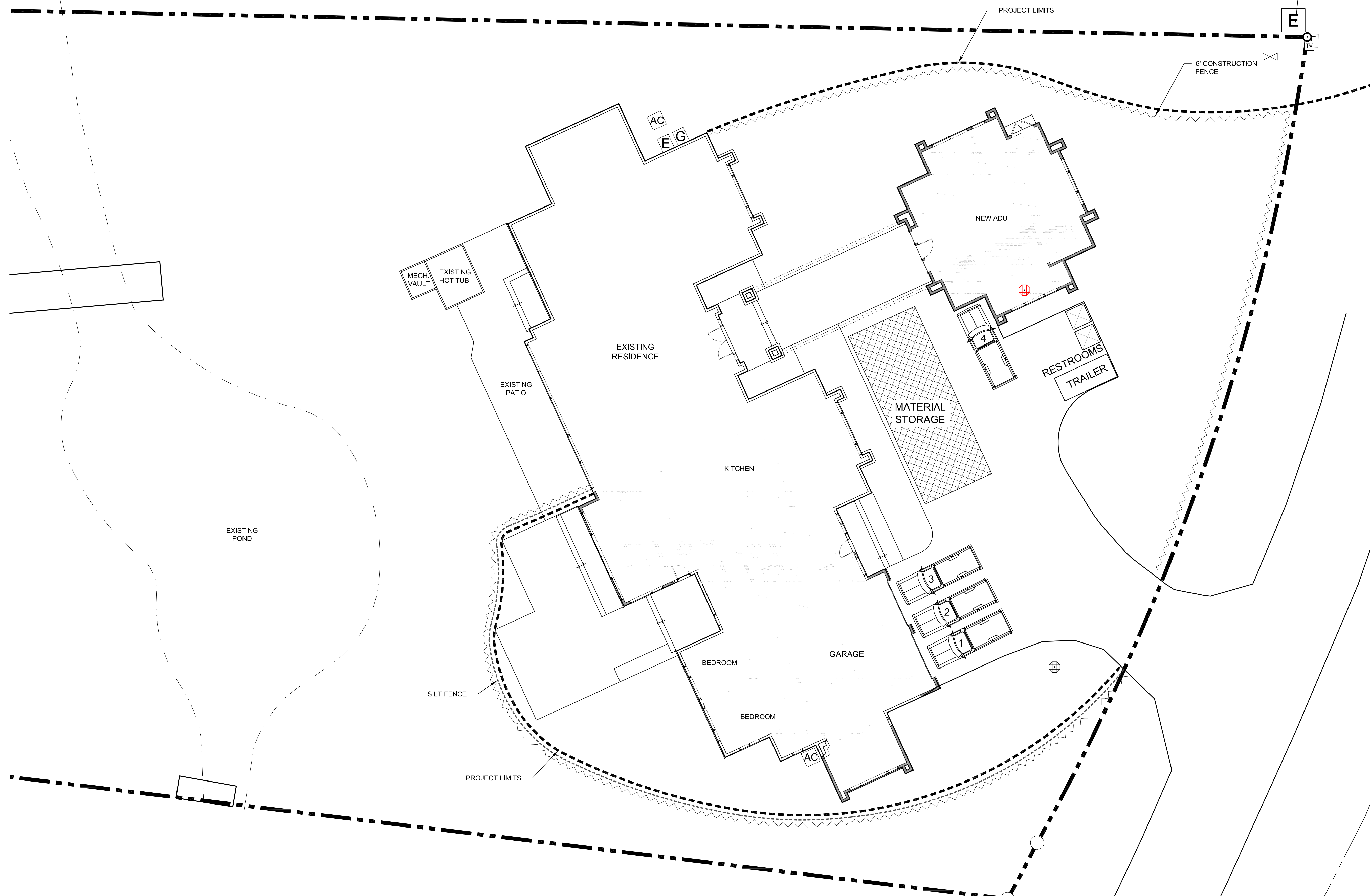
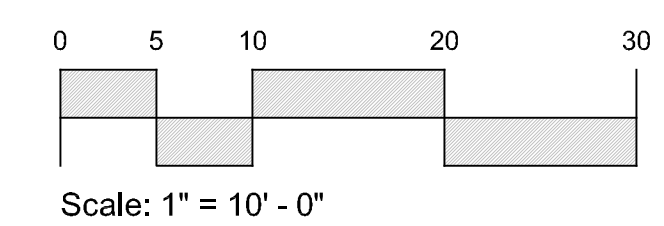
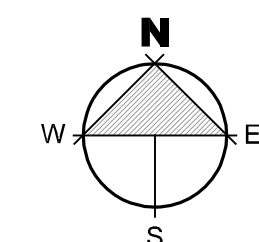


**NOTES:**

(1) See Civil Plans for All Work in Right of Way.

**CONSTRUCTION ACTIVITY NOTES:**

- (1) Dust Control Using Water Truck as Needed.
- (2) All Construction Traffic Shall Have Tires Inspected for Mud, Sand, and Gravel Prior to Leaving Site. Any Material Shall be Removed Prior to Entering City Streets.
- (3) Contractor is Responsible for Snow Removal of Site and Construction Parking.
- (4) Any Temporary Use Of The Public Right-Of-Way Will Require A Temporary Use Right-Of-Way (TURP) Permit From The City.
- (5) All Neighbors In The Project Vicinity Shall Be Provided Notice Of The Project, Schedule And The General Contractor's Contact Information In Advance Of Construction.
- (6) The Job Site Shall Be Kept In A Clean And Orderly Condition, Trash Shall Be Picked Up On The Site And Surrounding Areas On A Daily Basis, And Materials Shall Be Stored In Neat, Tidy Piles.
- (7) The Condition Of The Right-Of-Way Shall Be Documented With Photographs And A Site Visit With Street Department Personnel. Repair Of Damage To The Right-Of-Way Shall Be The Responsibility Of The General Contractor.
- (8) Manholes May Not Be Obstructed At Any Time. In Addition, Minimum Three Feet Clear Shall Be Maintained On Back And Sides Of Fire Hydrants, And Minimum 15 Feet Clear Shall Be Maintained On The Front, Street Side Of Fire Hydrants.
- (9) Speed Limits For Construction Vehicles Shall Be Limited To 15 MPH Within One Block Of The Construction Site, Unless Otherwise Determined Be The Ketchum Police Department.



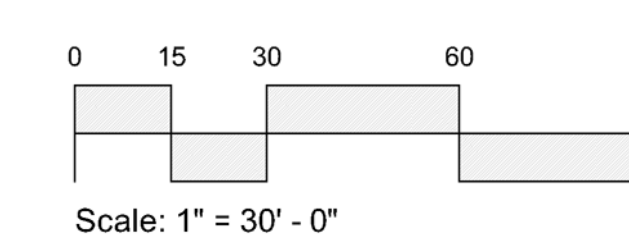
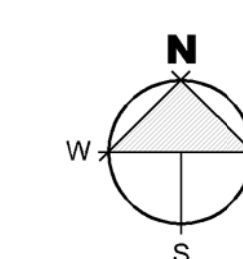


Aerial Imagery: Blaine County GIS 2022

Plan Legend	
	Property Line
	Building Envelope
	Existing Contour
	Existing Easements
	Floodway Per FEMA 2010
	100 Year Floodplain Per FEMA 2010
	Irrigation Canal
	25' Water Setback

Lot Coverage	
<b>Zoning:</b>	CITY
<b>Max. Lot Coverage:</b>	35%
<b>Setbacks:</b>	
Front:	25 Feet
Side:	15 Feet
Rear:	15 Feet
<b>Total Parcel Area:</b>	127,631 ft <sup>2</sup>
<b>Building Footprints:</b>	6,567 ft <sup>2</sup> (5% of Site)

Existing Tree Legend	
	Existing Evergreen Tree
	Existing Deciduous Tree



Hartley Residence

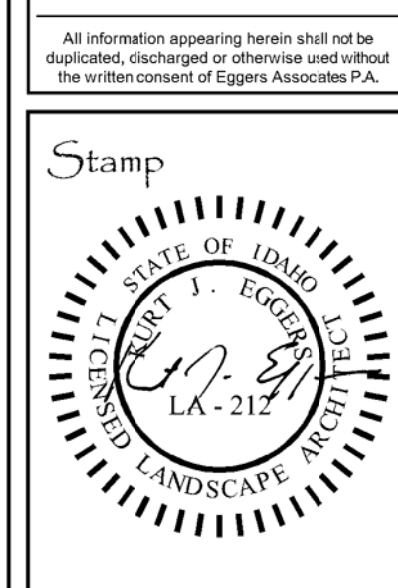
EGGERS ASSOCIATES, P.A.  
landscape architecture  
P.O. Box 975  
Ketchum, ID 83340  
T (208) 725-0988  
F (208) 725-0972

Hartley Residence  
130 River Rock Road  
Bigwood Sub 1 - Block 1 Lot 1  
Ketchum, Idaho

Job No: 23-03

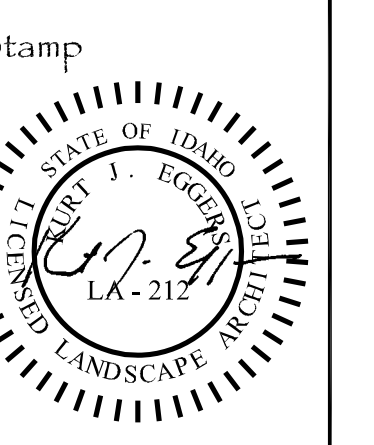
Scale: 1" = 30'-0"

Issue/Revisions: Date:  
Permit Set 08/03/23

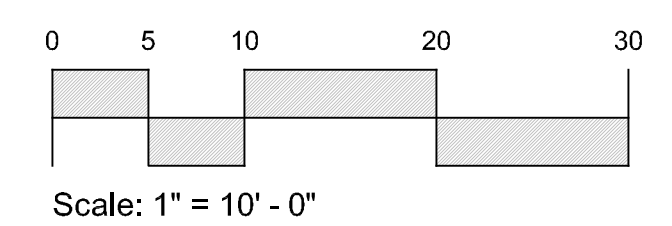
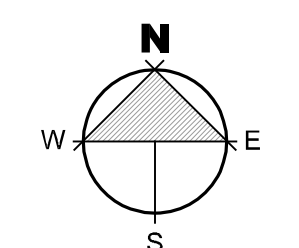
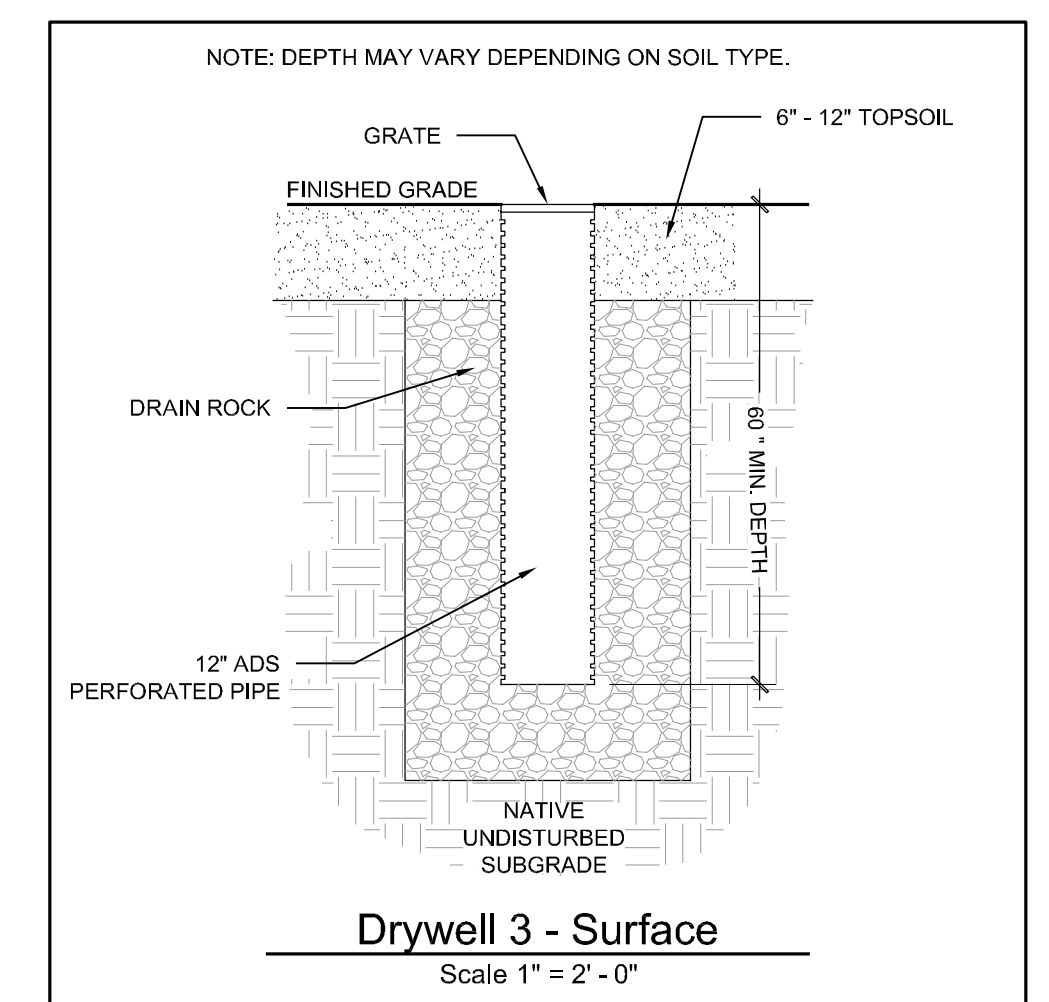


Sheet Title:  
Existing Conditions

Sheet No:  
L1.0

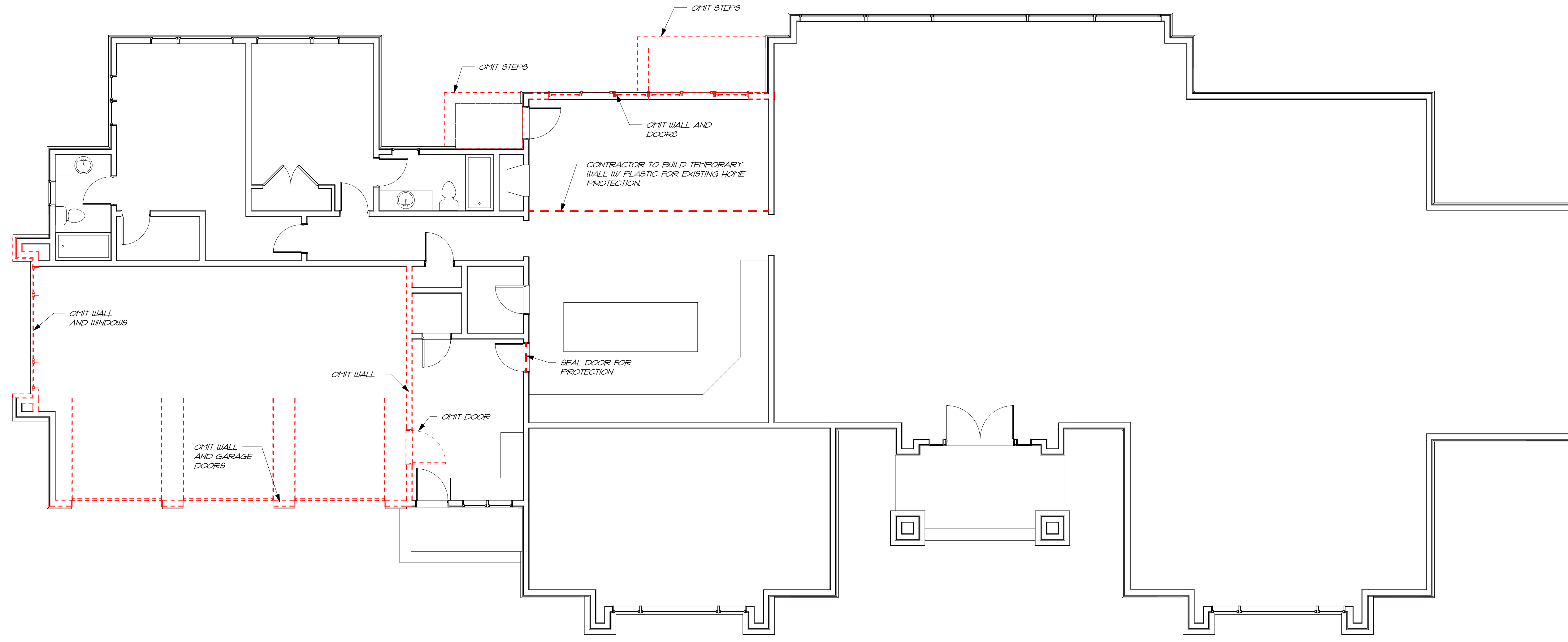


Plan Legend	
	Property Line
	Existing Edge Of Water
	Utility Easement
	Building Envelope
	Existing Contour
	Proposed Contour
	Proposed Spot Elevations
	Proposed Drainage Direction With Slope Percentage
	Landscape Drywell
	Existing Drywell
	Drystack Retaining Wall

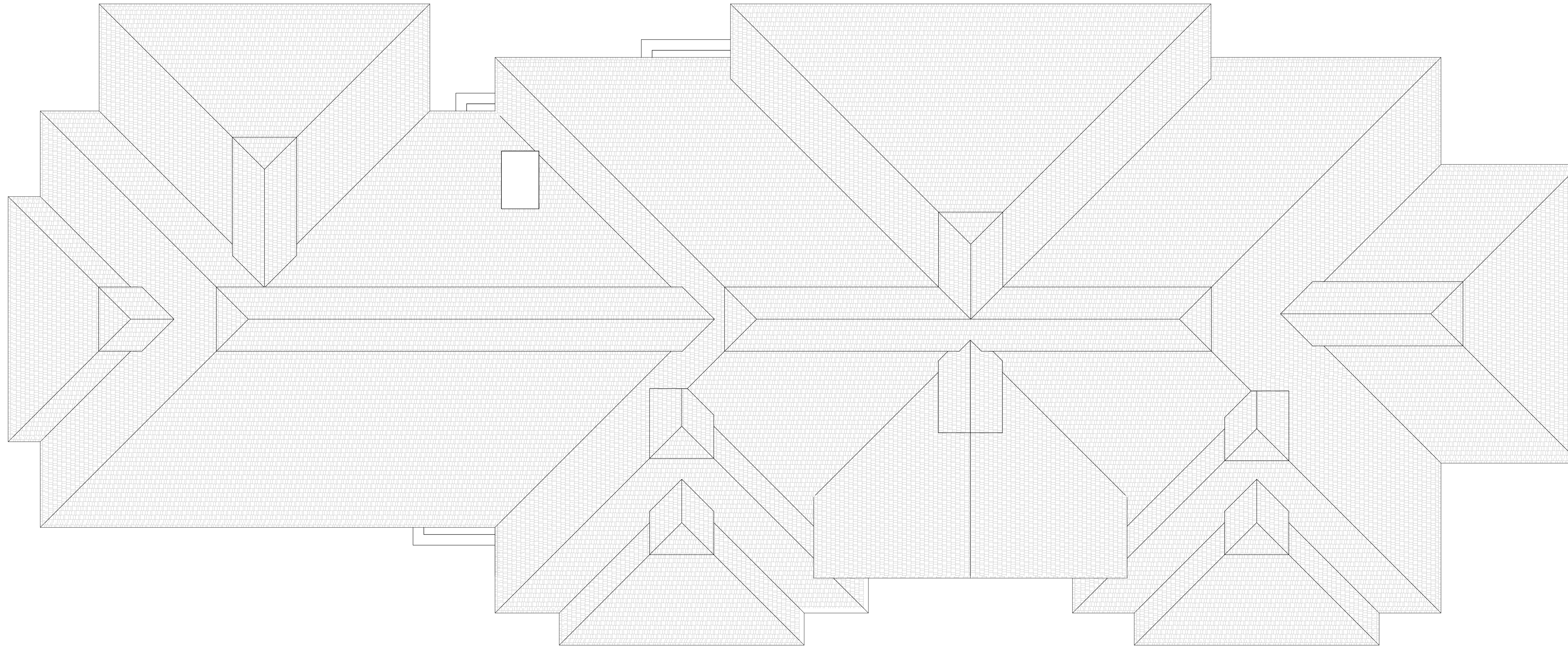








1  
X1  
EXISTING FLOOR PLAN/DEMOLITION PLAN  
3/16" = 1'-0"



2  
X1  
EXISTING ROOF PLAN  
3/16" = 1'-0"

PERMIT SET  
AUGUST 21st, 2023

X1

JOB #:	006.22
PLOT DATE:	12/21/22
DESIGN REVIEW:	
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
PRELIMINARY	3/3/23
DESIGN REVIEW	4/19/23
DESIGN REVIEW	5/18/23
PERMIT SET	8/21/23

# HARTLEY RESIDENCE REMODEL

130 RIVER ROCK RD, KETCHUM ID 83340

LICENSED ARCHITECT  
AR 984602  
*Chad E. Blincoe*  
CHAD E. BLINCOE  
STATE OF IDAHO

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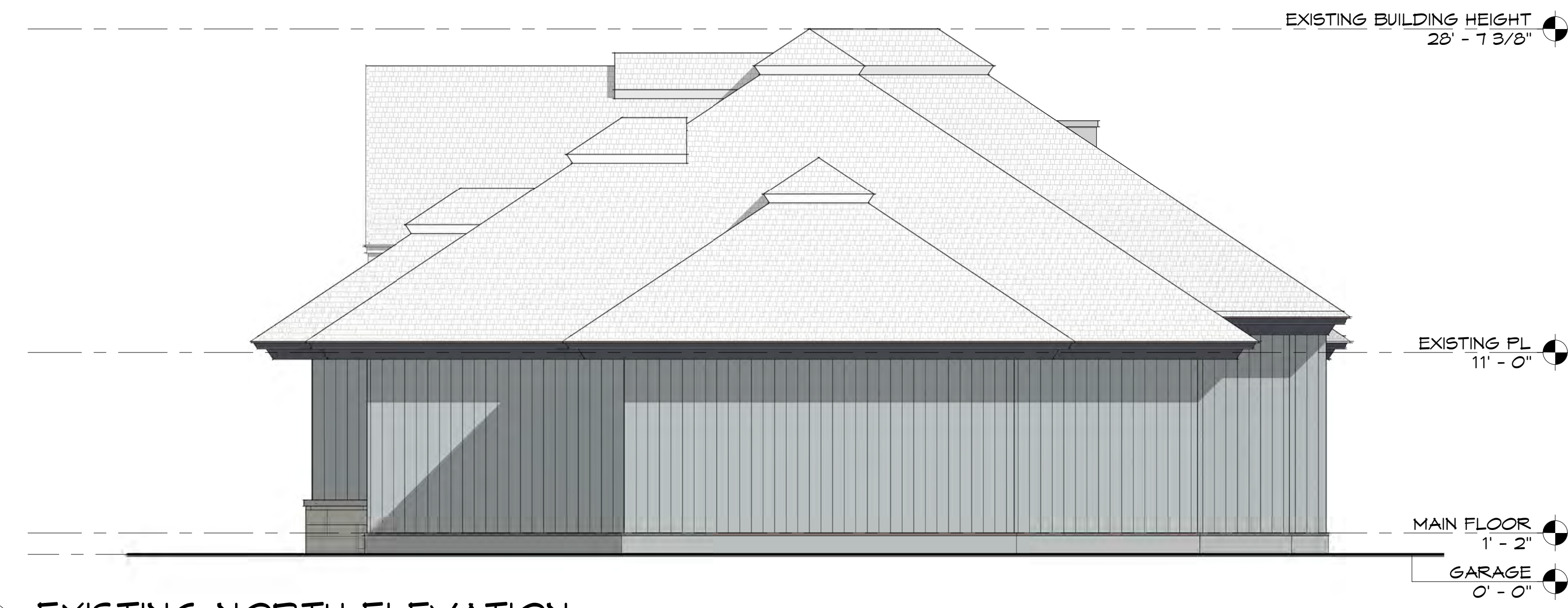
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1  
X2  
EXISTING EAST SIDE ELEVATION  
3/16" = 1'-0"



2  
X2  
EXISTING SOUTH ELEVATION  
3/16" = 1'-0"



3  
X2  
EXISTING NORTH ELEVATION  
3/16" = 1'-0"



4  
X2  
EXISTING WEST ELEVATION  
3/16" = 1'-0"

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LICENSED ARCHITECT AR 984602  
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 STATE OF IDAHO

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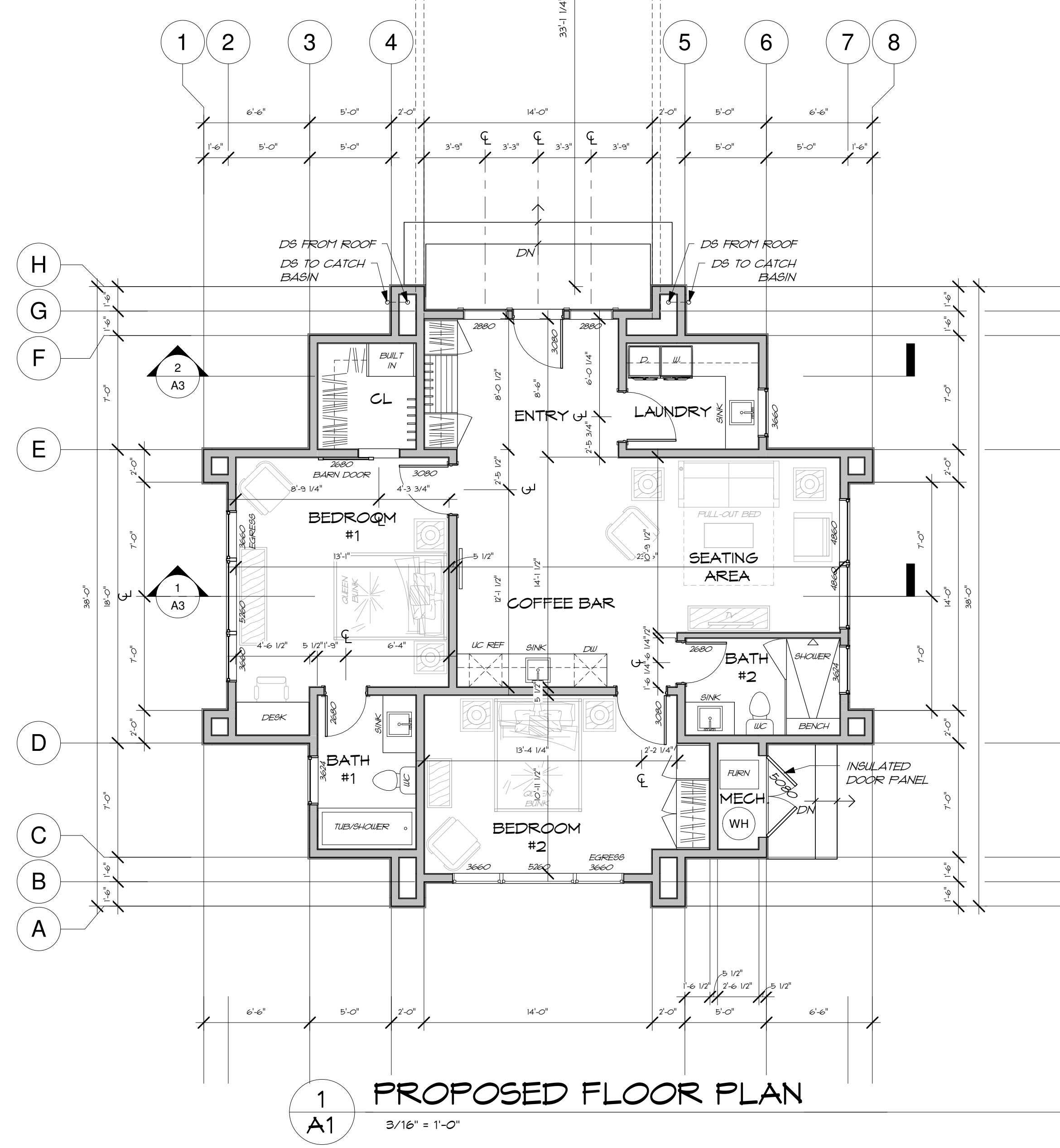
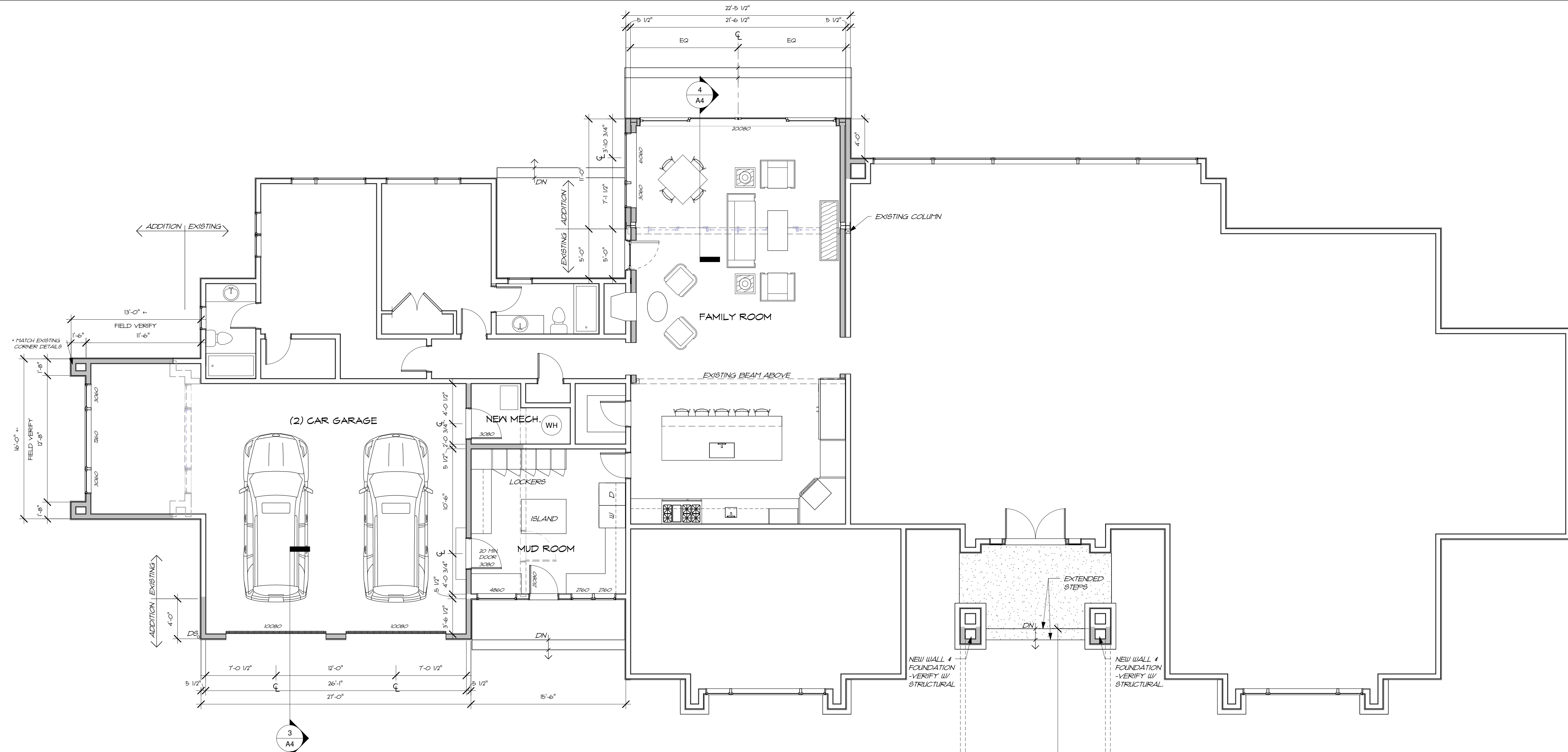
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PRELIMINARY	3/3/23
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PERMIT SET	8/21/23

**PERMIT SET**  
 AUGUST 21st, 2023

**X2**

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1  
A1  
PROPOSED FLOOR PLAN  
3/16" = 1'-0"

**LEGEND:**

NEW WALL  
EXISTING WALL

MAIN HOUSE SQUARE FOOTAGE TABULATION:		
	EXISTING	ADDITION
MAIN HOUSE LIVING AREA	4,781 SQ. FT.	380 SQ. FT.
MAIN HOUSE GARAGE	104 SQ. FT.	171 SQ. FT.
<b>TOTAL:</b>	<b>5,461 SQ. FT.</b>	<b>521 SQ. FT.</b>

GUEST ROOM: 1,123 SQ. FT.

**GENERAL NOTES:**

- \* GLAZING - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R308, R310, & R612
- \* EGRESS WINDOWS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R310
- \* STAIRS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION 311
- \* GUARDRAILS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION 312
- \* SMOKE ALARMS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R314
- \* CARBON MONOXIDE DETECTORS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R315
- \* CHIMNEY AND FIREPLACES - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE CHAPTERS 10 & 18
- \* EXHAUST FANS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE CHAPTER 15
- \* ALL WINDOW AND DOOR HEIGHTS ARE 8'-0" A.F.F. U.N.O.
- \* DOOR CALL OUTS ARE IN FEET AND INCHES  
WINDOW CALL OUTS ARE IN INCHES
- \* ALL HOUSE WRAP SHOULD BE SEALED AT ALL LAPS, PENETRATIONS, AND TERMINATIONS.
- \* ALL FOUNDATION WALLS TO HAVE A WATERPROOF MEMBRANE, OR AT A MIN. RUBBERIZED ASPHALT EMULSION WITH ALL CRACKS, JOINTS, AND PENETRATIONS REINFORCED WITH A WATERPROOF FLEXIBLE MEMBRANE.
- \* SEE STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL INFORMATION AND DETAILING.
- \* ALL DOOR AND WINDOW OPENINGS SHOULD BE SEALED WITH A SELF-ADHERING MEMBRANE BEFORE THE DOOR AND WINDOWS ARE INSTALLED. THEN THE DOOR AND WINDOW FLANGES SHOULD BE SEALED WITH A SELF ADHERING MEMBRANE AFTER THEY ARE INSTALLED SO THAT THE FLANGES ARE SANDWICHED.
- \* THERE SHOULD BE A 1/4" +/- IN. JOINT BETWEEN THE DOOR AND WINDOW FRAMES AND ADJOINING MATERIAL. POLYURETHANE CAULKING SHOULD BE INSTALLED IN THE JOINTS.
- \* THERE SHOULD BE METAL FLASHING ABOVE ALL DOORS AND WINDOWS.
- \* PROVIDE FIRE CAULKING AT ALL PENETRATIONS IN THE (1) HOUR WALL ASSEMBLY

**HARTLEY RESIDENCE REMODEL**

130 RIVER ROCK RD  
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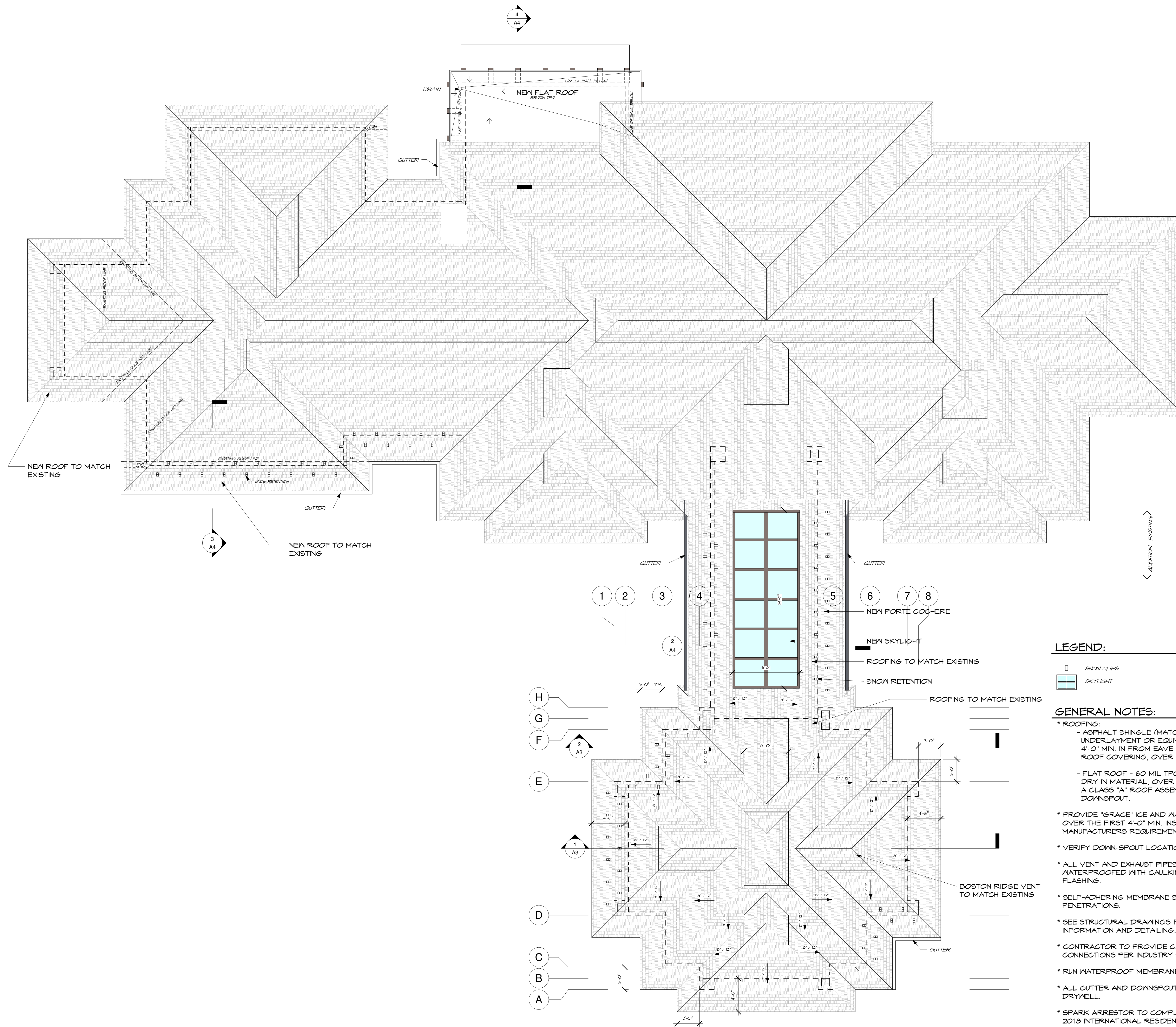
**A1**

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AR 984602

CHAD E. BLINCOE  
STATE OF IDAHO

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**LEGEND:**

- SNOW CLIPS
- SKYLIGHT

**GENERAL NOTES:**

- \* **ROOFING:**
  - ASPHALT SHINGLE (MATCH EXISTING), OVER FELTEX UNDERLAYMENT OR EQUIVALENT, AND ICE & WATER SHIELD 4'-0" MIN. IN FROM EAVE LINE TO MEET OR EXCEED A CLASS "A" ROOF COVERING, OVER ROOF SHEATHING (SEE STRUCTURAL).
  - FLAT ROOF - 60 MIL TPO MEMBRANE (DARK BROWN), OVER DRY IN MATERIAL, OVER ROOF SHEATHING TO MEET OR EXCEED A CLASS "A" ROOF ASSEMBLY. DRAIN TO SCUPPER & DOWNSPOUT.
- \* PROVIDE "GRACE" ICE AND WATER SHIELD OR EQUIVALENT OVER THE FIRST 4'-0" MIN. INSIDE OF THE WALL LINE PER MANUFACTURERS REQUIREMENTS.
- \* VERIFY DOWN-SPOUT LOCATIONS WITH ARCHITECT.
- \* ALL VENT AND EXHAUST PIPES WITHIN 10'-0" OF EAVE LINE TO BE WATERPROOFED WITH CAULKING BEFORE INSTALLATION OF PIPE FLASHING.
- \* SELF-ADHERING MEMBRANE SHOULD SEAL AROUND ALL PIPE PENETRATIONS.
- \* SEE STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL INFORMATION AND DETAILING.
- \* CONTRACTOR TO PROVIDE CAULKING AT TYPICAL ROOFING CONNECTIONS PER INDUSTRY STANDARDS.
- \* RUN WATERPROOF MEMBRANE UP SIDE WALL 12" MIN.
- \* ALL GUTTER AND DOWNSPOUTS TO HAVE HEAT TAPE, DRAIN TO DRYWELL.
- \* SPARK ARRESTOR TO COMPLY WITH SECTION R1009.92 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- \* CONTRACTOR/ROOFING CONTRACTOR TO PROVIDE SNOW RETENTION ENGINEERING AND LAYOUT.

**1**  
**A2** PROPOSED ROOF PLAN  
3/16" = 1'-0"

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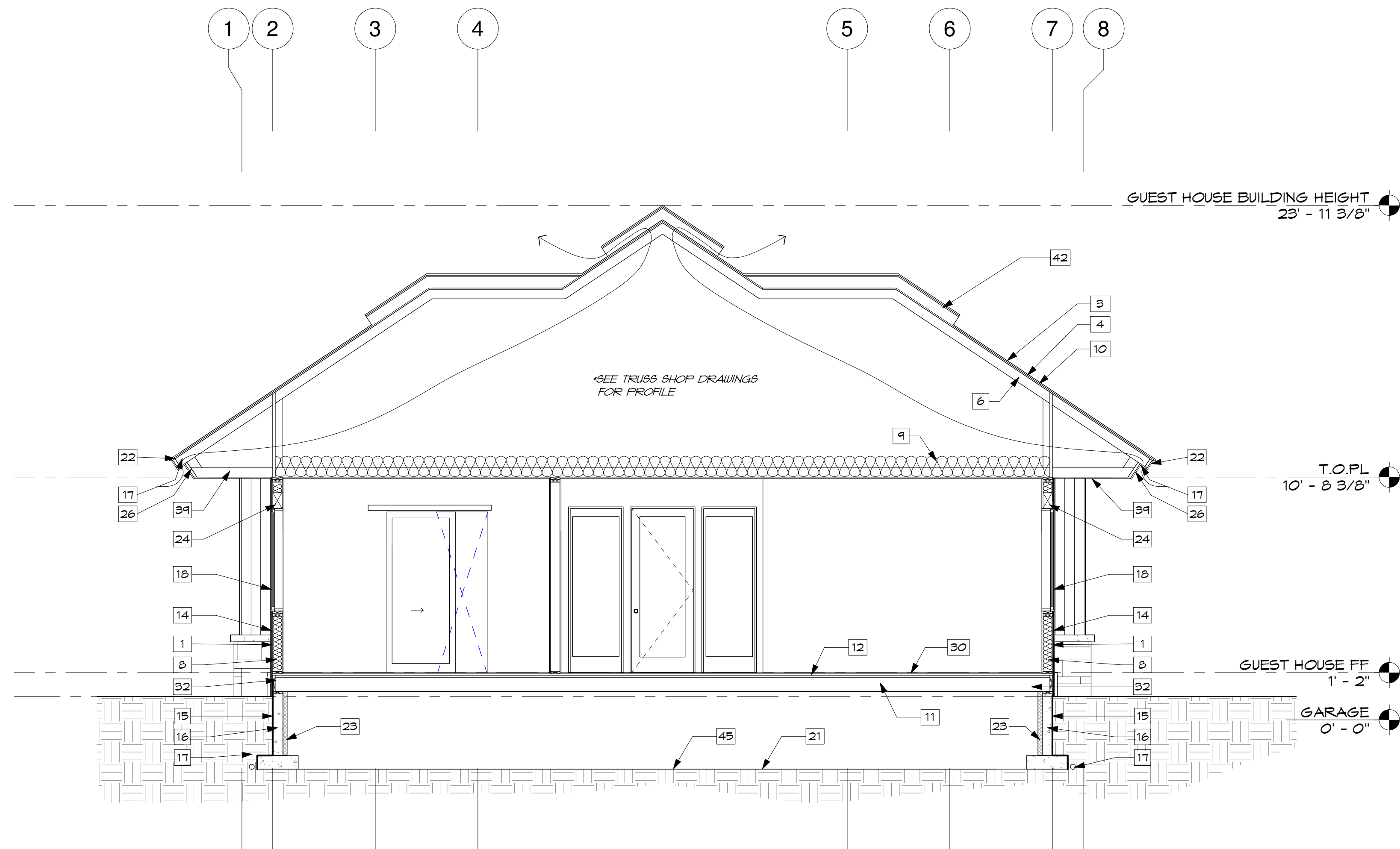
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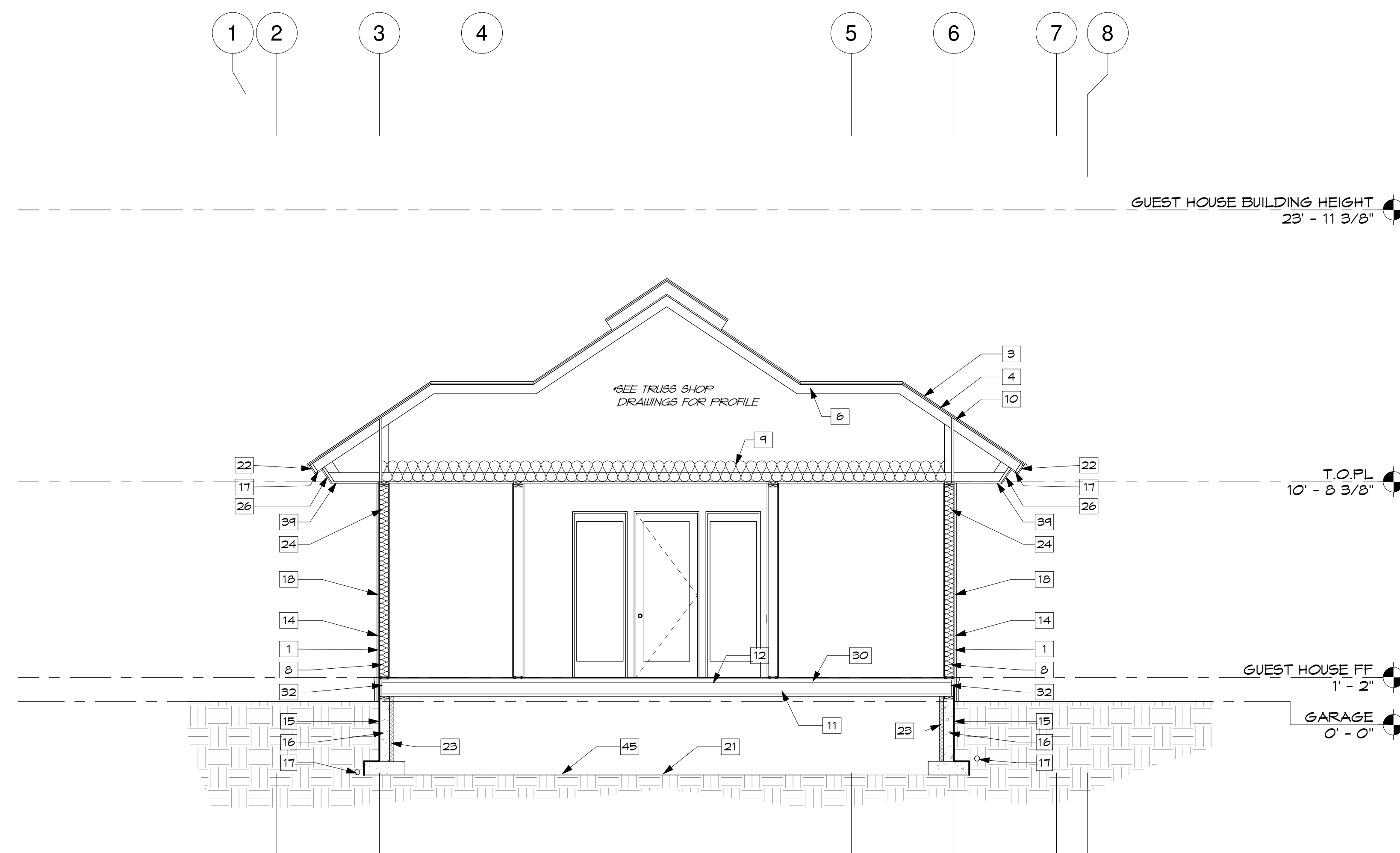
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 AUGUST 21st, 2023

**A2**

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1 BUILDING SECTION A  
A3 1/4" = 1'-0"



2 BUILDING SECTION B  
A3 1/4" = 1'-0"

SECTION KEYNOTE:

- 1 PLYWOOD WALL SHEATHING - SEE STRUCTURAL
- 2 2X PONY WALL - SEE STRUCTURAL
- 3 ASPHALT SHINGLE ROOFING - MATCH EXISTING
- 4 FELTEX UNDERLAYMENT
- 5 VERSASHIELD SLIP SHEET
- 6 MANUFACTURED ROOF TRUSS
- 7 4-MIL. VISQUEEN VAPOR BARRIER
- 8 R-22 INSULATION
- 9 R-49 POLYURETHANE/BLOWN INSULATION
- 10 ROOF SHEATHING - SEE STRUCTURAL
- 11 B.C.I. TYPE FLOOR JOISTS - SEE STRUCTURAL
- 12 PLYWOOD FLOOR SHEATHING - SEE STRUCTURAL
- 13 METAL FLASHING - 24 GA.
- 14 BUILDING WRAP - TYVEK OR EQ.
- 15 WATERPROOF MEMBRANE OR RUBBERIZED ASPHALTIC EMULSION - SEE GENERAL NOTES
- 16 CONCRETE FOUNDATION
- 17 PERFORATED METAL VENT W/ INSECT SCREEN
- 18 WINDOW UNIT U-30, SHGC 0.30 MIN.
- 19 DOOR UNIT U-30 MIN.
- 20 PERIMETER FRENCH DRAIN W/ FILTER FABRIC
- 21 RADON EVACUATION SYSTEM
- 22 1 X 6 FASCIA OR MATCH EXISTING
- 23 R-15, 2.5" CLOSED CELL POLYURETHANE INSULATION
- 24 HEADER/B.M. - SEE STRUCTURAL
- 25 BITUTHENE MEMBRANE "GRACE" ICE & WATERSHIELD
- 26 1 X 12 FASCIA OR MATCH EXISTING
- 27 STRUCTURAL BEAM
- 28 CRAWL SPACE - MECHANICALLY VENTED
- 29 CONCRETE FOOTING - SEE STRUCTURAL
- 30 FINISH FLOOR
- 31 1 1/2" GYPCRETE
- 32 TREATED SILL PLATE
- 33 2X OVER FRAMING
- 34 5/8" GYPSUM BOARD
- 35 FINISH SIDING
- 36 R-30 INSULATION
- 37 60 MIL TPO MEMBRANE
- 38 2X OVER FRAMING
- 39 1X6 SOFFIT
- 40 2X6 WALL FRAMING
- 41 GUTTER
- 42 BOSTON RIDGE VENT
- 43 STONE CAP
- 44 STONE VENEER
- 45 VAPOR BARRIER

GENERAL NOTES:

- \* GLAZING - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R309, R310, & R612
- \* EGRESS WINDOWS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R310
- \* STAIRS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R311
- \* SMOKE ALARMS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R314
- \* CARBON MONOXIDE DETECTORS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R315
- \* CHIMNEY AND FIREPLACES - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CHAPTERS 10 & 18
- \* ALL WINDOW AND DOOR HEIGHTS ARE 8'-0" A.F.F. U.N.O.
- \* REFER TO STRUCTURAL DRAWINGS & RCP PLANS FOR BEAM SIZE CALL OUTS NOT SHOWN.
- \* ALL HOUSE WRAP SHOULD BE SEALED AT ALL LAPS, PENETRATIONS, AND TERMINATIONS.
- \* ALL PIPING AND DUCTS IN CRAWL SPACE TO BE INSULATED TO R-2 MIN AND SEALED.
- \* ALL FOUNDATION WALLS TO HAVE A WATERPROOF MEMBRANE, OR AT A MIN. RUBBERIZED ASPHALT EMULSION WITH ALL CRACKS, JOINTS, AND PENETRATIONS REINFORCED WITH A WATERPROOF FLEXIBLE MEMBRANE.
- \* PROVIDE "GRACE" ICE AND WATERSHIELD OR EQUIVALENT OVER THE FIRST 4'-0" MIN. INSIDE OF THE WALL LINE PER MANUFACTURERS REQUIREMENTS.
- \* ALL VENT AND EXHAUST PIPES WITHIN 10'-0" OF EAVE LINE TO BE WATERPROOFED WITH CAULKING BEFORE INSTALLATION OF PIPE FLASHING.
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- \* VERIFY DOWNSPOUT LOCATION W/ ARCHITECT.
- \* ALL GUTTER AND DOWNSPOUT TO HAVE HEAT TAPE, DRAIN TO DRYWELL
- \* ROOFING:
  - ASPHALT SHINGLE (MATCH EXISTING) OVER FELTEX UNDERLAYMENT OR EQUIVALENT, AND ICE & WATER SHIELD 4'-0" MIN. IN FROM EAVE LINE TO MEET OR EXCEED CLASS "A" ROOF COVERING, OVER 5/8" ROOF SHEATHING, (SEE STRUCTURAL).
  - FLAT ROOF - 60 MIL TPO MEMBRANE (DARK BROWN), OVER VERSASHIELD SLIP SHEET, OVER ROOF SHEATHING TO MEET OR EXCEED A CLASS "A" ROOF ASSEMBLY. DRAIN TO SCUPPER & DOWNSPOUT.
- \* VENTING:
  - ROOF VENTING TO CONFORM TO SECTION R806 OF THE 2018 IRC.
  - PROVIDE EAVE AND RIDGE VENTING AS REQUIRED, INCLUDING PROVISIONS FOR VENTING, SNOW CONDITIONS, & INSECT BARRIER.
  - CRAWL SPACE VENTING TO CONFORM WITH 2018 IRC SECTION R408

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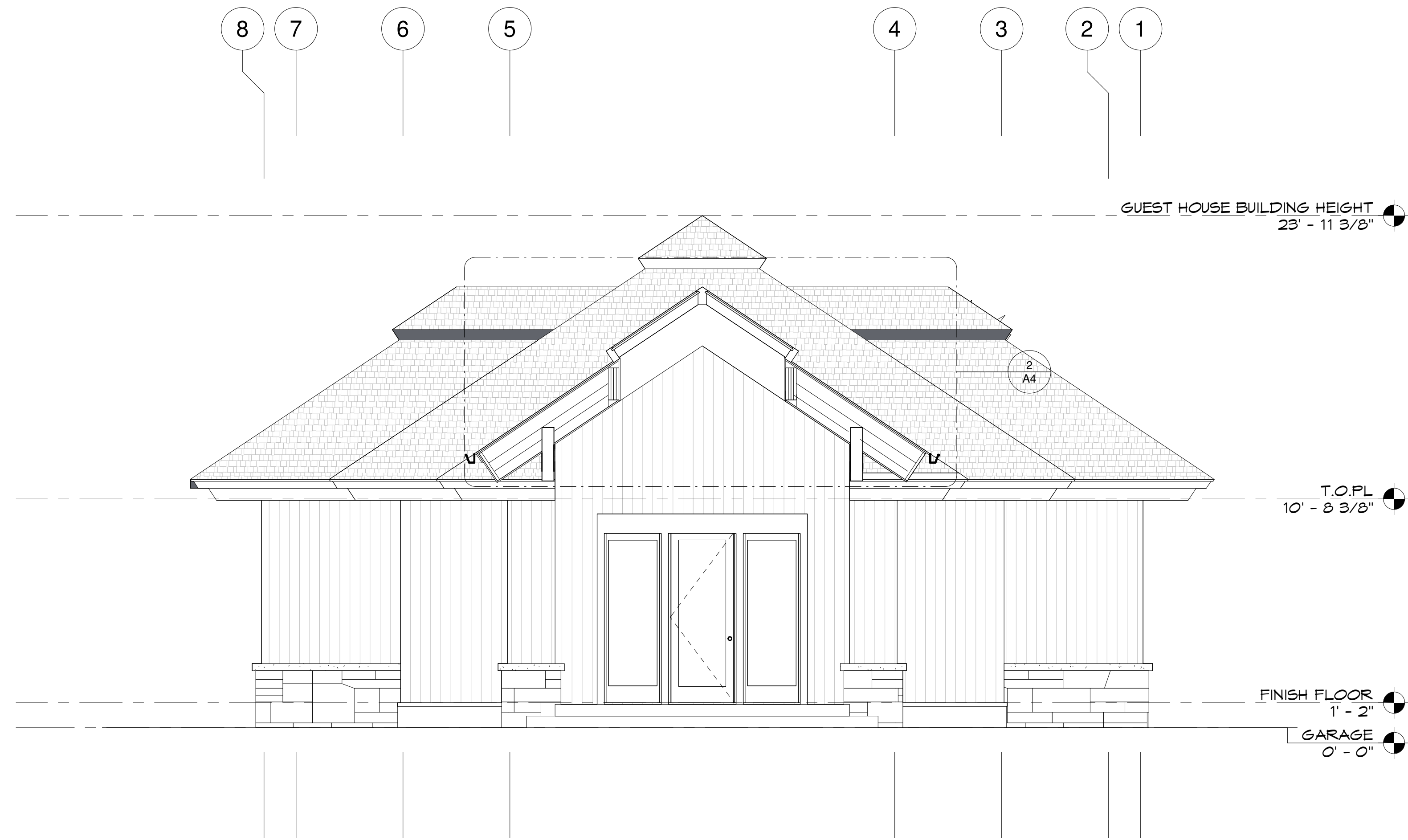
HARTLEY RESIDENCE REMODEL

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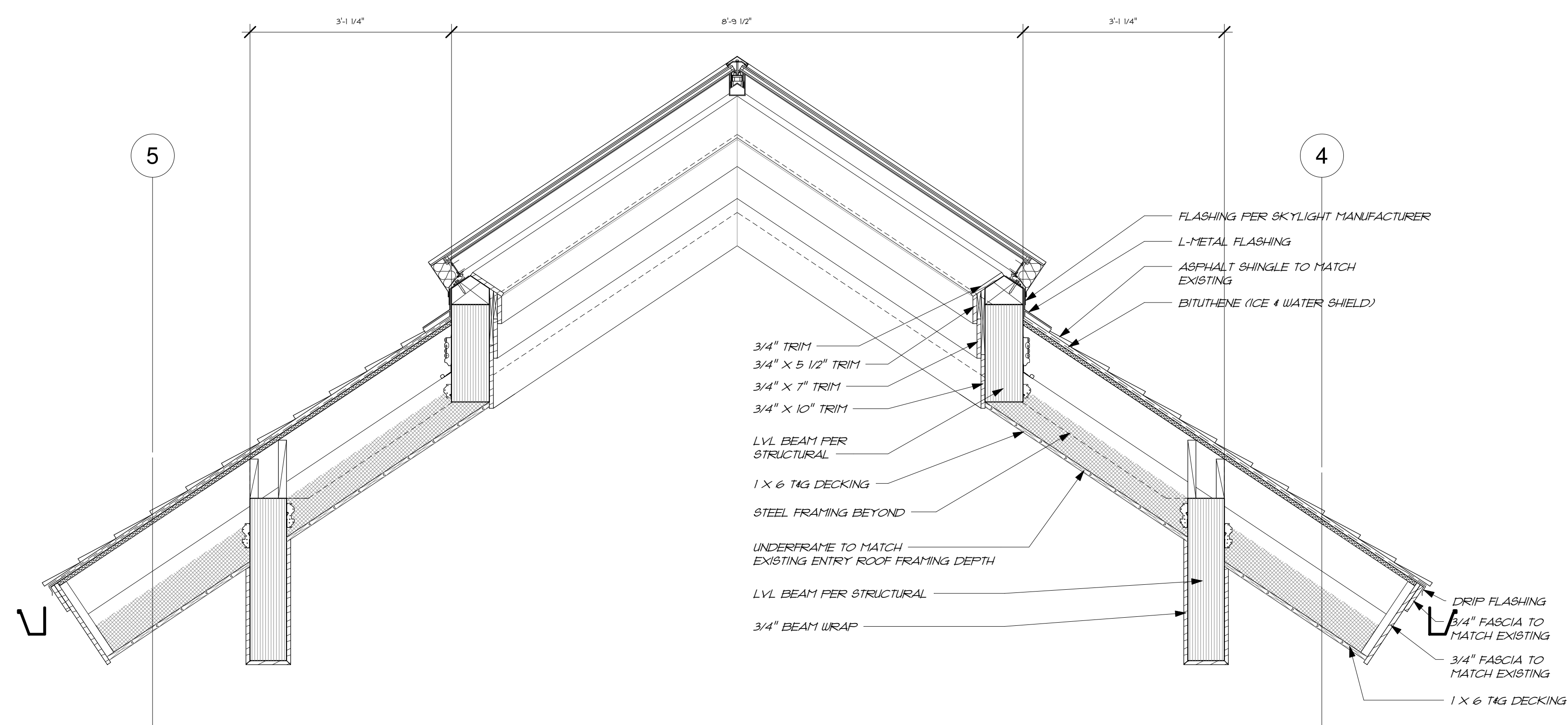
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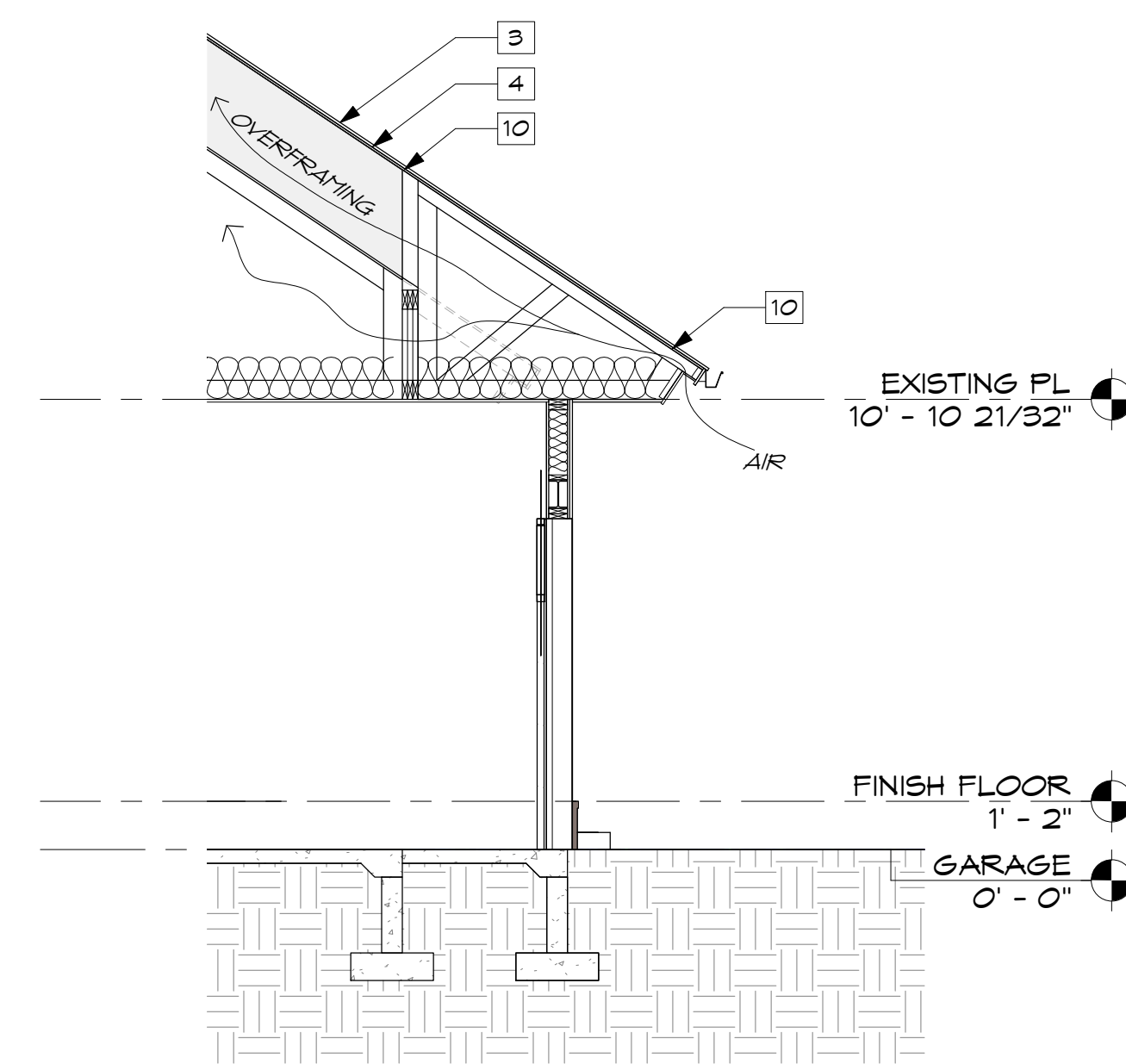
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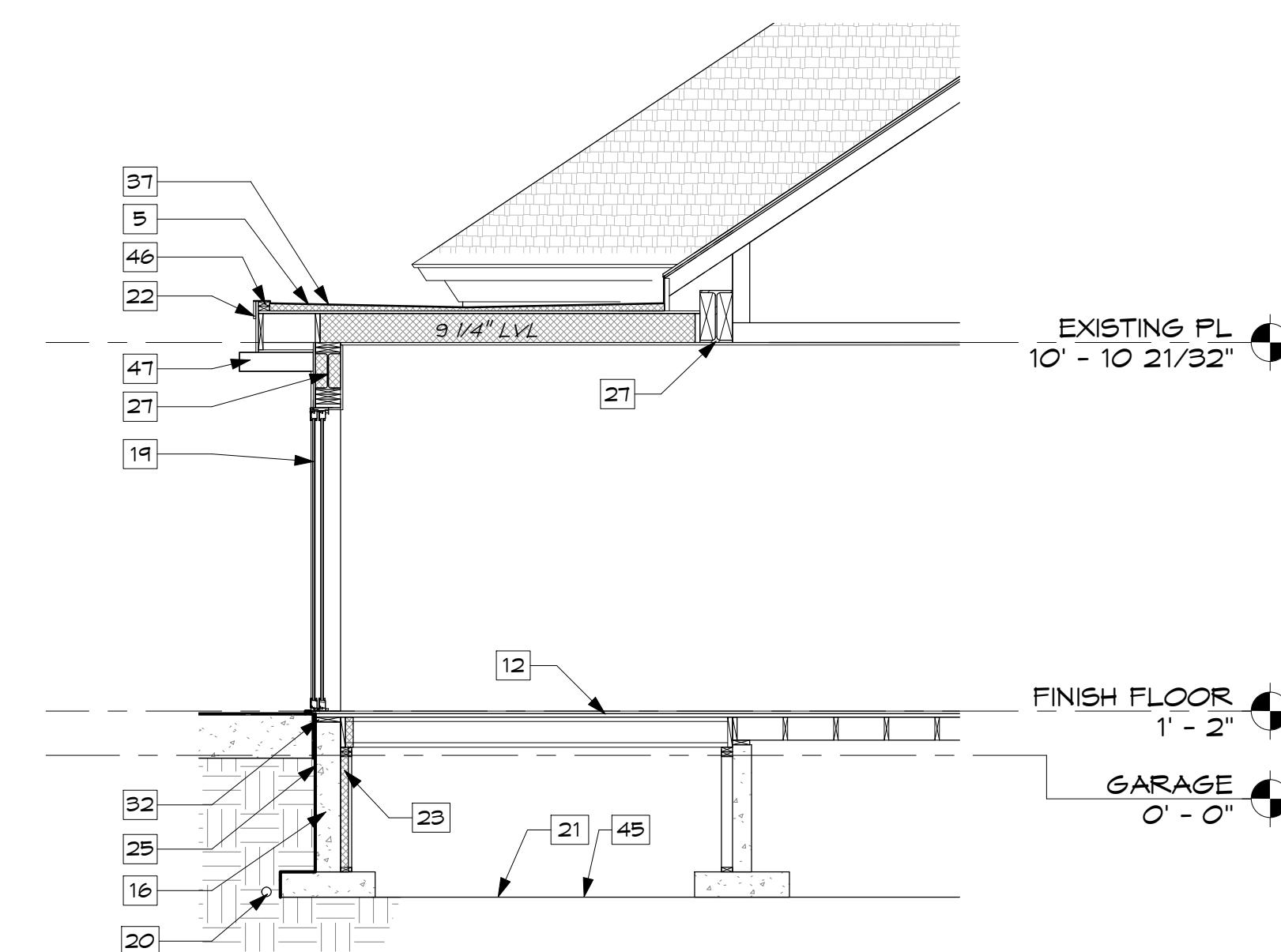
**1**  
A4  
PROPOSED WEST ELEVATION (ADU)/PORTE COCHERE SECTION  
1/4" = 1'-0"



**2**  
A4  
SKYLIGHT DETAIL  
3/4" = 1'-0"



**3**  
A4  
BUILDING SECTION D  
1/4" = 1'-0"



**4**  
A4  
BUILDING SECTION E  
1/4" = 1'-0"

**SECTION KEYNOTE:**

- 1 PLYWOOD WALL SHEATHING SEE STRUCTURAL
- 2 2X PONY WALL - SEE STRUCTURAL
- 3 ASPHALT SHINGLE ROOFING -MATCH EXISTING
- 4 FELTEX UNDERLAYMENT
- 5 VERSASHIELD SLIP SHEET
- 6 MANUFACTURED ROOF TRUSS
- 7 4-MIL. VISQUEEN VAPOR BARRIER
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- 32 TREATED SILL PLATE
- 33 2X OVER FRAMING
- 34 5/8" GYPSUM BOARD
- 35 FINISH SIDING
- 36 R-30 INSULATION
- 37 60 MIL TPO MEMBRANE
- 38 2X OVER FRAMING
- 39 1X6 SOFFIT
- 40 2X6 WALL FRAMING
- 41 GUTTER
- 42 BOSTON RIDGE VENT
- 43 STONE CAP
- 44 STONE VENEER
- 45 VAPOR BARRIER
- 46 3" CURB
- 47 8X6 DECORATIVE RAFTERS

**GENERAL NOTES:**

- \* GLAZING - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R308, R310, & R612
- \* EGRESS WINDOWS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R310
- \* STAIRS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION 311
- \* SMOKE ALARMS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R314
- \* CARBON MONOXIDE DETECTORS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R314
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- \* ALL GUTTER AND DOWNSPOUT TO HAVE HEAT TAPE. DRAIN TO DRYWELL
- \* ROOFING:
  - ASPHALT SHINGLE (MATCH EXISTING) OVER FELTEX UNDERLAYMENT OR EQUIVALENT AND ICE & WATER SHIELD 4'-0" MIN. IN FROM EAVE LINE TO MEET OR EXCEED CLASS "A" ROOF COVERING, OVER 5/8" ROOF SHEATHING, (SEE STRUCTURAL)
  - FLAT ROOF - 60 MIL TPO MEMBRANE (DARK BROWN), OVER VERSASHIELD SLIPSHEET, OVER ROOF SHEATHING TO MEET OR EXCEED A CLASS "A" ROOF ASSEMBLY. DRAIN TO SCUPPER & DOWNSPOUT.
- \* VENTING:
  - ROOF VENTING TO CONFORM TO SECTION R306 OF THE 2018 IRC.
  - PROVIDE EAVE AND RIDGE VENTING AS REQUIRED, INCLUDING PROVISIONS FOR VENTING, SNOW CONDITIONS, & INSECT BARRIER.
  - CRAWL SPACE VENTING TO CONFORM WITH 2018 IRC SECTION R408

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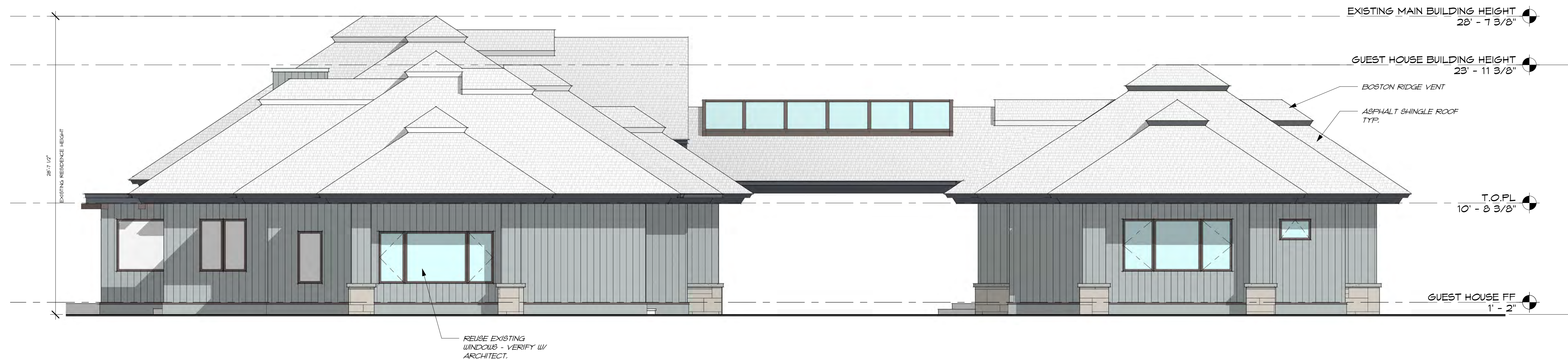
**HARTLEY RESIDENCE REMODEL**

130 RIVER ROCK RD  
 KETCHUM, ID 83340

JOB #:	006.22
PLOT DATE:	3/3/23
DESIGN REVIEW:	
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
PRELIMINARY	3/3/23
DESIGN REVIEW	4/19/23
DESIGN REVIEW	5/18/23
PERMIT SET	8/21/23

**PERMIT SET**  
 AUGUST 21st, 2023

**A4**



1  
A5 PROPOSED SOUTH ELEVATION  
3/16" = 1'-0"



2  
A5 PROPOSED EAST ELEVATION  
3/16" = 1'-0"

**GENERAL NOTES:**

- GLAZING - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R308, R310, & R612
- EGRESS WINDOWS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R310
- STAIRS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION 311
- SMOKE ALARMS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R314
- CARBON MONOXIDE DETECTORS - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R315
- CHIMNEY AND FIREPLACES - TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CHAPTERS 10 & 18
- ALL WINDOW AND DOOR HEIGHTS ARE 8'-0" A.F.F. U.N.O.
- REFER TO STRUCTURAL DRAWINGS & RCP PLANS FOR BEAM SIZE CALL OUTS NOT SHOWN.

- ALL HOUSE WRAP SHOULD BE SEALED AT ALL LAPS, PENETRATIONS, AND TERMINATIONS.
- ALL PIPING AND DUCTS IN CRAWL SPACE TO BE INSULATED TO R-8 MIN AND SEALED.
- ALL FOUNDATION WALLS TO HAVE A WATERPROOF MEMBRANE, OR AT A MIN. RUBBERIZED ASPHALT EMULSION WITH ALL CRACKS, JOINTS, AND PENETRATIONS REINFORCED WITH A WATERPROOF FLEXIBLE MEMBRANE.
- PROVIDE "GRACE" ICE AND WATERSHIELD OR EQUIVALENT OVER THE FIRST 4'-0" MIN. INSIDE OF THE WALL LINE PER MANUFACTURERS REQUIREMENTS.
- ALL VENT AND EXHAUST PIPES WITHIN 10'-0" OF EAVE LINE TO BE WATERPROOFED WITH CAULKING BEFORE INSTALLATION OF PIPE FLASHING.
- SELF-ADHERING MEMBRANE SHOULD SEAL AROUND ALL PIPE PENETRATIONS.

- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL INFORMATION AND DETAILING.
- ALL DOOR AND WINDOW OPENINGS SHOULD BE SEALED WITH A SELF-ADHERING MEMBRANE BEFORE THE DOOR AND WINDOWS ARE INSTALLED. THEN THE DOOR AND WINDOW FLANGES SHOULD BE SEALED WITH A SELF-ADHERING MEMBRANE AFTER THEY ARE INSTALLED SO THAT THE FLANGES ARE SANDWICHED.
- THERE SHOULD BE A 1/4" +/- IN. JOINT BETWEEN THE DOOR AND WINDOW FRAMES AND ADJOINING MATERIAL. POLYURETHANE CAULKING SHOULD BE INSTALLED IN THE JOINTS.
- THERE SHOULD BE METAL FLASHING ABOVE ALL DOORS AND WINDOWS.
- VERIFY DOWNSPOUT LOCATION W/ ARCHITECT.
- ALL GUTTER AND DOWNSPOUT TO HAVE HEAT TAPE. DRAIN TO DRYWELL.

- ROOFING:
  - ASPHALT SHINGLE (MATCH EXISTING) OVER FELTTEX UNDERLAYMENT OR EQUIVALENT AND ICE & WATER SHIELD 4'-0" MIN. IN FROM EAVE LINE TO MEET OR EXCEED CLASS 'A' ROOF COVERING, OVER 5/8" ROOF SHEATHING, (SEE STRUCTURAL)
  - FLAT ROOF - 60 MIL TPO MEMBRANE (DARK BROWN), OVER VERSASHIELD SLIPSHEET, OVER ROOF SHEATHING TO MEET OR EXCEED A CLASS 'A' ROOF ASSEMBLY. DRAIN TO SCUPPER/DOWNSPOUT.
- VENTING:
  - ROOF VENTING TO CONFORM TO SECTION R308 OF THE 2018 IRC.
  - PROVIDE EAVE AND RIDGE VENTING AS REQUIRED, INCLUDING PROVISIONS FOR VENTING, SNOW CONDITIONS, & INSECT BARRIER.
  - CRAWL SPACE VENTING TO CONFORM WITH 2018 IRC SECTION R408

**NOTE:**

- ALL MATERIALS AND FINISHES TO MATCH EXISTING.

**LEGEND:**

- EXISTING WINDOWS
- NEW WINDOWS

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 info@BlincoeArchitecture.com

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 LICENSED ARCHITECT  
 AR 984602  
 CHAD E. BLINCOE  
 STATE OF IDAHO

**HARTLEY RESIDENCE REMODEL**

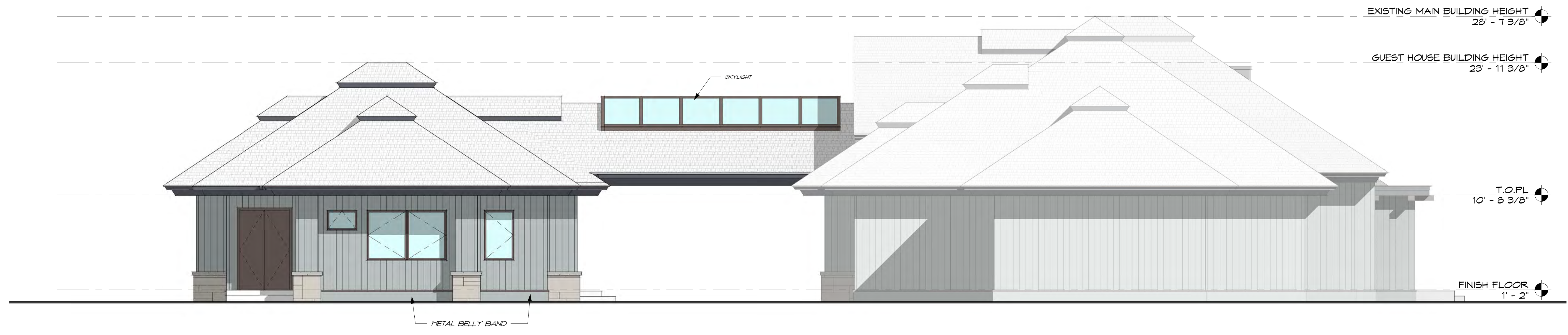
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**PERMIT SET**  
 AUGUST 21st, 2023

**A5**

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1 PROPOSED NORTH ELEVATION  
A6 3/16" = 1'-0"



2 PROPOSED WEST ELEVATION  
A6 3/16" = 1'-0"

**GENERAL NOTES:**

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- VERIFY DOWNSPOUT LOCATION W/ ARCHITECT.
- ALL GUTTER AND DOWNSPOUT TO HAVE HEAT TAPE. DRAIN TO DRYWELL.

**NOTE:**

\* ALL MATERIALS AND FINISHES TO MATCH EXISTING.

**NOTE:**

- EXISTING WINDOWS
- NEW WINDOWS

- ROOFING:**
  - ASPHALT SHINGLE (MATCH EXISTING) OVER FELTTEX UNDERLAYMENT OR EQUIVALENT AND ICE & WATER SHIELD 4'-0" MIN. IN FROM EAVE LINE TO MEET OR EXCEED CLASS 'A' ROOF COVERING, OVER 5/8" ROOF SHEATHING, (SEE STRUCTURAL)
  - FLAT ROOF - 60 MIL TPO MEMBRANE (DARK BROWN), OVER VERSASHIELD SLIPSHEET, OVER ROOF SHEATHING TO MEET OR EXCEED A CLASS 'A' ROOF ASSEMBLY. DRAIN TO SCUPPER/DOWNSPOUT.
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  - CRAWL SPACE VENTING TO CONFORM WITH 2018 IRC SECTION R408

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**HARTLEY RESIDENCE REMODEL**  
130 RIVER ROCK RD  
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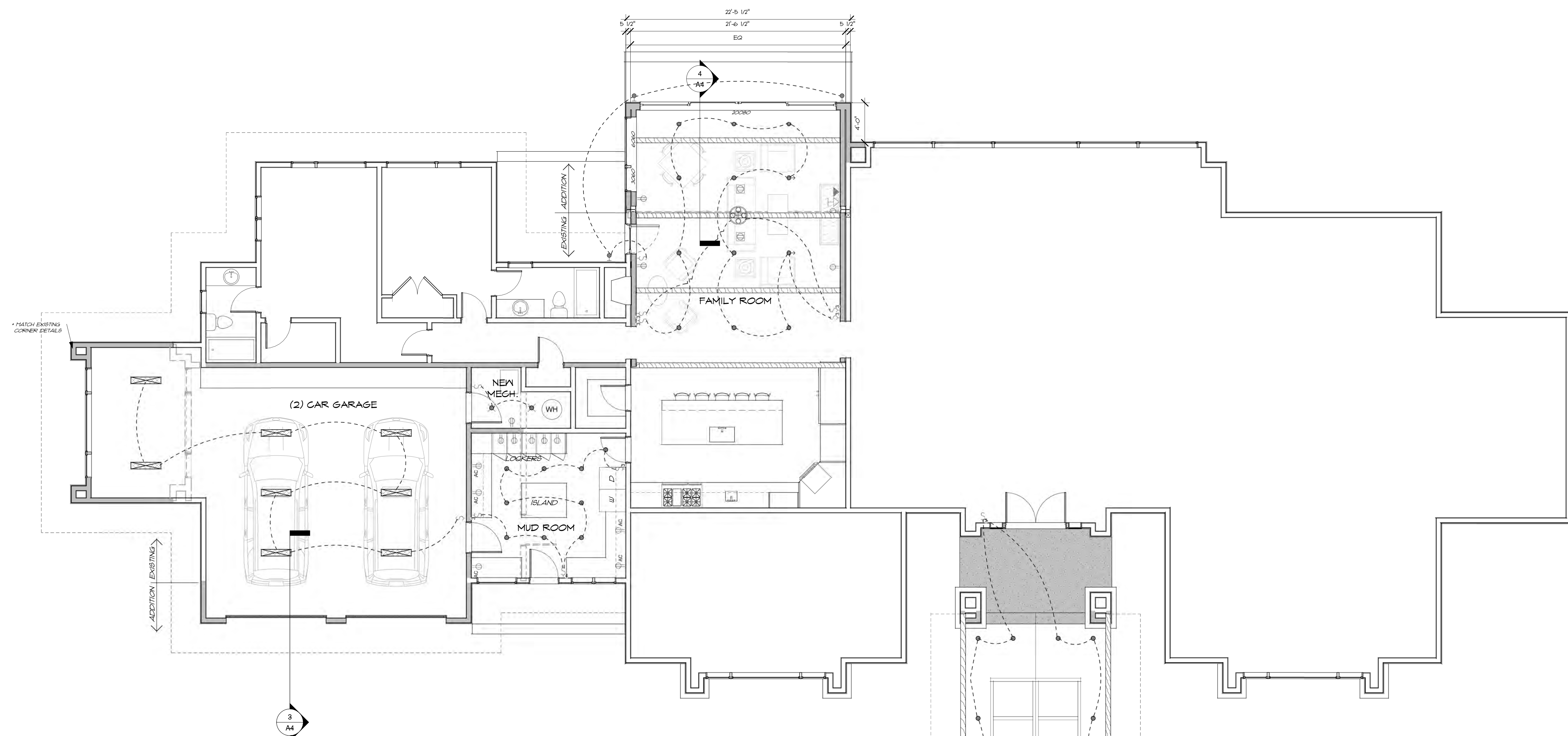
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**PERMIT SET**  
AUGUST 21st, 2023

**A6**

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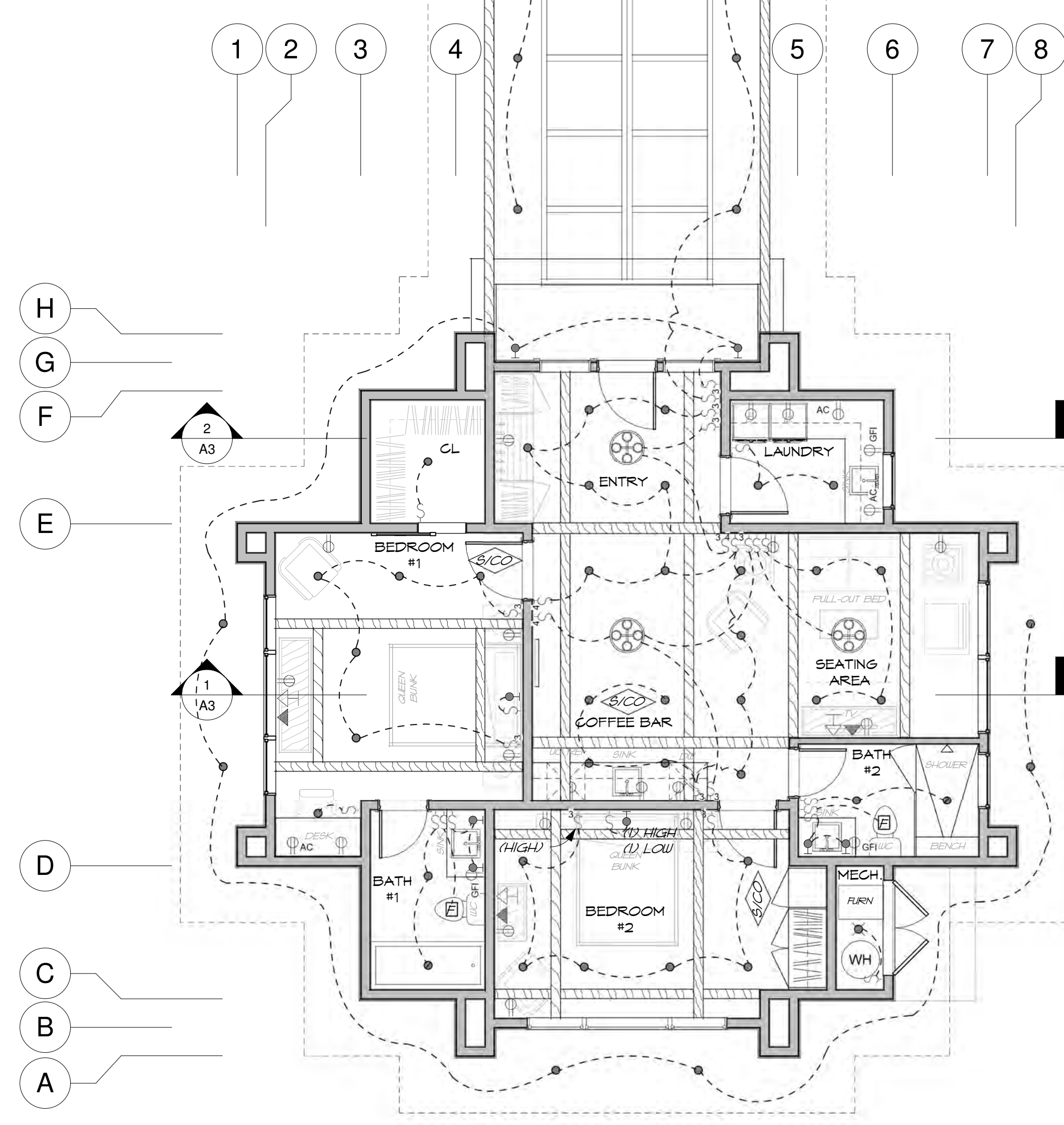


**OUTDOOR LIGHTING**

\* OUTDOOR LIGHTING TO COMPLY WITH BLAINE COUNTY DARK SKY ORDINANCE

**GENERAL NOTES:**

- \* ELECTRICAL CONTRACTOR TO PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS PER ELECTRICAL CODE
- \* ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL OUTLETS PER ELECTRICAL CODE
- \* HOLD INSULATION AWAY FROM FIXTURES 3" AS REQUIRED
- \* VERIFY SCONCE HEIGHT WITH ARCHITECT/OWNER
- \* ALL SWITCHES TO BE STANDARD TOGGLE TYPE KNOBS U.N.O.
- \* ELECTRICAL CONTRACTOR TO VERIFY AND PROVIDE POWER TO ALL APPLIANCES, MECHANICAL EQUIPMENT, PLUMBING, AND AUDIO VIDEO REQUIREMENTS AS NEEDED. CONTRACTOR TO PROVIDE SCHEDULES AND SPECIFICATIONS AND VERIFY REQUIREMENTS. SEE OWNER SUPPLIED SPECIFICATIONS FOR MORE INFORMATION.
- \* ALL BATHROOM FANS ARE PART OF THE HOUSE HRV (HEAT RECOVERY VENTILATOR) UNIT AND VENTED TO THE EXTERIOR.
- \* VERIFY LAMP/LIGHTING WITH ENERGY CODE & CITY OF KETCHUM DARK SKY ORDINANCE REQUIREMENTS.



**LEGEND:**

- RECESSED CAN
- ⊙ SURFACE MOUNTED FIXTURE - CEILING
- SURFACE MOUNTED FIXTURE - WALL
- ▨ CEILING MOUNTED-FLUORESCENT FIXTURE
- ⊕ DUPLEX RECEPTACLE
- ⊞ FLOOR RECEPTACLE
- S SWITCH
- S<sub>3</sub> THREE-WAY SWITCH
- S<sub>4</sub> FOUR-WAY SWITCH
- ⊞ SMOKE DETECTOR
- ⊞ CARBON MONOXIDE DETECTOR
- GFI GROUND-FAULT CIRCUIT-INTERRUPTER
- AC ABOVE COUNTER
- MP WEATHER PROTECTED
- ⊕ CABLE TV
- ⊕ TELEPHONE/ETHERNET OUTLET
- ⊕ DECORATIVE LIGHTING FIXTURE

**1**  
**E1** ELECTRICAL/LIGHTING PLAN  
3/16" = 1'-0"

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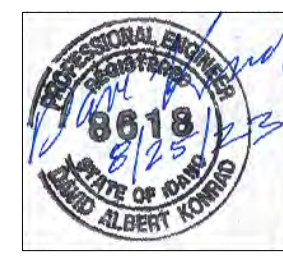
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**PERMIT SET**  
 AUGUST 21st, 2023

**E1**

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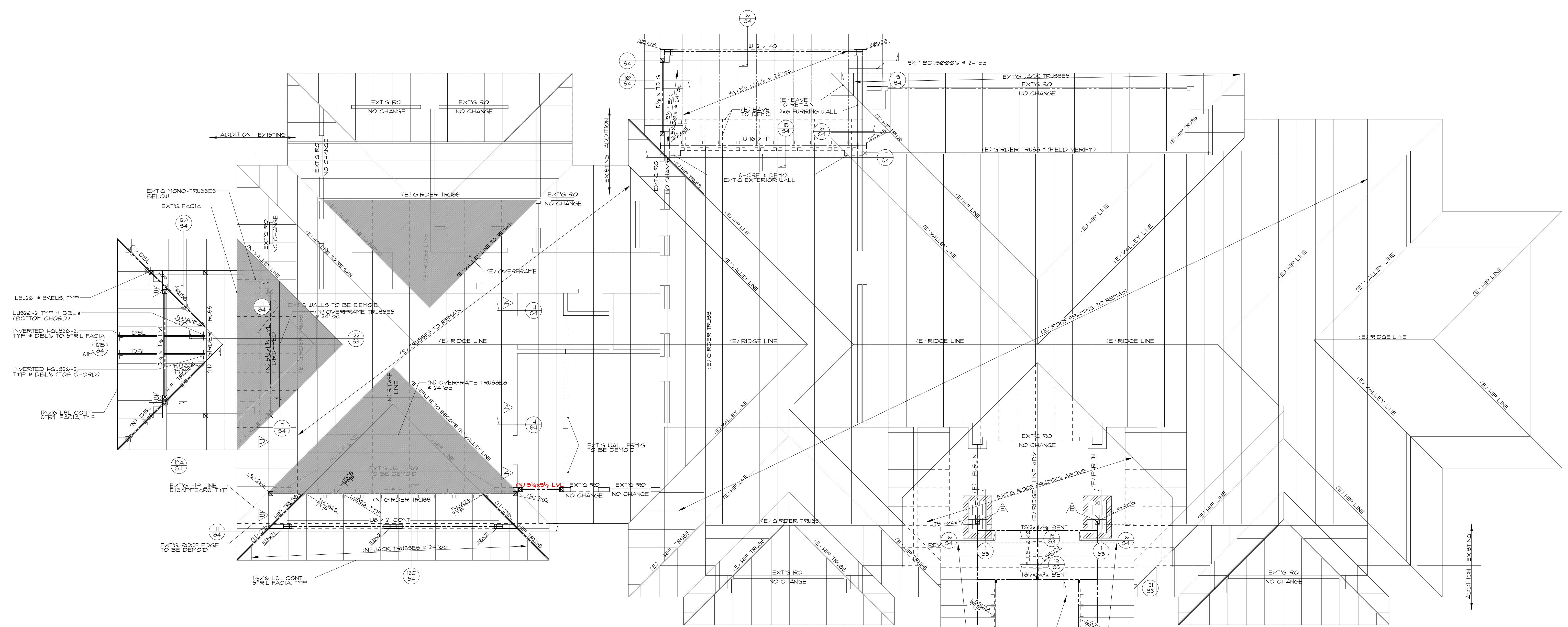




**HARTLEY RESIDENCE REMODEL**  
 130 RIVER ROCK ROAD KETCHUM, ID 83340

**Konrad & Stohler**  
 Structural Engineering, LLC  
 P: 938-7810 F: 938-7811 kst@kssengr.com  
 614 S. Main, Bellevue Idaho, 83413

PROJECT # 2314  
 DATE/SET AUGUST 25 2023  
 PERMIT SET  
 ROOF FRAMING PLAN  
 SHEET: S2



**FRAMING NOTES**

THE ENGINEER HAS PREPARED THIS DRAWING TO THE BEST OF HIS ABILITY BASED ON THE DIMENSIONS, ELEVATIONS, & TOP OF CONCRETE PROVIDED BY THE ARCHITECT. THERE ARE NOT ANY AS-BUILT DRAWINGS FOR REFERENCE. THEREFORE, IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, EXISTING FRAMING & FOUNDATION PRIOR TO COMMENCING CONSTRUCTION. THIS IS A REMODEL AND ADDITION OF AN UNKNOWN EXISTING STRUCTURE. CONSTRUCTION ADMINISTRATION IS EXPECTED AND REQUIRED DURING THIS PROCESS WITH THE ARCHITECT AND ENGINEER.

ATTACH STRAPS OVER SHTG & NAIL INTO FRMG. TYP.  
 B.P. DENOTES TYPICAL BEAM POCKET. PROVIDE FULL BEAM WIDTH OF TRIMMERS AND FILLER AS REQ'D. KING STUD BOTH SIDES. NAIL KING STUD TO BEAM WITH 1/2" x 6" @ 6" o.c.  
 STITCH ALL STUD BUNDLES TOGETHER WITH (2) 10d @ 16" o.c. MAX. ATTACH SHEATHING TO EACH STUD w/ 8d @ 12" o.c. MAX. CONNECT TOP & BOTTOM IE TO STUDS w/ (4) 10d's. TYP. UNO.

☒ DENOTES (2) 2x6 TRIMMERS PLUS KING STUD OR (3) 2x6 STUDS MIN. UNO.  
 □ DENOTES POST ABOVE (PA)  
 SOLID BLK'G IN THE FLOOR SPACE IS REQ'D BENEATH ALL POSTS. SOLID BLK'G SHALL MATCH THE FULL DIMENSION OF THE POST ABOVE.  
 ▽ DENOTES SHEARWALL. SEE SCHEDULE  
 ▽ DENOTES SHEARWALL ABOVE  
 TYPICAL OVERFRAME: FULLY SHT. ROOF BEFORE OVERFRAMING TRUSSES PER MFR  
 TYPICAL HEADER SUPPORTS ARE (2) TRIMMERS w/ KING STUD UNO.  
 TYPICAL BEARING WALLS SHALL BE 2x6 STUDS @ 24" o.c. w/ DBL TOP IE ALIGN w/ TRUSSES.  
 CONNECT FACIA & BARGE CORNERS PER 2/85  
 VENTING, DRAINAGE, INSULATION, VAPOR BARRIER, RADON, ETC... IS THE RESPONSIBILITY OF THE ARCHITECT/CONTRACTOR

**GENERAL NOTES AND STRUCTURAL SPECIFICATIONS**

Any discrepancies in the drawing, notes and specifications shall be reported to owner's representative for clarification. The contractor shall verify and coordinate dimensions prior to proceeding with any work or fabrication.

Roof: #LL 100 psf (Snow) Floor Loading: LL 40 psf  
 DL 20 psf DL 10 psf  
 TL 120 psf #Reduced 10psf for 8/12 pitch TL 50 psf

Seismic Design - 2018 IBC w/ 35% Snow Load, Sw = 46, R=6.5 & 3.5  
 Site Class 'C', SDC 'C'  
 Wind Loading - 2018 IBC W/90 MPH, (3 Second Gust) Exposure B

Soil - 2000 psf bearing pressure on firm, drained, undisturbed granular strata. Contractor & owner to verify soil adequacy.

Concrete - 3000 psi in 28 days, 4%-6% entrained air, 3/4" max. aggregate  
 Bolts - A307, U.N.O.  
 Rebar - #4 or #5 unless otherwise specified. If disturbed, provide geotechnical report if necessary.  
 Steel - A36 (plates, bars, angles), A500 grade B (tubes), A572 grade 50 (w-secs).

Welding - Per AWS, E70 electrodes, certified welders.  
 Screws - Mfr. steel  
 Nails - Galvanized box.

Framing per - 2018 IBC  
 Sawn Lumber - 2x DF-L #1 or better  
 - 4x DF-L #1 or better  
 - 6x and up DF-L #1 or better

Trusses - Trusses to be manufactured to the dimensions provided by the Architect & stamped by an Idaho Professional Engineer. Shop drawings to be submitted to the Contractor for Engineer of Record approval prior to fabrication.

I-Joist & Laminated Vener Lumber (LVL):  
 Shall conform to Boise Engineered Wood Products.  
 2.0E, Fb=2800 psi minimum for LVL.

Glue-Lams - per AITC specifications combination symbol 24F-V4 Beams, U.N.O., 15% maximum moisture content.

Adhered Vener - 2" max. thickness (20psf max.) per 2018 IBC.  
 Connections per Simpson Co.

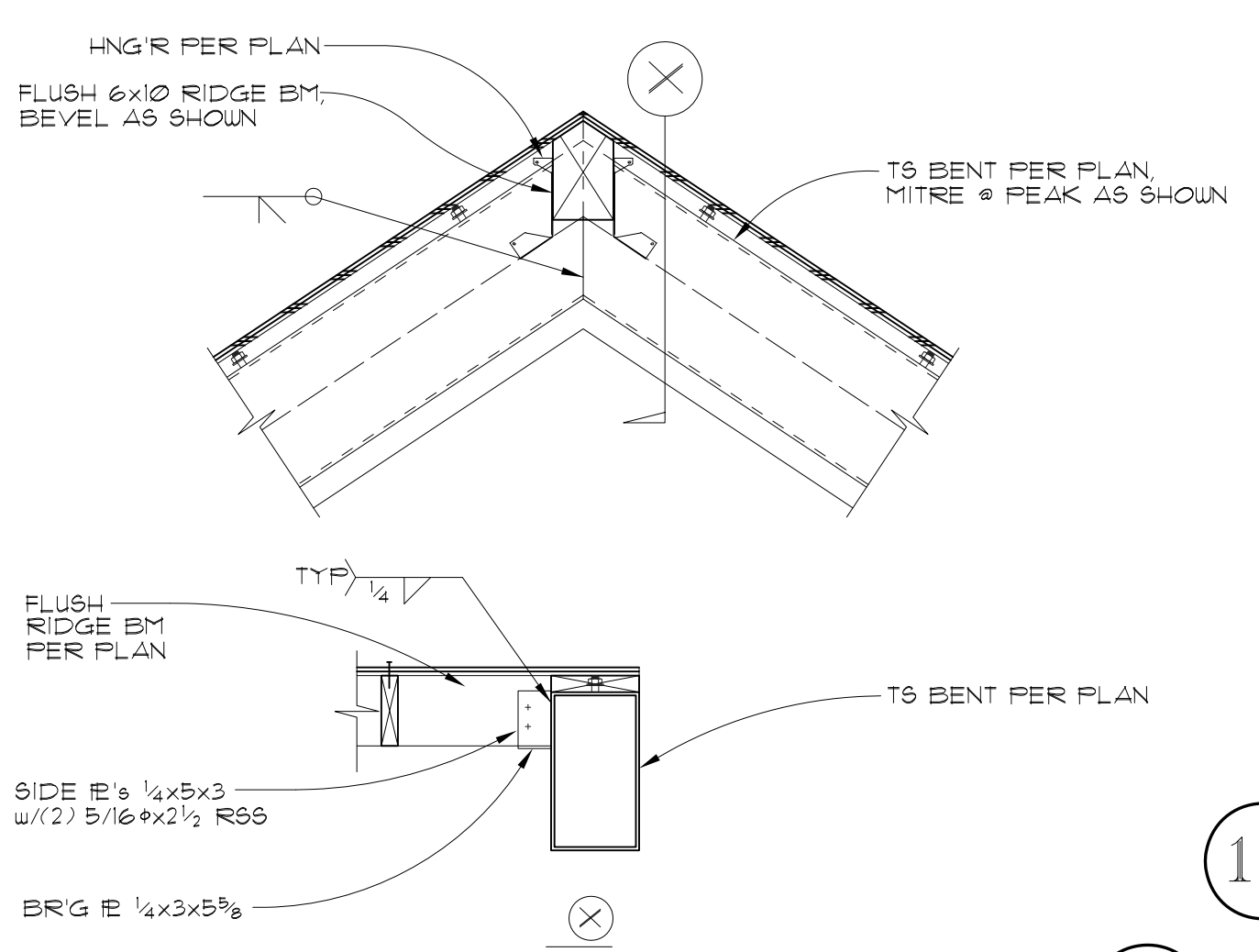
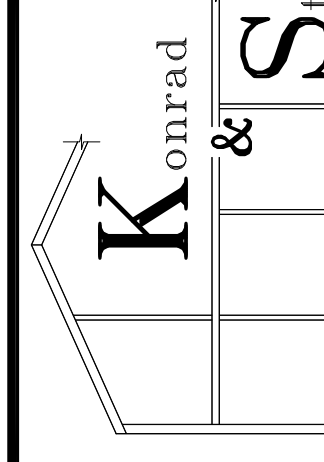
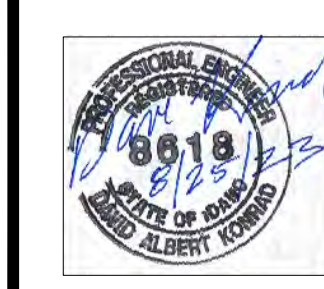
Plywood or OSB:  
 Roof 5/8" CDX/OSB with 40/20 span rating  
 Wall 7/16" CDX/OSB with 24/0 span rating  
 Floor 3/4" CDX/OSB with 40/20 span rating

Special Inspection (welding) - NDT per certified testing agency @ all full pen groove field welds & all fillet field welds over 5/16". provide special inspection reports to engineer by direct e-mail immediately following inspection.

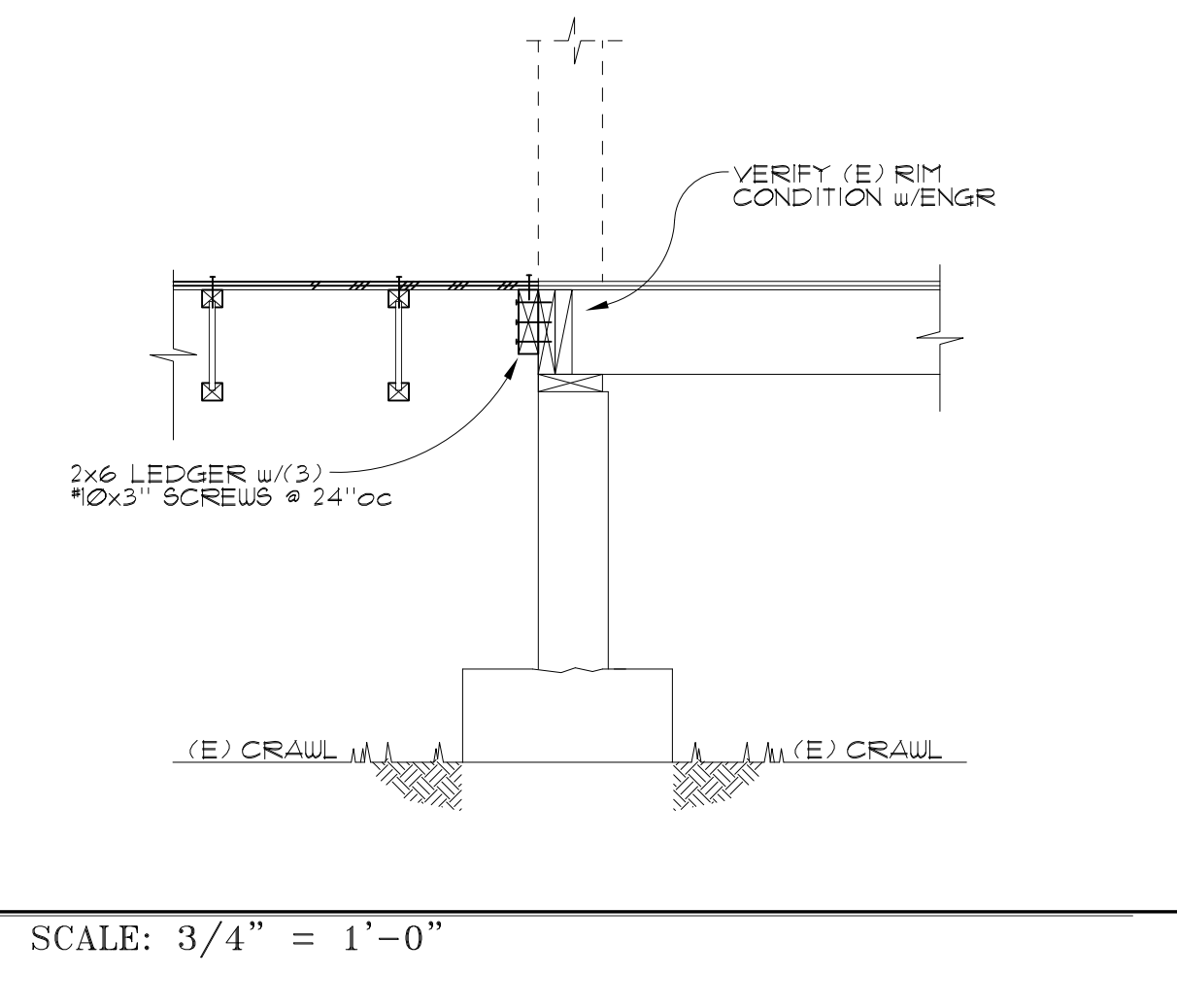
Safety - The engineer has not been retained nor compensated to provide design and/or construction review services related to the contractor's safety precautions or to means, methods, techniques, sequences or procedures for the contractor to perform his work. The undertaking of periodic site visits by the engineer shall not be construed as supervision of actual construction, nor make him responsible for providing a safe place for the performance of work by the contractor, subcontractors, suppliers or their employees.

SHEARWALL SCHEDULE	
SYMBOL	DESCRIPTION
▽	1/16" CDX/OSB, BLK ALL EDGES, 8d's @ 6" o.c. 12" FIELD
▽	1/16" CDX/OSB, BLK ALL EDGES, 8d's @ 4" o.c. 12" FIELD
▽	SAME AS ▽ @ BOTH SIDES
▽	EXT'G EXTERIOR FRMG. VERIFY (E) SHTG, NAILING/BLK'G w/ ENGR. PROVIDE ▽ w/ AS RETRO
▽	IE 3/16" SHEARWALL RETRO PER 1/85

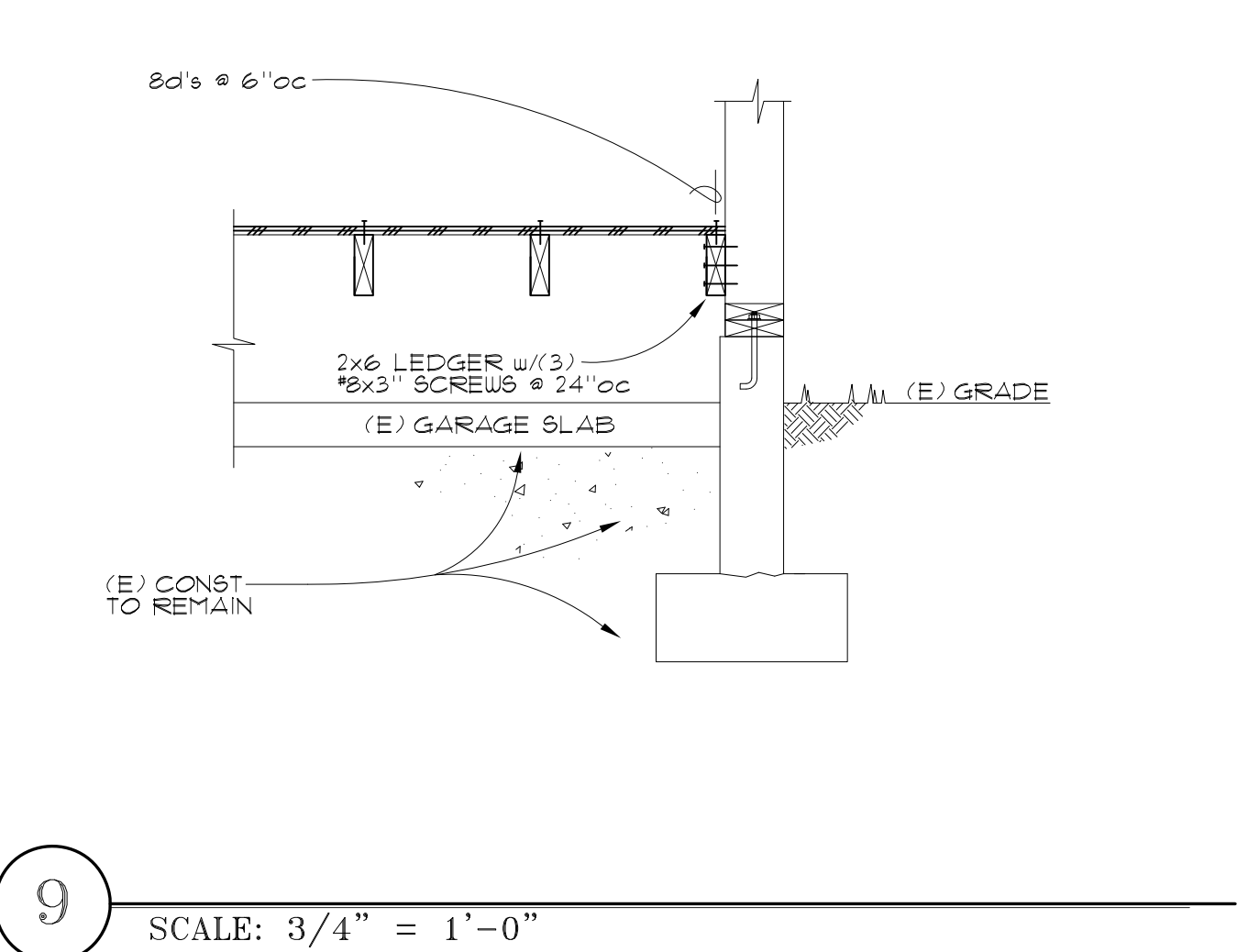
**ROOF FRAMING PLAN**  
 SCALE: 3/16" = 1'-0"



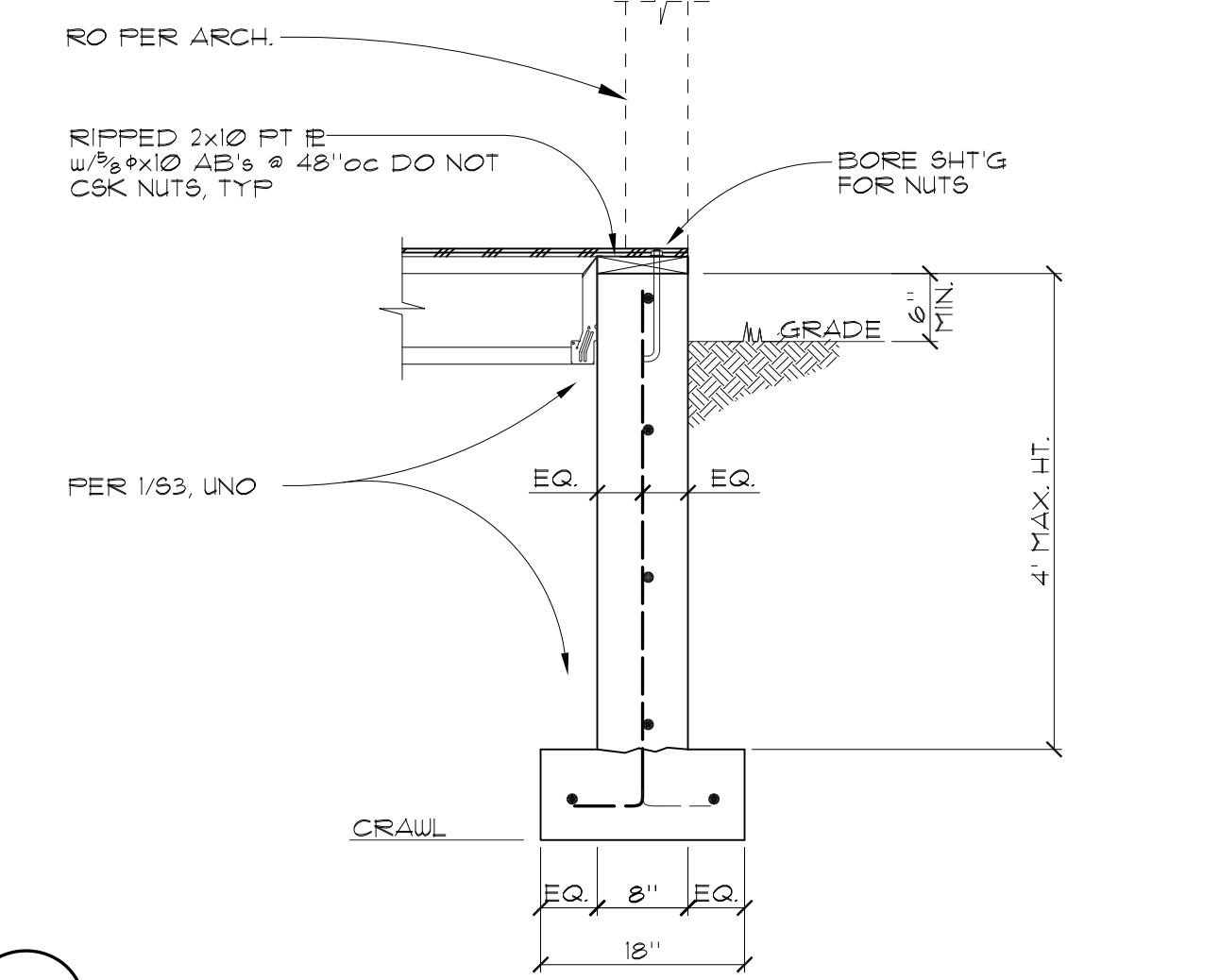
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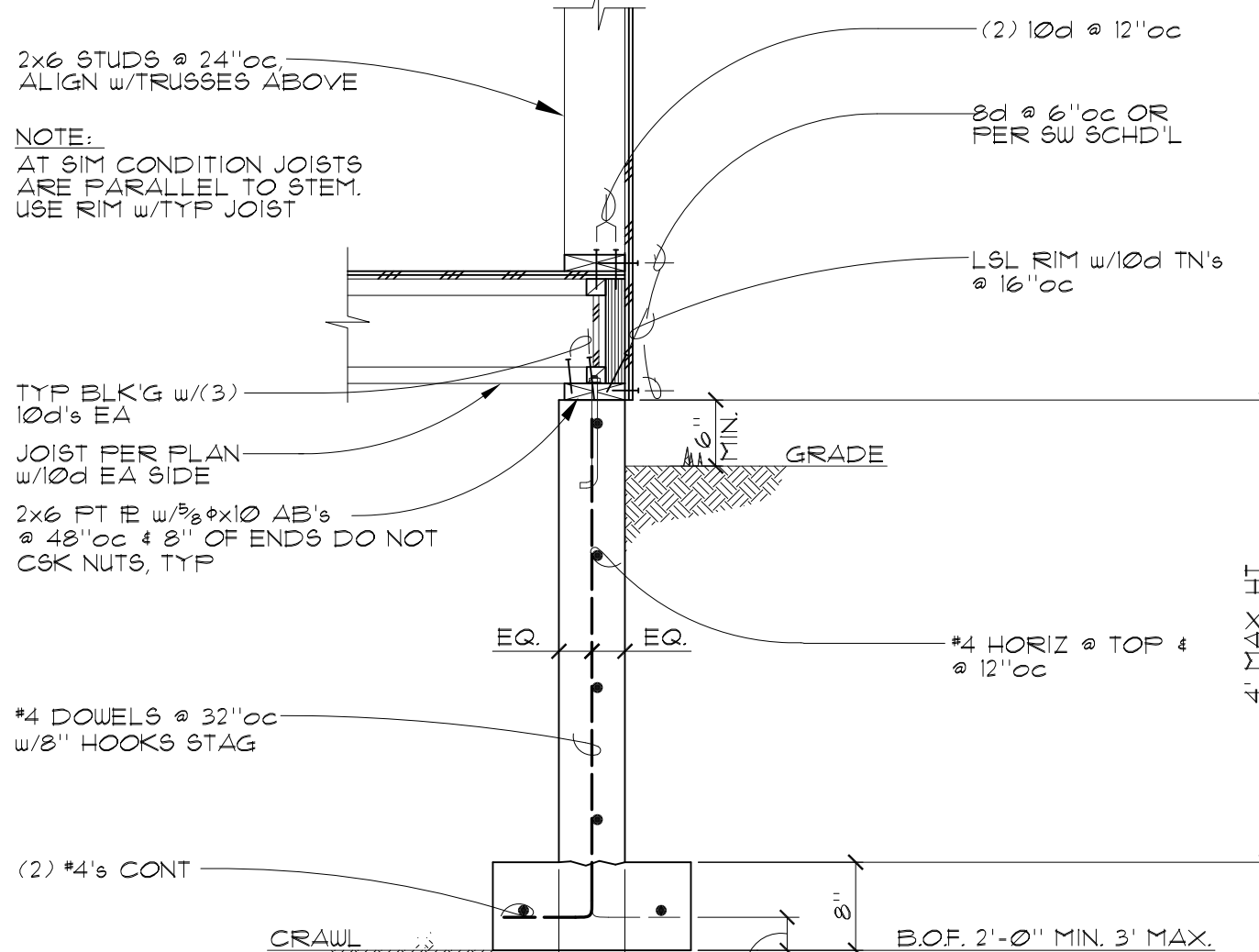
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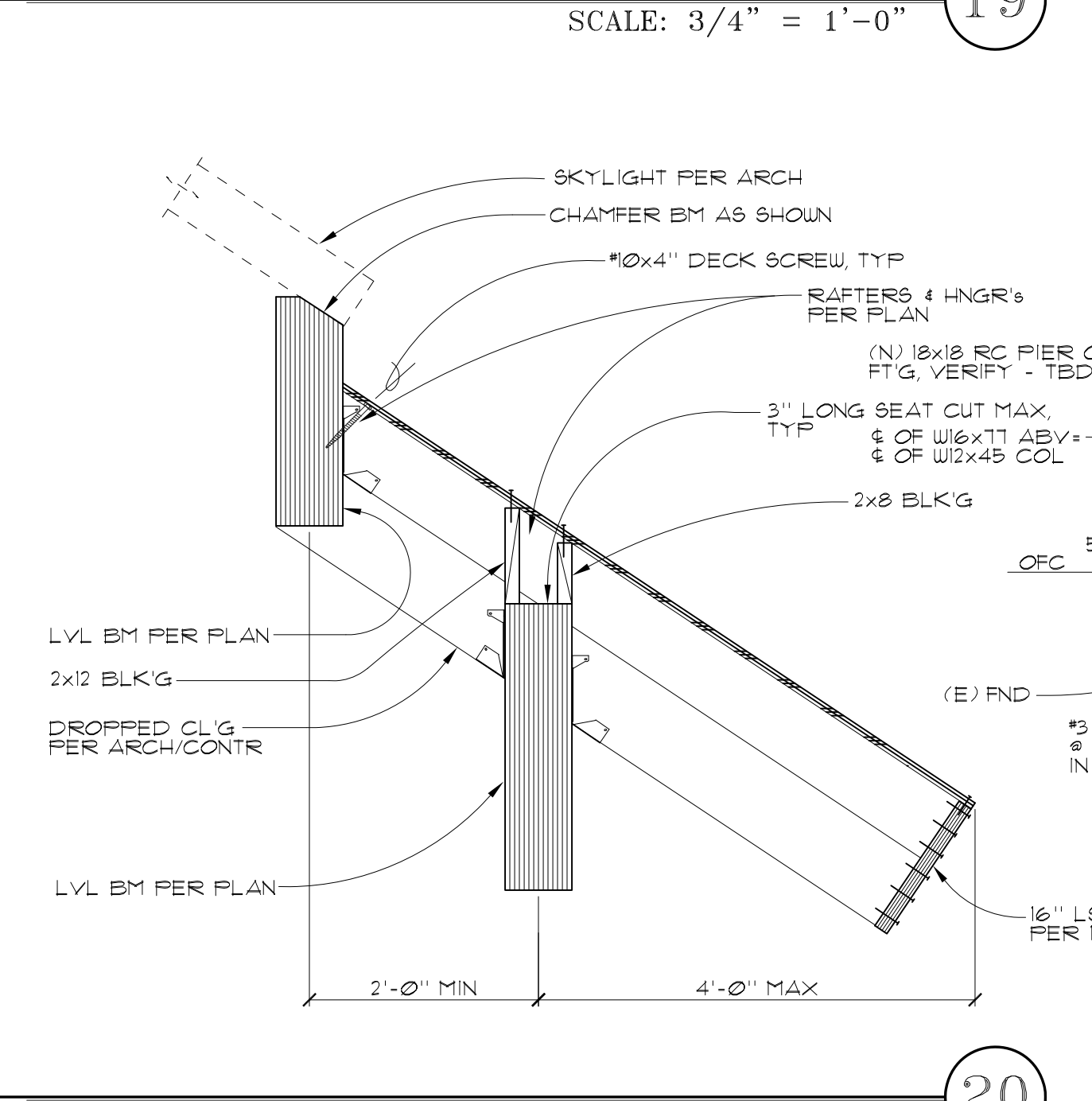
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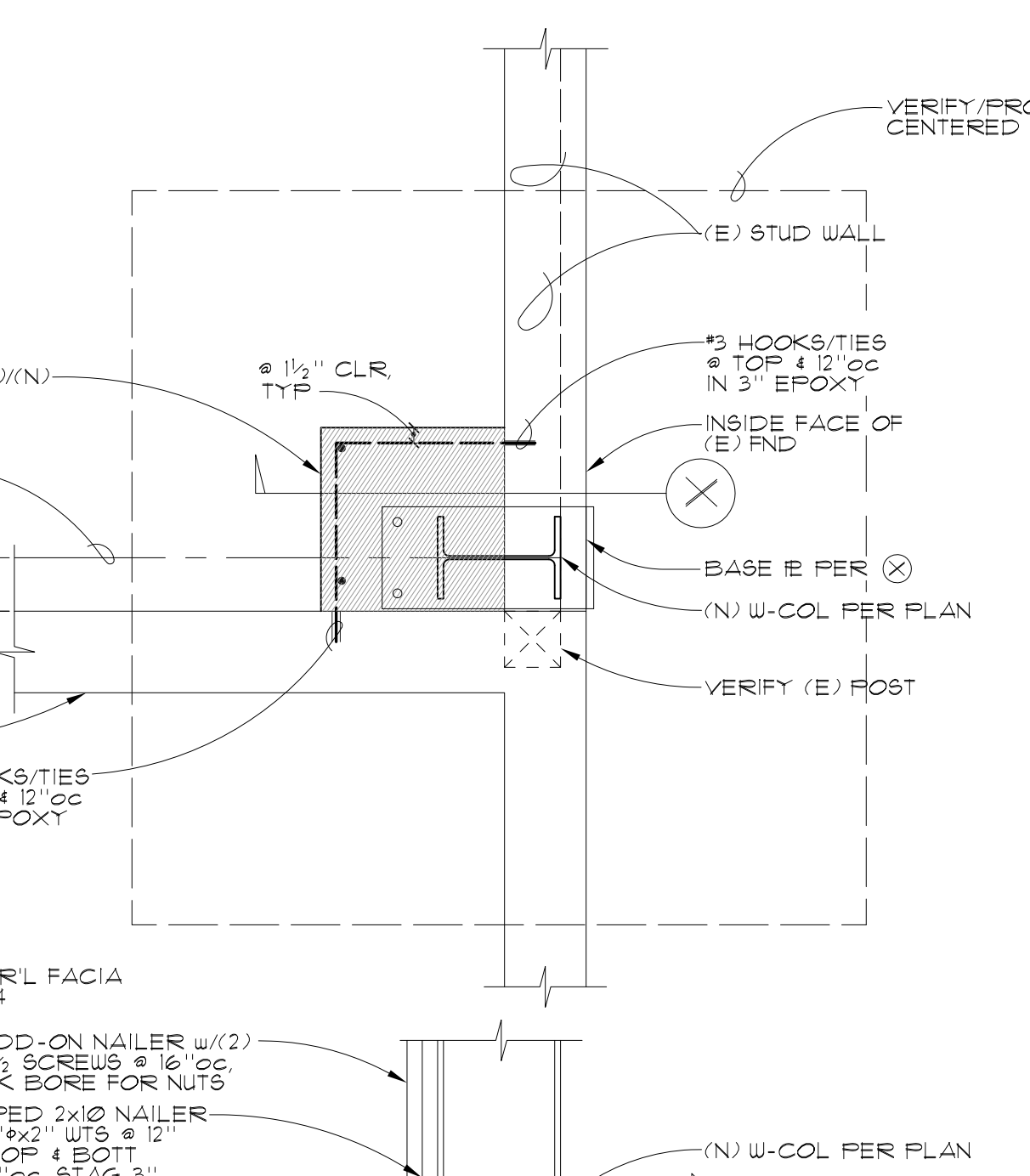
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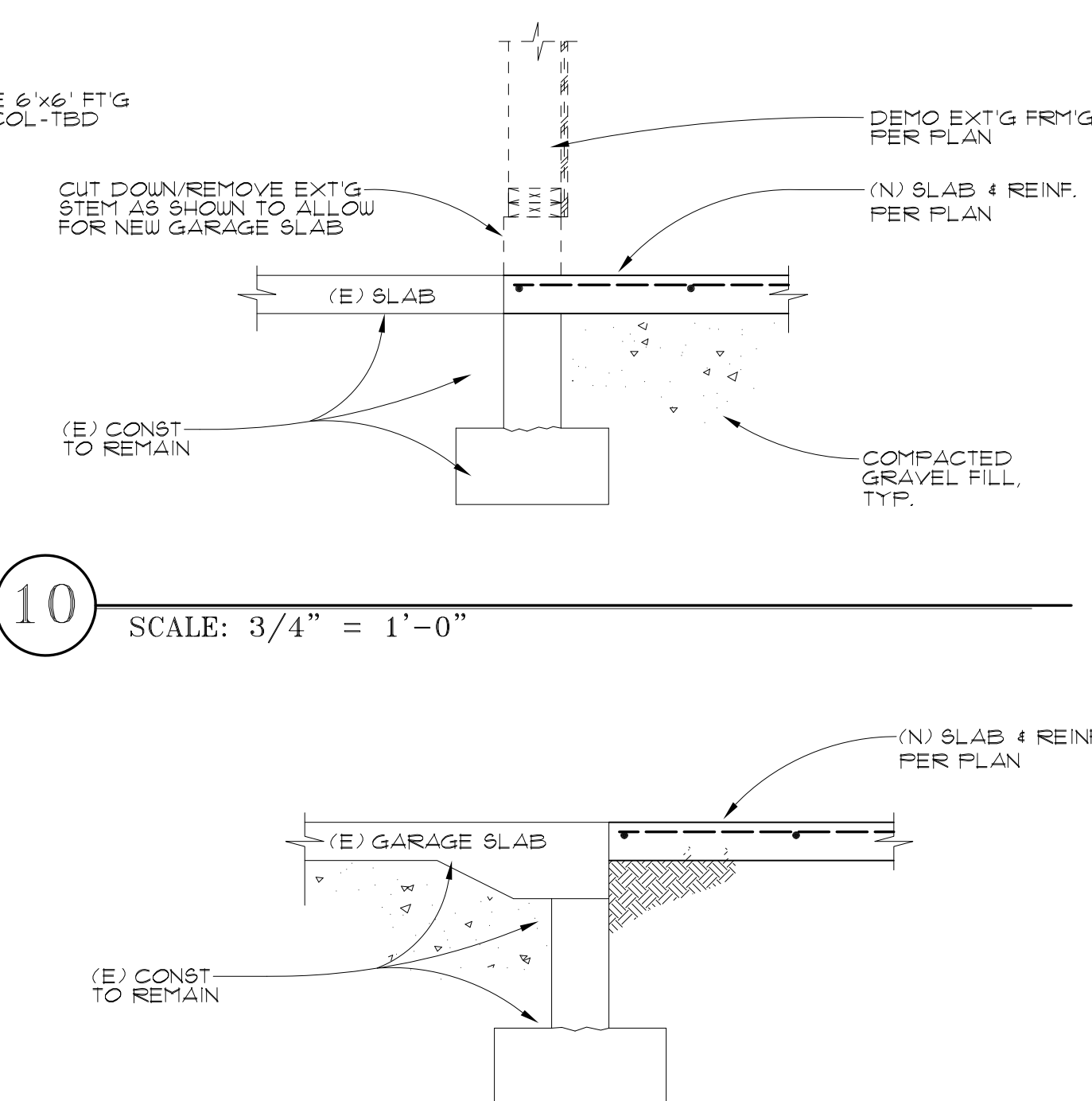
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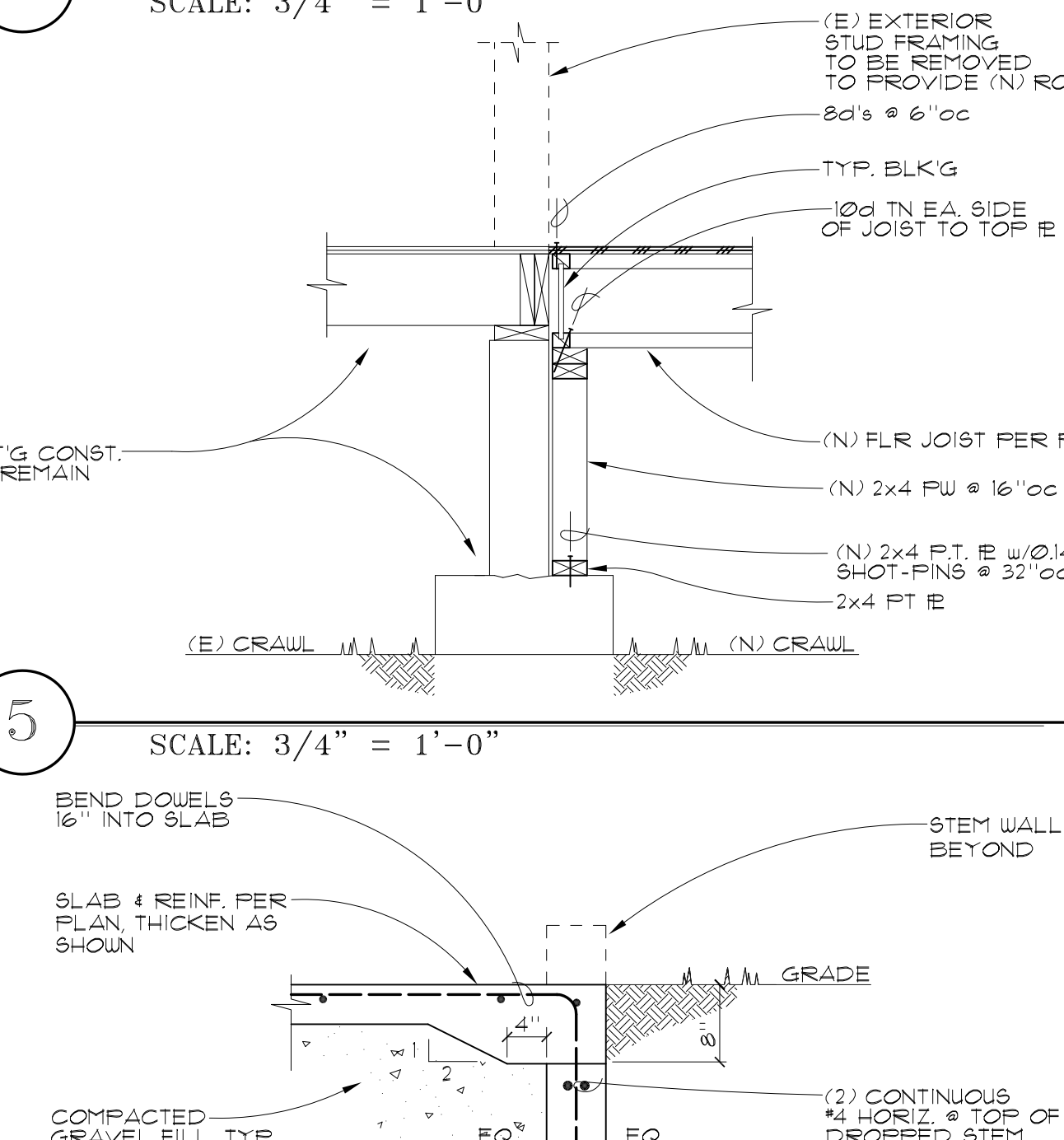
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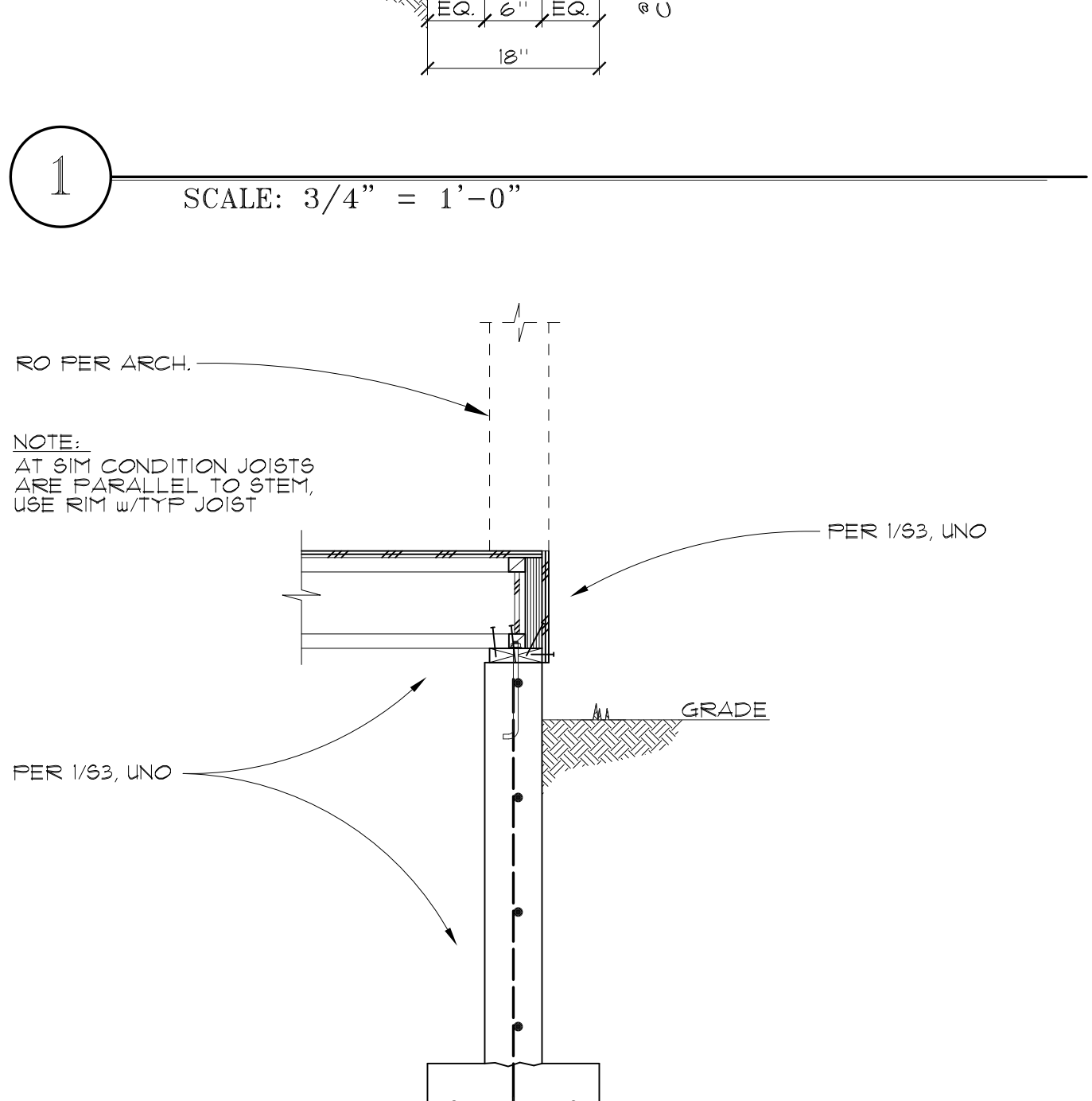
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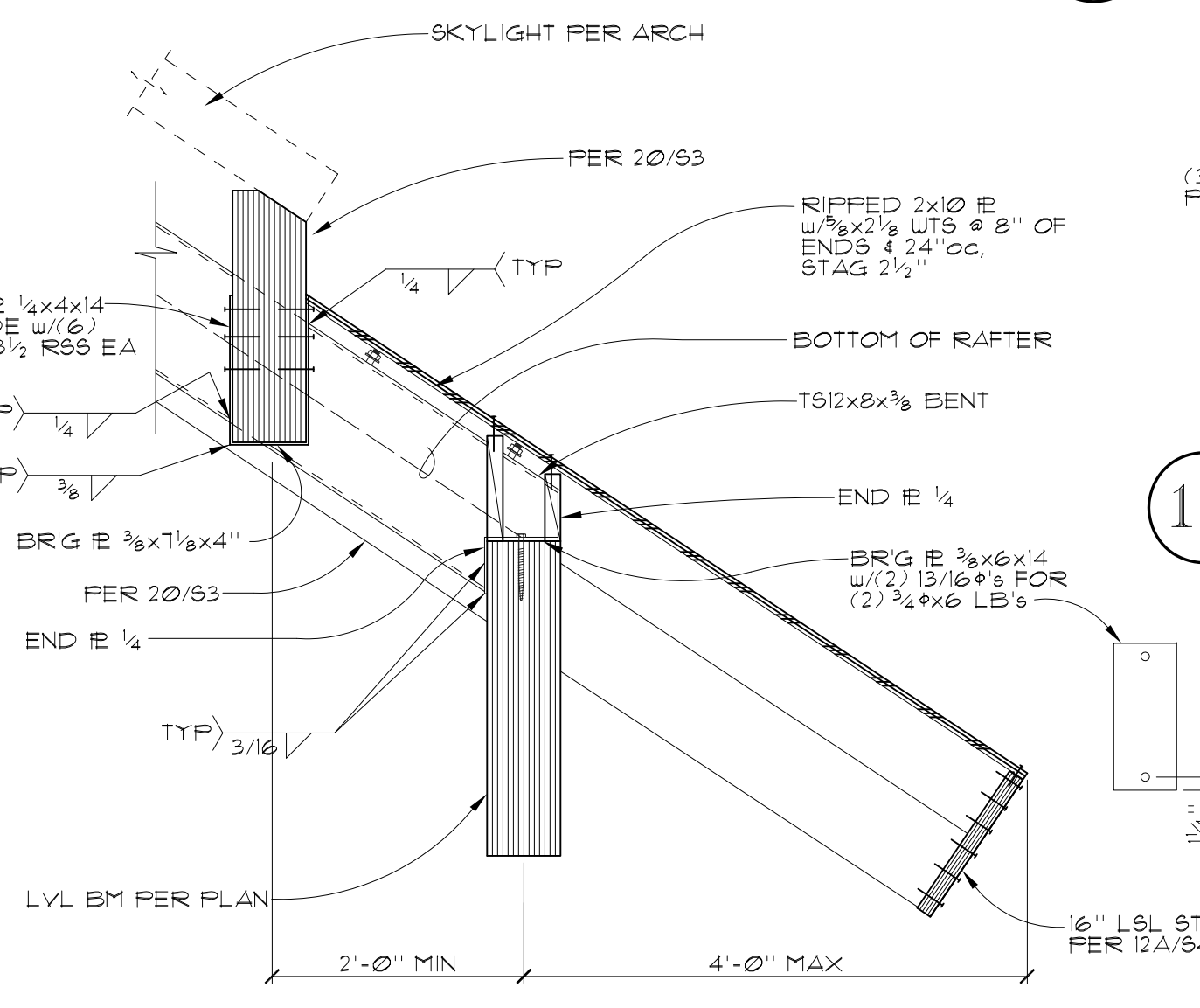
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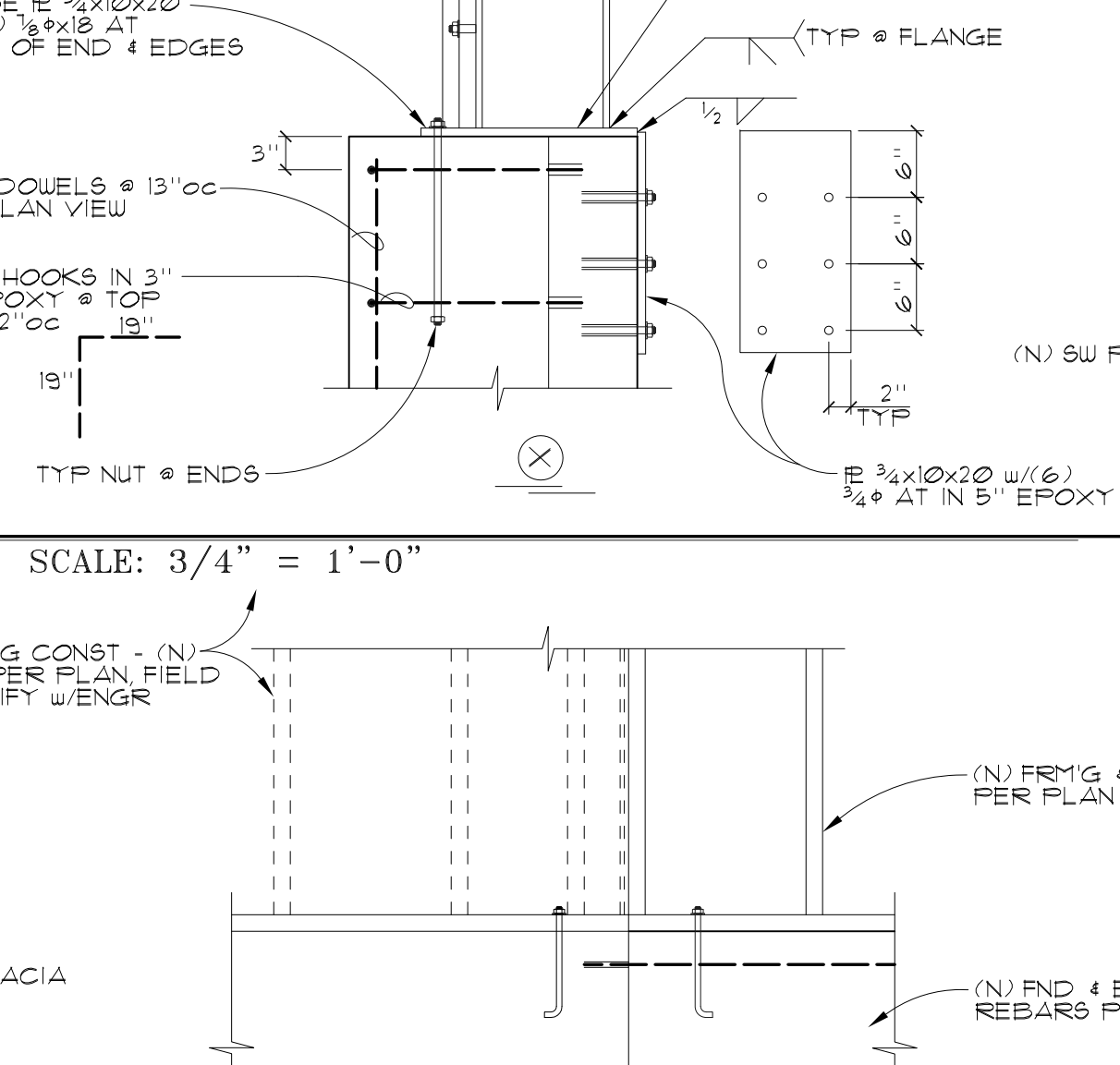
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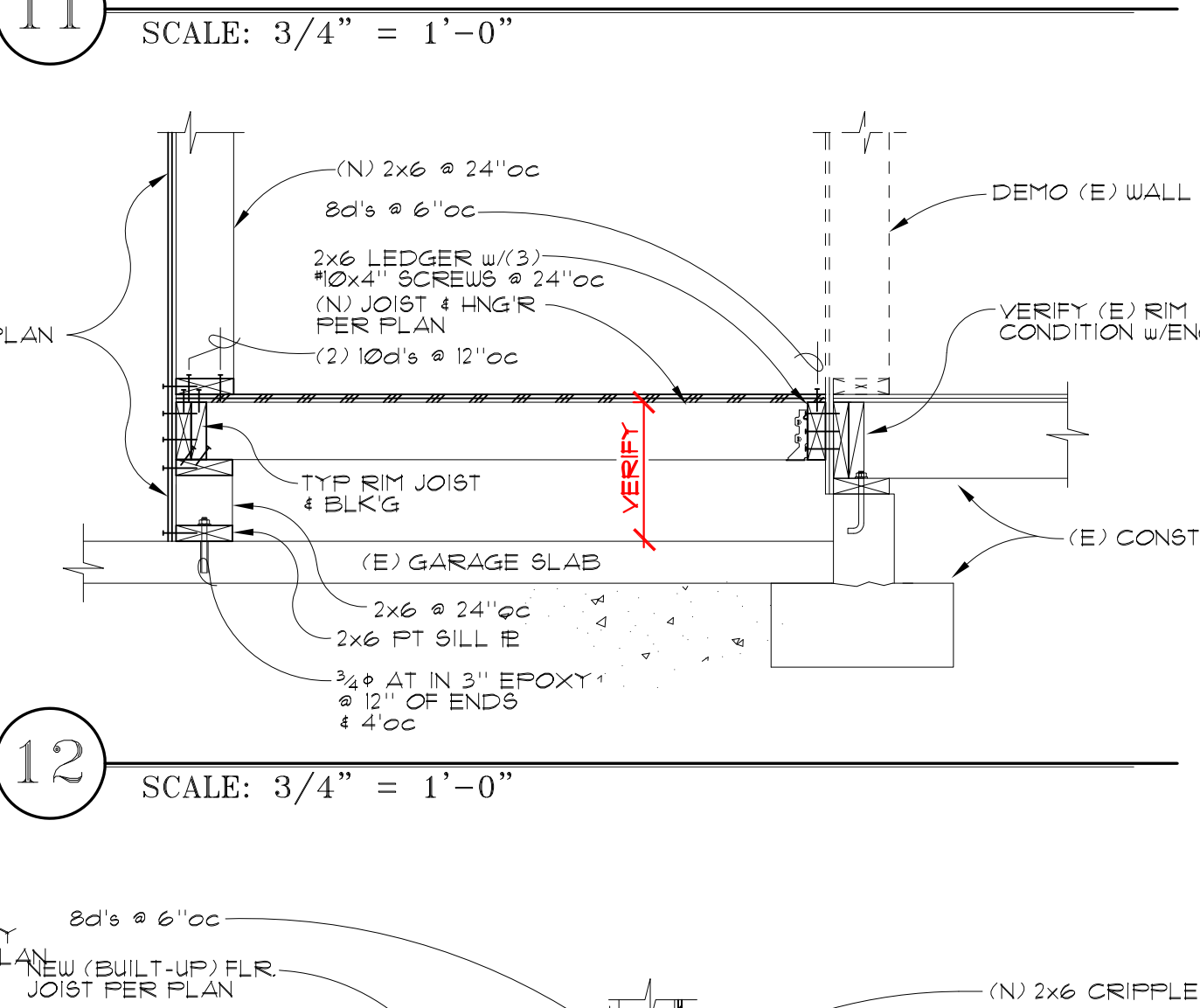
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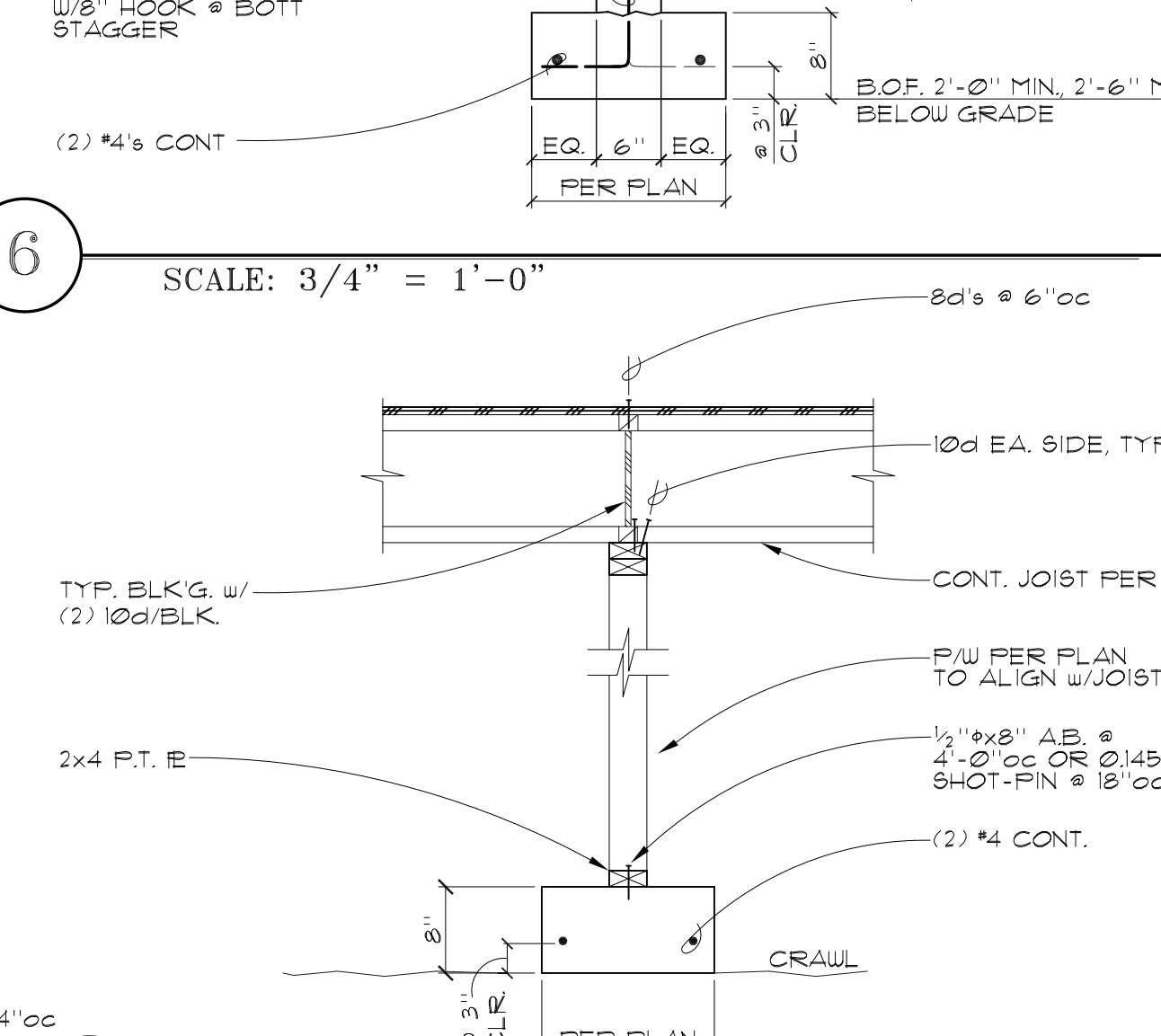
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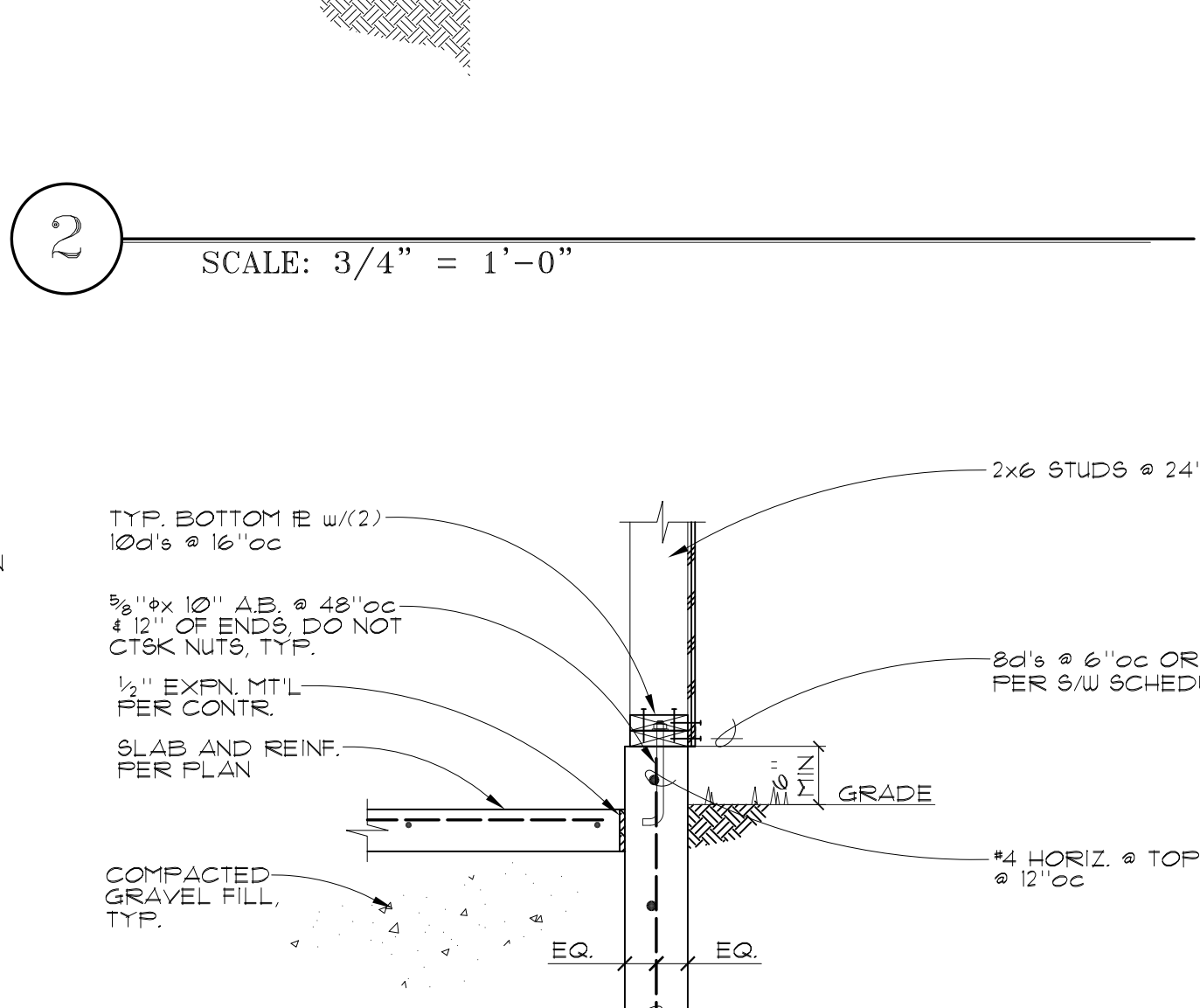
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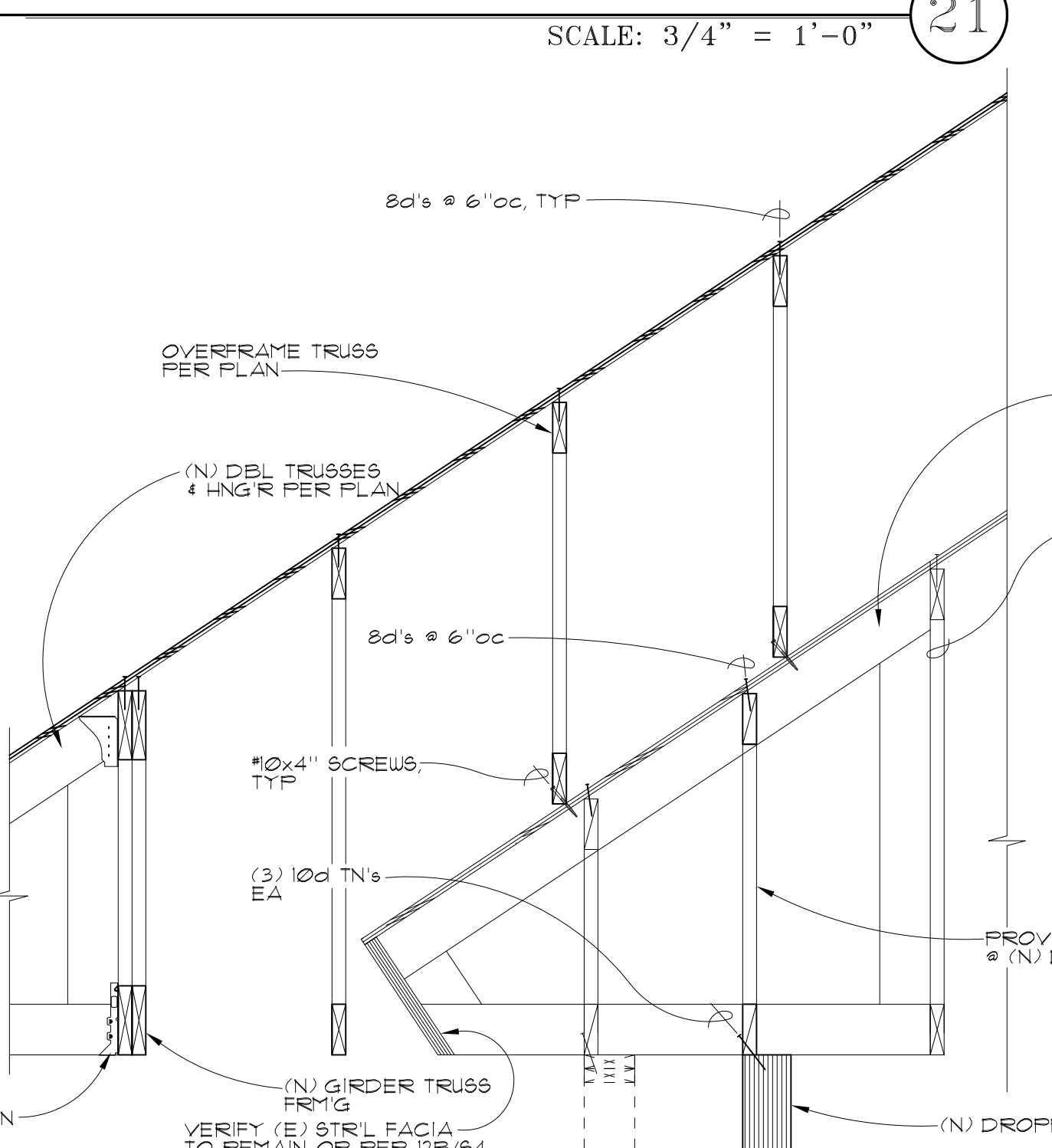
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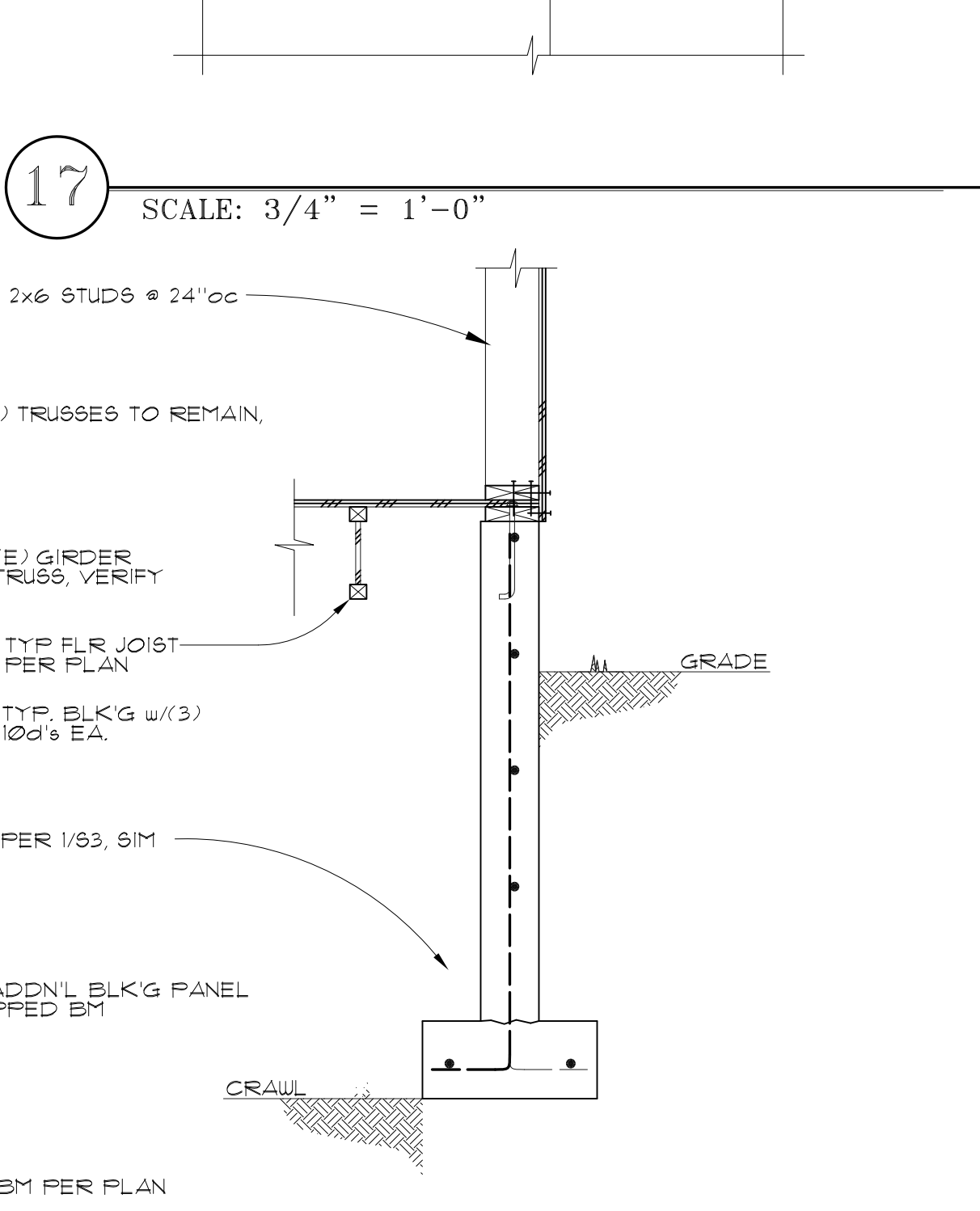
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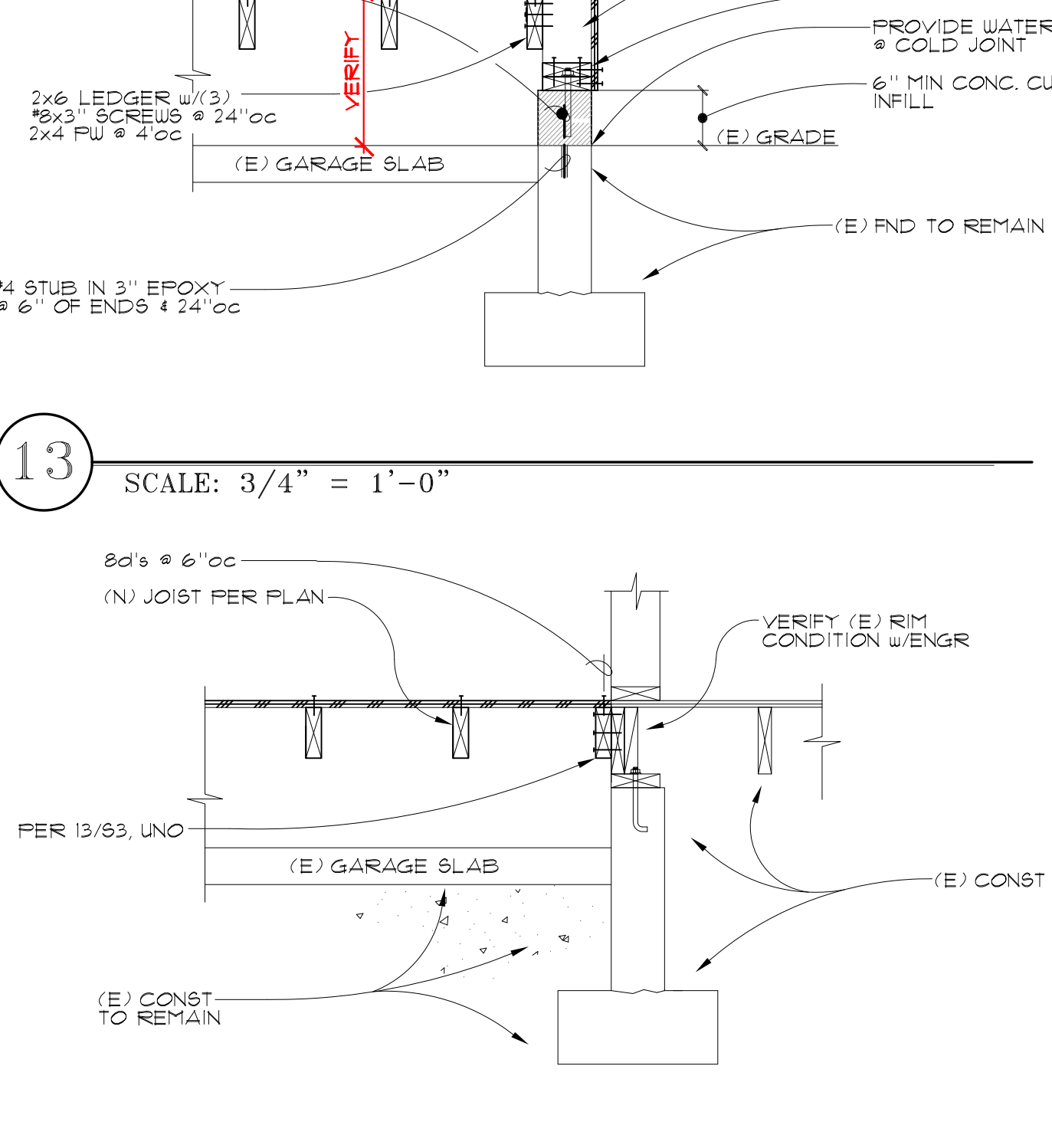
3 SCALE: 3/4" = 1'-0"



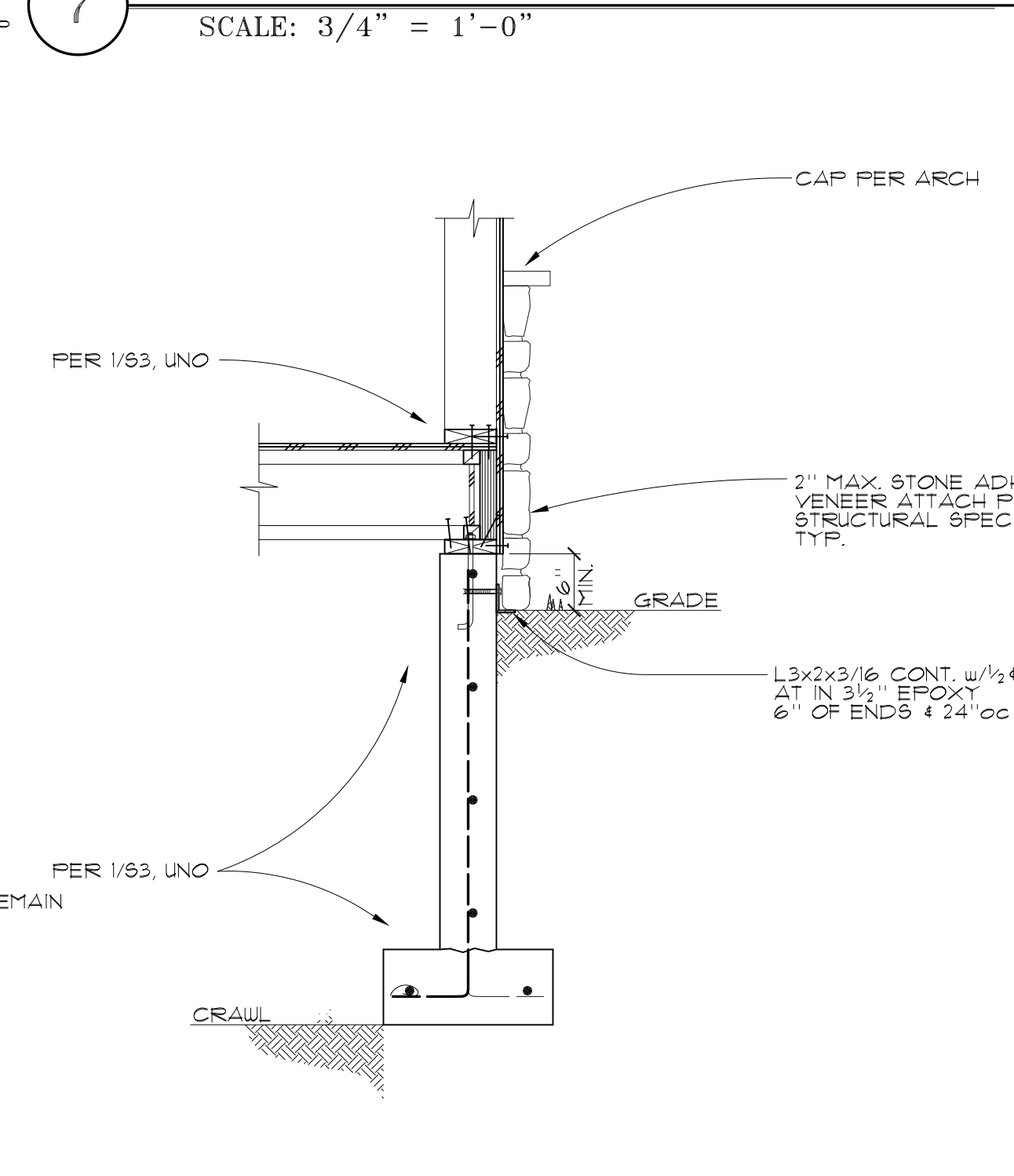
22 SCALE: 3/4" = 1'-0"



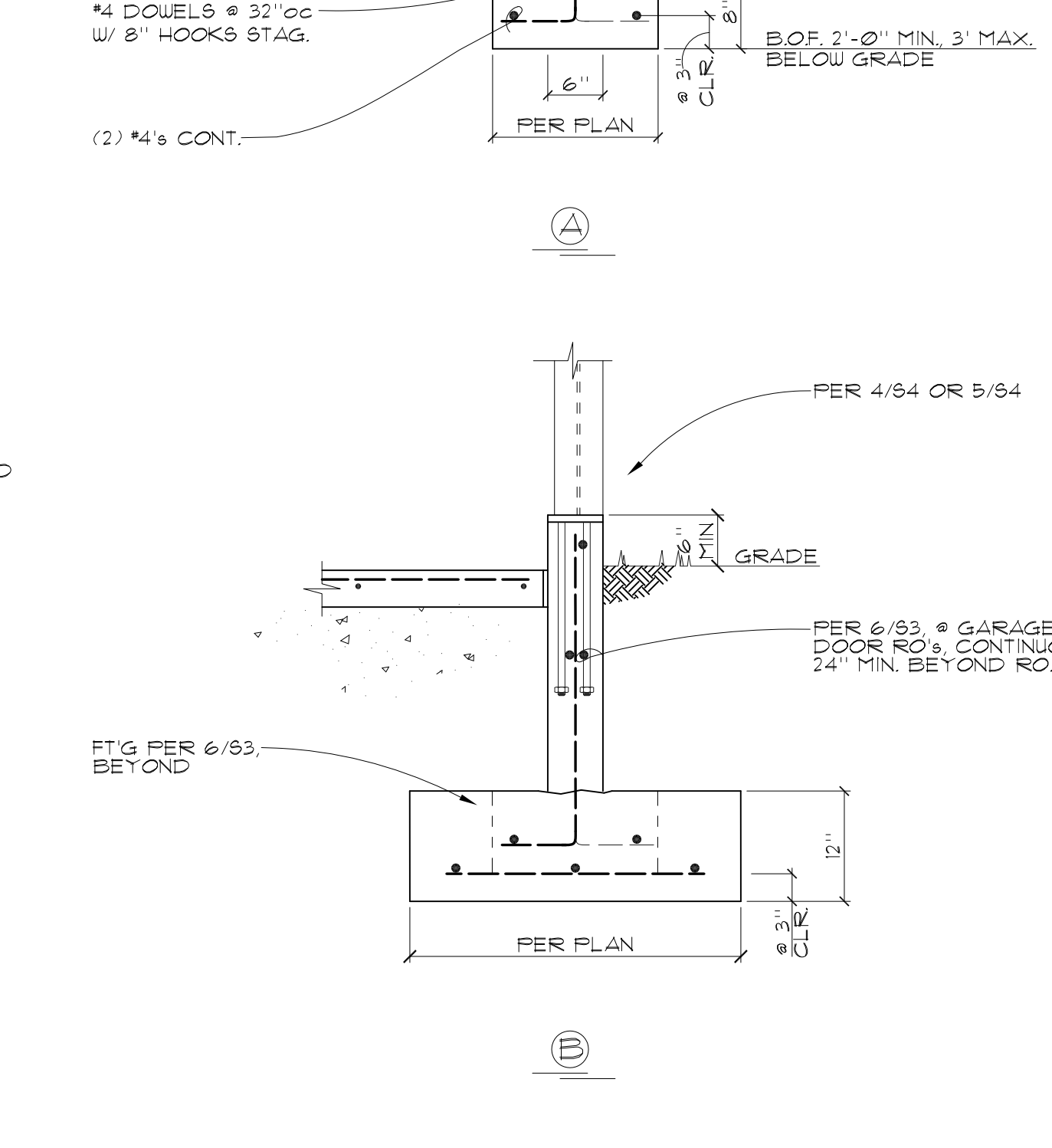
17 SCALE: 3/4" = 1'-0"



13 SCALE: 3/4" = 1'-0"



7 SCALE: 3/4" = 1'-0"



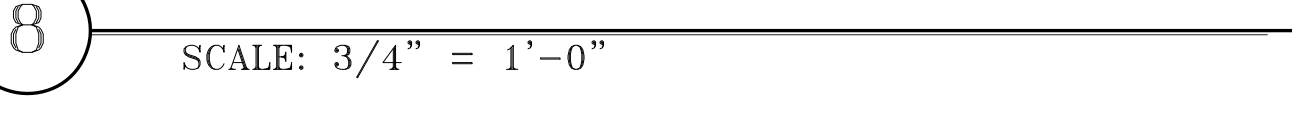
8 SCALE: 3/4" = 1'-0"



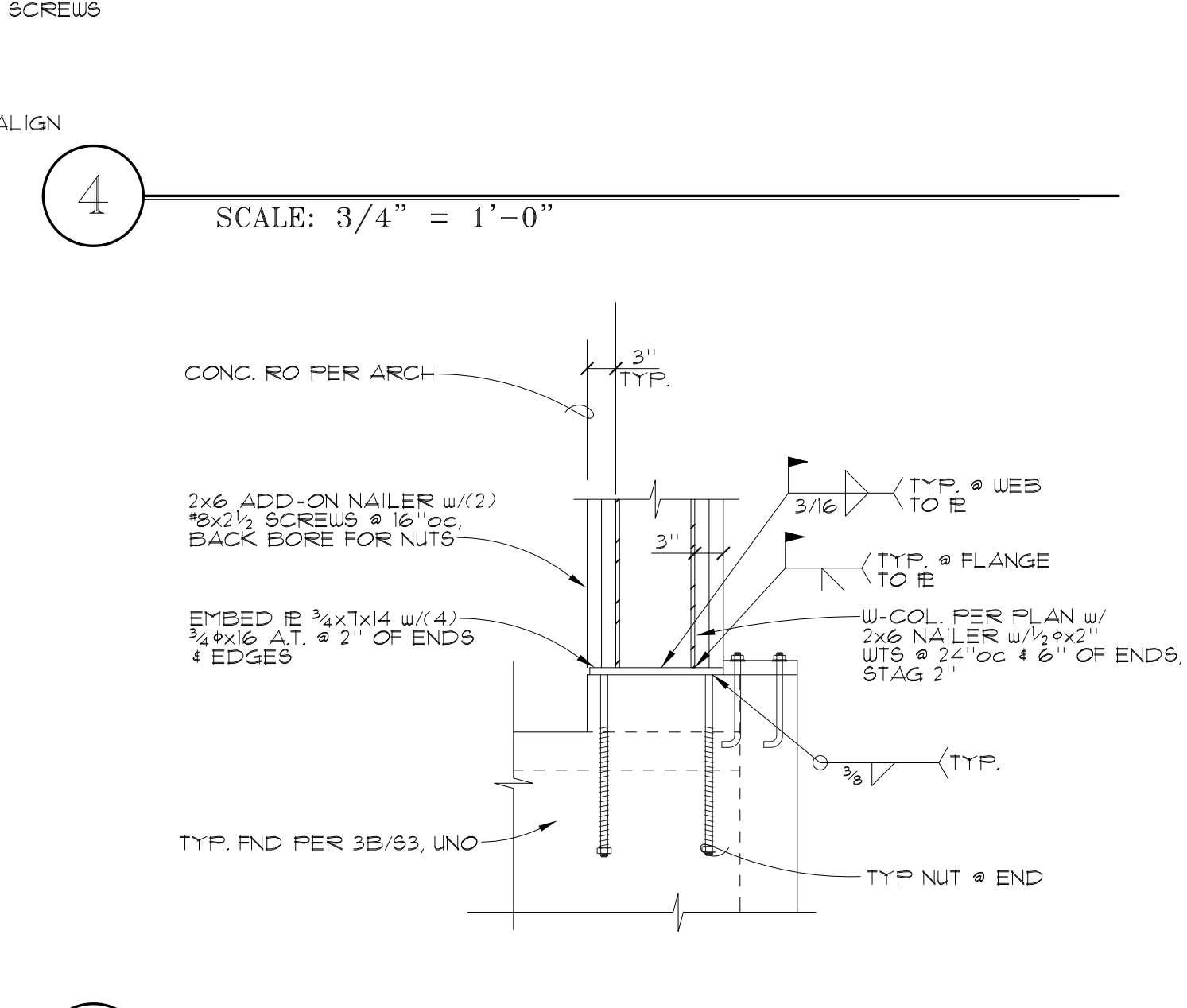
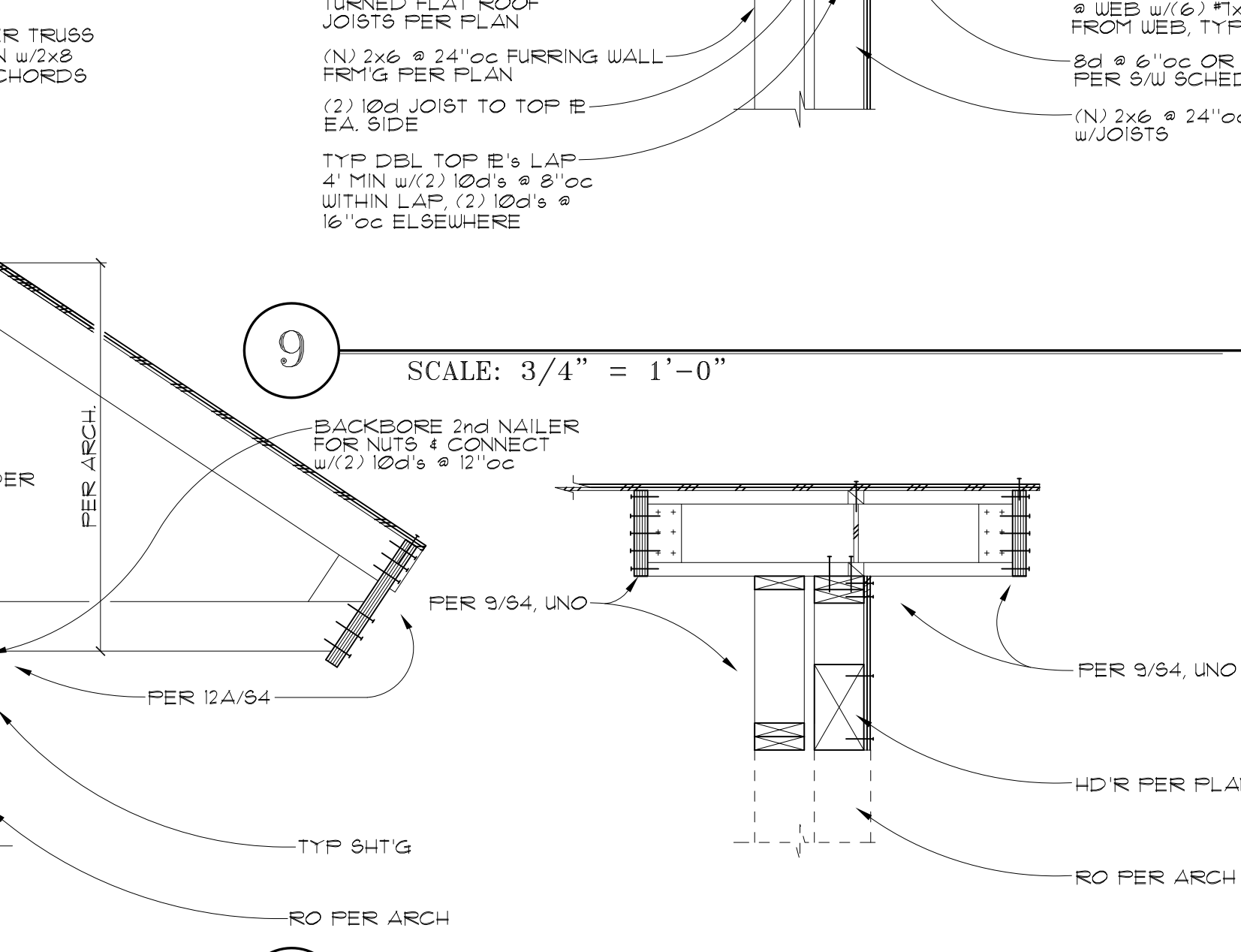
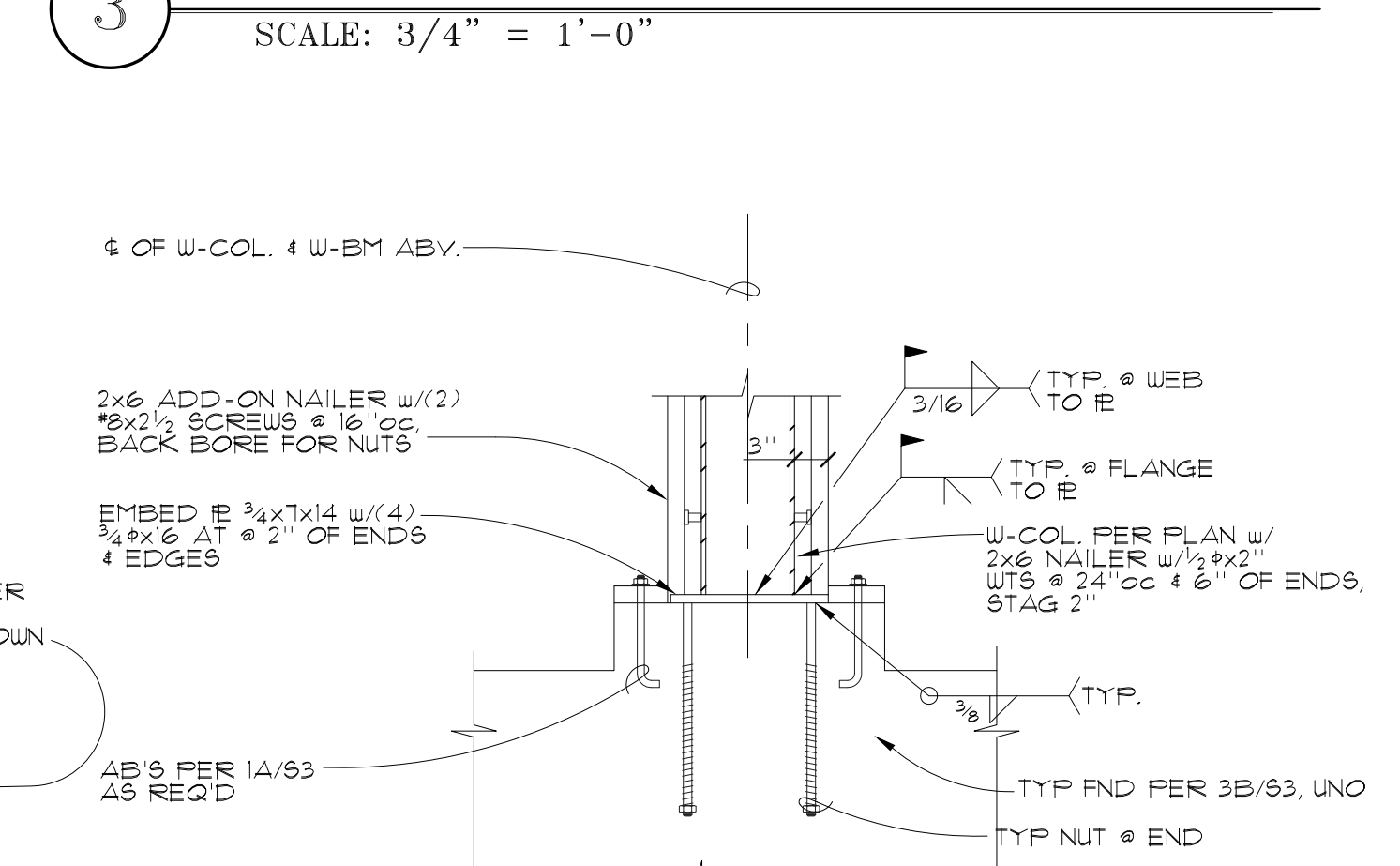
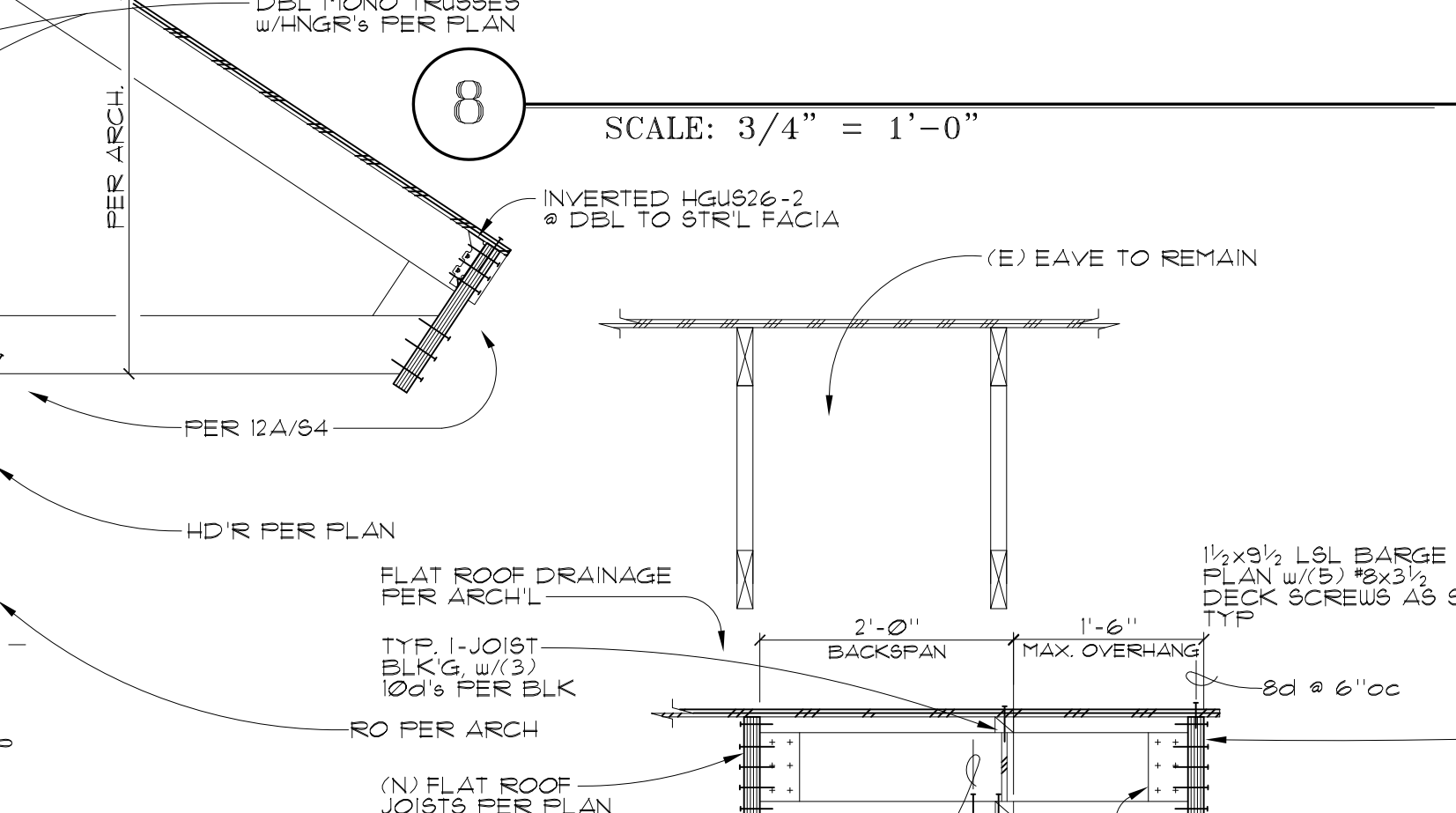
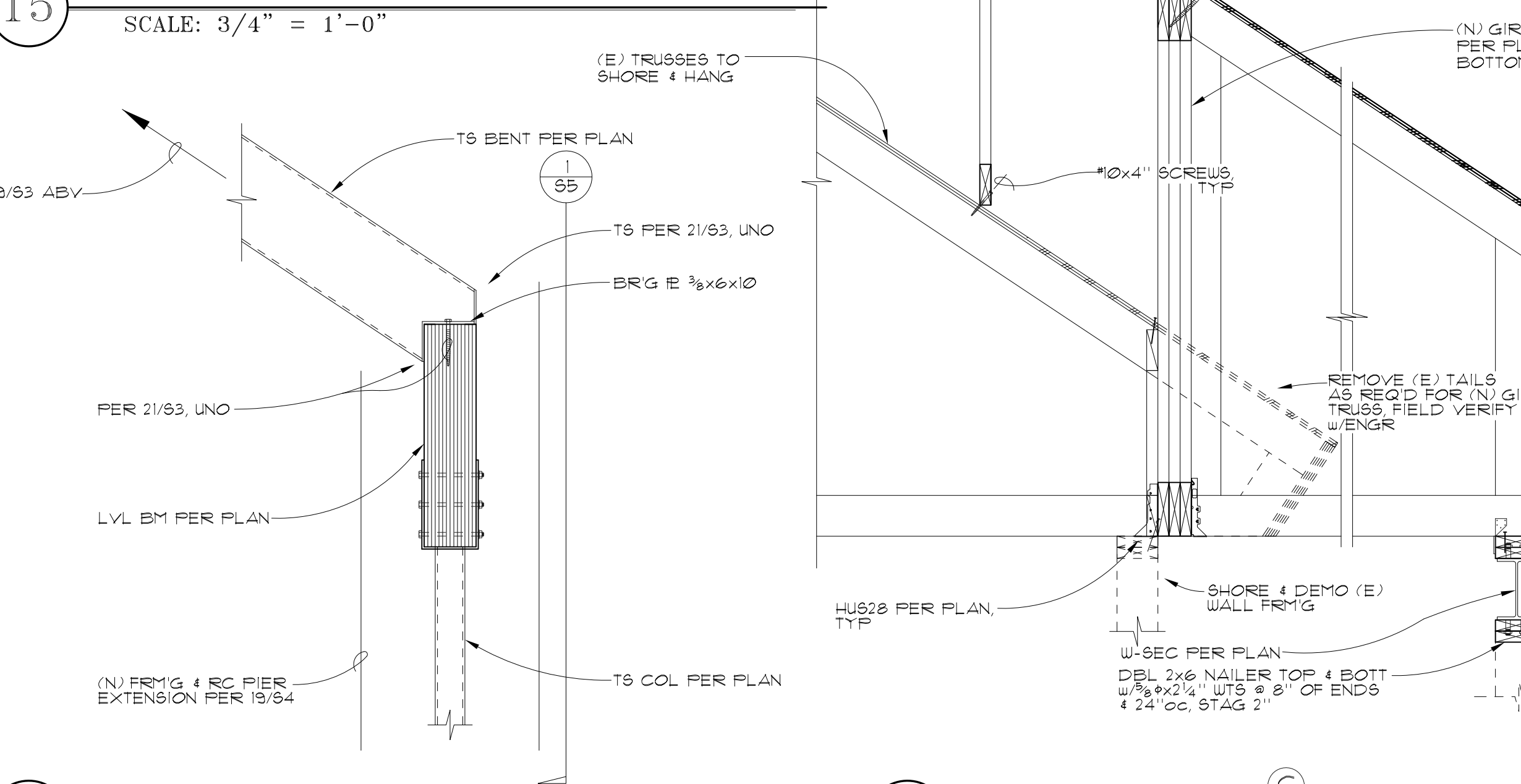
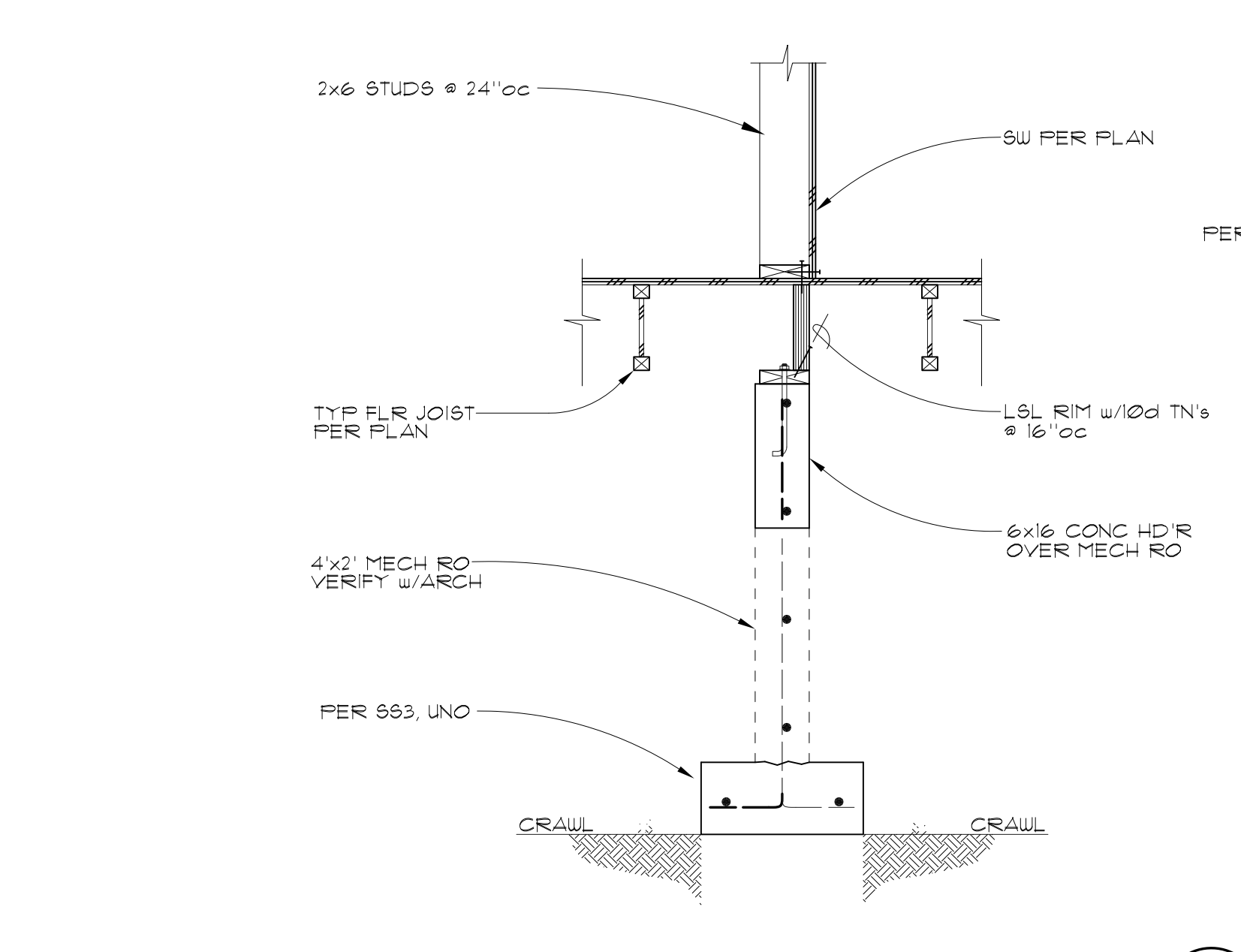
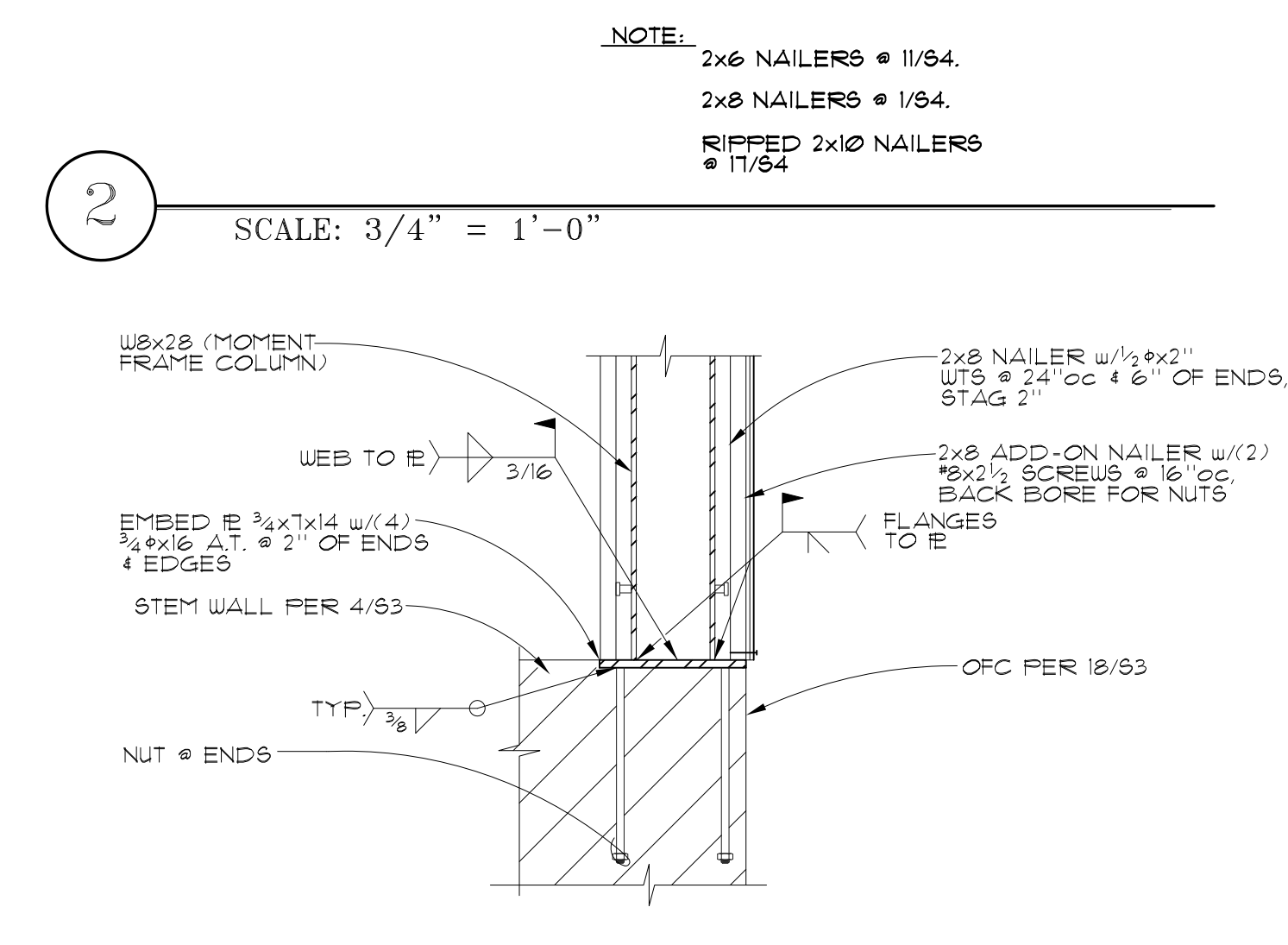
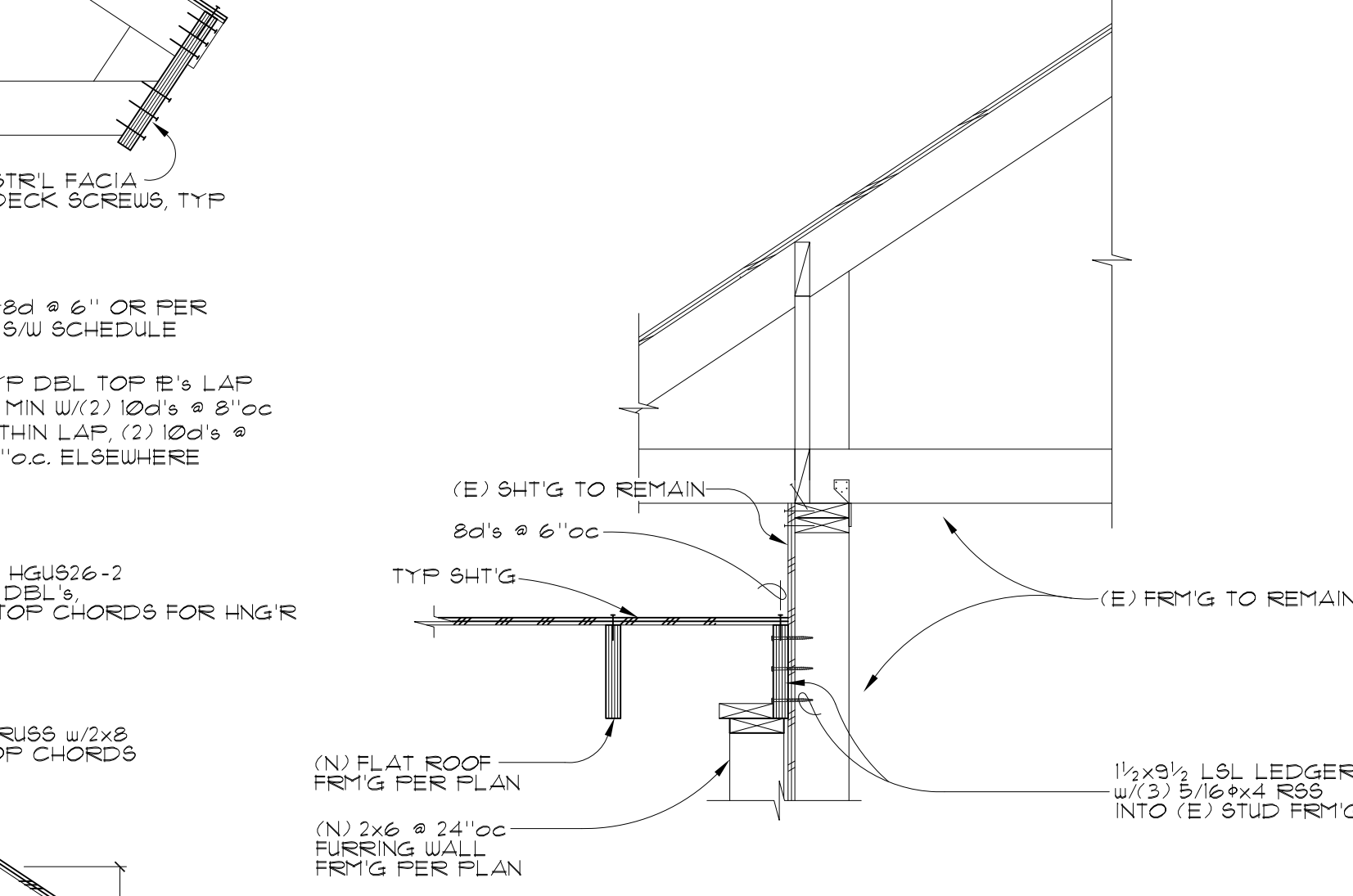
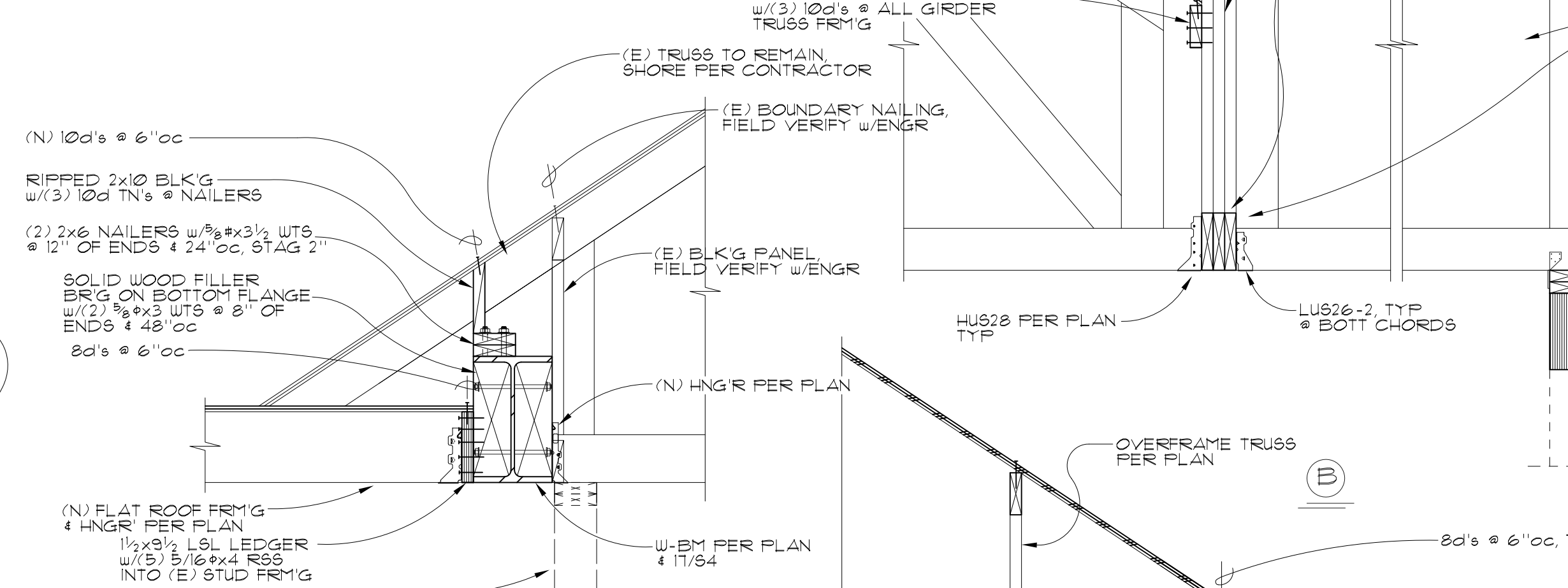
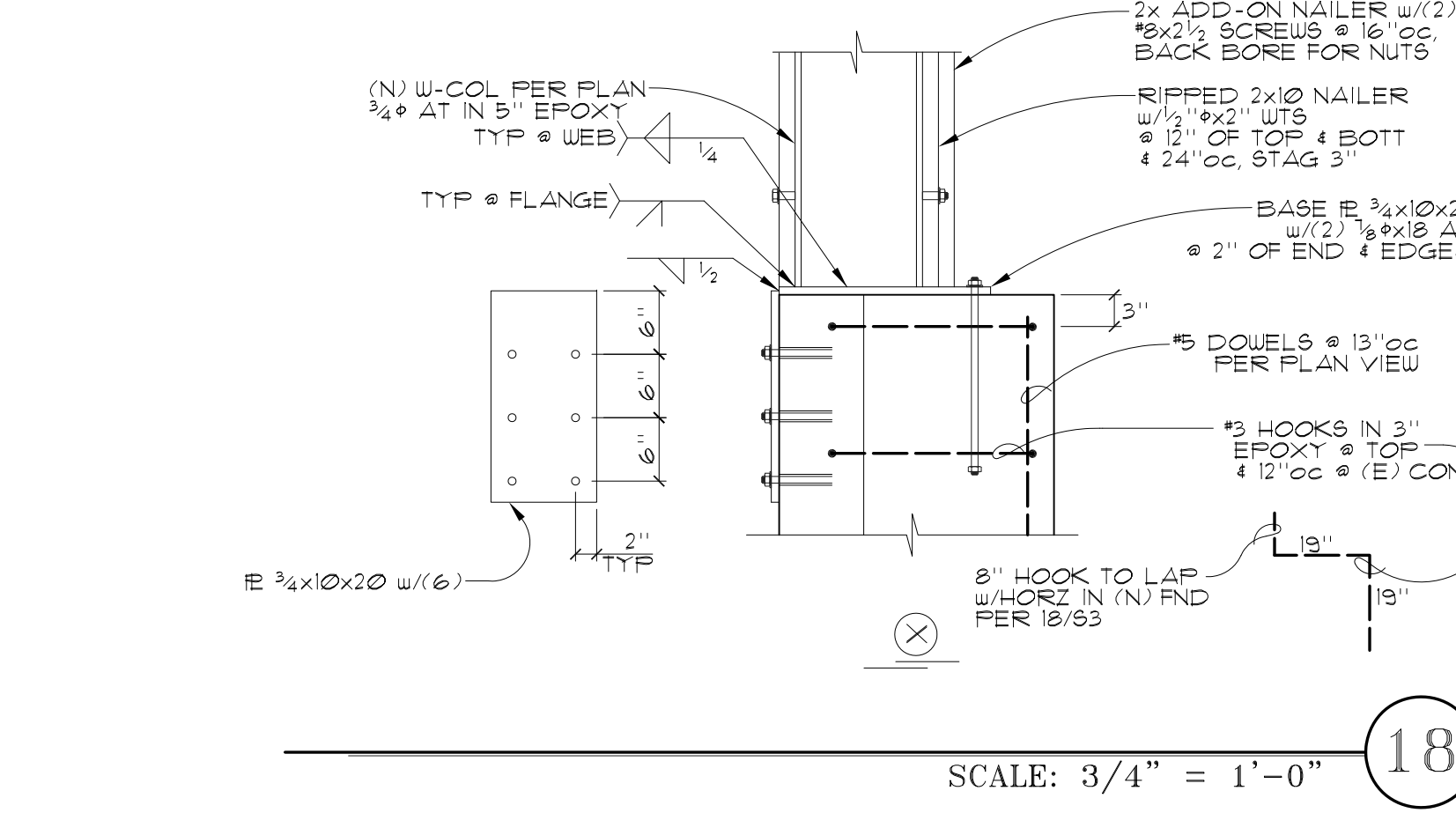
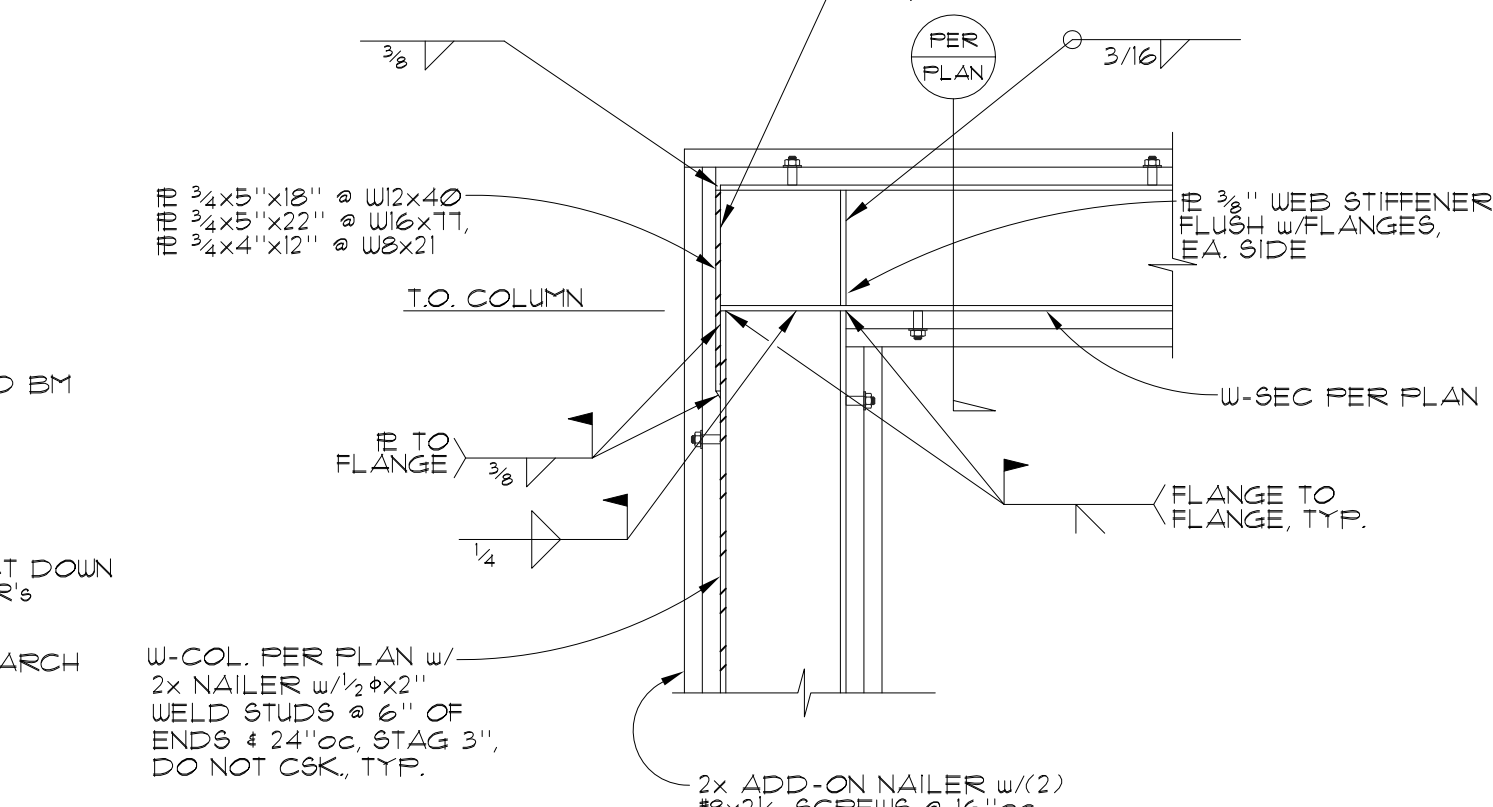
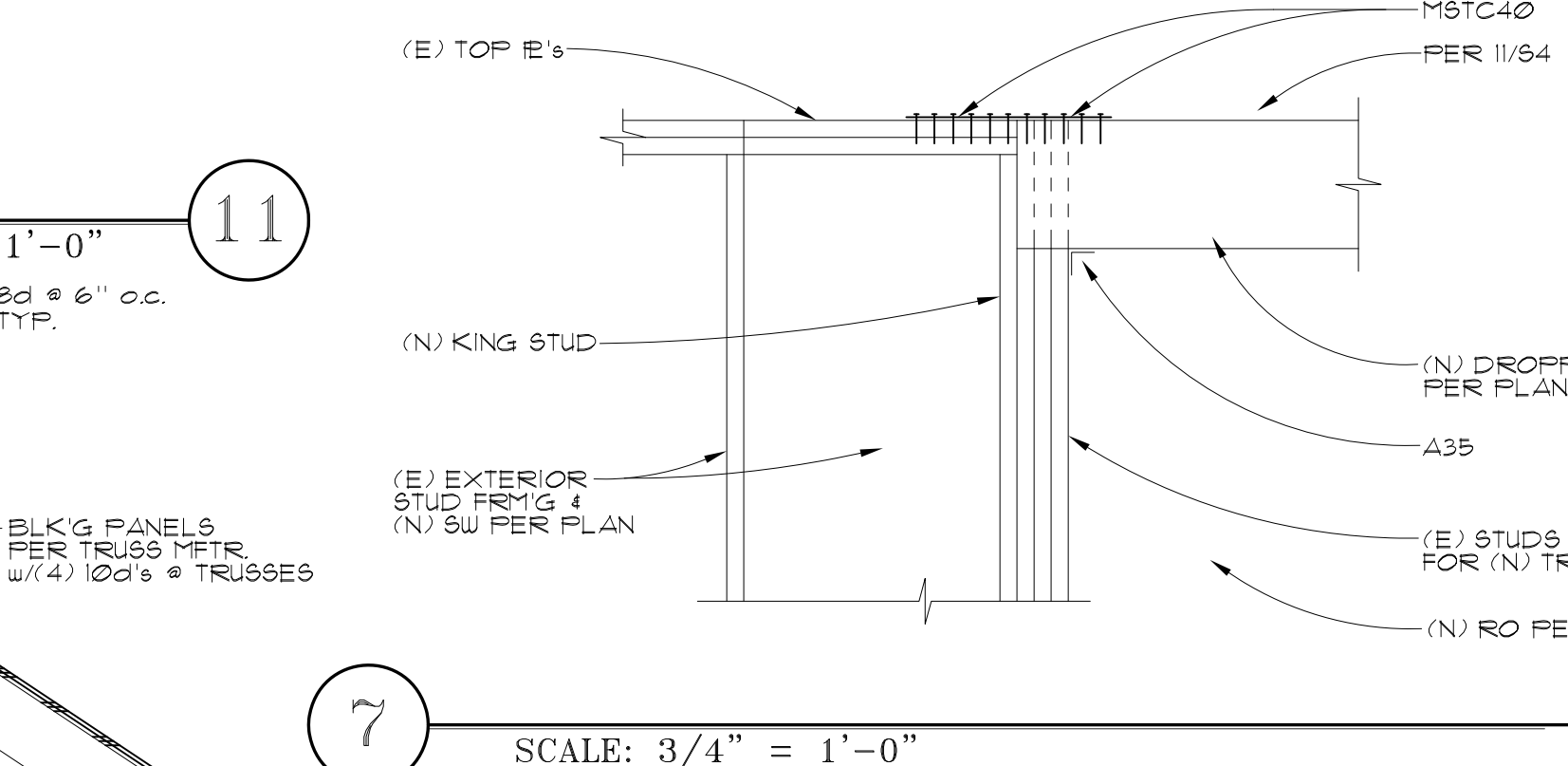
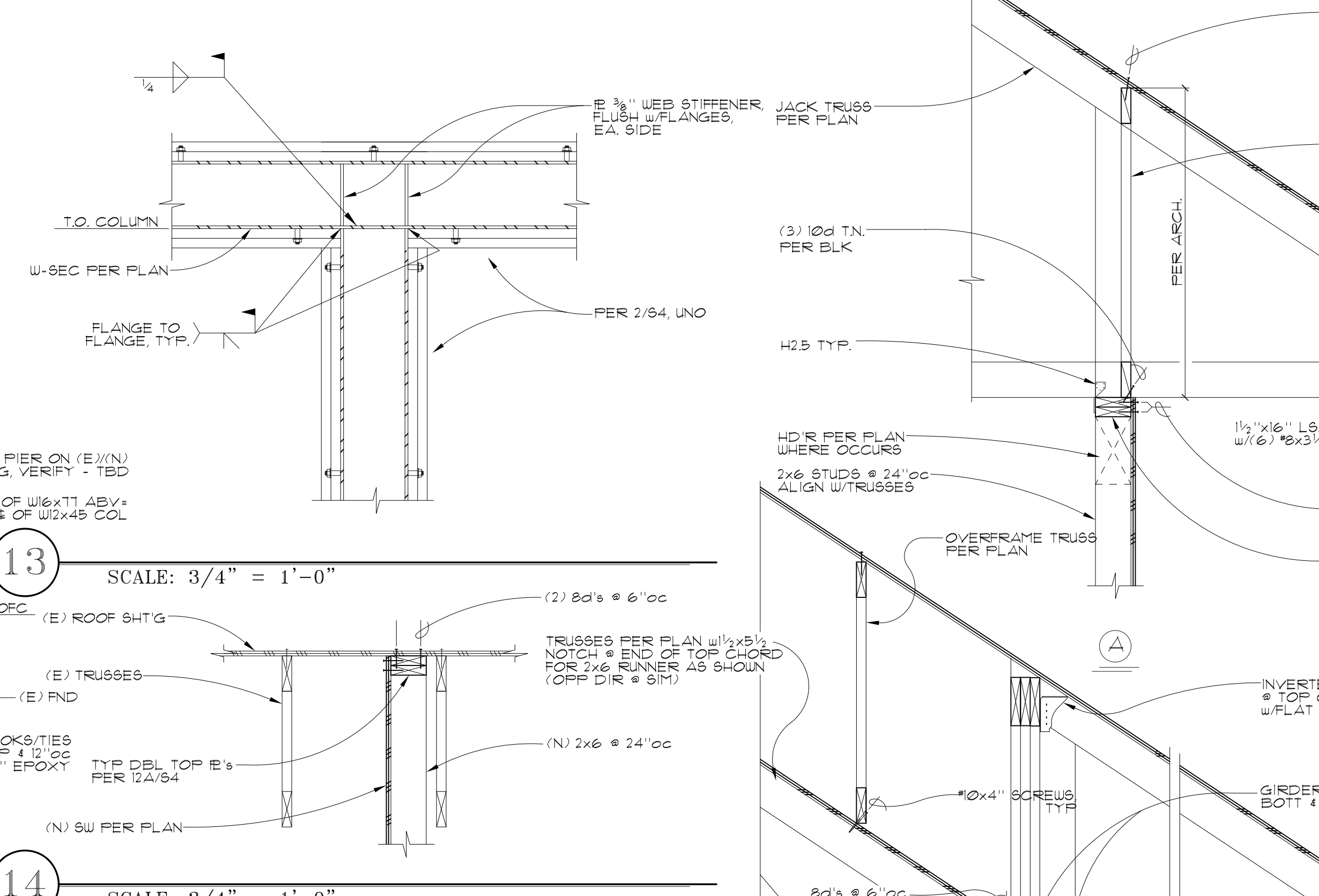
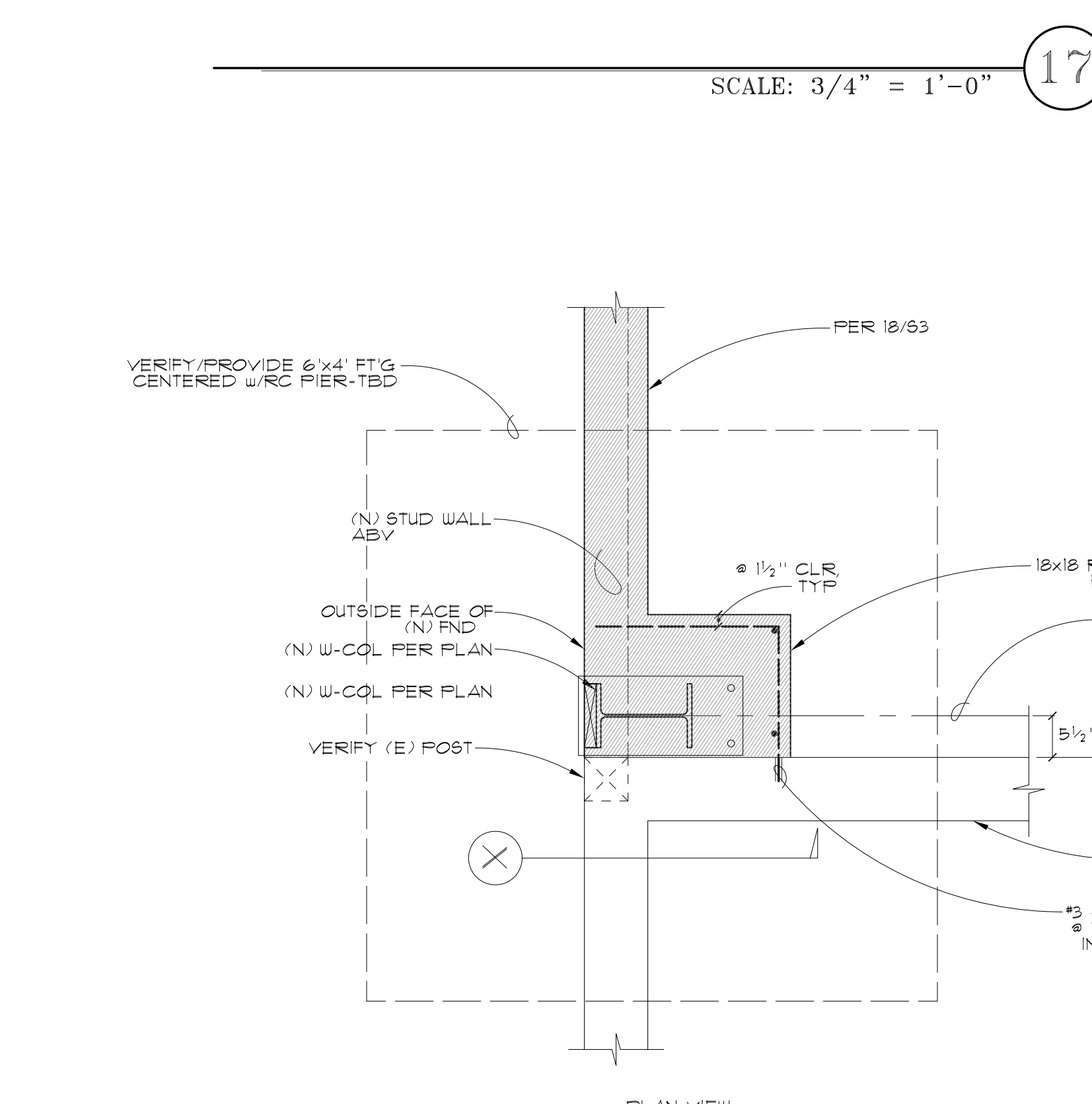
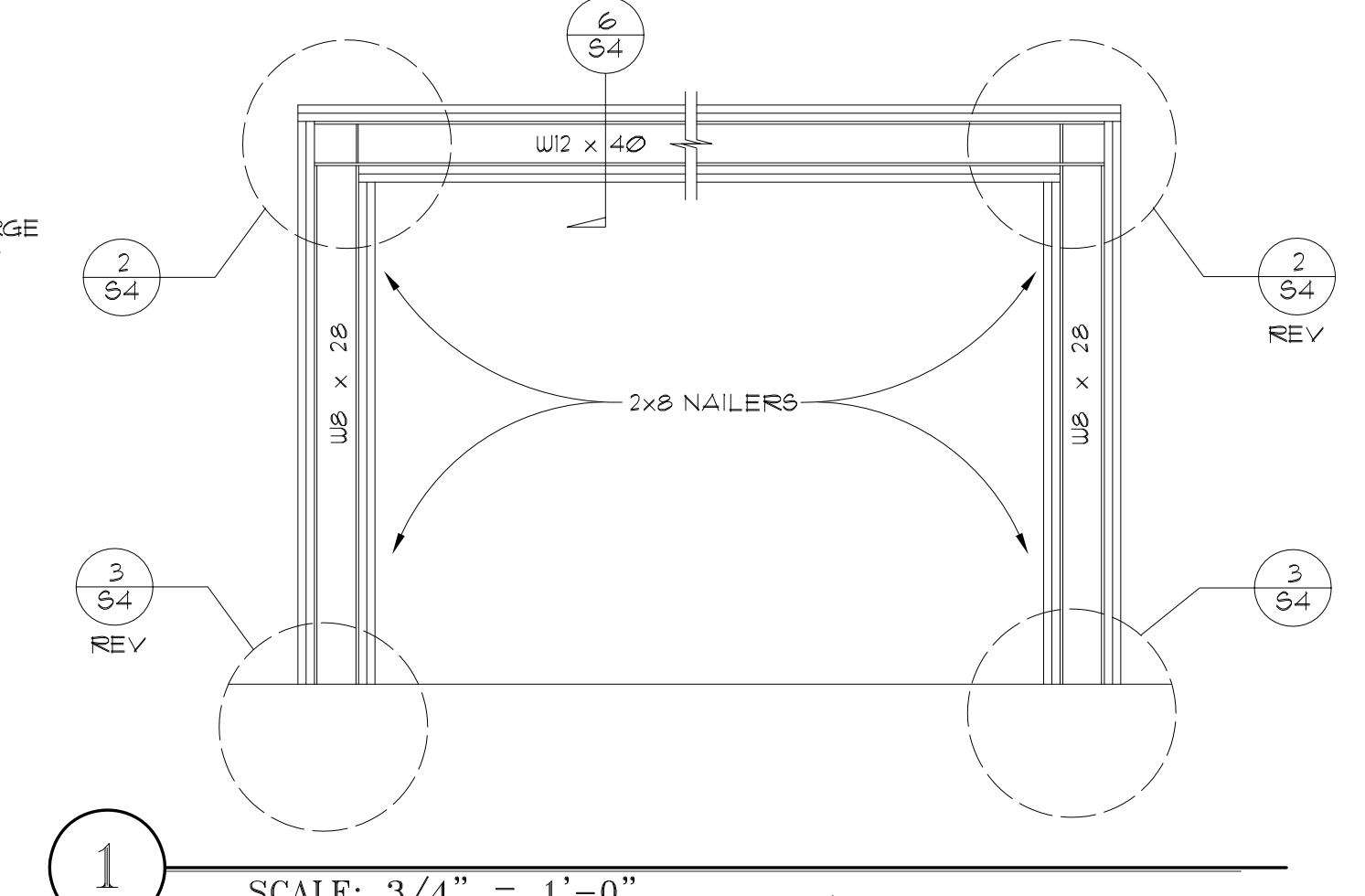
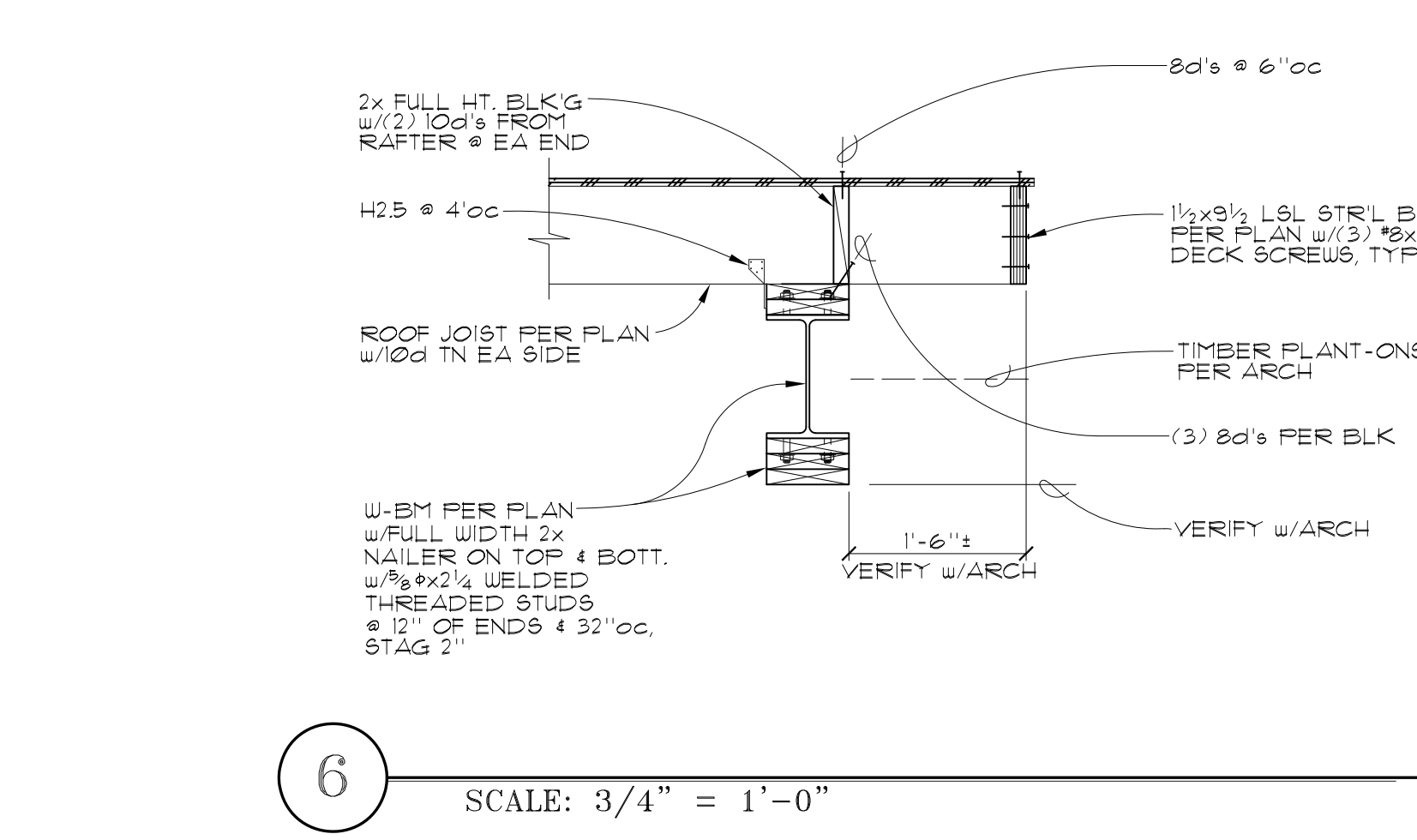
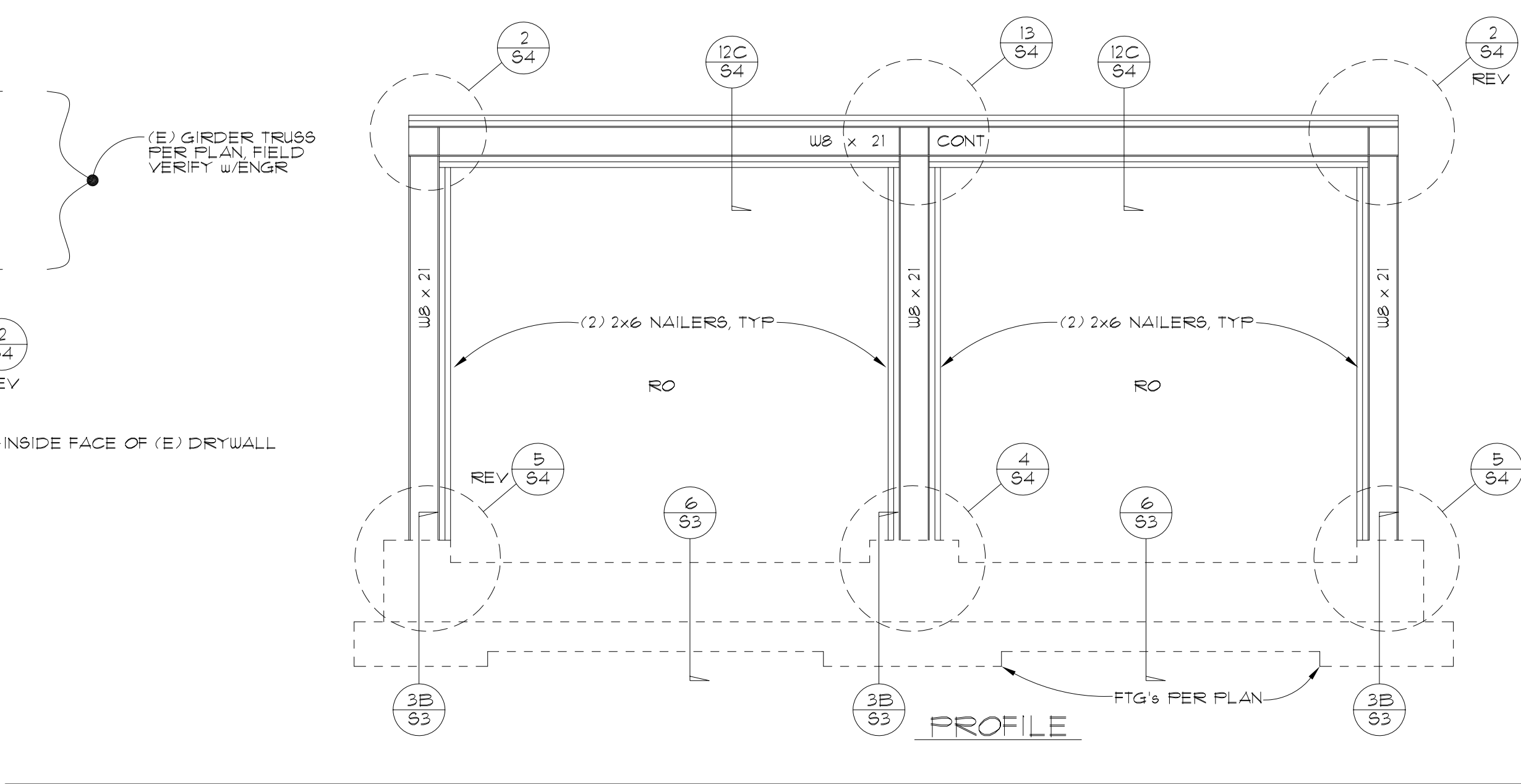
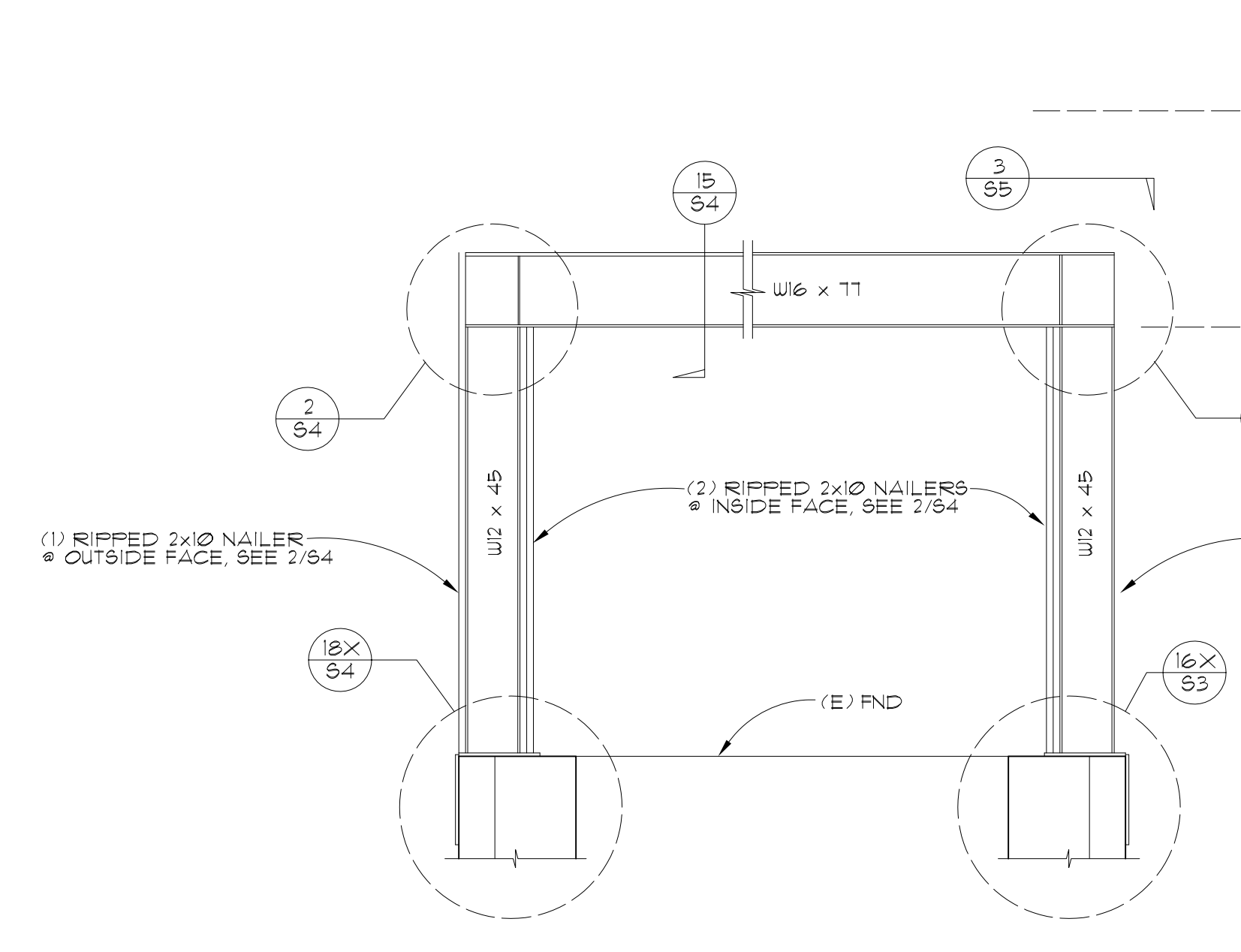
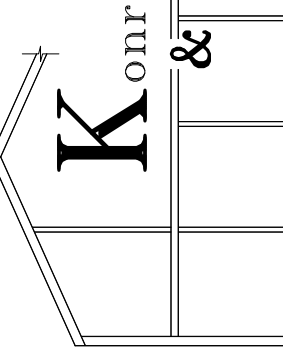
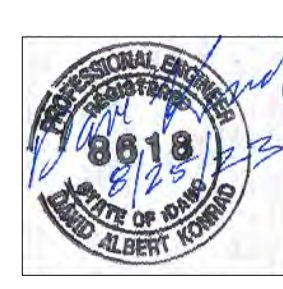
18 SCALE: 3/4" = 1'-0"

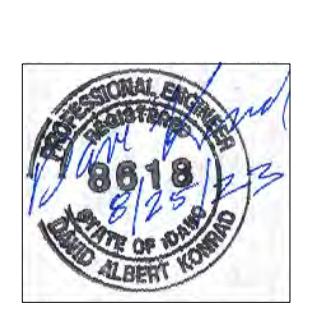
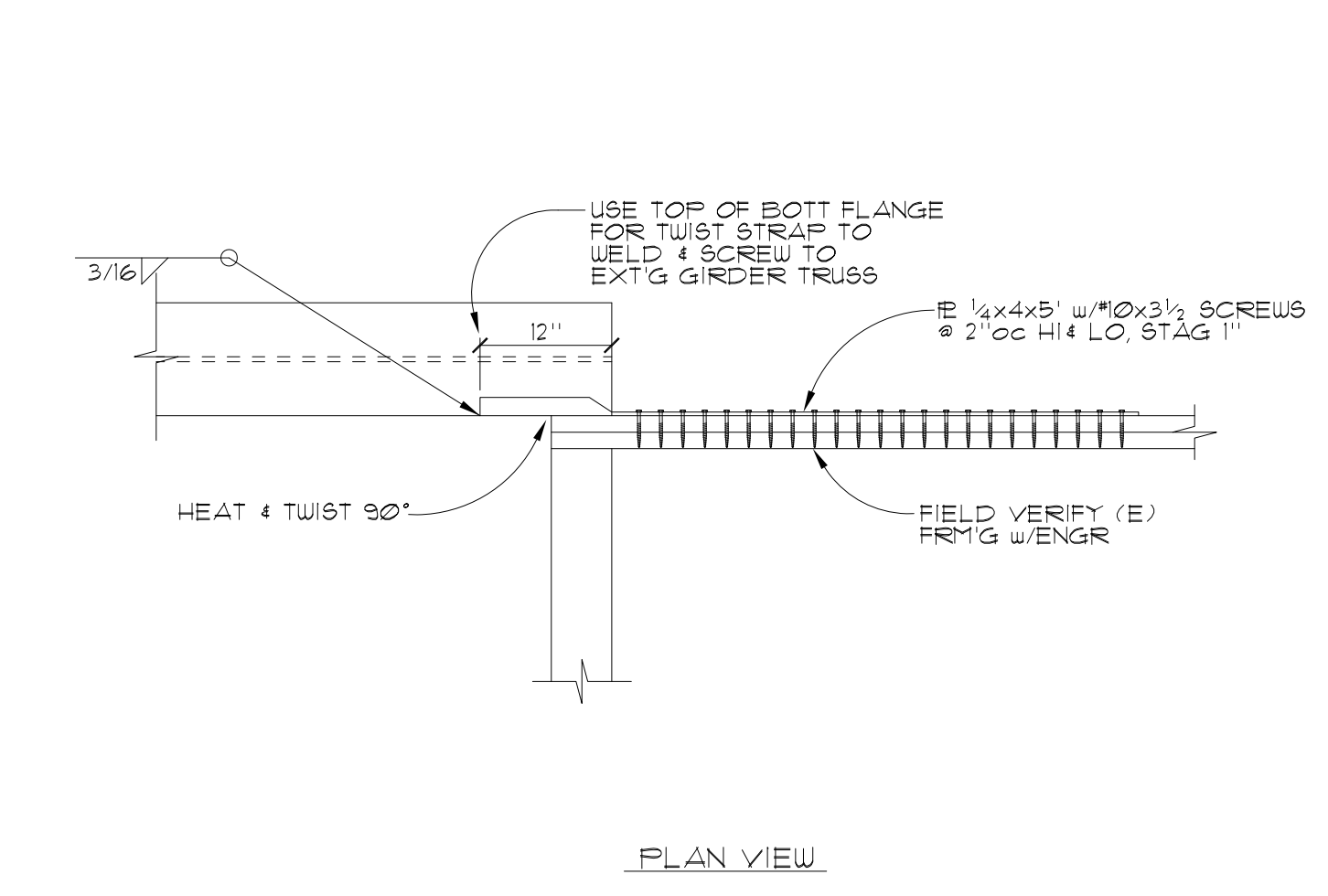
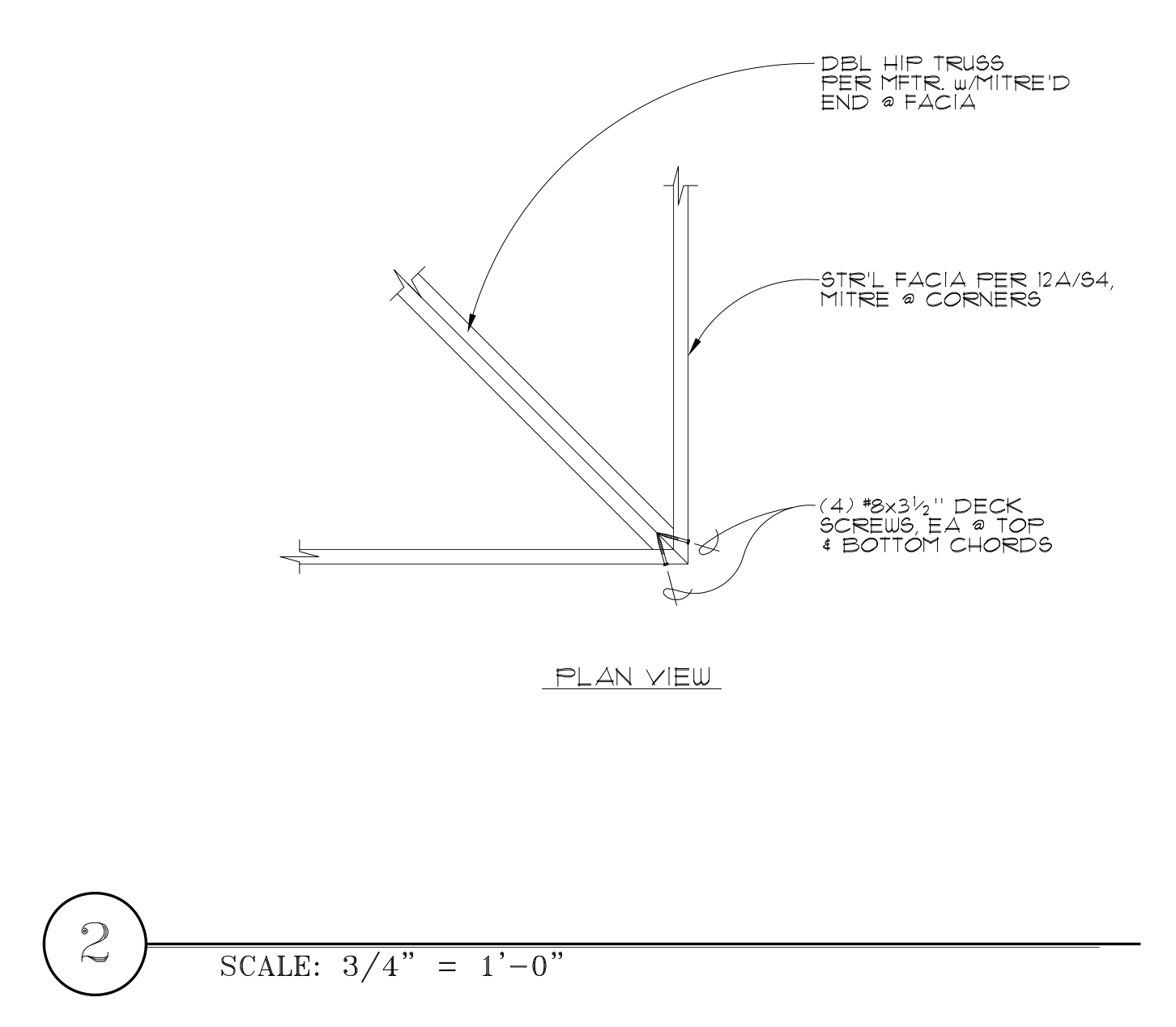
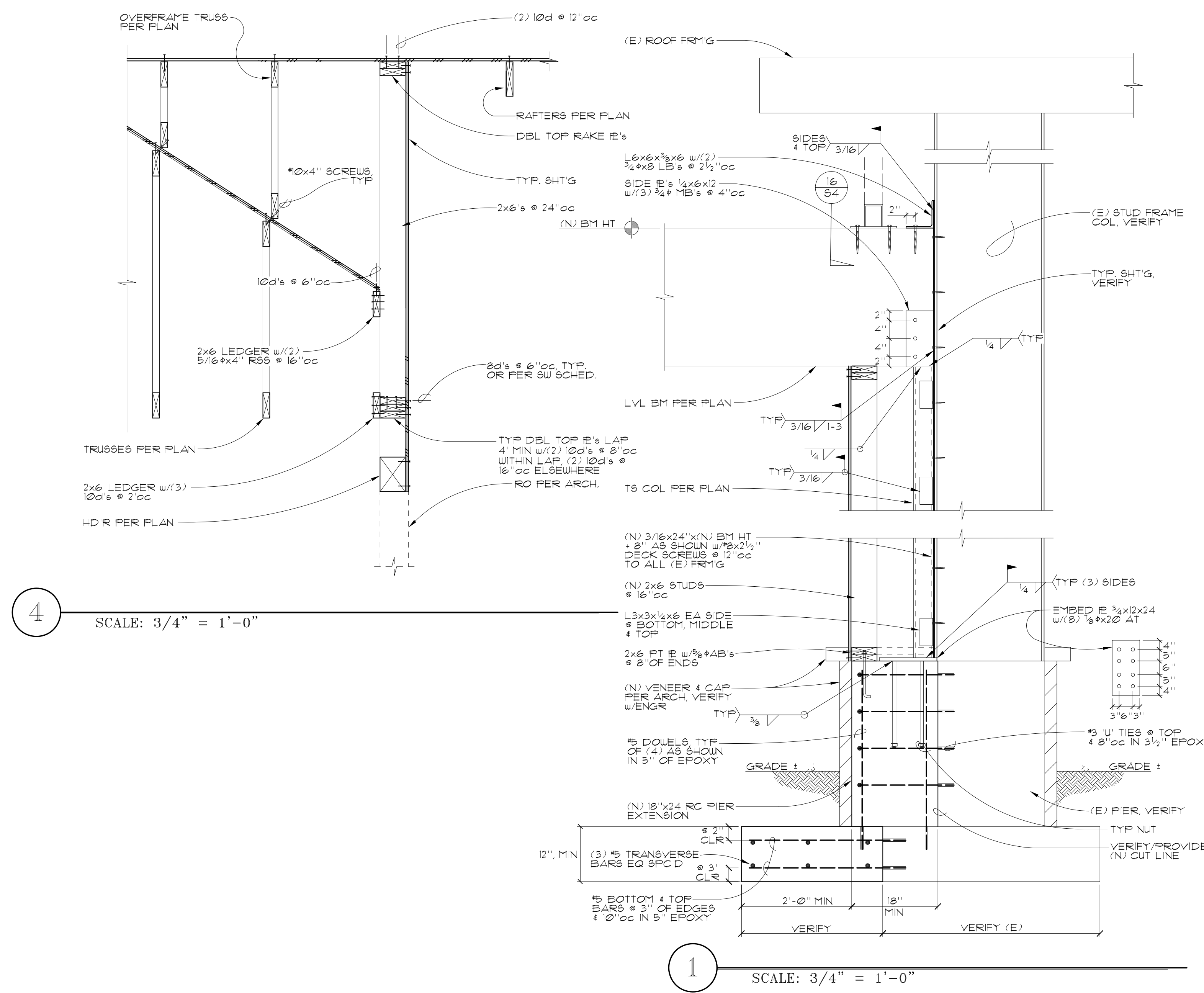


14 SCALE: 3/4" = 1'-0"



8 SCALE: 3/4" = 1'-0"





**HARTLEY RESIDENCE REMODEL**  
 130 RIVER ROCK ROAD  
 KETCHUM, ID 83340

**Konrad & Sohler**  
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PROJECT #	2314
DATE/SET	AUGUST 25 2023
PERMIT SET	
SHEET:	S5