



# WARM SPRINGS #33

170 BALD MOUNTAIN ROAD KETCHUM, ID 83340  
PROPERTY I.D. NUMBER:

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WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT TEAM	SEAL	GOVERNING BUILDING CODES & INFORMATION	ABBREVIATIONS	GRAPHIC SYMBOLS/ MATERIAL LEGENDS	VICINITY MAP
<b>ARCHITECT:</b> <b>THINK ARCHITECTURE:</b> 7927 SOUTH HIGHPOINT WAY, SUITE 300 SANDY, UT 84094 801.269.0055		<b>BUILDING CODE:</b> 2018 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) WITH IDAHO STATE AMENDMENTS <b>PLUMBING CODE:</b> 2017 IDAHO STATE PLUMBING CODE (I.S.P.C.) <b>ELECTRICAL CODE:</b> 2017 IDAHO ELECTRICAL CODE (INFA 70) ACCESSIBILITY: 2009 ANSI 117.1 & 2018 I.B.C.	<b>MECHANICAL CODE:</b> 2018 INTERNATIONAL MECHANICAL CODE (I.M.C.) AMENDED <b>FIRE CODE:</b> 2018 INTERNATIONAL FIRE CODE (I.F.C.) AMENDED <b>ENERGY CONSERVATION:</b> 2018 INTERNATIONAL ENERGY CONSERVATION CODE (I.E.C.C.)	<b>FLOOR OR POINT ELEVATION</b> <b>KEY NOTE</b> <b>SPECIFICATION KEY NOTE</b> <b>WALL TYPE</b> <b>DOOR NUMBER</b> <b>WINDOW NUMBER</b> <b>FIXTURE TAG</b> <b>REVISION TAG</b> <b>DETAIL</b> <b>INTERIOR ELEVATION</b> <b>BUILDING ELEVATION</b> <b>ROOM NAME &amp; NUMBER</b> <b>BUILDING SECTION</b> <b>WALL SECTION</b> <b>CENTER LINE</b> 	
<b>STRUCTURAL ENGINEER:</b> <b>VECTOR ENGINEERS</b> 1555 S. CLOVERDALE ROAD, SUITE 315 BOISE, ID 83709 208.994.0303		<b>OCCUPANCY GROUP:</b> R2 <b>BUILDING TYPE:</b> TYPE V-B <b>BUILDING TYPE:</b> TYPE V-B <b>FIRE SPRINKLER:</b> YES <b>FIRE SPRINKLER TYPE:</b> NFPA 72 <b>ADDRESSABLE FIRE ALARM:</b> YES <b>MONITORED SYSTEM:</b> NO <b>FIRE DETECTION SYSTEM PER KETCHUM ORDINANCE #1217</b>	<b>#</b> NUMBER <b>AT</b> ANCHOR BOLT <b>HAN</b> HOLLOW METAL <b>HRZBZ</b> HORIZONTAL <b>HT</b> HEIGHT <b>HVAC</b> HEATING/VENTILATION/AIR CONDITIONING <b>HYD</b> HYDROBATH <b>ID</b> INSIDE DIAMETER <b>INFO</b> INFORMATION <b>INSUL</b> INSULATION <b>LAV</b> LAVATORY <b>LT</b> LIGHT <b>LT WT</b> LIGHT WEIGHT <b>MAINT</b> MAINTENANCE <b>MANUF</b> MANUFACTURER <b>MAX</b> MAXIMUM <b>MAT</b> MATERIAL <b>M.C.J.</b> MASONRY CONTROL JOINT <b>MECH</b> MECHANICAL <b>MIN</b> MINIMUM <b>MISC.</b> MISCELLANEOUS <b>M.O.</b> MASONRY OPENING <b>MTL</b> METAL <b>NOT IN CONTR</b> NOT IN CONTRACT <b>N.T.S.</b> NOT TO SCALE <b>O.C.</b> ON CENTER <b>O.D.</b> OUTSIDE DIAMETER <b>Q.F.</b> QUANTITY <b>PERP</b> PERPENDICULAR <b>PL</b> PLATE <b>PTD.</b> PAINTED <b>QTY.</b> QUANTITY <b>R.D.</b> ROOF DRAIN <b>RAD.</b> RADIUS <b>REIN</b> REINFORCED <b>REQD.</b> REQUIRED <b>EXIS</b> EXISTING <b>RM</b> ROOM <b>R.O.</b> ROUGH OPENING <b>SCHED</b> SCHEDULE <b>SHT</b> SHEET <b>SM</b> SIMILAR <b>SPEC</b> SPECIFICATION <b>STC</b> SOUND TRANSMISSION COEFFICIENT <b>STRUCT</b> STRUCTURAL <b>SUSP</b> SUSPENDED <b>T.O.</b> TOP OF <b>T.O.C.</b> TOP OF CURB <b>T.O.F.</b> TOP OF FOOTING <b>T.O.S.</b> TOP OF SLAB OR SIDEWALK <b>T.O.W.</b> TOP OF WALL <b>TYP.</b> TYPICAL <b>UNO.</b> UNLESS NOTED OTHERWISE <b>VERT.</b> VERTICAL <b>W</b> WITH <b>W.D.</b> WOOD <b>W.W.F.</b> WELDED WIRE FABRIC	<b>DEFERRED SUBMITTAL REQUIREMENTS</b> DEFERRED SUBMITTALS ARE THOSE PORTIONS OF DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE PERMIT APPLICATION AND HAVE RECEIVED PRIOR APPROVAL FROM THE BUILDING OFFICIAL TO BE DEFERRED. THE DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND GENERAL CONTRACTOR WITHIN SIX WEEKS TO COMMENCEMENT OF CONSTRUCTION TO THIS PORTION OF WORK. <b>DEFERRED SUBMITTAL PROCESS:</b> 1. THE DEFERRED SUBMITTAL SHALL FIRST BE REVIEWED BY THE GENERAL CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SUBMITTAL MUST BE REVIEWED, APPROVED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR BEFORE BEING SUBMITTED TO THE ARCHITECT. 2. THE GENERAL CONTRACTOR SHALL DIGITALLY SUBMIT DEFERRED SUBMITTALS TO THE ARCHITECT. 3. THE DEFERRED SUBMITTAL ITEMS WILL BE REVIEWED BY THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE. THE ENGINEER OR ARCHITECT WILL ATTACH A LETTER TO THE SUBMITTAL STATING THAT THE DEFERRED ITEM IS IN CONFORMANCE WITH THE DESIGN OF THE STRUCTURE. 4. THE APPROVED SUBMITTALS WILL BE RETURNED TO THE GENERAL CONTRACTOR. TWO SETS OF THE DEFERRED SUBMITTAL ARE THEN SUBMITTED TO THE CITY FOR REVIEW. 5. THE GENERAL CONTRACTOR SHALL MAINTAIN ONE SET OF THE APPROVED SUBMITTAL ON SITE FOR REFERENCE BY THE CITY INSPECTOR. 6. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. 7. SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS FOR STRUCTURAL DEFERRED SUBMITTALS.	<b>CITY APPROVAL STAMP</b> 
<b>MECHANICAL ENGINEER:</b> DESIGN BUILD		<b>MATERIALS:</b> CONCRETE FOUNDATIONS, WOOD FRAME W/ BRICK MASONRY & FIBER CEMENT PANELS, FEE MEMBRANE & METAL ROOFING.		<b>ROOM NAME</b> 	
<b>ELECTRICAL ENGINEER:</b> DESIGN BUILD		<b>RISK CATEGORY (I.C. 104.5):</b> II <b>SITE EXPOSURE:</b> B <b>BASIC WIND SPEED:</b> 90 MPH <b>ULTIMATE WIND SPEED:</b> 115 MPH <b>BTWN</b> BETWEEN <b>C.J.</b> CONSTRUCTION JOINT <b>CLG.</b> CEILING <b>CLR.</b> CLEAR <b>CONC.</b> CONCRETE MASONRY UNIT <b>CMU</b> COLUMN <b>COL.</b> COLUMN <b>CONC.</b> CONCRETE <b>CONT.</b> CONTINUOUS <b>CONSTR.</b> CONSTRUCTION <b>CONTRACT</b> CONTRACTION JOINT <b>DBL.</b> DOUBLE <b>DET./DITL.</b> DETAIL <b>DIA.</b> DIAMETER <b>DIL.</b> DETAIL <b>DWG</b> DRAWINGS <b>E.F.</b> EACH FACE <b>PERP</b> PERPENDICULAR <b>PL</b> PLATE <b>PTD.</b> PAINTED <b>QTY.</b> QUANTITY <b>R.D.</b> ROOF DRAIN <b>RAD.</b> RADIUS <b>REIN</b> REINFORCED <b>REQD.</b> REQUIRED <b>EXIS</b> EXISTING <b>RM</b> ROOM <b>R.O.</b> ROUGH OPENING <b>SCHED</b> SCHEDULE <b>SHT</b> SHEET <b>SM</b> SIMILAR <b>SPEC</b> SPECIFICATION <b>STC</b> SOUND TRANSMISSION COEFFICIENT <b>STRUCT</b> STRUCTURAL <b>SUSP</b> SUSPENDED <b>T.O.</b> TOP OF <b>T.O.C.</b> TOP OF CURB <b>T.O.F.</b> TOP OF FOOTING <b>T.O.S.</b> TOP OF SLAB OR SIDEWALK <b>T.O.W.</b> TOP OF WALL <b>TYP.</b> TYPICAL <b>UNO.</b> UNLESS NOTED OTHERWISE <b>VERT.</b> VERTICAL <b>W</b> WITH <b>W.D.</b> WOOD <b>W.W.F.</b> WELDED WIRE FABRIC			
<b>CIVIL ENGINEER:</b> DESIGN BUILD		<b>DEFERRED SUBMITTAL ITEMS</b> 1. EXTERIOR FRAMING, DESIGN, AND INSTALLATION DETAILS PER STRUCTURAL. 2. FIRE SPRINKLING DRAWINGS, INCLUDING DESIGN DRAWINGS AND CALCULATIONS. 3. FIRE ALARM DRAWINGS AND SPECIFICATIONS. 4. JACUZZI DRAWINGS AND SPECIFICATIONS. 5. CITY SECURITY CAMERAS AND SECURITY SYSTEM. 6. PROJECT TRIPLE PLAY - (PHONE, DATA, TV.) SHALL BE PROVIDED BY DEFERRED SUBMITTAL. 7. CAST IN PLACE STORM WATER DETENTION SYSTEM			
<b>BENCHMARK ASSOCIATES PA</b> 100 BELL DRIVE KETCHUM, ID 83340 208.726.9512		<b>SPECIAL INSPECTIONS REQUIREMENTS</b> SPECIAL INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH IBC 2015 CHAPTER 17, SECTION 1704. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS, THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONALS IN RESPONSIBLE CHARGE, (2015 IBC SECTION 1704.2.4). SEE PROJECT MANUAL / SPECIFICATIONS, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL GENERAL NOTES FOR ADDITIONAL SPECIAL INSPECTION REQUIREMENTS.	<b>BUILDING AREAS</b> SEE SHEET G003 FOR AREA PLANS	<b>OWNER &amp; MUNICIPAL DRAWING APPROVALS</b> <b>OWNER:</b> _____ <b>DATE:</b> _____ <b>CITY ENGINEER:</b> _____ <b>DATE:</b> _____ <b>CITY PLANNING &amp; ZONING DEPARTMENT:</b> _____ <b>DATE:</b> _____ <b>CITY FIRE DEPARTMENT:</b> _____ <b>DATE:</b> _____ <b>CITY BUILDING DEPARTMENT:</b> _____ <b>DATE:</b> _____ <b>CITY POLICE DEPARTMENT:</b> _____ <b>DATE:</b> _____	
<b>MAGLEBY CONSTRUCTION SUN VALLEY</b> 511 EAST AVENUE NORTH SUITE 201 KETCHUM, IDAHO 83340 208.725.3923					
<b>VP PROPERTIES</b> 240 LEADVILLE KETCHUM, IDAHO 83340 208.726.1873					

PROJECT NC22023.33  
DATE: 2023.11.06

REVISIONS:

SHEET TITLE:  
COVER SHEET

SHEET NUMBER:  
COVER

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PROJECT GENERAL NOTES

- 1. DEFINITIONS
a. PROVIDE: MEANS TO PROVIDE, FURNISH AND INSTALL. A COMPLETE SYSTEM AND READY FOR OPERATIONS AND USE FOR PURPOSE INTENDED...
b. FURNISH: MEANS TO SUPPLY, PURCHASE, PROCURE AND DELIVER COMPLETE WITH RELATED ACCESSORIES, READY FOR ASSEMBLY...
c. INSTALL: MEANS TO CONSTRUCT, ASSEMBLE, ERECT, MOUNT, ANCHOR, PLACE, CONNECT, APPLY AND SIMILAR OPERATIONS...
d. EQUIVALENT: MEANS EQUIVALENT AS ACCEPTED BY THE ARCHITECT...

GENERAL NOTES

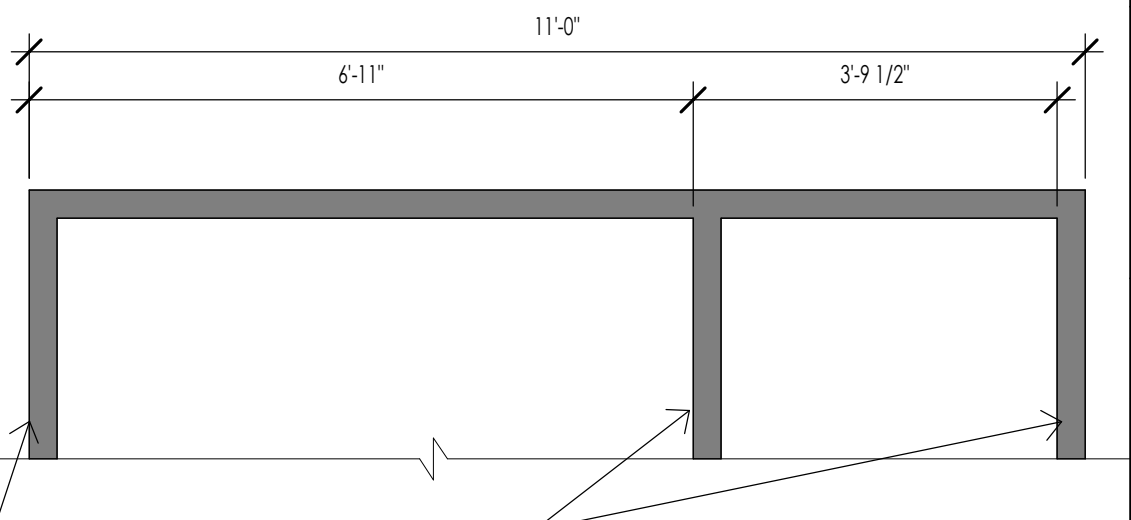
- G1. INTENT OF THE SPECIFICATIONS: DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE BASIS FOR THE PROPER COMPLETION OF THE PROJECT...
G2. DRAWINGS AND SPECIFICATIONS: SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY AND SUPPLEMENTAL TO THE DRAWINGS...
G3. WORK NOT INCLUDED: ANY ITEM INDICATED ON THE DRAWINGS AS "N.I.C." (NOT IN CONTRACT)...
G4. CONTRACT DOCUMENTS AT SITE: THE CONTRACTOR SHALL MAINTAIN CURRENT PERMITS, SHOP DRAWINGS, REVISED DRAWINGS...
G5. RECORD DRAWINGS: THE MAINTAIN ACCURATELY DIMENSIONED RECORDS OF ALL UNDERGROUND LINES, SERVICES, AND UTILITIES...
G6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES, DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS...
G7. FIELD CONFIRMATION OF DISCREPANCIES SHALL BE RECORDED ON REPRODUCIBLE DOCUMENT AND IMMEDIATELY TRANSMITTED TO ARCHITECT...
G8. FIELD MEASUREMENTS: VERIFY FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS...
G9. ALL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF ALL APPLICABLE BUILDING CODES...
G10. REFERENCE STANDARDS: COMPLY WITH ASSOCIATION, TRADE, FEDERAL, COMMERCIAL, ASTM, AND OTHER SIMILAR STANDARDS REFERENCED...

CONTRACTOR

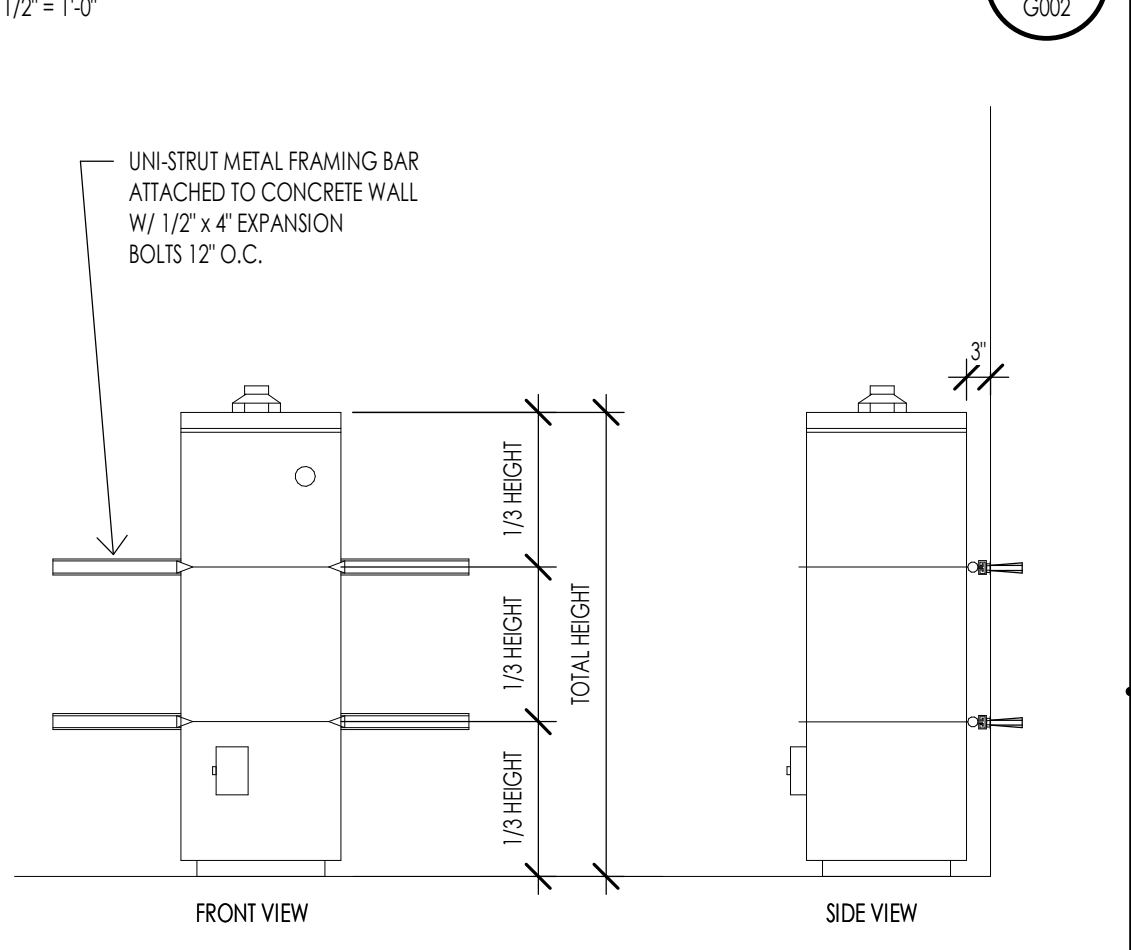
- C1. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING SITE CONDITIONS, UTILITIES, CONNECTIONS, LOCATIONS, ETC. AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
C2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE...
C3. CONTRACTOR SHALL, PRIOR TO COMMENCEMENT OF WORK, FIELD VERIFY ALL EXISTING PROJECT CONDITIONS, INCLUDING DIMENSIONS, UTILITY LOCATIONS, AND UTILITY SIZES.
C4. THE CONTRACTOR SHALL BE REQUIRED TO MEET NATIONAL, STATE AND LOCAL, AND RELATED CODES FOR STANDARD CONSTRUCTION PRACTICES.
C5. INSTALLATION STANDARDS: ALL MANUFACTURED MATERIALS AND PRODUCTS SHALL BE APPLIED, INSTALLED, CONNECTED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS...
C6. HOURS OF WORK: ALL DEMOLITION, GRADING, AND CONSTRUCTION WORK SHALL BE LIMITED TO THE FOLLOWING HOURS: MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM, OR AS REQUIRED BY THE RWMA AND SUMMIT COUNTY PLANNING AND ZONING...
C7. TESTING AGENCIES: THE CONTRACTOR SHALL PROVIDE AND PAY FOR INSPECTIONS, TESTS, AND OTHER SERVICES SPECIFIED. REFER TO INDIVIDUAL SECTIONS FOR ADDITIONAL REQUIREMENTS...
C8. PROJECT LOG: MAINTAIN DAILY LOG CONTAINING ALL INFORMATION REGARDING CONSTRUCTION OPERATIONS AND OTHER OCCURRENCES PERTAINING TO THE PROJECT...
C9. WORK PROGRESS SCHEDULE: MAINTAIN AN UPDATED WORK PROGRESS SCHEDULE POSTED IN A VISIBLE PLACE LOCATED IN FIELD OFFICE...
C10. THE GENERAL BUILDING PERMITS SHALL BE PAID FOR BY THE OWNER AND SECURED BY THE GENERAL CONTRACTOR...
C11. CONTRACTOR SHALL ASSIST OWNER IN OBTAINING FINAL APPROVAL OF LOCAL HEALTH DEPARTMENT AND THE TEMPORARY AND FINAL CERTIFICATES OF OCCUPANCY.
C12. ADDITIONAL REQUIRED CITY AND COUNTY LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADES.
C13. ALL CONTRACTORS SHALL HAVE VALID CERTIFICATES OF WORKMAN'S COMPENSATION OF FILE WITH THE APPROPRIATE AGENCIES.
C14. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
C15. CONTRACTOR'S FIELD OFFICE: PROVIDE AND MAINTAIN A FIELD OFFICE ON THE PREMISES WHERE DIRECTED. OFFICE SHALL BE OF HEAT, SUBSTANTIAL CONSTRUCTION, PROVIDE HANGING PLAN FILES AND MAINTAIN WITH ALL CURRENT DRAWINGS.
a. STORAGE STRUCTURE: PROVIDE AND MAINTAIN, WHERE DIRECTED, A WATERPROOF STORAGE STRUCTURE FOR ALL MATERIALS WHICH MIGHT BE DAMAGED BY WEATHER...
b. COSTS: PAY COSTS FOR A LOCAL BUSINESS TELEPHONE FOR WORK BY CONTRACTOR, OWNER AND ARCHITECT THROUGHOUT CONTRACT PERIOD.
c. COMMUNICATION EQUIPMENT: PROVIDE A TELEPHONE ON SITE, ASSIGN A RESPONSIBLE PERSON TO ANSWER ALL TELEPHONE CALLS IN EVENT THE SUPERINTENDENT IS ABSENT FROM THE PREMISES...
C16. TEMPORARY FACILITIES: PROVIDE TEMPORARY FACILITIES AND CONNECTIONS AS REQUIRED FOR THE PROPER COMPLETION OF THE PROJECT...
C17. STORAGE AND PROTECTION: STORE AND PROTECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH LABELS INTACT AND LEGIBLE...

- C18. FIELD QUALITY CONTROL: EMPLOY ONLY EXPERIENCED INSTALLERS AND FURNISH EVIDENCE OF EXPERIENCE IF REQUESTED...
C19. PRODUCT HANDLING: TRANSPORT AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS...
C20. COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS: HANDLE, INSTALL, ERECT, CONNECT, CONDITION, USE, ADJUST, AND CLEAN PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTION...
C21. MANUFACTURER'S FIELD SERVICES: WHEN SPECIFIED IN INDIVIDUAL SECTIONS, REQUIRE MATERIAL OR PRODUCT SUPPLIERS OR MANUFACTURERS TO PROVIDE QUALIFIED STAFF PERSONNEL...
C22. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL WORK AND MATERIALS - INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
C23. NON-CONFORMING WORK: REMOVE AND REPEACE WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS AT NO ADDITIONAL EXPENSE TO THE OWNER.
C24. PRODUCT IDENTIFICATION: NAMEPLATES, TRADEMARKS, LOGOS, AND OTHER IDENTIFYING MARKS ON PRODUCTS ARE NOT PERMITTED ON SURFACES EXPOSED TO VIEW OR PUBLIC AREAS...
C25. PROTECTION OF ADJACENT WORK: PROVIDE TEMPORARY PROTECTION FOR ADJACENT AREAS TO PREVENT DAMAGE BY INSTALLATION OF NEW WORK...
C26. DAMAGED PRODUCTS: DO NOT USE PRODUCTS IN WORK, WHICH HAVE DETERIORATED, BECOME DAMAGED, OR ARE OTHERWISE UNFIT FOR USE...
C27. SECURITY: PROVIDE FACILITIES TO PROTECT WORK FROM UNAUTHORIZED ENTRY, VANDALISM, AND THEFT...
C28. TEMPORARY CONTROLS:
a. HEAT: PRIOR TO ENCLOSURE, PROVIDE HEATING AS NECESSARY TO PROTECT MATERIALS, PRODUCTS, AND FINISHES FROM DAMAGE DUE TO TEMPERATURE OR HUMIDITY...
b. VENTILATION: VENTILATE ENCLOSED AREAS TO ASSIST CURE OF MATERIALS...
c. BARRIERS AND CLOSURES: PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS...
d. FIRE PROTECTION: COMPLY WITH LOCAL FIRE PROTECTION CODE AND GOVERNING AUTHORITIES...
C29. INTERFERENCE OF SERVICES: INTERRUPTIONS TO ANY SERVICE FOR THE PURPOSE OF MAKING OR BREAKING A CONNECTION SHALL BE MADE ONLY AFTER CONSULTATION WITH THE OWNER...
C30. EXCAVATIONS OR TRENCHING: KEEP THE INTERIERS BETWEEN EXCAVATION OR TRENCHING, INSTALLATION OF CONDUIT OR PIPING, AND BACK FILLING OPERATIONS TO AN ABSOLUTE MINIMUM...
C31. CUTTING AND PATCHING: DO NOT CUT AND PATCH IN A MANNER THAT WOULD RESULT IN A FAILURE OF THE WORK TO PERFORM AS INTENDED...
C32. COORDINATION AND CLEARANCES: VERIFY AND COORDINATE CLEARANCES, DIMENSIONS, AND INSTALLATION OF ADJOINING CONSTRUCTION...
C33. ATTACHMENTS AND CONNECTIONS: PROVIDE ATTACHMENT AND CONNECTION DEVICES METHODS FOR SECURING AND ANCHORING WORK...
C34. ISOLATION OF DISMISAL ITEMS: ISOLATE EACH UNIT OF WORK FROM INCOMPATIBLE WORK AS NECESSARY TO PREVENT DETERIORATION AND ELECTROLYTIC ACTION.
C35. MAINTENANCE: CLEAN AND PERFORM MAINTENANCE ON INSTALLED WORK AS FREQUENTLY AS NECESSARY THROUGH REMAINDER OF CONSTRUCTION PERIOD...
C36. ADJUSTMENTS: ADJUST OPERATING PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH AND UNHINDERED OPERATION.
C37. EXAMINATION OF CONDITIONS: EXAMINE SUBSTRATE AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED...
C38. CONTRACTOR SHALL PROVIDE BACKING SUPPORT OF ALL WALL, CEILING, AND PARTITION MOUNTED ITEMS SUCH AS TABLE BRACKETS, LIGHT FIXTURES, ARTIFACTS, SHELVING, EQUIPMENT, AND TELEVISIONS...
C39. EXTERIOR OPENINGS SHALL COMPLY WITH ALL SECURITY REQUIREMENTS AS OUTLINED IN ALL LOCAL BUILDING CODES AND ORDINANCES.
C40. GLASS AND GLAZING FOR ALL WINDOWS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES...
C41. ROOFING WORK SHALL BE PERFORMED AND ALL PENETRATIONS THROUGH THE ROOFING MEMBRANE SHALL BE PATCHED OR FLASHED AS PER THE MANUFACTURER'S STANDARDS.
C42. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNAE, SOLAR PANELS, AND GUY WIRES SHALL NOT BE LOCATED OR INSTALLED IN SUCH A WAY AS TO PREVENT FIRE DEPARTMENT ACCESS OR EGRESS...

- C39. INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED FLAME SPREAD CLASSIFICATIONS DICTATED BY ALL APPLICABLE BUILDING CODES.
C40. GYPSUM BOARD AND SUSPENDED CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES.
C41. PIPES, CONDUITS, OR DUCTS EXCEEDING ONE THIRD OF THE SLAB OR MEMBRANE THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DESIGNED. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR LOCATION OF SLEEVES AND OTHER ACCESSORIES.
C42. VERIFY FIRE EXTINGUISHER REQUIREMENTS AND LOCATIONS WITH FIRE MARSHAL AND OWNER'S REPRESENTATIVE.
C43. CONTRACTOR SHALL SEAL ALL GAPS, HOLES, AND CRACKS IN BUILDING CONSTRUCTION AS REQUIRED TO CONTROL INFILTRATION OF INSECTS.
C44. DISPOSAL OF TRASH AND EXCESS EXCAVATION: DISPOSE OF TRASH AND DEBRIS AT DESIGNATED AREAS OFF THE PREMISES AT NO ADDITIONAL COST TO THE OWNER...
C45. ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEM ARE SCHEMATIC ONLY...
C46. CLEANING MATERIALS AND EQUIPMENT: PROVIDE ALL REQUIRED PERSONNEL, EQUIPMENT, AND MATERIALS NEEDED TO MAINTAIN THE SPECIFIED STANDARD OF CLEANLINESS...
C47. SUBMITTALS/SUBSTITUTIONS:
S1. CONTRACTOR SHALL PROVIDE COMPLETE LIST OF SUBMITTALS TO ARCHITECT/OWNER WITHIN 1 WEEK OF OBTAINING BUILDING PERMIT.
S2. ALL SUBMITTALS SHALL BE COMPLETE AND SUBMITTED WITHIN FIRST 90 DAYS OF WORK.
S3. ALL ITEMS NOTED AS DESIGNATED "BY MANUFACTURER" IS A DEFERRED DESIGN AND SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH MANUFACTURER FOR FINAL DESIGN AND SUBMIT FINAL DESIGN FOR APPROVAL...
S4. SOURCE QUALITY CONTROL: PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS...
S5. SUBSTITUTIONS: PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT, AND METHODS WILL ONLY BE CONSIDERED WHEN ACCOMPANIED BY FULL AND COMPLETE TECHNICAL DATA...
S6. AVAILABILITY OF PRODUCTS: VERIFY PRIOR TO CONSTRUCTION START THAT ALL SPECIFIED ITEMS WILL BE AVAILABLE IN TIME FOR INSTALLATION...
S7. PRODUCTS AND MATERIALS: PROVIDE PRODUCTS AND MATERIALS SPECIFIED...
C48. TOLERANCES:
T1. TOLERANCES: INSTALL WORK TRUE TO LINE, PLUMB, AND LEVEL...
a. TRUE TO LINE: ALLOWED DEVIATION FROM AN ABSOLUTELY STRAIGHT LINE OF SIGHT WITHIN PLUS OR MINUS 1/8 INCH IN 10 FT...
c. LEVEL: ALLOWED DEVIATIONS FROM AN ABSOLUTELY HORIZONTAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT...
d. ALLOWED DEVIATIONS FROM AN ABSOLUTELY FLAT IF WITHIN PLUS OR MINUS 1/16 INCH IN ONE SQUARE FOOT...
T2. REFER TO SPECIFICATIONS FOR ADDITIONAL TOLERANCE REQUIREMENTS.
C49. PROTECT CONTRACT CLOSURE:
a. SUBSTANTIAL COMPLETION: AT SUBSTANTIAL COMPLETION OF THE PROJECT, SCHEDULE AND ATTEND A PUNCH LIST WALK THROUGH OF REMAINING WORK FOR REVIEW WITH THE ARCHITECT AND OWNER...
b. CERTIFICATE OF OCCUPANCY: PROVIDE THE FINAL CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT.
c. PERMITS/INSPECTION CARDS: FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES...
d. FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES...
e. MAINTENANCE MANUALS AND WARRANTIES: FURNISH (2) COPIES FOR EACH UNIT OF ALL MANUALS, MAINTENANCE INSTRUCTIONS, CONTRACTORS AND MANUFACTURER'S PRINTED WARRANTIES...
f. TOUCH UP MATERIAL: FURNISH OWNER WITH ONE GALLON OF EACH PAINT AND STAIN USED PER UNIT...
g. SUBCONTRACTORS: PROVIDE THE OWNER THE NAMES, ADDRESSES, AND PHONE NUMBERS OF ALL SUBCONTRACTORS...
h. FINAL CLEANING AND REPAIRS: REMOVE TEMPORARY FACILITIES AND PROVIDE FINAL CLEANING AND TOUCH UP...
i. CLOSEOUT DOCUMENTS: PROVIDE THE OWNER WITH A COMPACT DISK OF ALL RECORD DRAWINGS IN PDF FORMAT...



TYPICAL DIMENSION METHOD



WATER HEATER SEISMIC STRAPPING

INSULATION SCHEDULE

ENERGY STRATEGY: PRESCRIPTIVE PER IBC [ ] RESCHECK - 2015 IECC [X]

Table with columns: LOCATION, TYPE, THICKNESS, "R" VALUE, REMARKS. Rows include: 1. FOUNDATION WALLS AND SLAB ON GRADE, 2. WALL INSULATION EXTERIOR - WOOD FRAMED WALLS, 3. WALL INSULATION EXTERIOR - CONCRETE WALLS, 4. FLOORS (JOISTS/FRAMING), 5. ROOFING: VENT BAFFLES, 6. ROOFING: AT EAVES, 7. ROOFING: AT TRUSSES, 9. RESTROOMS, BATHROOMS AND COMMON SPACES, 10. AT STUD CAVITIES WITH ROOF DRAINS OR PLUMBING STACKS, UNITS AND SPACER WALLS, 11. MECHANICAL TYPE ROOM WALLS AND CEILINGS WHERE APPLICABLE, 12. INTERIOR FLOORS - SOUND RATING REQUIRED, 13. DUCTWORK/PLUMBING LINES, 14. GLAZING - NFRC THERMAL RATINGS.

- INSULATION NOTES:
1. COORDINATE WITH PROJECT SPECIFICATION SECTIONS FOR INSULATION FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. ALL INSULATION SHALL BE TIGHT, AND NO GAPS SHALL BE LEFT.
3. ALL INSULATION AT PIPES SHALL BE INSTALLED TO A WARM SIDE ONLY.

PROVIDE SEALING OF THE BUILDING THERMAL ENVELOPE FOR LEAKAGE BY THE REQUIREMENTS BELOW:
1. (A) BLOWER DOOR TEST FOR BUILDING ENVELOPE AT FINAL WITH A MAXIMUM AIR LEAKAGE OF 5 AIR CHANGES PER HOUR...
2. TO BE PERFORMED AFTER DRYWALL INSTALLATION AND MUD AND TAPE.
3. CONTRACTOR TO VERIFY NO WALL OPENINGS GREATER THAN 1/2" PRIOR TO INSTALLATION OF ENVELOPE SEALING.

RESCHECK/ ENERGY COM CHECK

RESCHECK Software Version 4.7.2 Compliance Certificate. Project: Warm Springs #33. Energy Code: 2015 IECC. Location: Ketchum, Idaho. Construction Type: Single-Family New Construction. Consistened Floor Area: 2,993 sq ft. Climate Zone: 6 (B200 HDD). Permit Date: [blank]. Permit Number: 6 (B200 HDD). Designer/Contractor: John Swick, Thom Architecture, 2801 Southview Blvd, Ketchum, ID 83840, 208-726-1875.

Table showing compliance status for various envelope assemblies. Columns: Assembly, Gross Area, Cavity, Cont., Prop., Res., Prop., Req. Status: Passes using UA trade-off.

Envelope Assemblies table. Columns: Assembly, Gross Area, Cavity, Cont., Prop., Res., Prop., Req. Rows include: Insulation depth: 4.0", Floor over Garage, Outside Air, Basement Walls, South Elevation, Windows, Doors, Glass, Door, Garage, Solid, West Elevation, Windows.

Project Title: Warm Springs #33. Data File Name: C:\Users\jaceres\Desktop\RESHECK LOT 33 R1.rck. Report date: 12/06/23. Page 2 of 10.



Architecture Interior Design Landscape Architecture Land Planning Construction Management

7927 So. Highpoint Parkway, Suite 300, Sandy, Utah 84094, ph: 801.269.0555, fax: 801.269.1425, www.thinkarc.com

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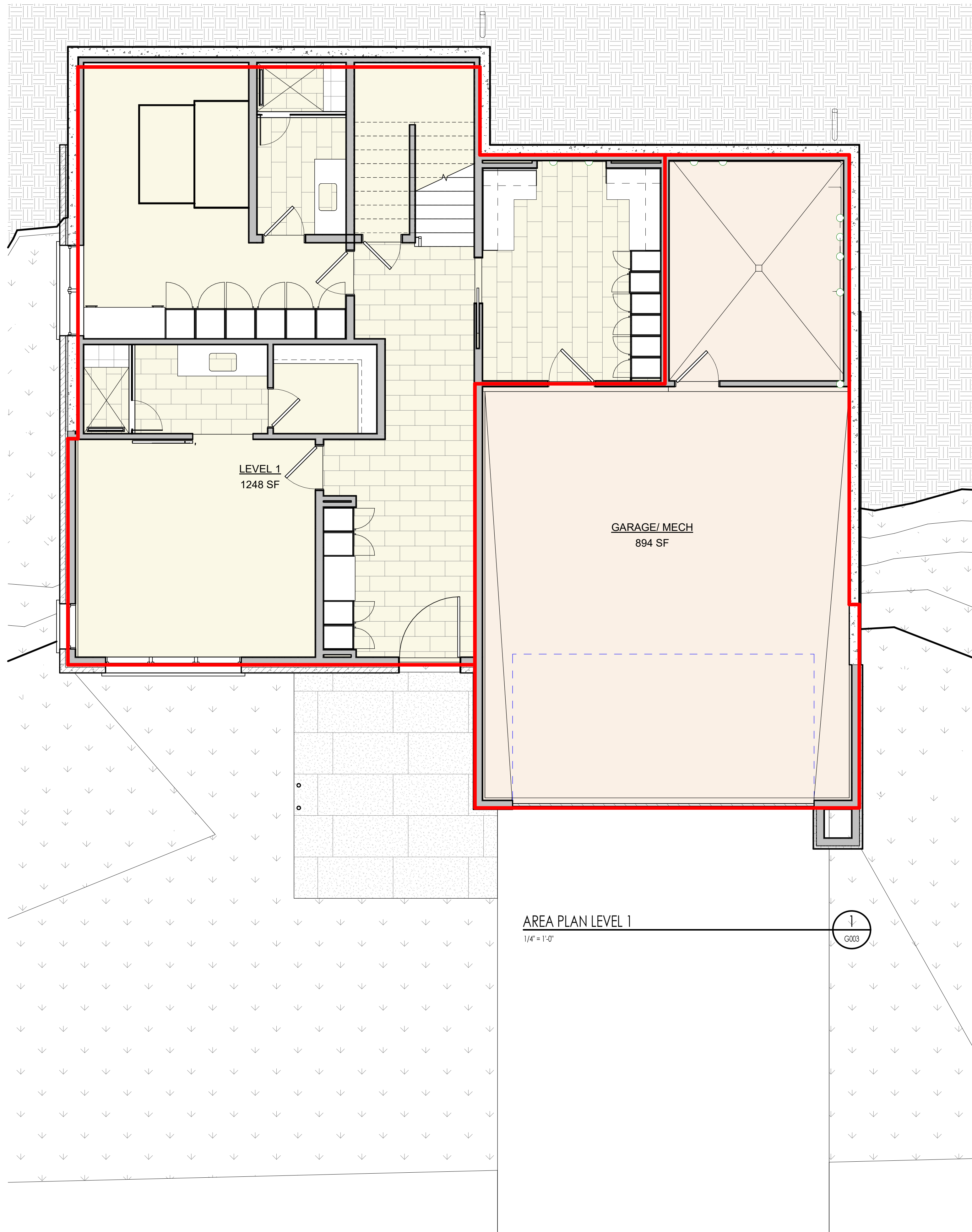
WARM SPRINGS RESIDENCE #33 170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83840

PROJECT NC22023.33 DATE: 2023.11.06 REVISIONS:

SHEET TITLE: GENERAL NOTES

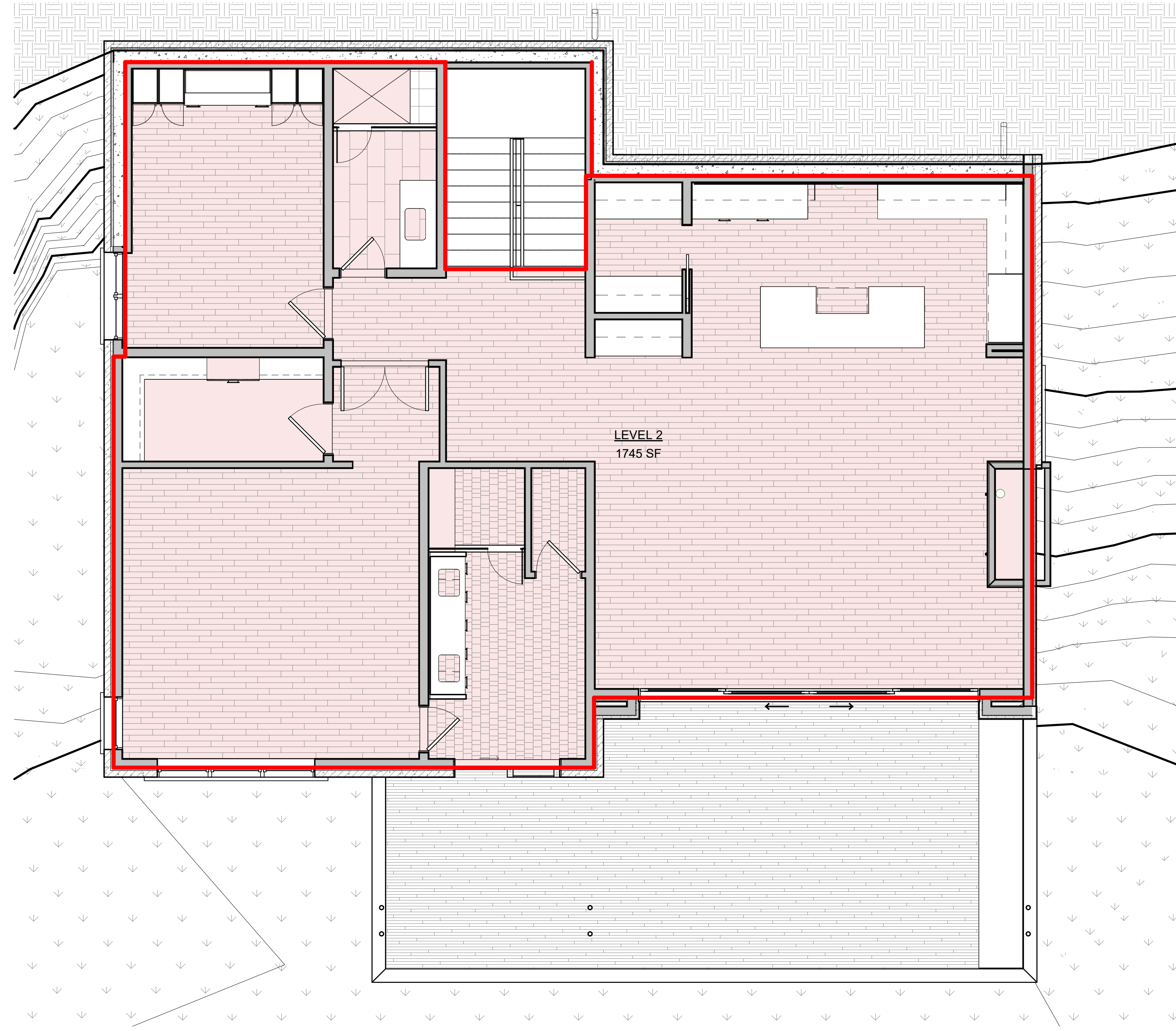
SHEET NUMBER: G002

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AREA PLAN LEVEL 1  
1/4" = 1'-0"

1  
G003



AREA PLAN LEVEL 2  
1/4" = 1'-0"

2  
G003

BUILDING AREA - FINISHED	
AREA	FINISHED
LEVEL 1	1248 SF
LEVEL 2	1745 SF
	2993 SF

BUILDING AREA - UNFINISHED	
AREA	UNFINISHED
GARAGE/MECH	894 SF
	894 SF

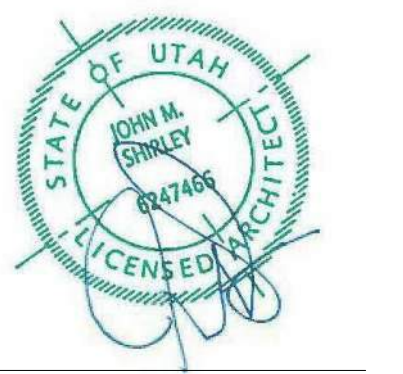
BUILDING AREA - TOTAL	
TOTAL	
	3887 SF



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

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WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
BUILDING AREA  
ANALYSIS

SHEET NUMBER:  
G003

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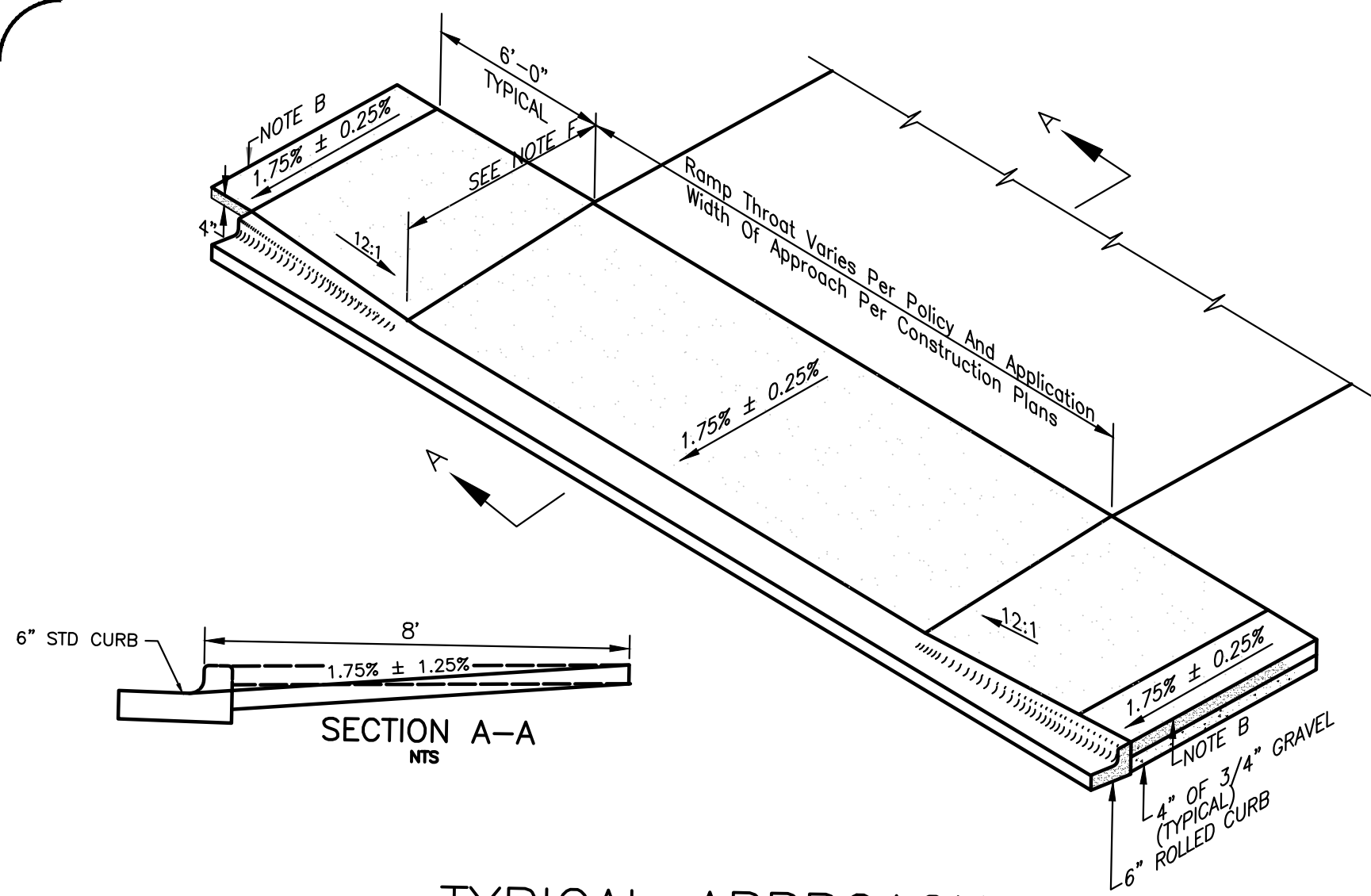








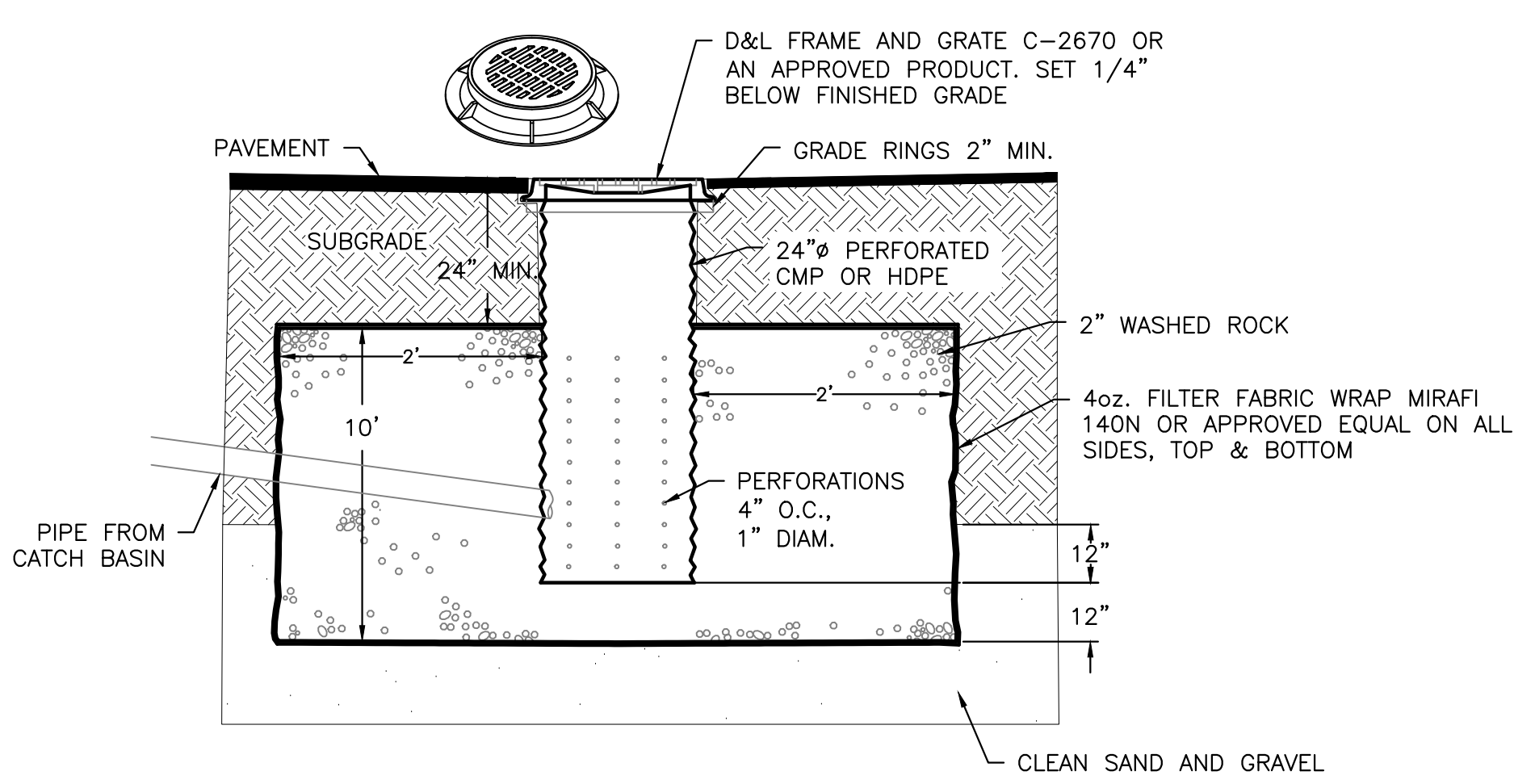




TYPICAL APPROACH

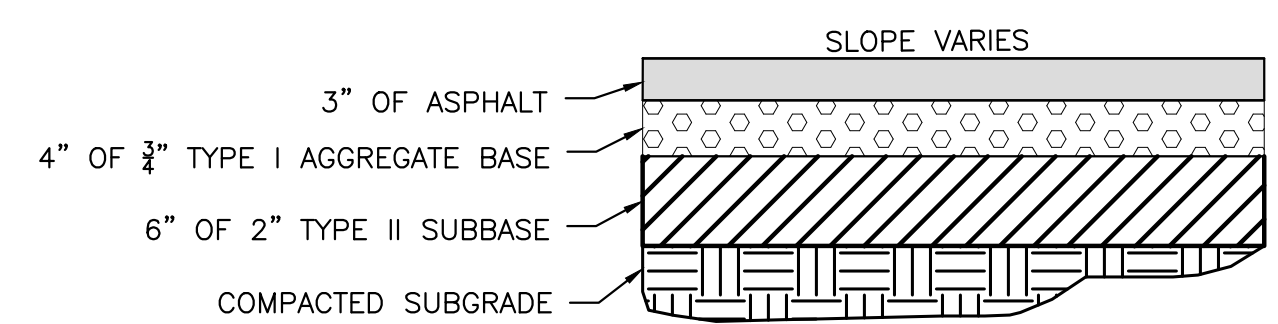
- NOTES:**
- (A) APPROACH TO CONFORM TO THE LATEST ADA STANDARDS.
  - (B) INSTALL EXPANSION JOINT AT TIP OF APPROACH WINGS WHERE SIDEWALK CHANGES THICKNESS.
  - (C) BASE TO BE A 4" THICKNESS OF 3/4" MINUS CRUSHED AGGREGATE PER SECTION-802.
  - (D) APPROACH THROAT WIDTHS SET BY POLICY AND APPLICATION. ALL CONCRETE TO BE 6" THICK FROM TIP OF WING TO TIP OF WING UP TO THE EXPANSION JOINT. WHEN SIDEWALK IS SEPARATE FROM CURB THE SIDEWALK IMMEDIATELY BEHIND THE APPROACH THROAT SHALL BE 6" THICK ALSO.
  - (E) ALL CONCRETE SHALL BE CLASS 3000 PER SECTION-703. SEE GENERAL NOTES 7 & 8.
  - (F) SIDEWALK WIDTH IS 8 FEET.

1 CONCRETE DRIVEWAY WITH RAMPED SIDEWALK  
SCALE: NONE



- NOTES:**
- 1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
  - 2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
  - 3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
  - 4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

2 TYPICAL DRYWELL DETAIL  
SCALE: NONE



4 TYPICAL STREET ASPHALT SECTION  
SCALE: NONE

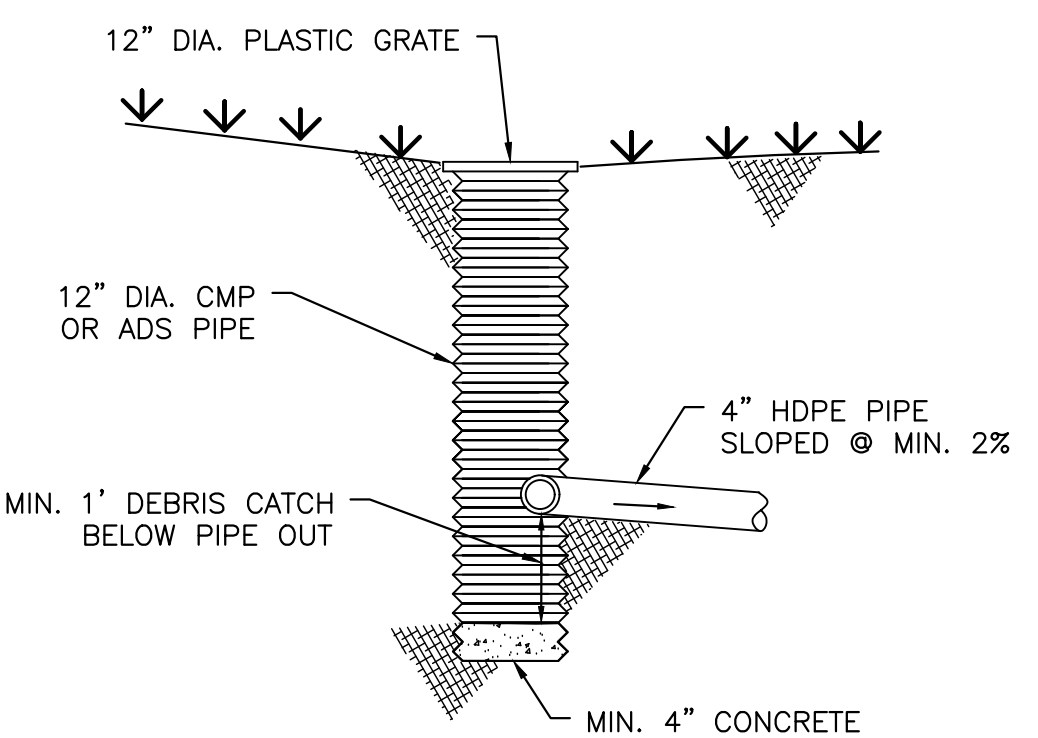
**LEGEND**

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
EASEMENT	X
FENCE	- - -
EDGE OF PAVEMENT	S
SEWER	W
SEWER MANHOLE (MH)	⊙
WATER	W
WATER GATE VALVE	⊙
HYDRANT	⊙
CURB STOP	⊙
TELEPHONE	T
UTILITY TRENCH	UT
ELEVATION CONTOUR	5775
PROPOSED ELEV CONTOUR	59
SAWCUT LINE	---
CURB TRANSITION	---
FLOW LINE	---
FOOTING DRAIN	FD
STORM DRAIN PIPE	---
DOWN SPOUT	---
CATCH BASIN-CITY	⊙
CATCH BASIN	⊙
DRYWELL	⊙
LANDSCAPE DRYWELL	⊙
ASPHALT PAVEMENT	---
ASPHALT PAVEMENT (SNOW MELTED)	---
PAVERS	---
CONCRETE	---
FG	---
EG	---
GB	---
ME	---
FINISHED GRADE	---
EXISTING GROUND	---
GRADE BREAK	---
MATCH EXISTING	---

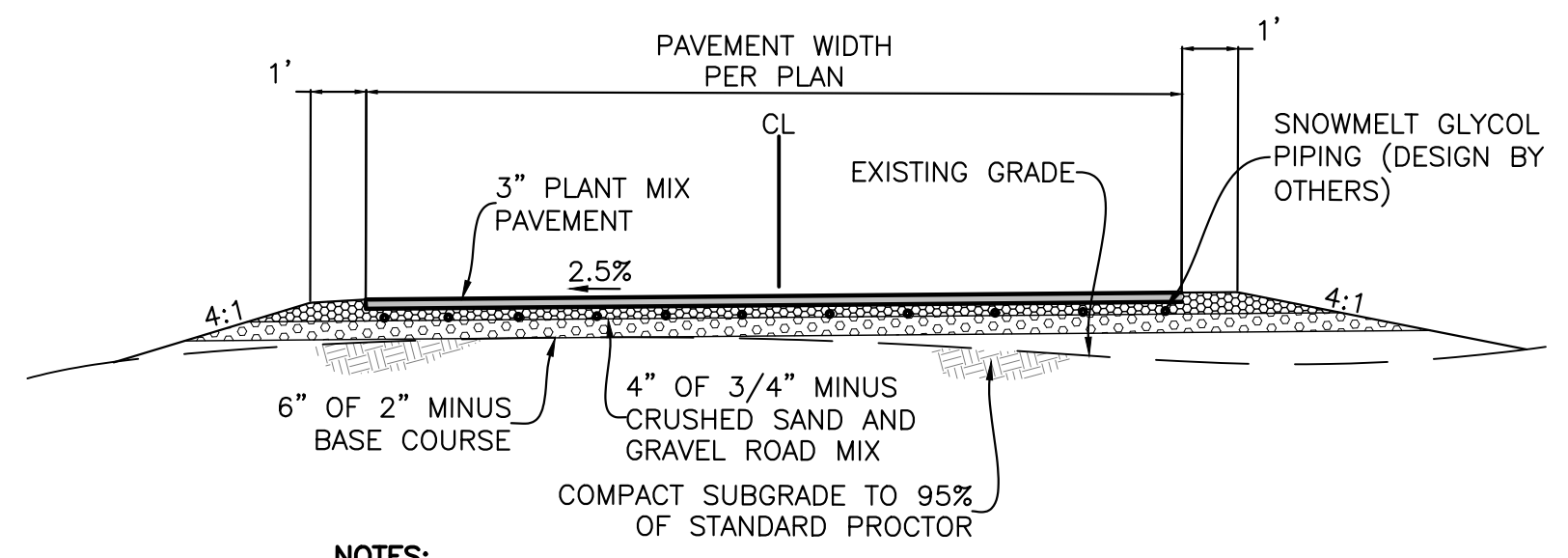
- GENERAL NOTES**
1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
  2. CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
  4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
  5. TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75 BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6" WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H2O LOADING.
  6. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.
  7. CONCRETE WITHIN CITY RIGHT-OF-WAY SHALL BE TITAN MIX OR EQUAL. ALTERNATE COLD WEATHER MIX WILL NEED TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
  8. CONCRETE SHALL BE SEALED WITH AN OPAQUE SEALER.
  9. 6" ROLLED CURB & GUTTER SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #4.
  10. CONCRETE SIDEWALK SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #7.



PLAN  
SCALE IN FEET  
0' 10' 20' 30'



3 12" CATCH BASIN PROFILE  
NOT TO SCALE



- NOTES:**
1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

A DRIVEWAY SECTION WITH SNOW-MELTED PAVEMENT  
SCALE: NTS

PROFESSIONAL ENGINEER  
LICENSED SURVEYOR  
STATE OF IDAHO  
PROBIE JOHANNESSEN  
17661  
3/12/2024

**REVISIONS**

No.	DESCRIPTION	DATE	BY
1	CITY COMMENTS	3/12/24	PLJ

**GALENA-BENCHMARK ENGINEERING**  
Civil Engineers & Land Surveyors  
100 Bell Drive  
Ketchum, Idaho 83340  
(208) 726-9512  
www.benchmark-associates.com

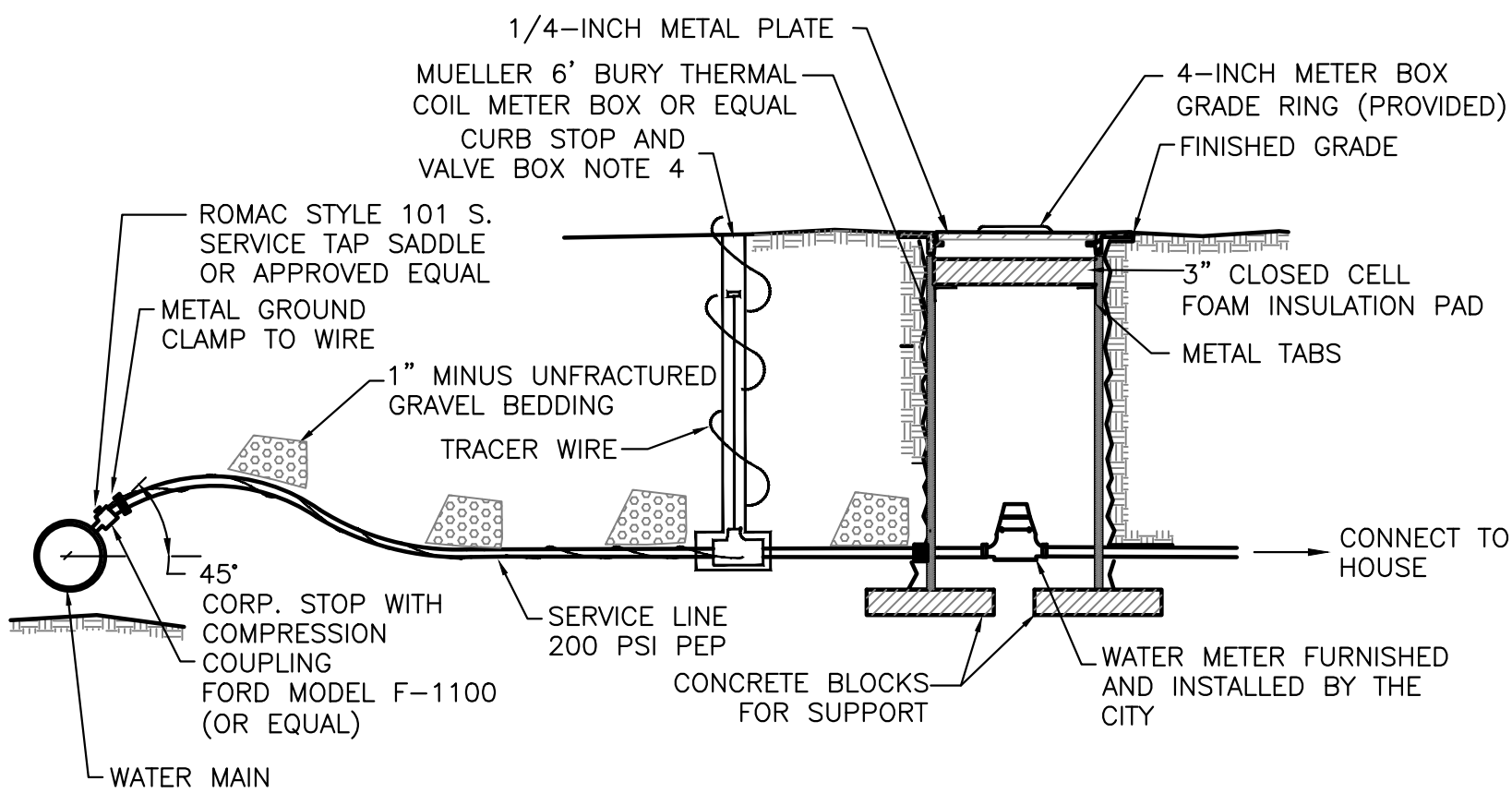
**GALENA ENGINEERING**  
SURVEYING ENGINEERING PLANNING  
ELEVATION  
4800 N. SEA  
822'±  
100'±  
BENCHMARK

**GRADING & DRAINAGE PLAN**  
WARM SPRINGS RANCH LOT 33  
T4N, R17E, SEC 12, B.M., BLAINE COUNTY, IDAHO  
PREPARED FOR: MAGLEBY CONSTRUCTION

DRAWN BY: SLS  
DESIGNED BY: SLS  
CHECKED BY: PLJ  
DATE: 3/12/2024  
PROJECT NO.: 22074

DRAWING NO.

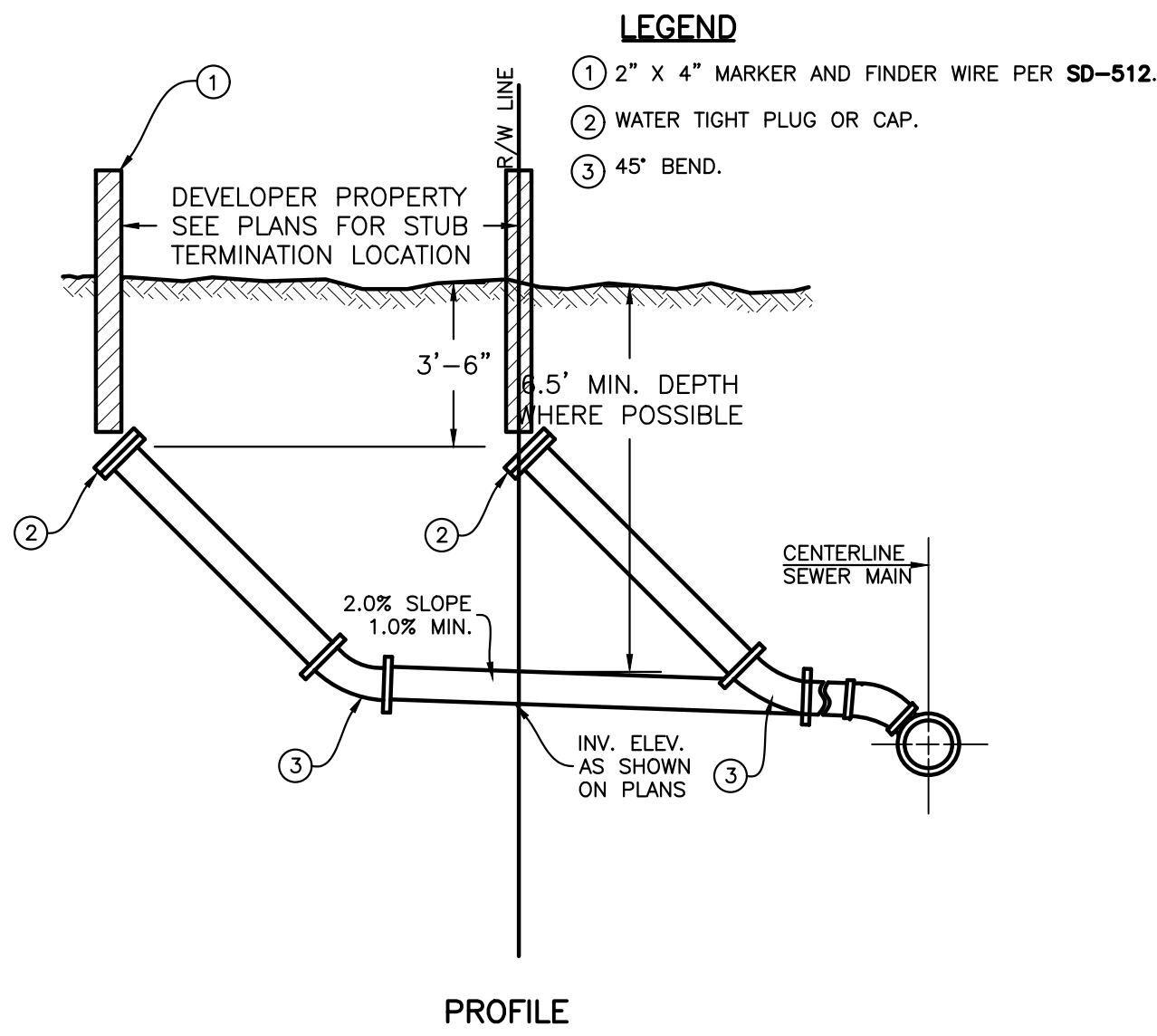
C-1



**NOTES**

1. WATER SERVICE LINE SHALL HAVE A 6" MIN. BURY DEPTH
2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

**1 WATER SERVICE AND METER CONNECTION**  
SCALE: N.T.S.



**LEGEND**

- 1 2" X 4" MARKER AND FINDER WIRE PER SD-512.
- 2 WATER TIGHT PLUG OR CAP.
- 3 45° BEND.

**NOTES**

1. INSULATION REQUIRED WHERE SEWER LINE BURY DEPTH IS LESS THAN 5'.

**2 STANDARD SEWER SERVICE CONNECTION DETAIL**  
SCALE: NONE

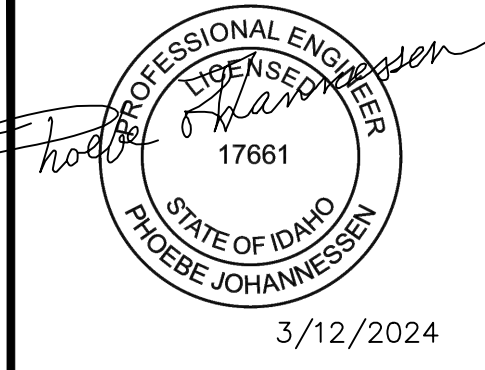
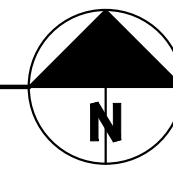
**UTILITY LEGEND**

- SEWER PROPOSED —
- SEWER CLEANOUT ●
- WATER PROPOSED —
- WATER METER PROPOSED ●



**PLAN**

SCALE IN FEET



NO.	REVISIONS	DESCRIPTION	DATE	BY

**GALENA-BENCHMARK ENGINEERING**  
Civil Engineers & Land Surveyors  
100 Bell Drive  
Ketchikan, Idaho 83340  
(208) 725-9512  
www.benchmark-associates.com

**UTILITY PLAN**  
WARM SPRINGS RANCH LOT 33  
T4N, R17E, SEC 12, B.M., BLAINE COUNTY, IDAHO  
PREPARED FOR: MAGLEBY CONSTRUCTION

DRAWN BY:	SLS
DESIGNED BY:	SLS
CHECKED BY:	PLJ
DATE:	3/12/2024
PROJECT NO.:	22074

DRAWING NO.

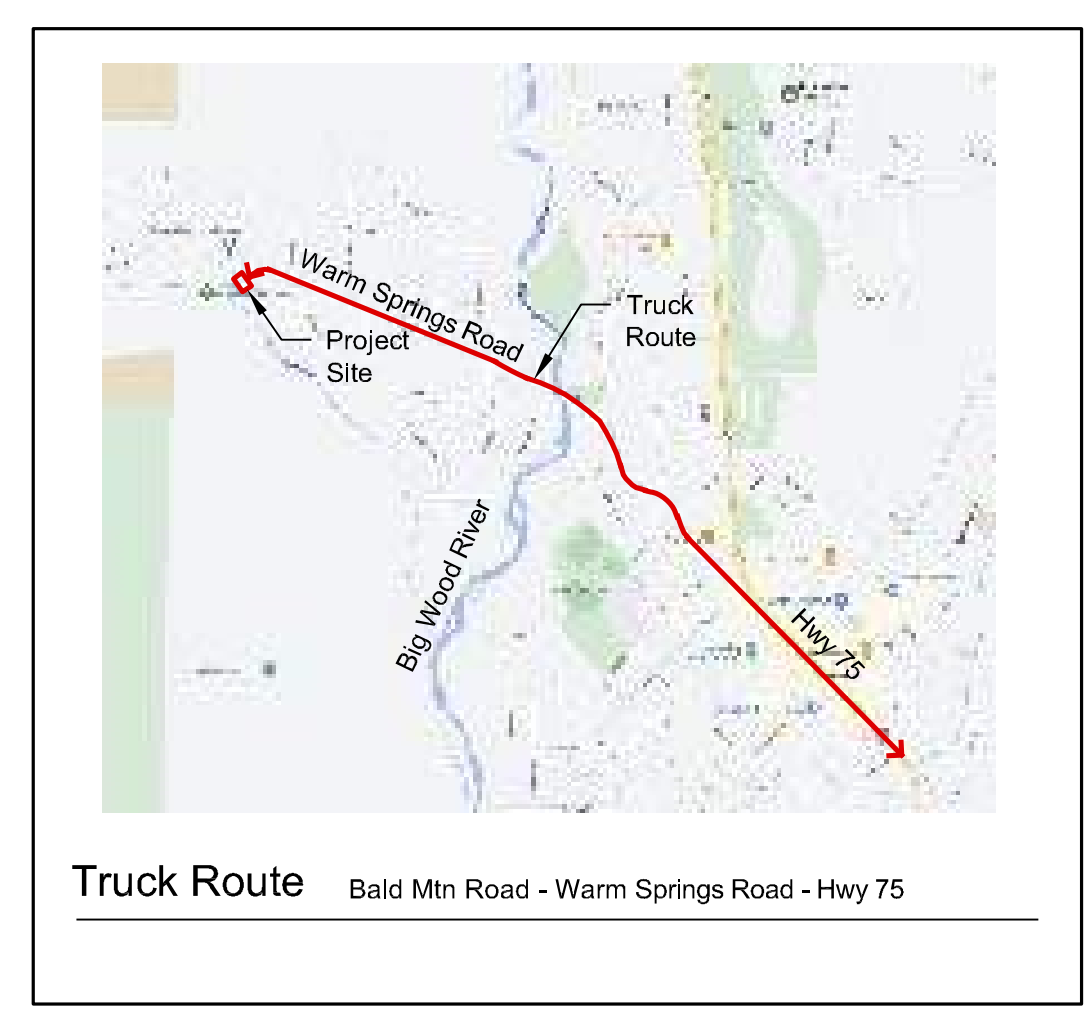
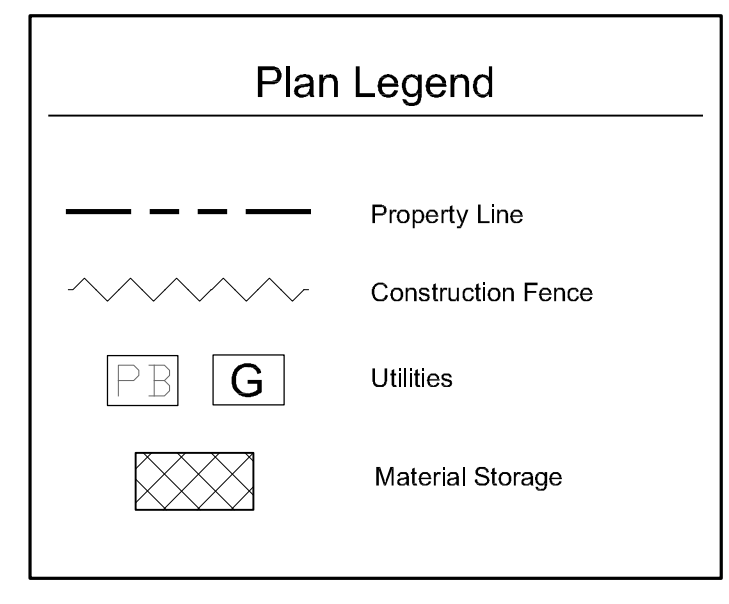
**C-2**

**General Notes**

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

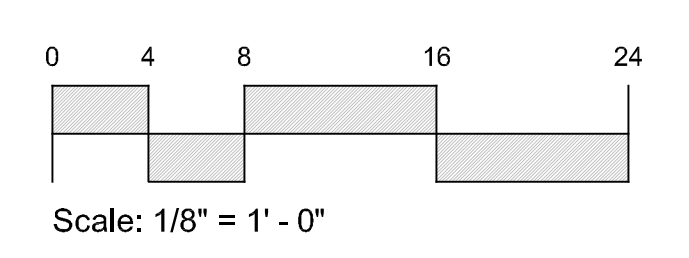
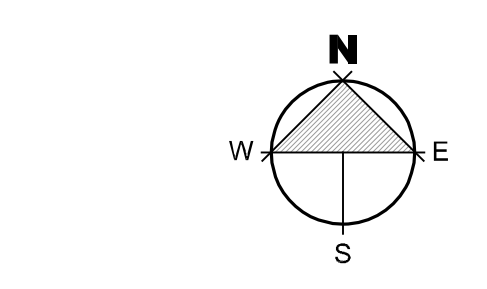
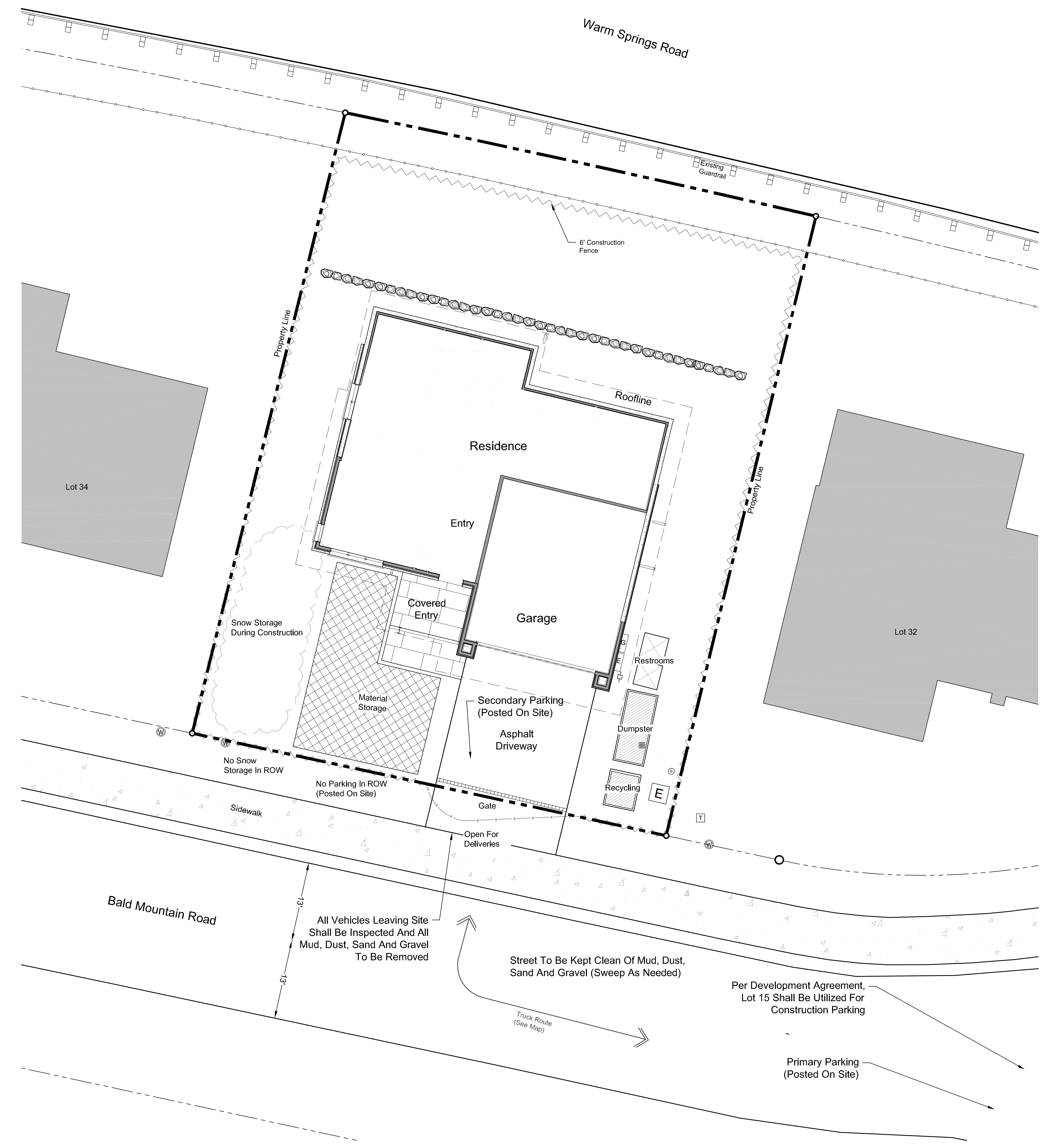
**Cut And Fill:**

Total Cut = 700 Cubic Yards  
Total Fill = 0 Cubic Yards  
Total Export = 700 Cubic Yards



**CONSTRUCTION ACTIVITY NOTES:**

- (1) Dust Control Using Water Truck as Needed.
- (2) No Job Shack/Trailer.
- (3) As Per The Development Agreement, Empty Lots Within WSRR Shall Be Used For Additional Construction Staging.
- (4) All Construction Traffic Shall Have Tires Inspected for Mud, Dust, Sand, and Gravel Prior to Leaving Site. Any Material Shall be Removed Prior to Entering City Streets.
- (5) Contractor is Responsible for Snow Removal of Site and Construction Parking.
- (6) All Neighbors In The Project Vicinity Shall be Provided Notice Of The Project, Schedule And The General Contractor's Contact Information In Advance Of Construction.
- (7) The Job Site Shall Be Kept In A Clean And Orderly Condition, Trash Shall Be Picked Up On The Site And Surrounding Areas On A Daily Basis, And Materials Shall Be Stored In Neat, Tidy Piles.
- (8) Manholes May Not Be Obstructed At Any Time. In Addition, Minimum Three Feet Clear Shall Be Maintained On Back And Sides Of Fire Hydrants, And Minimum 15 Feet Clear Shall Be Maintained On The Front, Street Side Of Fire Hydrants.
- (9) Speed Limits For Construction Vehicles Shall Be Limited To 15 MPH Within One Block Of The Construction Site, Unless Otherwise Determined Be The Ketchum Police Department.
- (10) Vehicle Parking And Material Storage During Construction Shall Not Restrict Or Obstruct Public Streets Or Access To Any Building. A Minimum 25 Foot Travel Lane For Emergency Vehicle Access Shall Be Maintained Clear And Unobstructed At All Times. All Required Fire Lanes, Including Within 15 Feet Of Fire Hydrants, Shall Be Maintained Clear And Unobstructed At All Times.
- (11) Contractor Is Responsible For Hauling Snow Off-site. No Snow Storage In R.O.W.



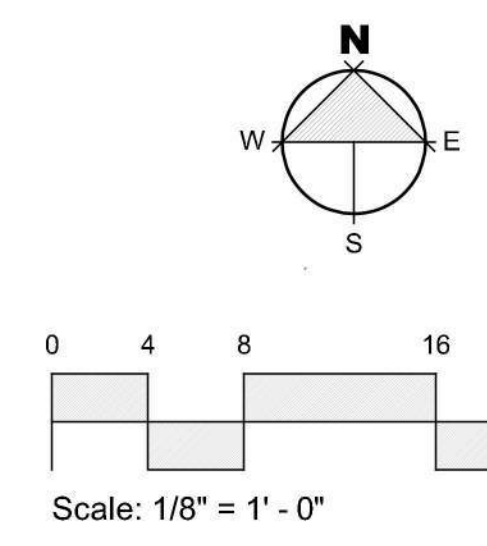
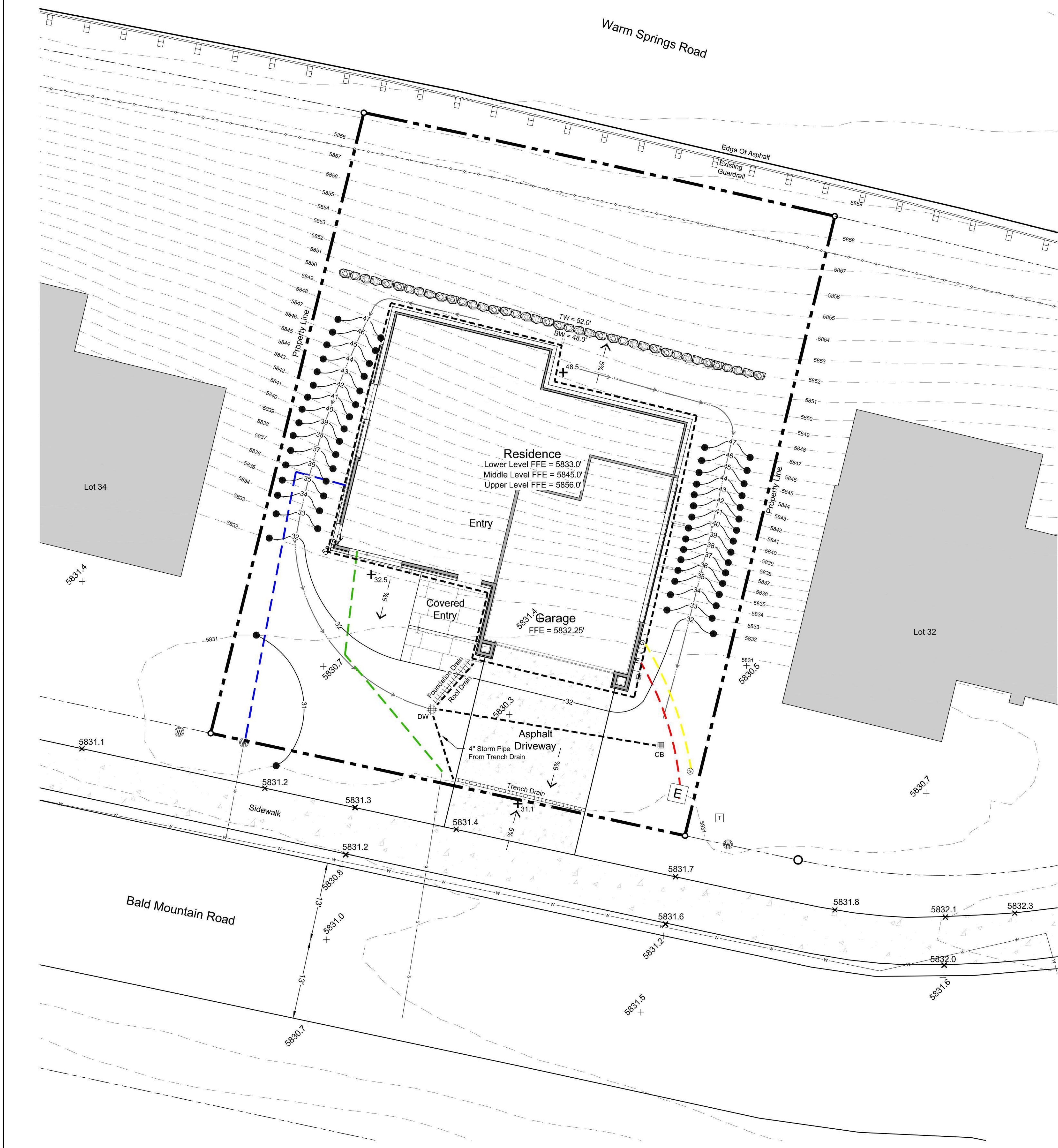
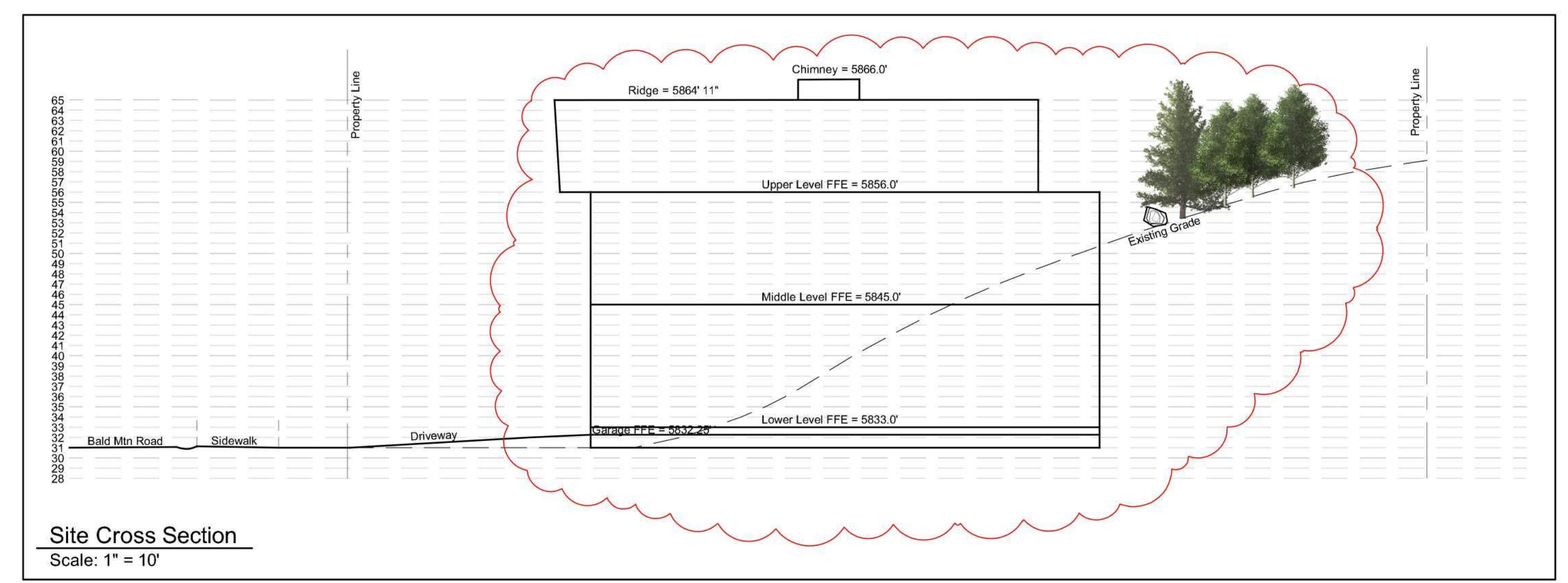
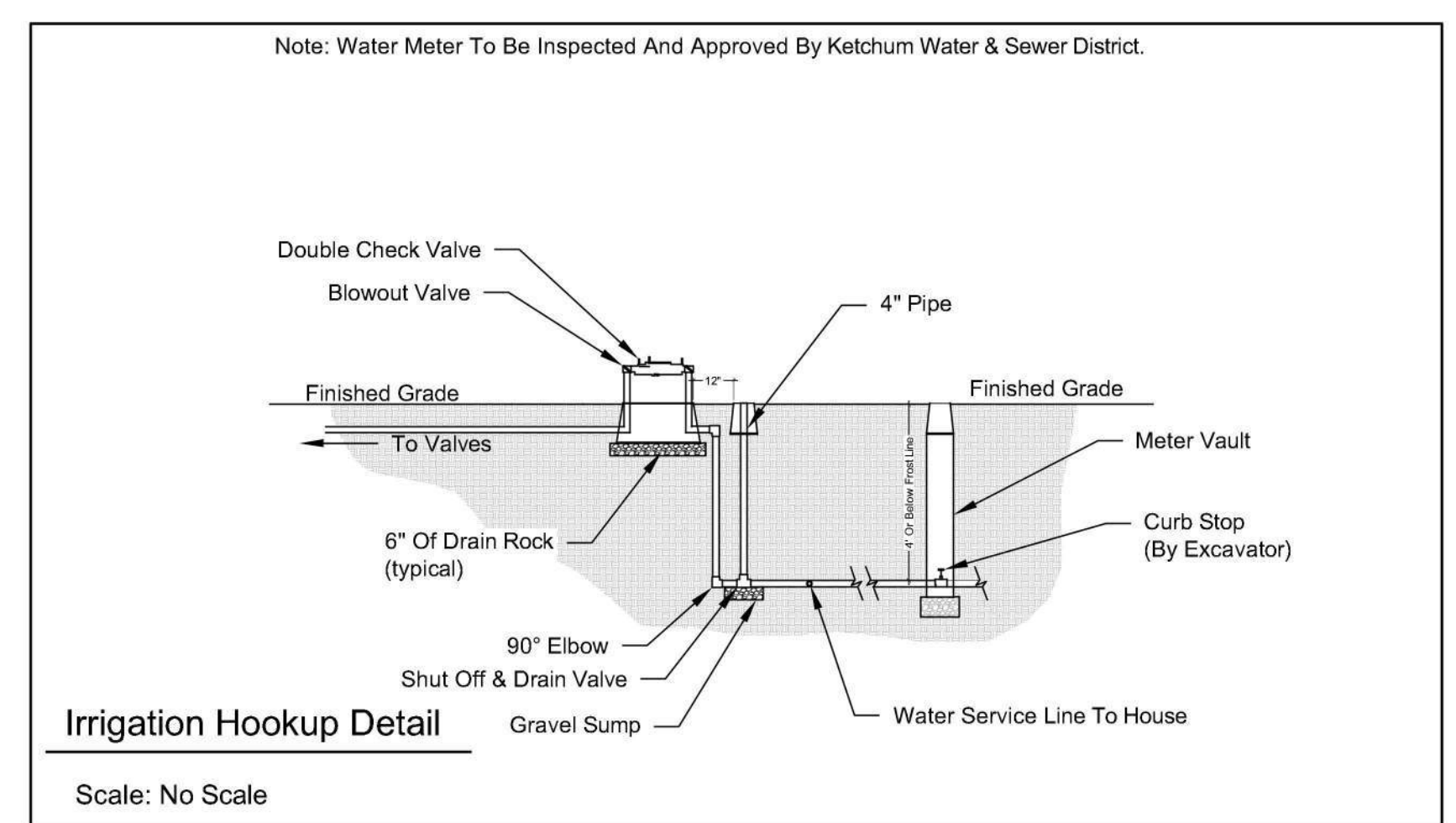
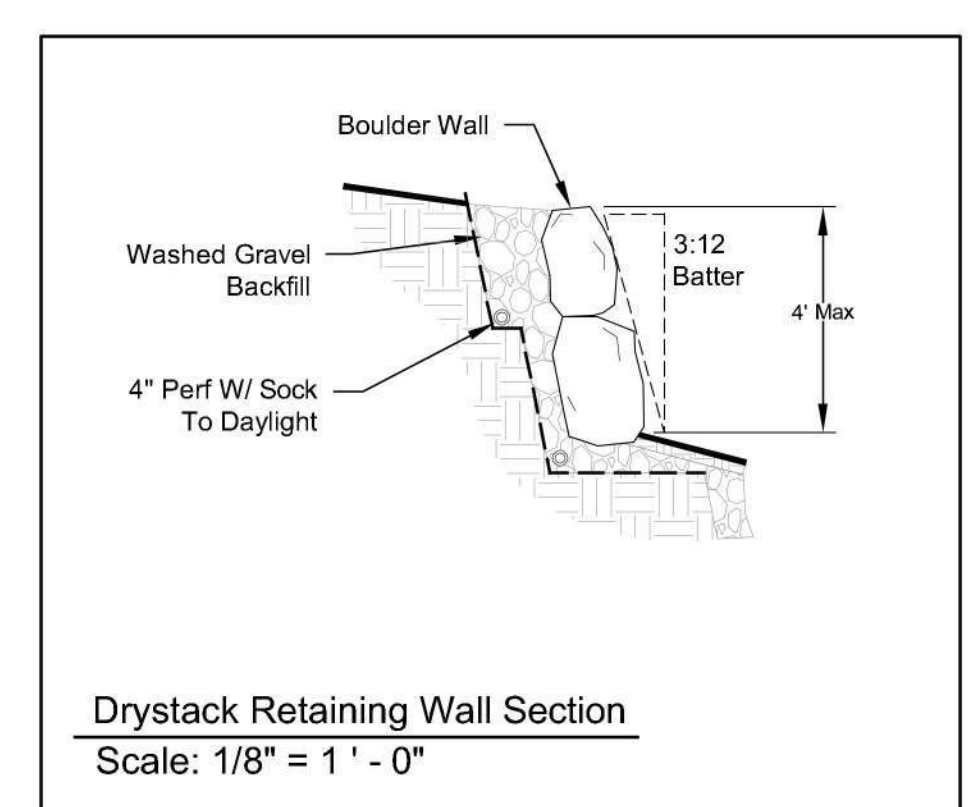
General Notes

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2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

\*See Civil Plan (C1) For  
Site Grading And Drainage

Cut & Fill	
<b>Excavation:</b>	
Building/Garage:	700 Cu/Yds
Site:	0 Cu/Yds
<b>Total Cut:</b>	<b>700 Cu/Yds</b>
<b>Fill:</b>	
Site Landscape Fill:	0 Cu/Yds
Driveway:	0 Cu/Yds
<b>Total Fill:</b>	<b>0 Cu/Yds</b>
<b>Total Export:</b>	<b>700 Cu/Yds</b>

Plan Legend	
--- Property Line	
- - - - - Existing Contour	
X 92.7 (92.5')	Existing Spot Elevations
● 95	Proposed Contour
⊕	Landscape Drywell
■	Catch Basin
2% Slope	Proposed Drainage Direction With Slope Percentage
+ 92.5'	Proposed Spot Elevations
	4" Perforated Footing Drain
- - - - -	4" Solid Drain Pipe (Roof & Downspouts)
⊗	Drystack Retaining Wall
— W —	Water Line
- - - - -	Electrical Service
- - - - -	Gas Service
- - - - -	Water Service
- - - - -	Sewer Service



General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

- Property Line
- - - PUE And Snow Storage Easement
- Proposed Contour
- 4' Fence
- ⊕ Landscape Drywell
- ▒ Concrete Pavers
- ▒ Asphalt
- ▒ Gravel

Irrigation Calculation

(Lot = ± .22 Acres)

Description	Square Footage
Natural Grass	5,300 sq.ft.
Planter Beds	100 sq.ft.
<b>Total Irrigated Area</b>	<b>5,400 sq.ft.</b>
	+/- .12 Acres

Snow Storage

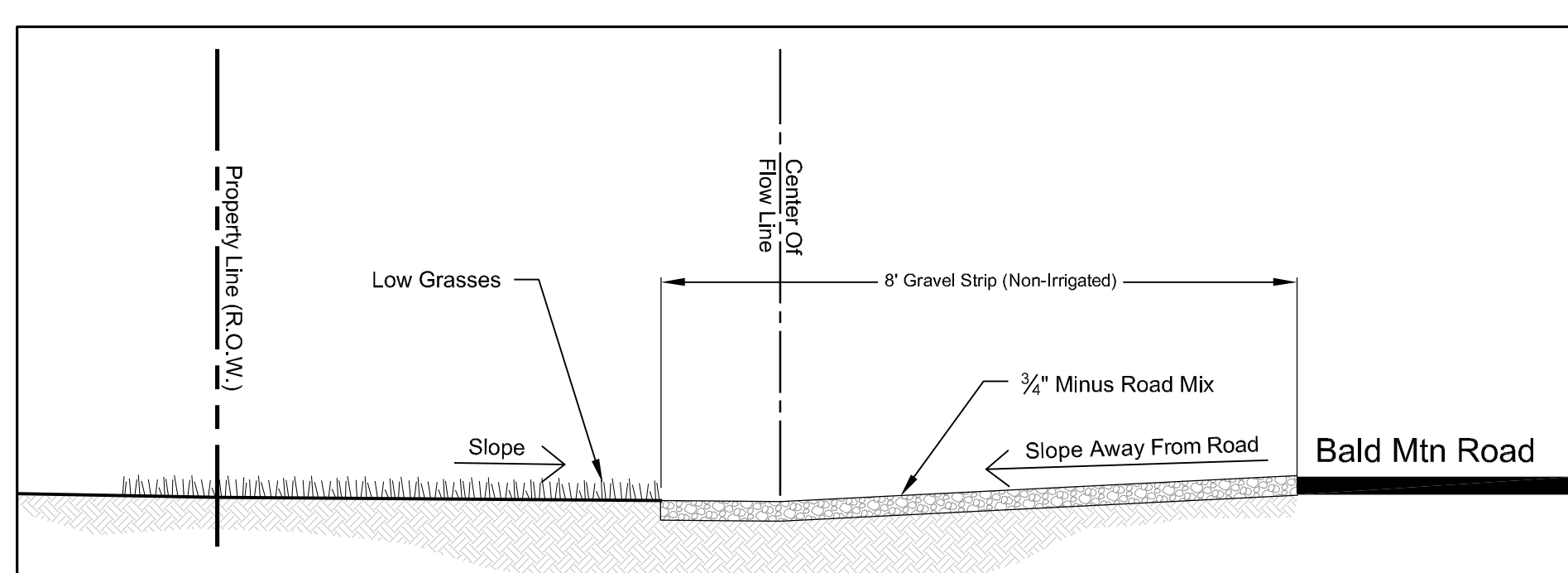
Driveway Area:	765 sq ft
Walkway Area:	72 sq ft x .30%
<b>Required Area:</b>	<b>251 sq ft</b>
<b>Snow Storage Provided:</b>	<b>275 sq ft</b>

Per Development Agreement:

- 1) Landscaping Shall Be Drought Tolerant
- 2) Irrigation System Shall Be Equipped With Shut Off Valve Not Impacting Water Service To Residence
- 3) Irrigation System Shall Be Water Efficient In Ground Components, Controller With Rain/Freeze Sensor.
- 4) Isolate Zones Per Plant Type And Exposure.

Landscape Notes:

- 1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.
- 2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.
- 3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.

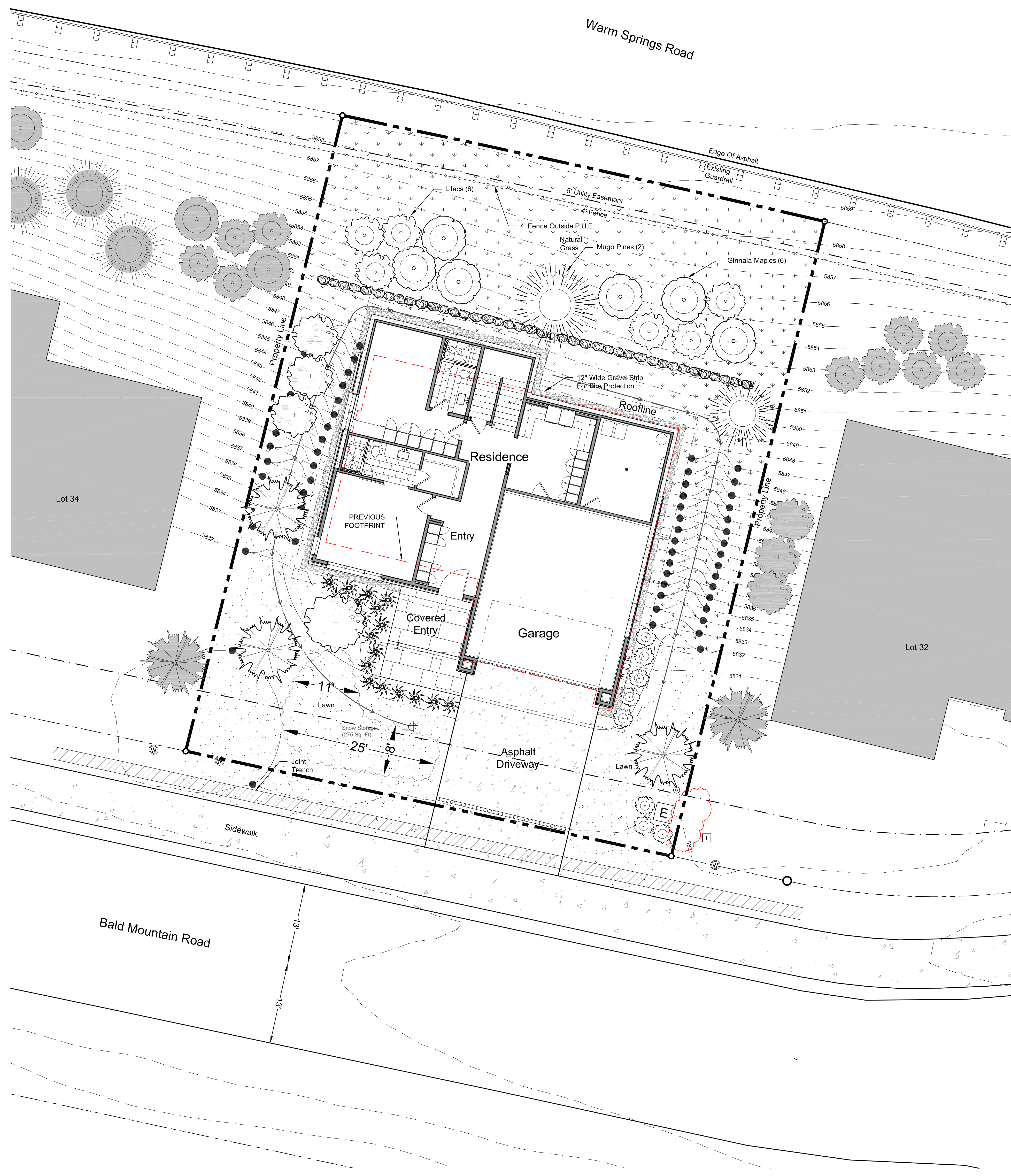
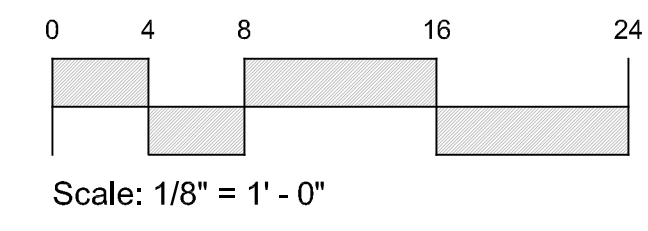
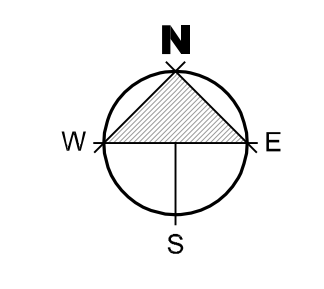


Note: No Sprinkler Heads In ROW.  
Cross Section A - Right Of Way  
Scale: 1/2" = 1' - 0"

- A. Material shall be pervious/permeable to allow drainage
- B. Surface must allow for vehicle parking and be consistent along the entire property frontage
- C. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking
- D. Grading and drainage improvements as required by City Engineer - Minimum 5% slope
- E. No obstructions, such as boulders or berms
- F. No buried irrigation systems within the first eight (8) feet from the edge of asphalt (Street). Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in the ROW.
- G. No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- H. No snow-melt system.

Plant Legend

Qty.	Common Name	Botanical Name	Size
<b>Conifer Trees</b>			
2	Mugo Pine	<i>Pinus mugo</i>	12'-16'
3	Subalpine Fir	<i>Abies lasiocarpa</i>	12'-14'
<b>Deciduous Trees</b>			
4	Aspen	<i>Populus tremuloides</i>	12'-14'
6	Ginnala Maple	<i>Acer spp.</i>	20 gal. (6')
14	<b>Deciduous Shrubs</b>		5-20 gal.
	Lilac	<i>Syringa spp.</i>	
	Alpine Currant	<i>Ribes alpinum</i>	
	Burning Bush	<i>Euonymus alatus</i>	
	Cotoneaster	<i>Cotoneaster spp.</i>	
	Dogwood	<i>Cornus spp.</i>	
	Mockorange	<i>Philadelphus spp.</i>	
	Ninebark	<i>Physocarpus spp.</i>	
	Snowberry	<i>Symphoricarpos spp.</i>	
	Spirea	<i>Spirea spp.</i>	
<b>Ornamental Grasses</b>			
30	Blue Fescue	<i>Festuca ovina glauca</i>	Flats
	Ribbon Grass	<i>Phalaris arundinacea 'Picata'</i>	
	Karl Foerster Feather Reed	<i>C. arundinacea 'Karl Foerster'</i>	
<b>Grasses &amp; Wildflowers</b>			
3,700 Sq.Ft.	Hard Fescue	<i>Festuca trachyphylla</i>	Sod or Seed
(20%)	Cheating Fescue	<i>Festuca rubra var. commutata</i>	
(20%)	Sheep Fescue	<i>Festuca ovina</i>	
(20%)	Creeching Red Fescue	<i>Festuca rubra</i>	
(20%)	Wildflowers	<i>Various</i>	
<b>Grasses - Lawn Mix</b>			
1,600 Sq.Ft.	Tall Fescue	<i>Festuca arundinacea</i>	Sod or Seed
(33%)	Hard Fescue	<i>Festuca trachyphylla</i>	
(33%)	Cheating Fescue	<i>Festuca rubra var. commutata</i>	



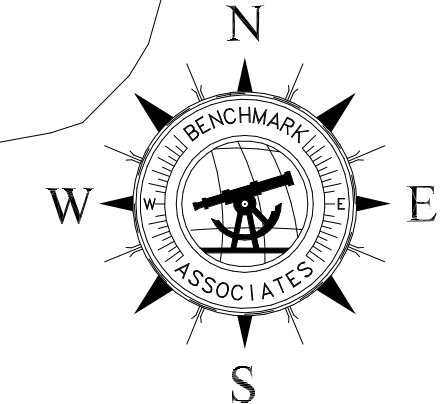


REAR FENCE EXAMPLE

WARM SPRINGS ROAD

SLOPE FINISH GRADE MIN 6" IN 10'-0" FROM BUILDING EDGE, FULL PERIMETER

EXISTING VEHICULAR GAUDDRAIL  
PROPERTY LINE  
5'-0" P.U.E.  
4'-0" WOOD SLAT FENCE OUTSIDE OF P.U.E.



MECHANICAL CONDENSER LOCATION

SLOPE FINISH GRADE MIN 6" IN 10'-0" FROM BUILDING EDGE, FULL PERIMETER

TRASH TO BE STORED WITHIN THE GARAGE

GAS AND ELECTRIC METERS, PROVIDE CLEARANCE AS REQUIRED

EXISTING TRANSFORMER TO BE LANDSCAPE SCREENED

20'-0" WIDE DRIVE AT SIDEWALK

TRASH TO BE STORED WITHIN THE GARAGE

NOTE:  
SEE CIVIL DOCUMENTS FOR UTILITIES  
SEE LANDSCAPE FOR GRADING

SITE PLAN  
1/8" = 1'-0"

SITE PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND LOCATIONS. PROTECT AS REQUIRED.
2. CONTRACTOR TO PROTECT EXISTING TREES TO BE PRESERVED.
3. UTILITY TRENCHING TO BE CONDUCTED IN A WAY TO NOT DISTURB EXISTING TREES.
4. ANY TREES LOCATED WITHIN 10'-0" HORIZONTAL OF THE STRUCTURE MUST BE MIN. 10'-0" HIGHER THAN THE ADJACENT STRUCTURE OR WILL NEED TO BE REMOVED IN ACCORDANCE TO THE FIRE CODE AS DEFENSIBLE SPACE.
5. ALL DEAD WOOD AND COMBUSTIBLE MATERIALS WITHIN 30'-0" OF THE STRUCTURE TO BE REMOVED BY CONTRACTOR AS PER THE FIRE CODE DEFENSIBLE SPACES.
6. INSTALL EROSION CONTROL MAT ON ALL SLOPES 3:1 AND GREATER.

DATUM:

LEVEL 1 100'-0" = 5,833.00 USGS  
LEVEL 2 112'-0" = 5,845.00 USGS  
LEVEL 3 124'-0" = 5,856.00 USGS

VERIFY FINISHED FLOOR HEIGHT WITH FINAL CIVIL ENGINEER'S DRAWINGS.

SITE PLAN KEY NOTES

LOT SIZE:

AREA = .19 ACRES OR 8,429 SQ. FT.  
ZONE: GR-1  
HEIGHT LIMIT: 35' MAX

BUILDING PAD:  
AREA = 3,384 SQ. FT.

PROPOSED BUILDING FOOTPRINT:  
AREA = 2,579 SQ. FT. - EQUALS 30%

LOT COVERAGE ALLOWED: 35%, 2,950 SQ. FT.

- RECESSED LIGHT LOCATION
- WALL SCONCE LOCATION

LEGAL DESCRIPTION:  
LOT 33 BALD MOUNTAIN ROAD

SITE NOTES:

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO TOWN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY PROPER DRAINAGE AWAY FROM HOUSE.
4. PROVIDE DRAINAGE SWALE FROM HIGH TO LOW SIDE OF HOUSE.
5. ZONING: GR-1
6. CONTRACTOR TO VERIFY EXISTING GRADES/TOPOGRAPHY PRIOR TO EXCAVATION AND/OR CONSTRUCTION. VERIFY DRIVEWAY DOES NOT EXCEED 10% GRADE.
7. EXISTING TOPOGRAPHY SHOWN IS BASED ON ROAD DESIGN GRADES & SITE OBSERVATIONS. CONTRACTORS/OWNER TO VERIFY.
8. HEIGHT LIMIT OF 35'-0" OVER EXISTING GRADE. 5'-0" ALLOWANCE FOR CHIMNEYS AND MECHANICAL.
9. SITE SETBACKS TO BE BASED ON 1/3 OF THE BUILDING HEIGHT

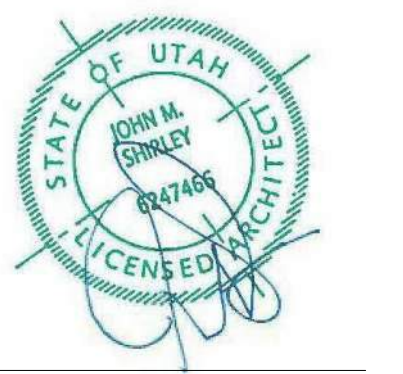


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WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33

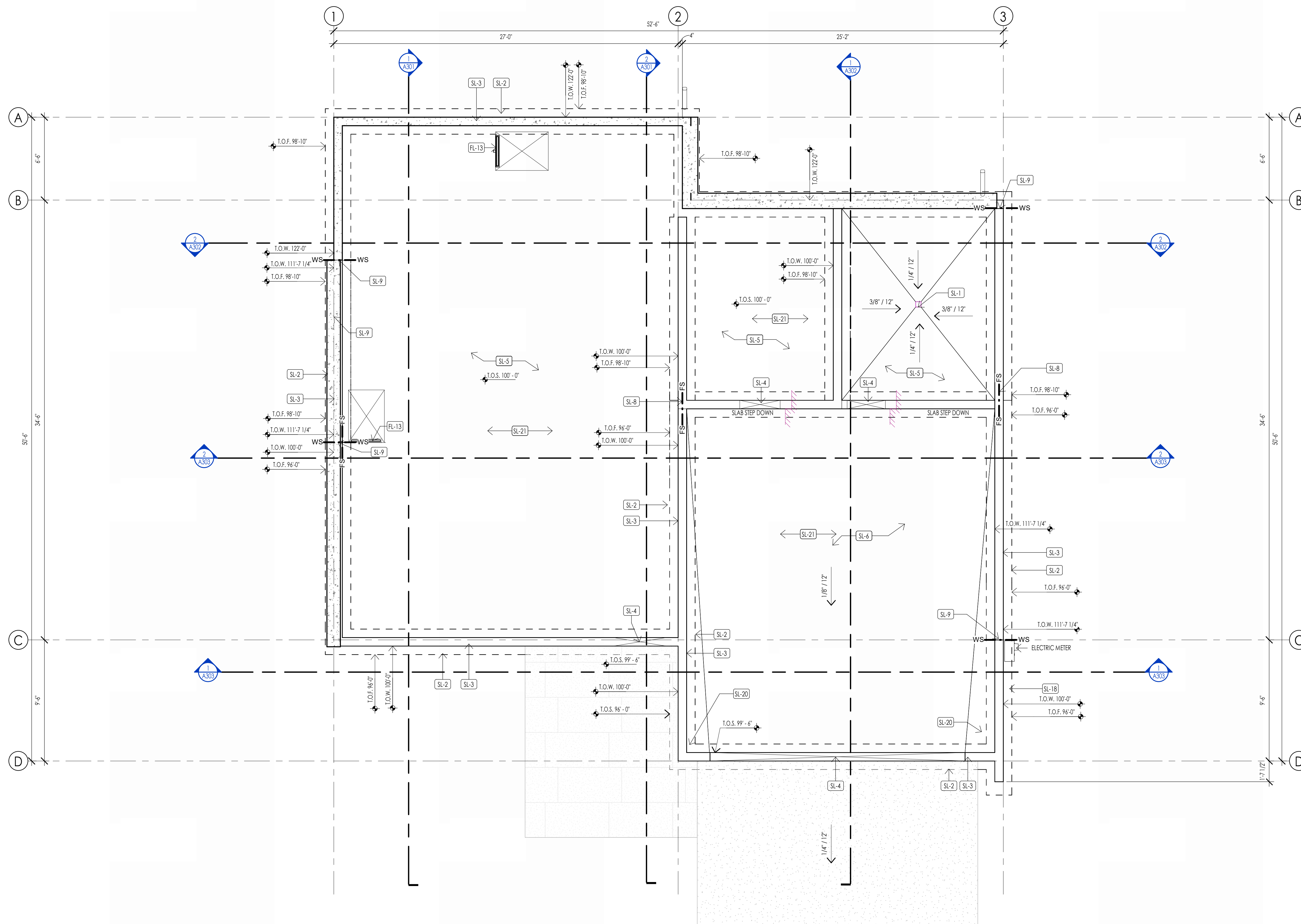
DATE: 2023.11.06

REVISIONS:

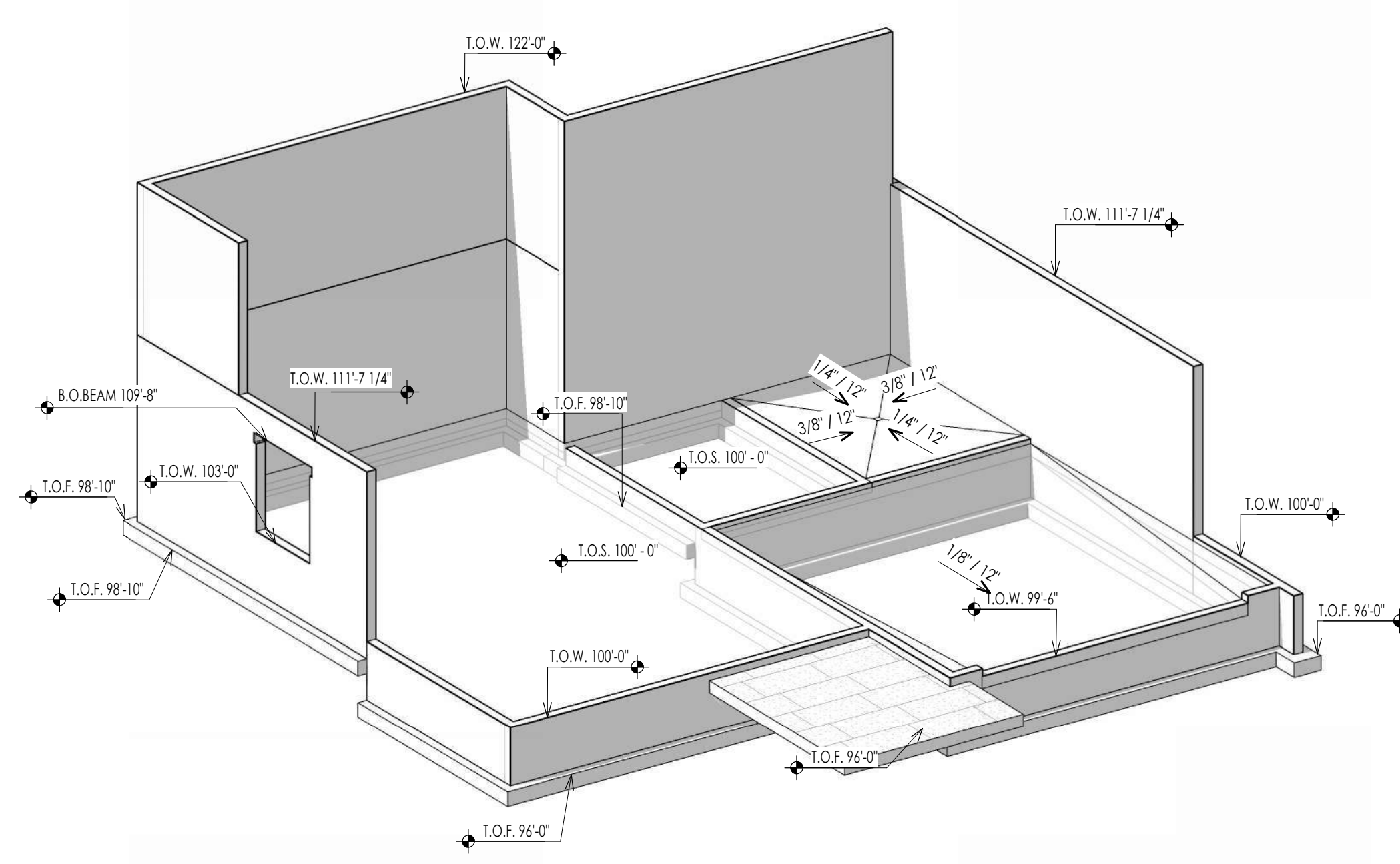
SHEET TITLE:  
SITE PLAN

SHEET NUMBER:  
A101

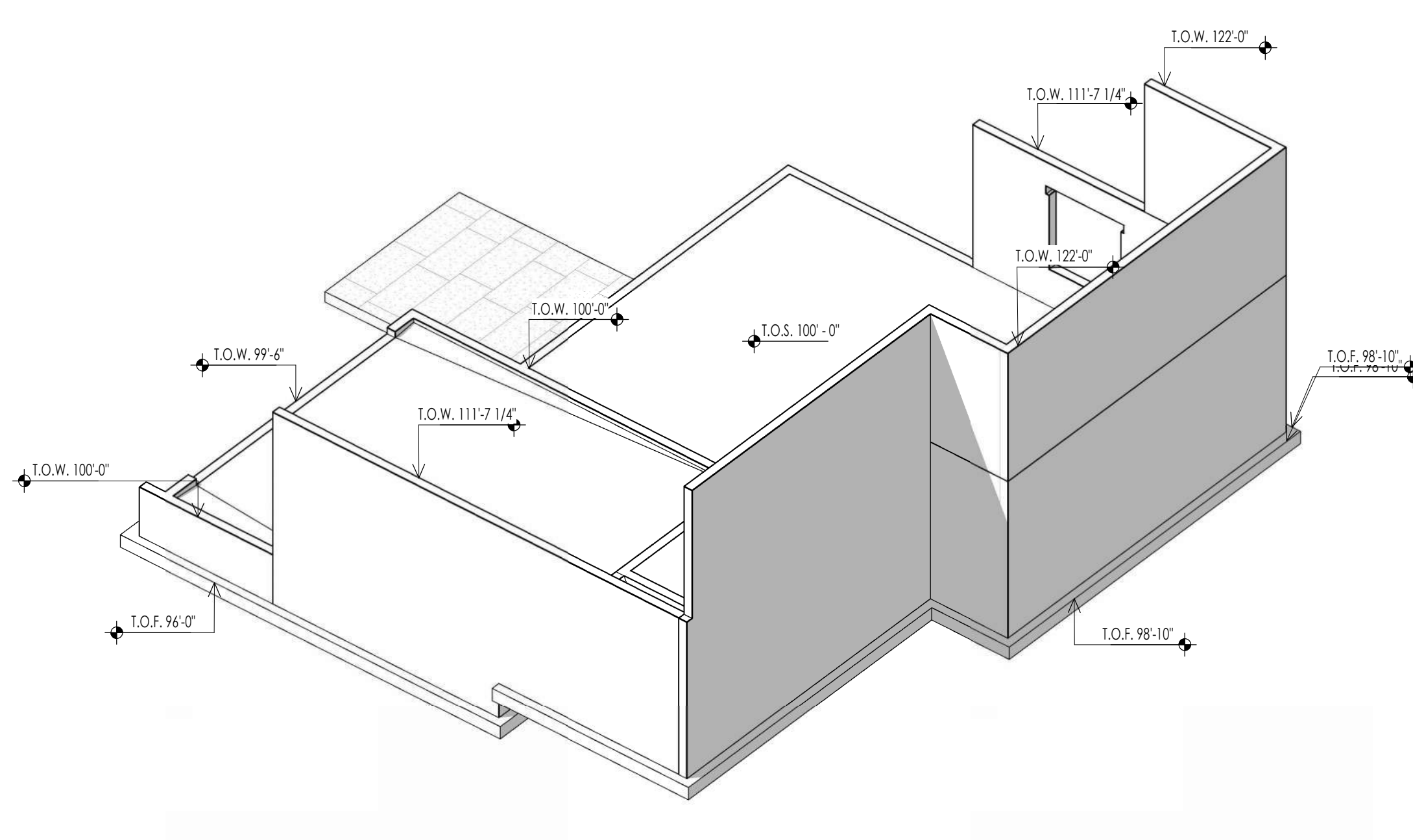
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LEVEL 1 - SLAB PLAN  
1/4" = 1'-0"



FOUNDATION ISOMETRIC A  
A103



FOUNDATION ISOMETRIC B  
A103

FOUNDATION PLAN LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE
[Hatch Pattern]	2" RIGID FOAM INSULATION TO EXTEND FROM BOTTOM OF SLAB DOWN TO FOOTING AND HORIZONTALLY UNDER SLAB 4'-0" MIN. AT PERIMETER OF FOUNDATION.

FOUNDATION PLAN SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
FS	FOOTING STEP
WS	WALL STEP
T.O.F.	TOP OF FOOTING ELEVATION
T.O.W.	TOP OF WALL ELEVATION
T.O.S.	TOP OF SLAB ELEVATION
T.O.PIER	TOP OF PIER ELEVATION

- ### FOUNDATION GENERAL NOTES
- COORDINATE ARCHITECTURAL FOUNDATION PLAN WITH STRUCTURAL FOUNDATION PLAN. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED WORK.
  - COORDINATE MECHANICAL, ELECTRICAL, & PLUMBING PRIOR TO CONSTRUCTION OF FOOTINGS & FOUNDATION.
  - VERIFY ELEVATIONS OF FOUNDATION WALLS & FOOTINGS. COORDINATE WITH SITE PLAN & PROPOSED CONTOURS.
  - CONCRETE FLOOR SLABS, EXCEPT THOSE IN UNHEATED ACCESSORY STRUCTURES, SHALL HAVE A VAPOR RETARDER CONSISTING OF 6 MIL POLYETHYLENE (OR APPROVED EQUAL) VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES PLACED BETWEEN THE CONCRETE FLOOR SLAB & THE BASE COURSE OF THE PREPARED SUB-GRADE WHERE NO BASE COURSE EXISTS.
  - FOUNDATION REBAR INSPECTIONS ARE REQUIRED FOR FOUNDATION WALLS OVER 8 FEET HIGH. FORMS ARE NOT TO BE INSTALLED ON ONE SIDE UNTIL AFTER THE REBAR HAS BEEN INSPECTED.

### DATUM ELEVATIONS

ARCHITECTURE	CIVIL	LEVEL
87'-6"	-	LEVEL 00 - TOP OF SLAB
88'-6"	-	LEVEL 0 - TOP OF SLAB
99'-0"	-	TOP OF SLAB AT FRONT OF GARAGE
100'-0"	-	LEVEL 1 - TOP OF PLYWOOD

### FOUNDATION PLAN KEYNOTES

KEYNOTES	
FL-13	PROVIDE "CHLTER" KERD-LINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
SL-1	CONTRACTOR TO COORDINATE LOCATION OF FLOOR DRAIN - SLOPE SLAB TOWARDS DRAIN AS REQUIRED.
SL-2	CAST IN PLACE FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENG. COMPACTED FILL - SEE STRUCTURAL GENERAL NOTES & PROJECT MANUAL.
SL-3	CAST IN PLACE FOUNDATION WALLS WITH WATER PROOFING AS NOTED - SEE STRUCTURAL NOTES AND DETAILS.
SL-4	PROVIDE BLOCKOUT AT FOUNDATION WALL AT DOOR OPENINGS AND POUR SLAB OVER TOP OF WALL - SEE DETAILS.
SL-5	CAST IN PLACE INTERIOR CONCRETE SLABS TO BE 4" CONCRETE SLAB REINFORCED WITH FIBER MESH OVER 4" GRAVEL BASE - SEE STRUCTURAL NOTES.
SL-6	CAST IN PLACE GARAGE CONCRETE SLABS TO BE 5" CONCRETE SLAB OVER 4" GRAVEL BASE AND FINISH AS NOTED - SEE STRUCTURAL NOTES.
SL-8	CONTRACTOR TO COORDINATE FOOTING STEPS TO ASSURE REQUIRED FROST PROTECTION AT EACH FOOTING - NOTIFY ARCHITECT IF FOOTING ELEVATIONS NEED TO CHANGE.
SL-9	CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION.
SL-18	PROVIDE A LIFER GROUND. AN ELECTRICAL CONDUCTOR BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICAL CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E350.1.2 AND N.E.C. 250.50)
SL-20	WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING.
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R VALUES - PROVIDE SILL PAPER FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION. TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.



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WARM SPRINGS RESIDENCE #33

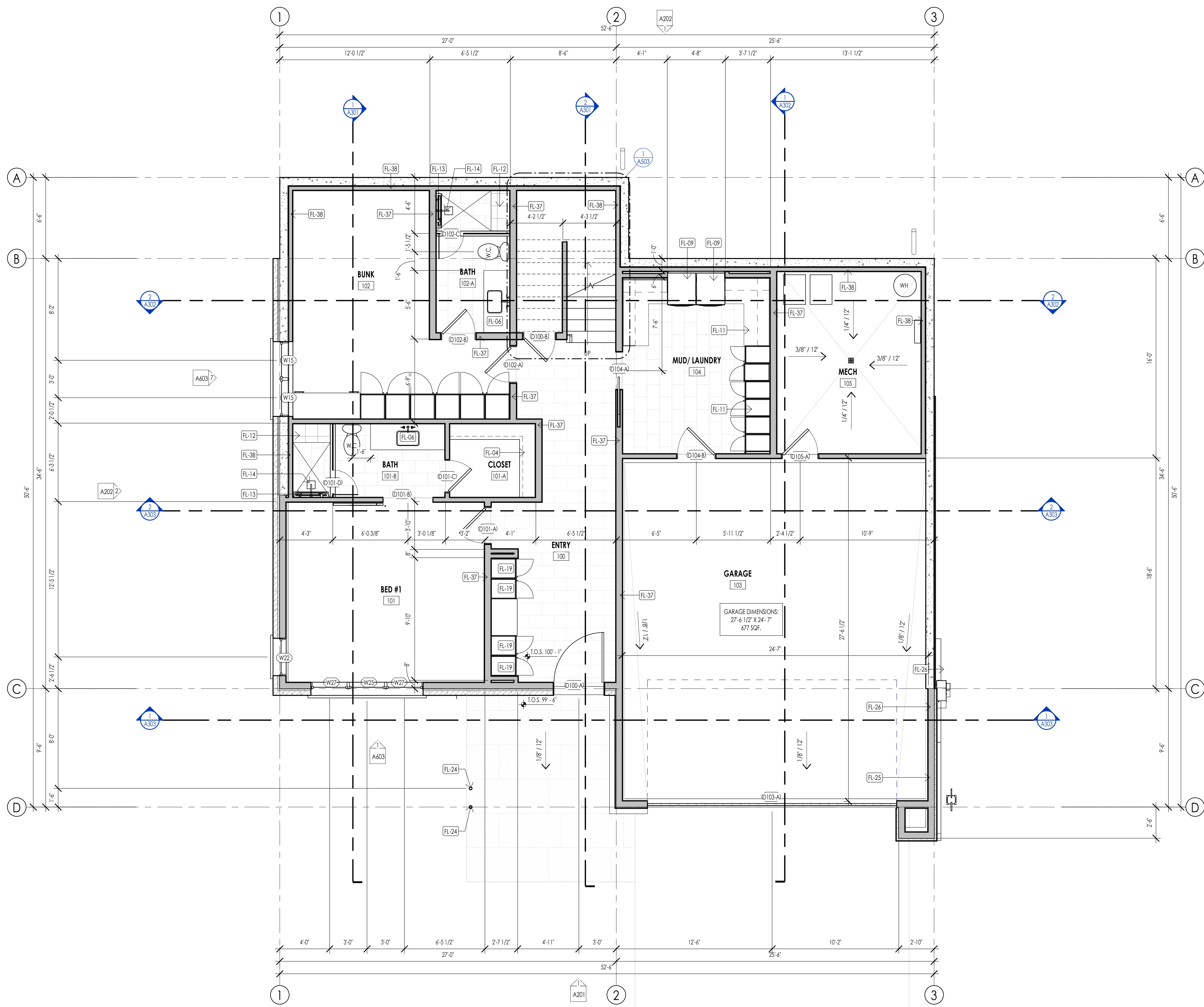
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

SHEET TITLE:  
FOUNDATION PLAN

SHEET NUMBER:  
A103

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LEVEL 1 - FLOOR PLAN  
1/4" = 1'-0"

FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE WALL	[Hatch Pattern]	CARPET FINISH
[Hatch Pattern]	CMU BLOCK WALL	[Hatch Pattern]	TILE FINISH
[Hatch Pattern]	STONE VENEER	[Hatch Pattern]	EXTERIOR CONCRETE SLABS
[Hatch Pattern]	METAL STUD WALL		
[Hatch Pattern]	WOOD STUD WALL		

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS.
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
  - SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
  - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES.
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

**FLOOR PLAN KEYNOTES**

KEYNOTES	
FL-04	CLOSET SHELVING/ ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-09	STACKED WASHER AND DRYER. CONTRACTOR TO COORDINATE WITH MECHANICAL AND ELECTRICAL
FL-11	CABINET SYSTEM/SHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGNER
FL-13	PROVIDE "SCHLITZ" KERD-LINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGNER
FL-19	BUILT IN MUD/GEAR CABINETS AS PER INTERIOR DESIGNER
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.
FL-25	PROVIDE HOT/COLD HOOK UP
FL-26	PROVIDE 50 AMP EV CONNECTION POINT
FL-37	2X4 STUD WALL ROUGH FRAMING. 16" O.C. U.N.O. SEE DETAILS.
FL-38	2X4 BASEMENT STUD FURRING WALL. 16" O.C. SEE DETAILS.

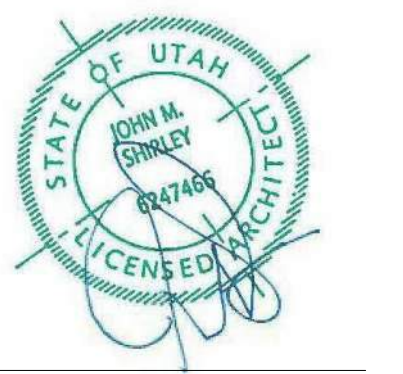


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WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

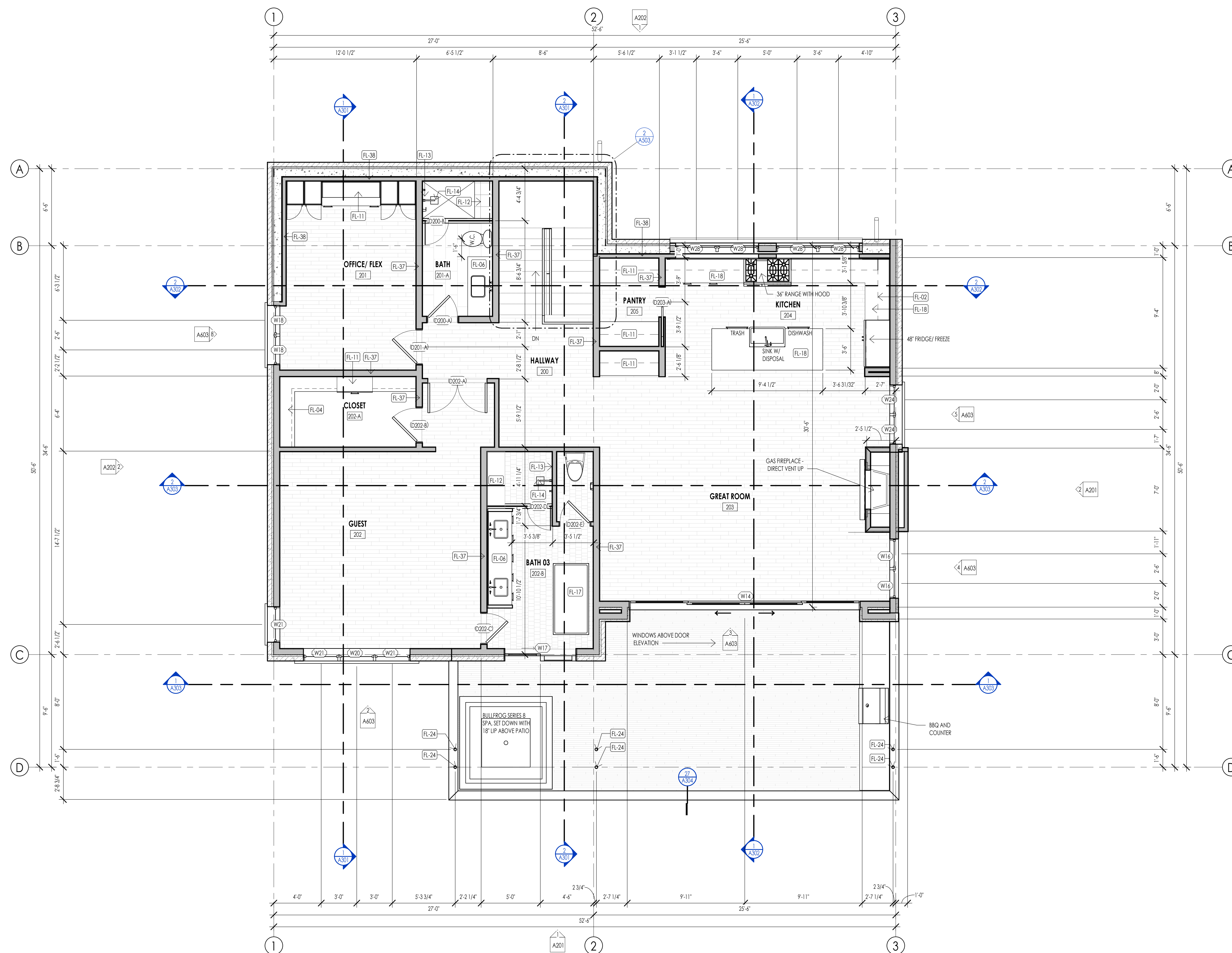
SHEET TITLE:  
LEVEL 1 FLOOR PLAN

SHEET NUMBER:  
A104

PERMIT SET

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LEVEL 2 - FLOOR PLAN  
1/4" = 1'-0"

FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE WALL	[Hatch Pattern]	CARPET FINISH
[Hatch Pattern]	CMU BLOCK WALL	[Hatch Pattern]	TILE FINISH
[Hatch Pattern]	STONE VENEER	[Hatch Pattern]	EXTERIOR CONCRETE SLABS
[Hatch Pattern]	METAL STUD WALL		
[Hatch Pattern]	WOOD STUD WALL		

- ### FLOOR PLAN GENERAL NOTES
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - CEILING HEIGHTS MEASURED FROM FLYWOOD OR CONCRETE - SEE SECTIONS
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECK/PATIOS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
  - SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
  - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

### FLOOR PLAN KEYNOTES

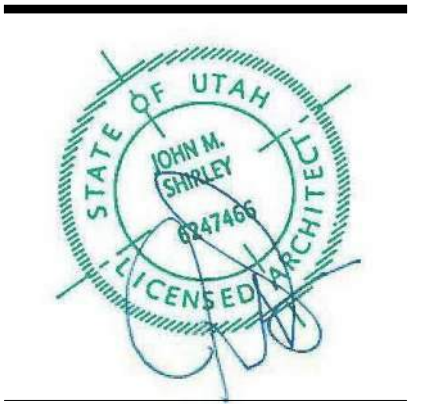
KEYNOTES	
FL-02	OVERHEAD CABINETS PROJECTION
FL-04	CLOSET SHELVING ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-11	CABINET SYSTEM/SHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/INTERIOR DESIGNER
FL-13	PROVIDE "SCHLTER" KEROLINE LINEAR DRAIN AGAINST BENCH, INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGNER
FL-17	TUB/ SOAKER TUB AS PER INTERIOR DESIGNER
FL-18	KITCHEN SINK W/DISPOSAL - COUNTERTOP - CABINETS PER INTERIOR DESIGNER
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.
FL-37	2X6 STUD WALL ROUGH FRAMING, 16" O.C. U.N.O. SEE DETAILS.
FL-38	2X4 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.



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WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

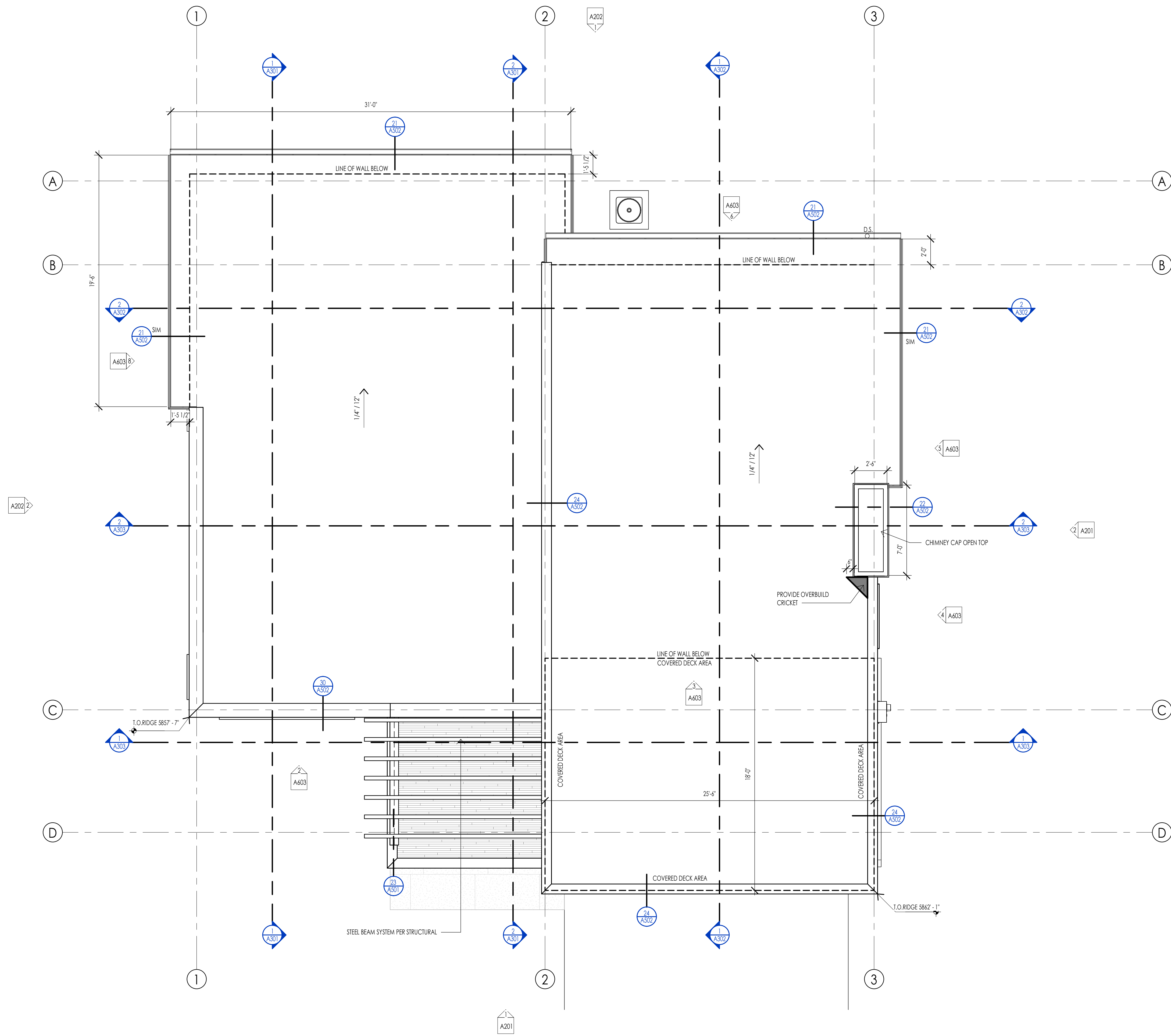
PROJECT NC22023.33  
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REVISIONS:

SHEET TITLE:  
LEVEL 2 FLOOR PLAN

SHEET NUMBER:  
A105

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ROOF PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE WITH GRAVEL BALLAST	[Hatch Pattern]	
[Hatch Pattern]	STANDING SEAM METAL ROOFING SYSTEM	[Hatch Pattern]	
[Hatch Pattern]	RAIN GUTTER WITH DOWN SPOUT	[Hatch Pattern]	

- ROOF PLAN GENERAL NOTES**
- SEE SHEET G002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - FLASH ALL ROOF PENETRATIONS WHETHER SHOWN OR NOT.
  - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS.
  - PROVIDE HEAT TRACE IN ALL RAIN GUTTERS, DOWN SPOUTS AND RAIN CHAINS.
  - ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.
  - ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.
  - CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT WILL PREVENT DRAINAGE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).
  - DIMENSIONS SHOWN ON THE ROOF PLAN ARE FROM THE EXTERIOR SIDE OF THE STUD FRAMING BELOW.

**ROOF PLAN KEYNOTES**

KEYNOTES

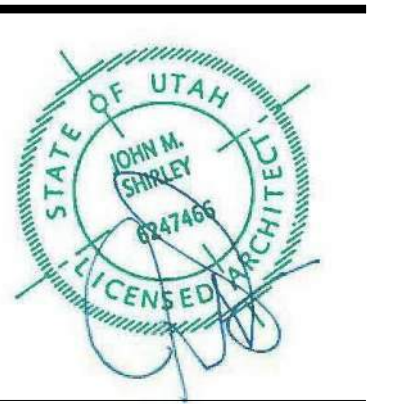


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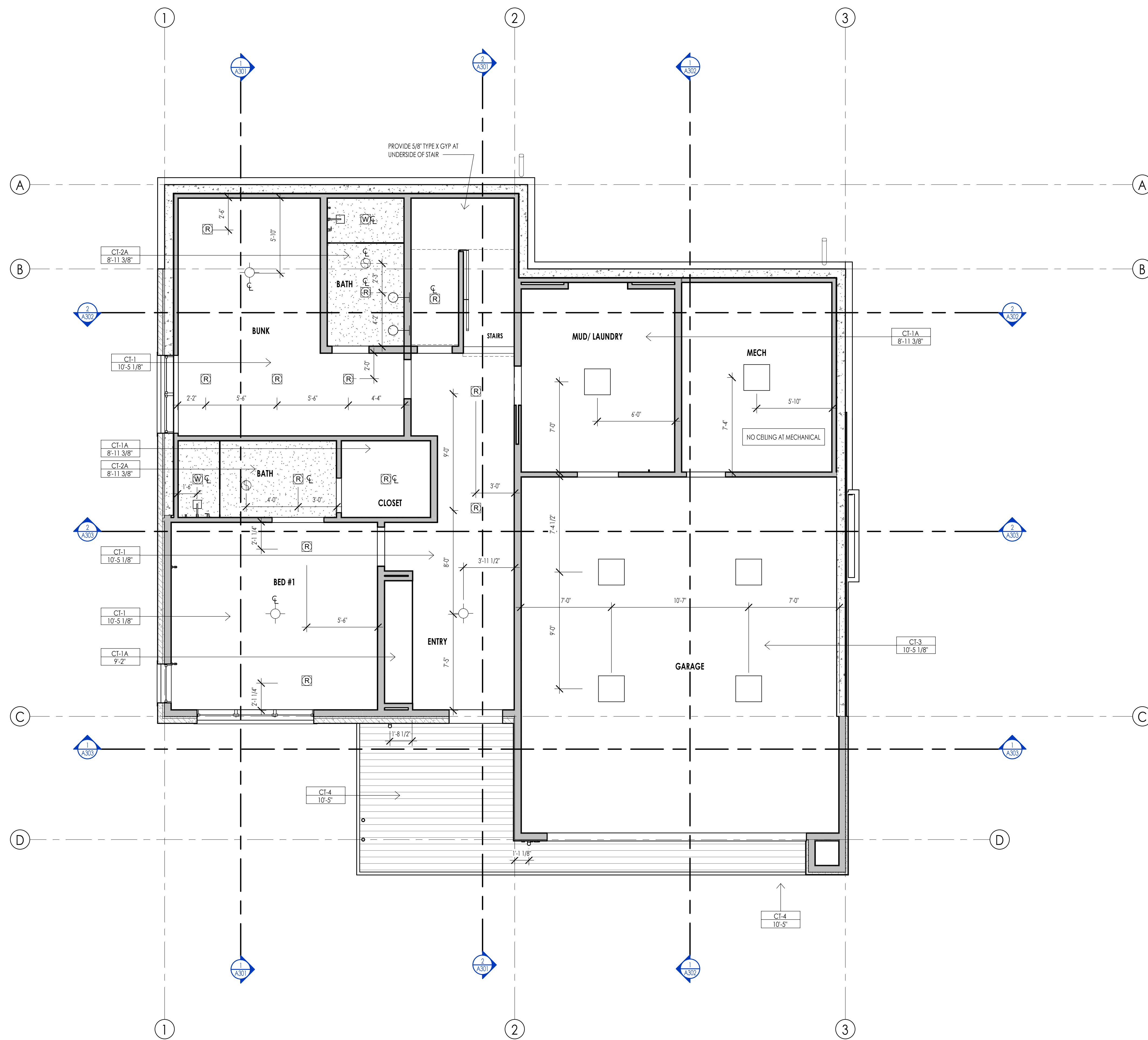
SHEET TITLE:  
ROOF PLAN

SHEET NUMBER:  
A107

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ROOF PLAN  
1/4" = 1'-0"

PERMIT SET



REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FRAMING	[Hatch Pattern]	CT-4A	3/4" T+G SOFFIT ZK4
[Hatch Pattern]	CT-1A	5/8" GYPSUM BOARD ZK4	[Hatch Pattern]	CT-4	EXPOSED STRUCTURE
[Hatch Pattern]	CT-2	5/8" WATER RESISTANT GYPSUM BOARD AT FRAMING			
[Hatch Pattern]	CT-2A	5/8" WATER RESISTANT GYPSUM BOARD ZK4			
[Hatch Pattern]	CT-3	5/8" GYPSUM BOARD TYPE "X" AT FRAMING			
[Hatch Pattern]	CT-4	3/4" T+G SOFFIT AT FRAMING			

- REFLECTED CEILING PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.
- | CEILING TAG SYMBOL | DESCRIPTION  |
|--------------------|--------------|
| CT-1               | CEILING TYPE |
| 1'-0"              | HEIGHT       |

**REFLECTED CEILING PLAN KEYNOTES**

KEYNOTES

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PROJECT NC22023.33  
 DATE: 2023.11.06  
 REVISIONS:

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SHEET TITLE:  
 LEVEL 1 CEILING PLAN

---

SHEET NUMBER:  
 A109

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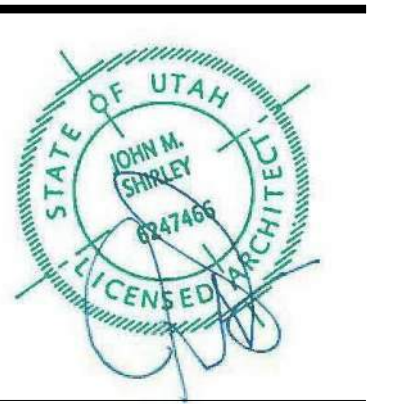


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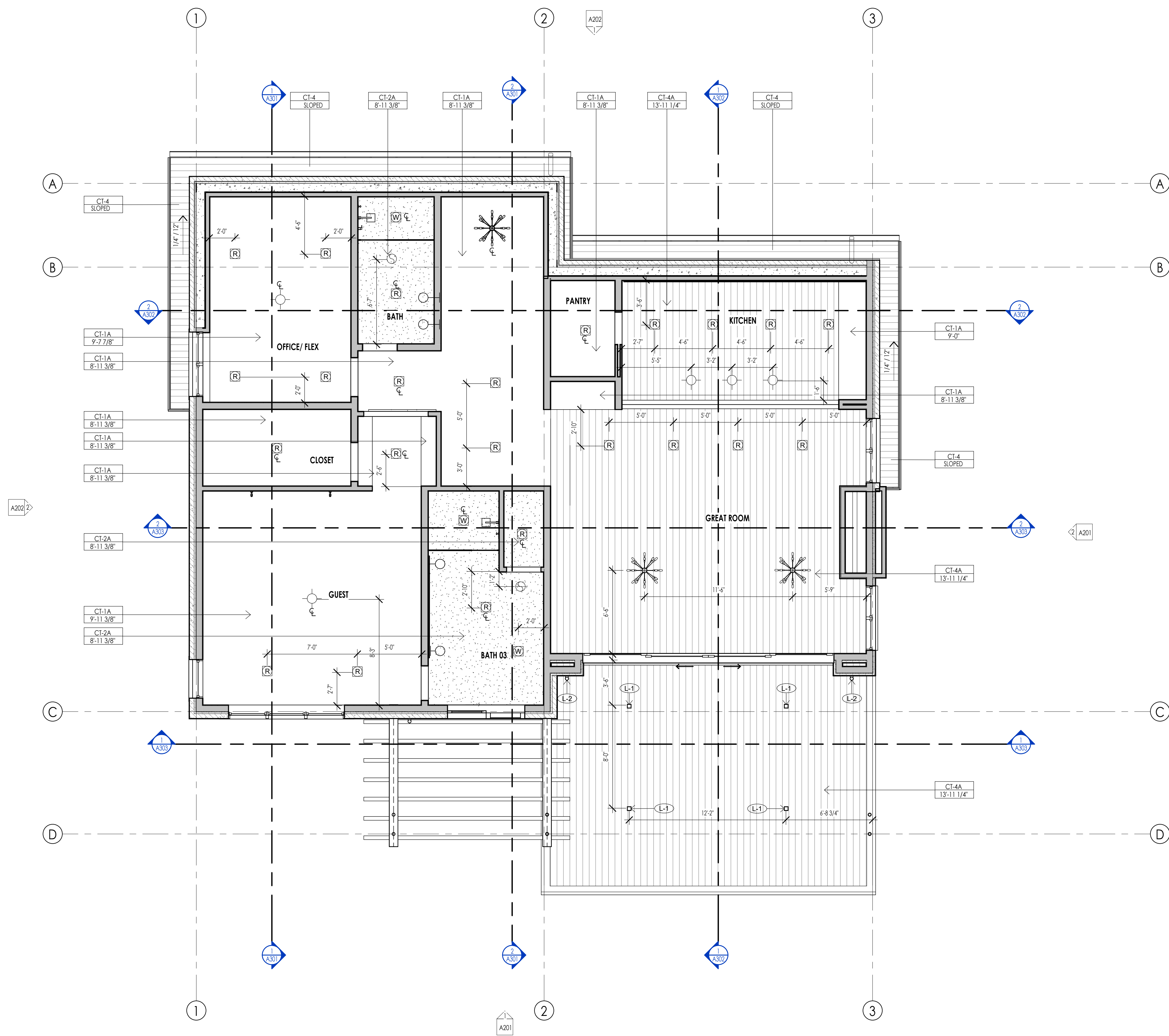


WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
 KETCHUM, IDAHO 83340

LEVEL 1 - REFLECTED CEILING PLAN  
 1/4" = 1'-0"

1  
 A109



REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FRAMING	[Hatch Pattern]	CT-4A	3/4" T+G SOFFIT ZK4
[Hatch Pattern]	CT-1A	5/8" GYPSUM BOARD ZK4	[Hatch Pattern]	CT-4	EXPOSED STRUCTURE
[Hatch Pattern]	CT-2	5/8" WATER RESISTANT GYPSUM BOARD AT FRAMING			
[Hatch Pattern]	CT-2A	5/8" WATER RESISTANT GYPSUM BOARD ZK4			
[Hatch Pattern]	CT-3	5/8" GYPSUM BOARD TYPE "X" AT FRAMING			
[Hatch Pattern]	CT-4	3/4" T+G SOFFIT AT FRAMING			

- REFLECTED CEILING PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.

CEILING TAG SYMBOL	DESCRIPTION
CT	CEILING TYPE
1'-0"	HEIGHT

**REFLECTED CEILING PLAN KEYNOTES**

PERMIT SET

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
LEVEL 2 CEILING PLAN

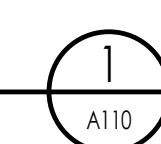
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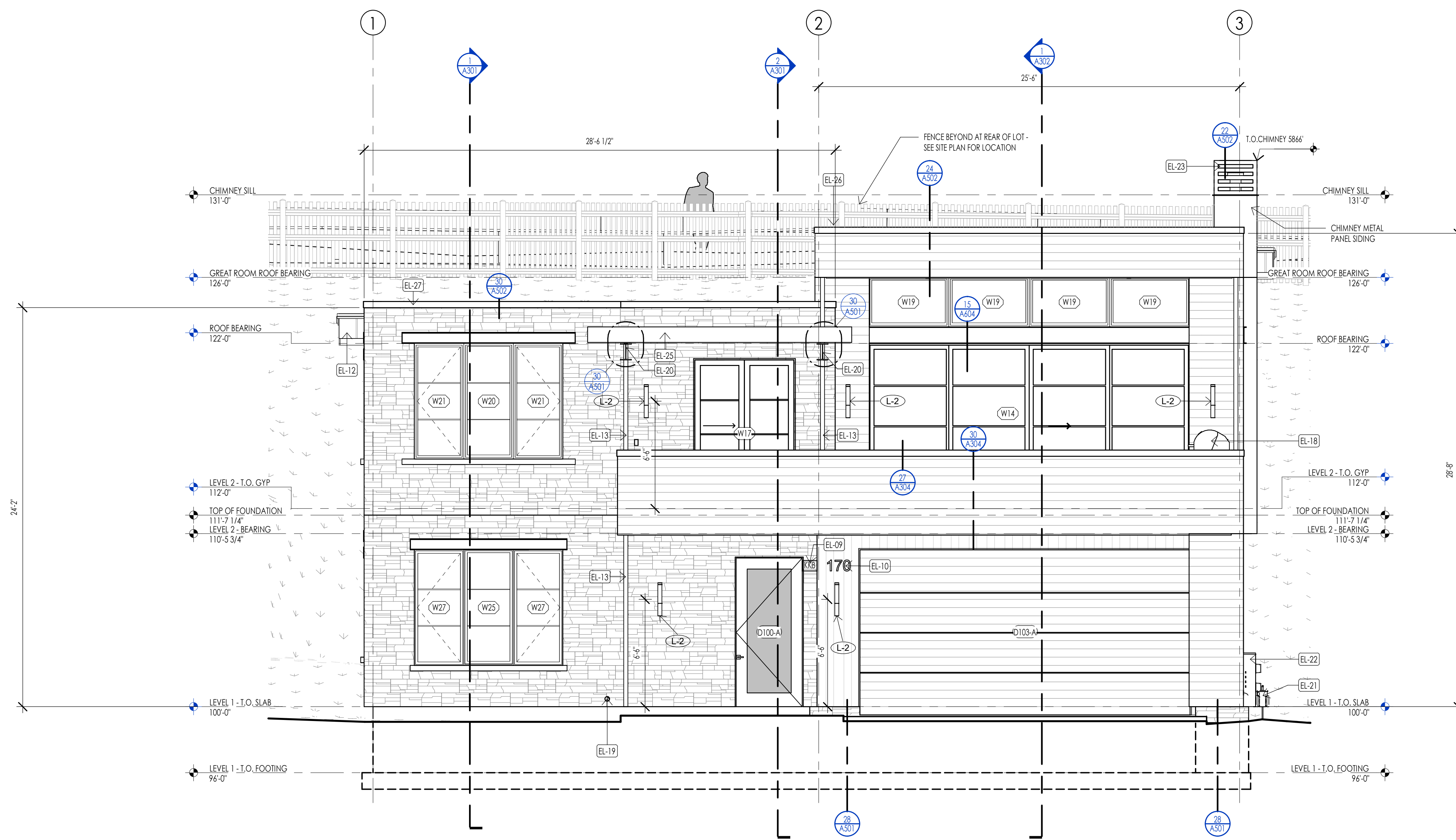
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WARM SPRINGS RESIDENCE #33  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

LEVEL 2 - REFLECTED CEILING PLAN  
1/4" = 1'-0"



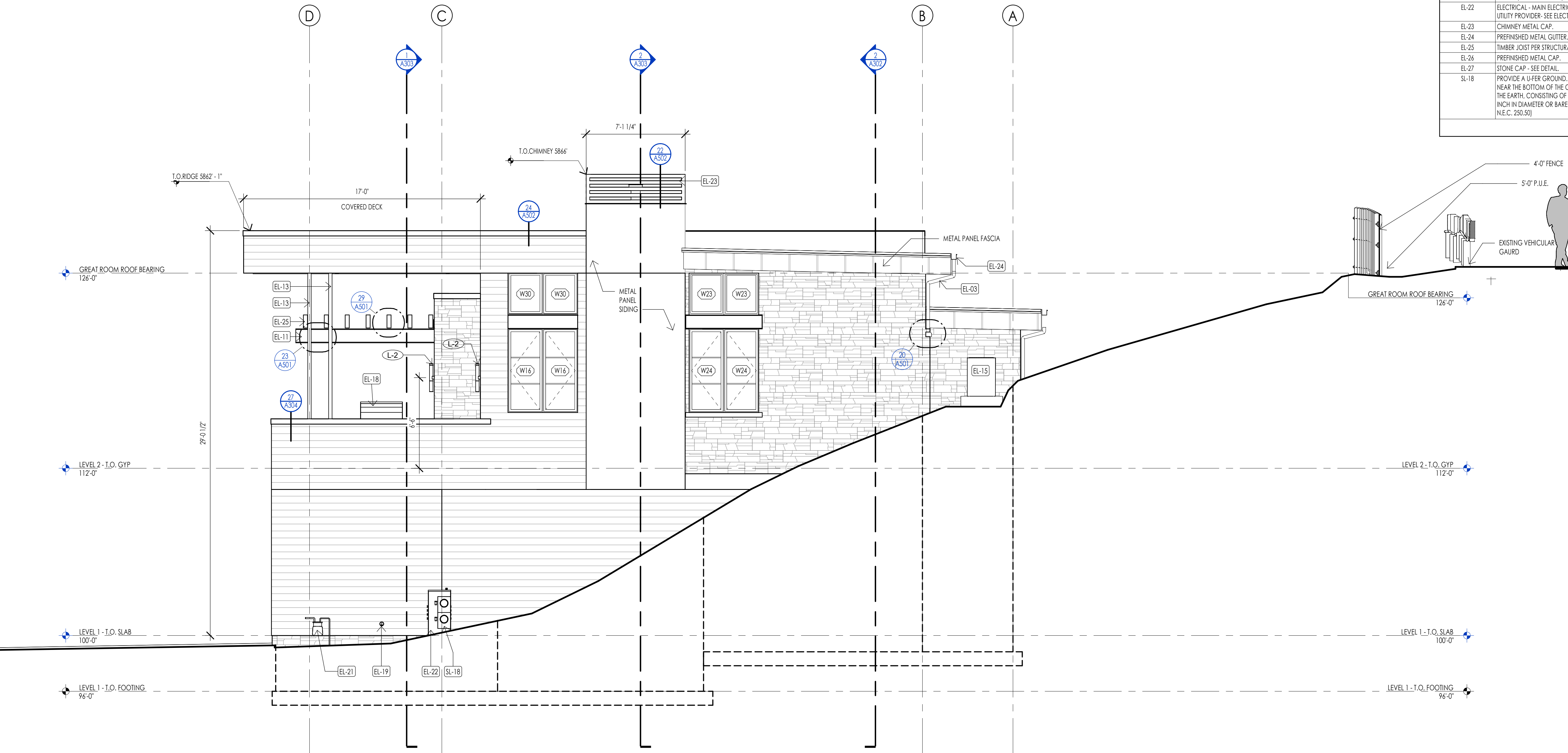


**SOUTH ELEVATION**  
1/4" = 1'-0"

ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-03	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-09	AN APPROVED KEY BOX SHALL BE INSTALLED, WITH THE APPROPRIATE KEYS FOR EMERGENCY FIRE DEPARTMENT ACCESS IN A LOCATION APPROVED BY THE FIRE DEPARTMENT. THE KEY BOX SHALL BE A 4" X 4" BOX BRAND AND SIZED TO ACCOMMODATE KEYS TO EVERY DOOR OF THE PROJECT. LOCATION NO MORE THAN 3FT HOR. FROM MAIN DOOR AND NO MORE THAN 5.5FT VERTICAL. VERIFY LOCAL CODE.
EL-10	APPROVED ADDRESS NUMBERS SHALL BE PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROAD FRONTING THE PROPERTY. NUMBERS AND LETTERS SHALL BE A MINIMUM OF FOUR (4) INCHES TALL, HAVE A MINIMUM 1/8" BRUSH STROKE, CONTRAST WITH THEIR BACKGROUND, AND BE POSITIONED A MINIMUM OF FORTY-EIGHT (48) INCHES ABOVE FINAL GRADE.
EL-11	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PANT COLOR PER OWNER.
EL-12	PREFINISHED METAL FASCIA.
EL-13	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PANT COLOR PER OWNER.
EL-15	MECHANICAL AIR CONDITIONER UNIT- SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUAL.
EL-18	BRO-GRILL AS SELECTED BY OWNER.
EL-19	OVERFLOW URN DOWNSPOUT- PLUMBING.
EL-20	PROVIDE WEB STIFFENER PLATES AT ALL WIDE FLANGE CONNECTIONS.
EL-21	GAS METER. INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER - PROVIDE PROTECTIVE COVER (SHOWN DASHED) AS REQUIRED BY UTILITY PROVIDER.
EL-22	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER-SEE ELECTRICAL.
EL-23	CHIMNEY METAL CAP.
EL-24	PREFINISHED METAL CHITTER.
EL-25	TIMBER JOIST PER STRUCTURAL.
EL-26	PREFINISHED METAL CAP.
EL-27	STONE CAP - SEE DETAIL.
SL-18	PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E3308.1.2 AND N.E.C. 250.53)



**EAST ELEVATION**  
1/4" = 1'-0"

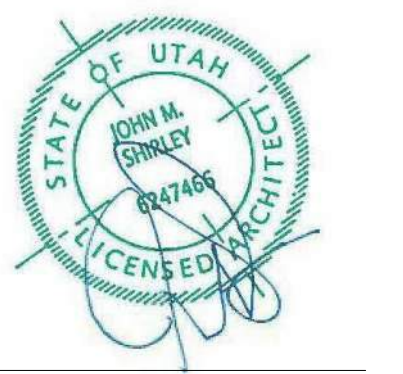


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WARM SPRINGS RESIDENCE #33

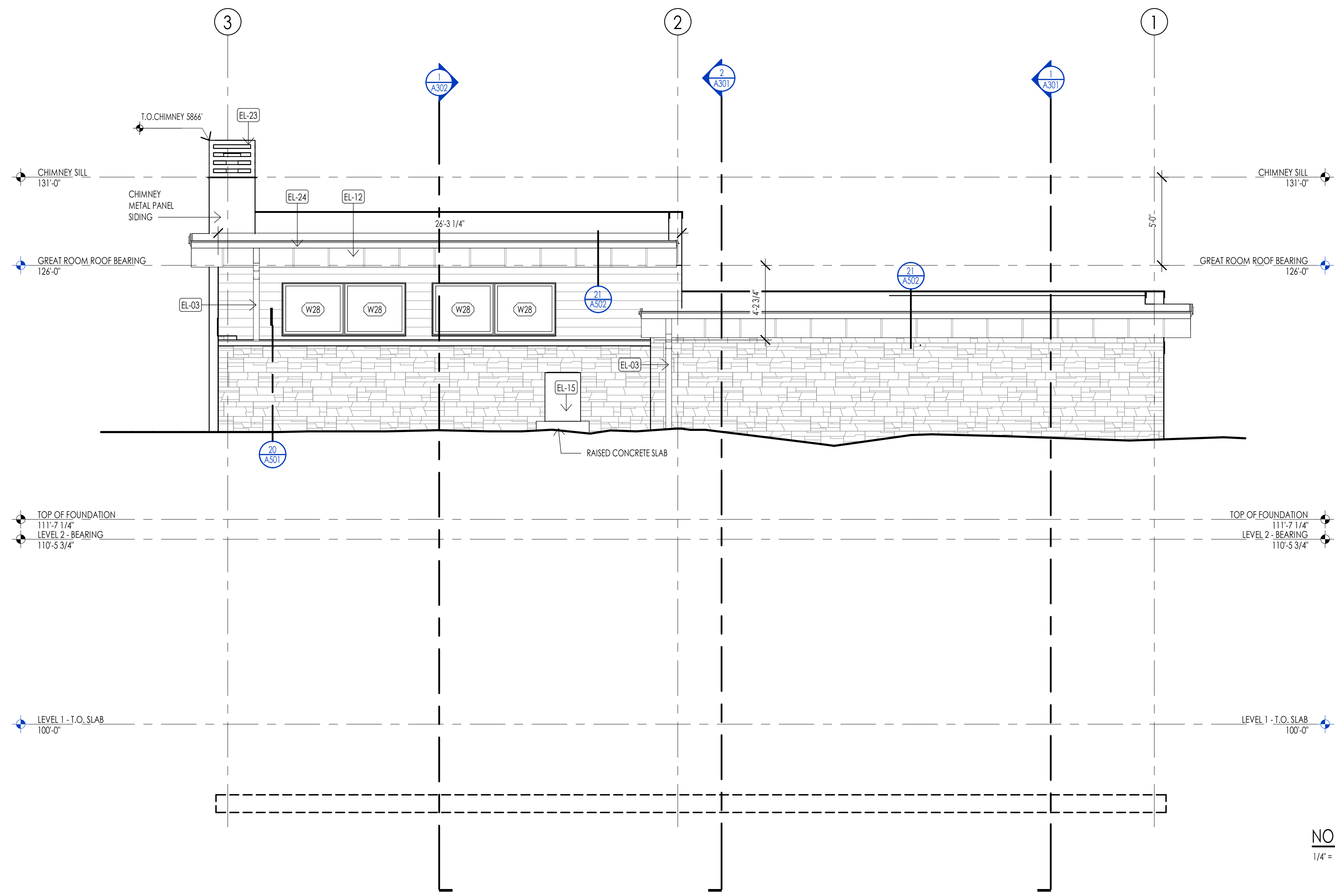
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:  
**A201**

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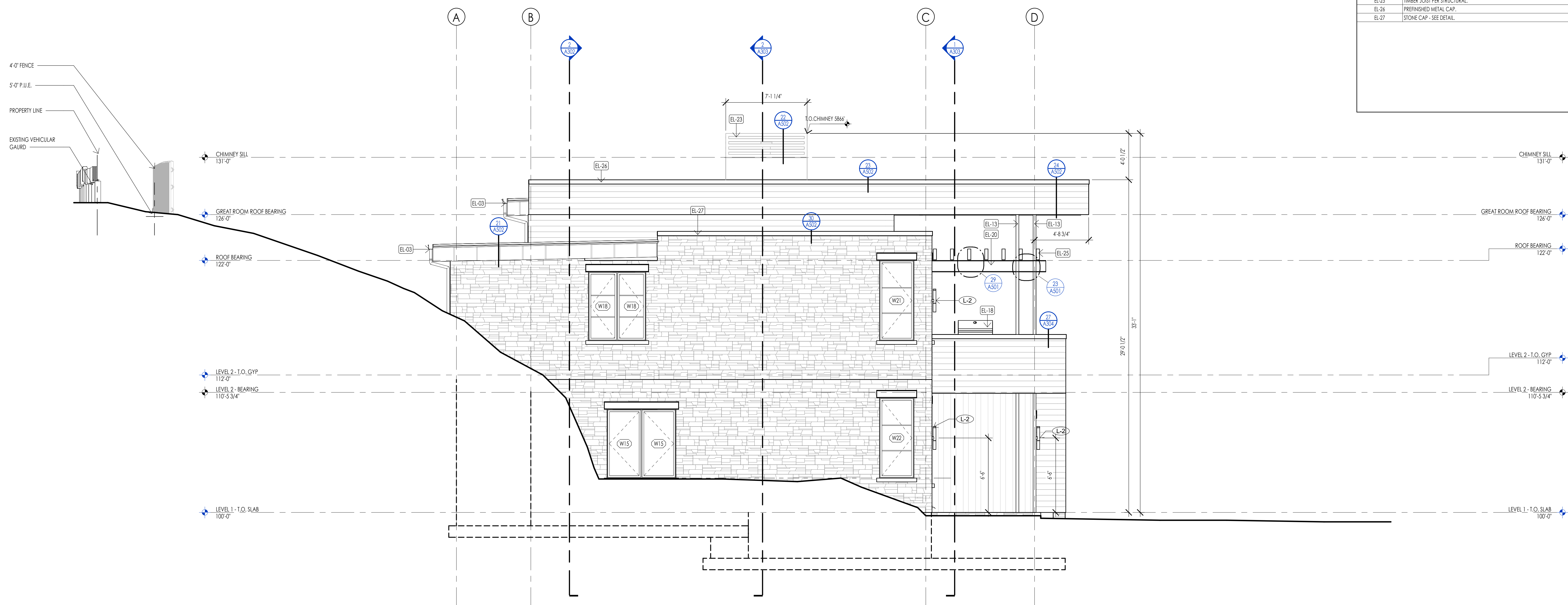


NORTH ELEVATION  
1/4" = 1'-0"

ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-03	CONNECT DOWNPOL TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-12	PREFINISHED METAL FASCIA
EL-13	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS. PAINT COLOR PER OWNER.
EL-15	MECHANICAL AIR CONDITIONER UNIT. SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
EL-18	BRQ GRILL AS SELECTED BY OWNER.
EL-20	PROVIDE WEB STIFFENER PLATES AT ALL WIDE FLANGE CONNECTIONS.
EL-23	CHIMNEY METAL CAP.
EL-24	PREFINISHED METAL GUTTER.
EL-25	THIMBER JOIST PER STRUCTURAL.
EL-26	PREFINISHED METAL CAP.
EL-27	STONE CAP - SEE DETAIL.

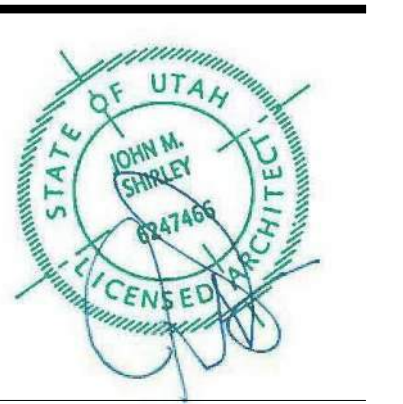


WEST ELEVATION  
1/4" = 1'-0"



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WARM SPRINGS RESIDENCE #33  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:  
A202

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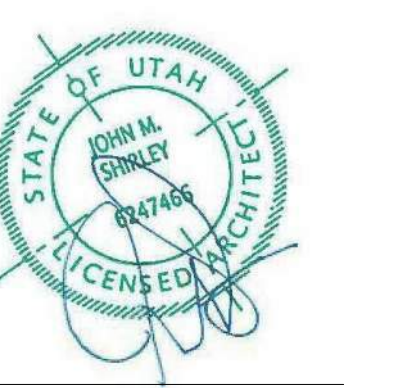


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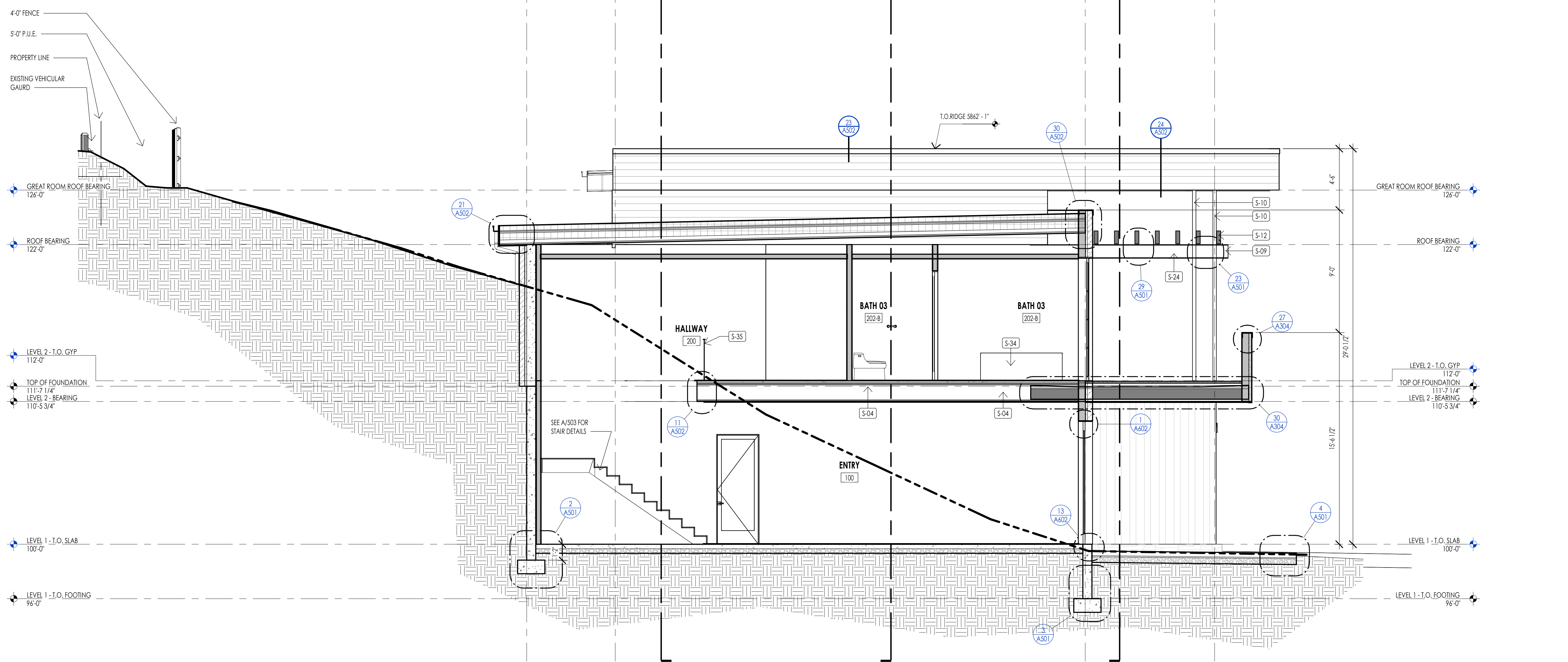
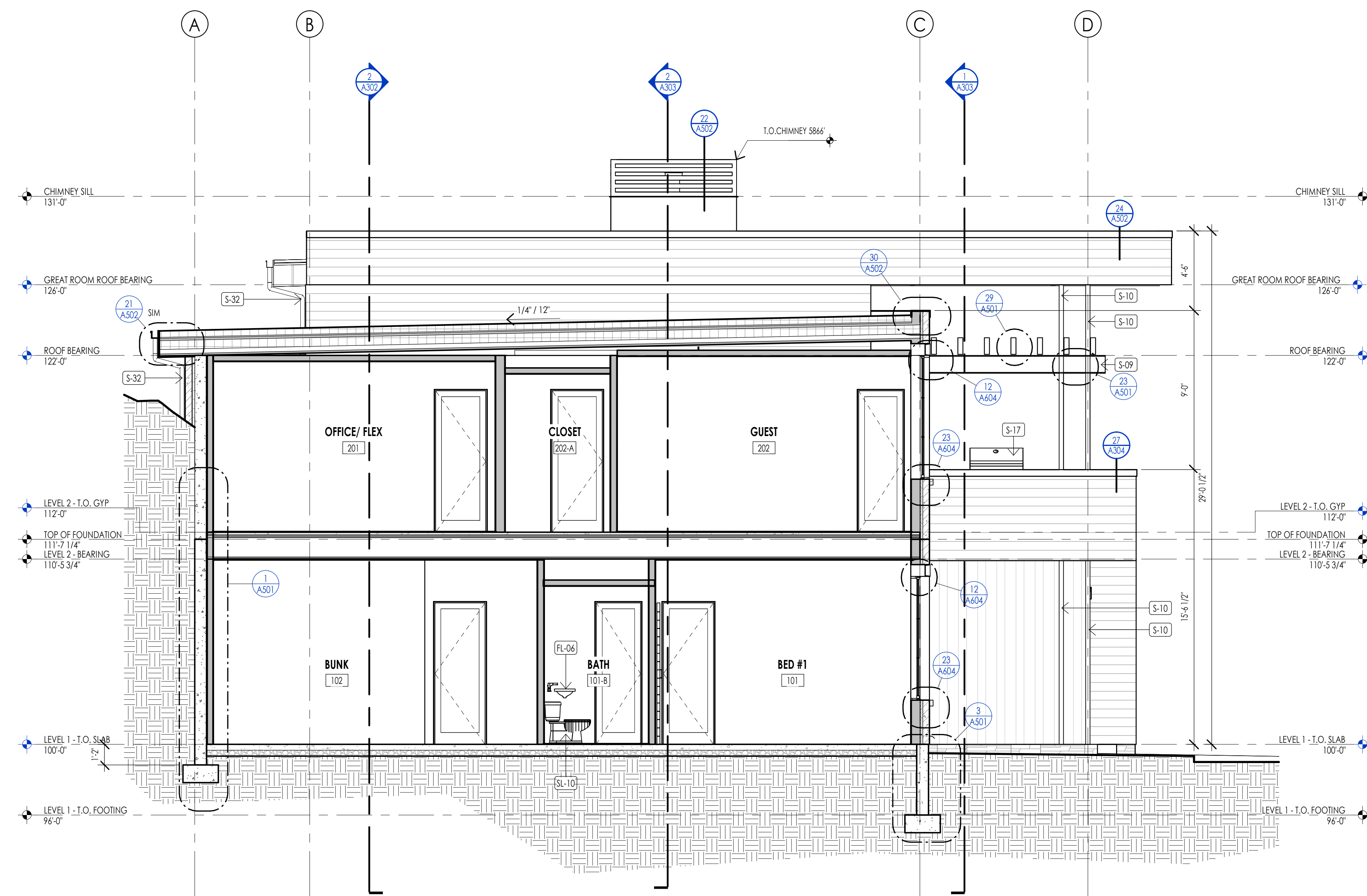
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ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
	METAL PANEL SIDING SYSTEM
	SINGLE PLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
	2x4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
S-04	PROVIDE FIRE CALKING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY
S-09	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS - PAINT COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-10	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS - PAINT COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-12	HEAVY TIMBER. SEE STRUCTURAL
S-17	BRO GRILL AS SELECTED BY OWNER - PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS.
S-24	PROVIDE WEB STIFFENER PLATES AT ALL WIDE FLANGE CONNECTIONS.
S-32	CONNECT DOWNSPOUT TO DRAIN DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP.
S-34	TUB/FREE STANDING TUB/ SHOWER TRIS AS PER INTERIOR DESIGNER.
S-35	3/4" CONTINUOUS HANDRAIL SEE STAIR/ RAIL DETAILS SHEET.
SL-10	PROVIDE BLOCKOUT IN STRUCTURAL SLAB FOR PLUMBING - COORDINATE WITH PLUMBING DRAWINGS



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISED:

SHEET TITLE:  
BUILDING SECTIONS

SHEET NUMBER:  
A301

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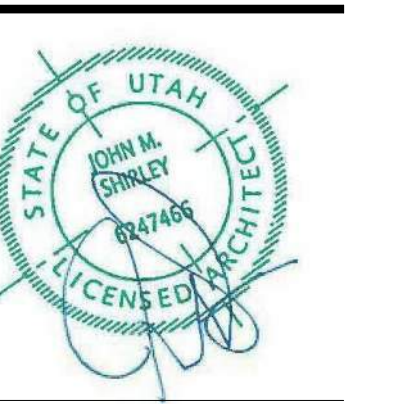


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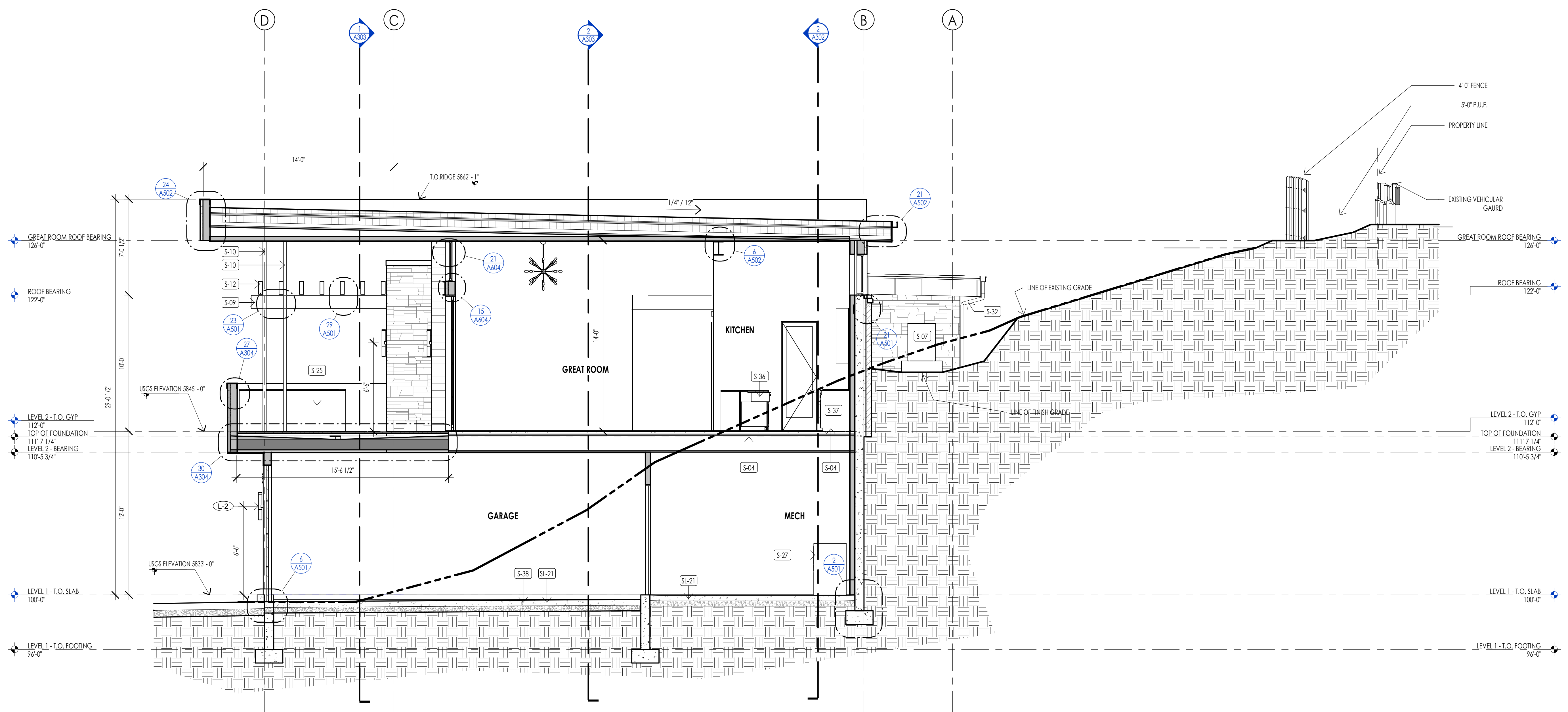
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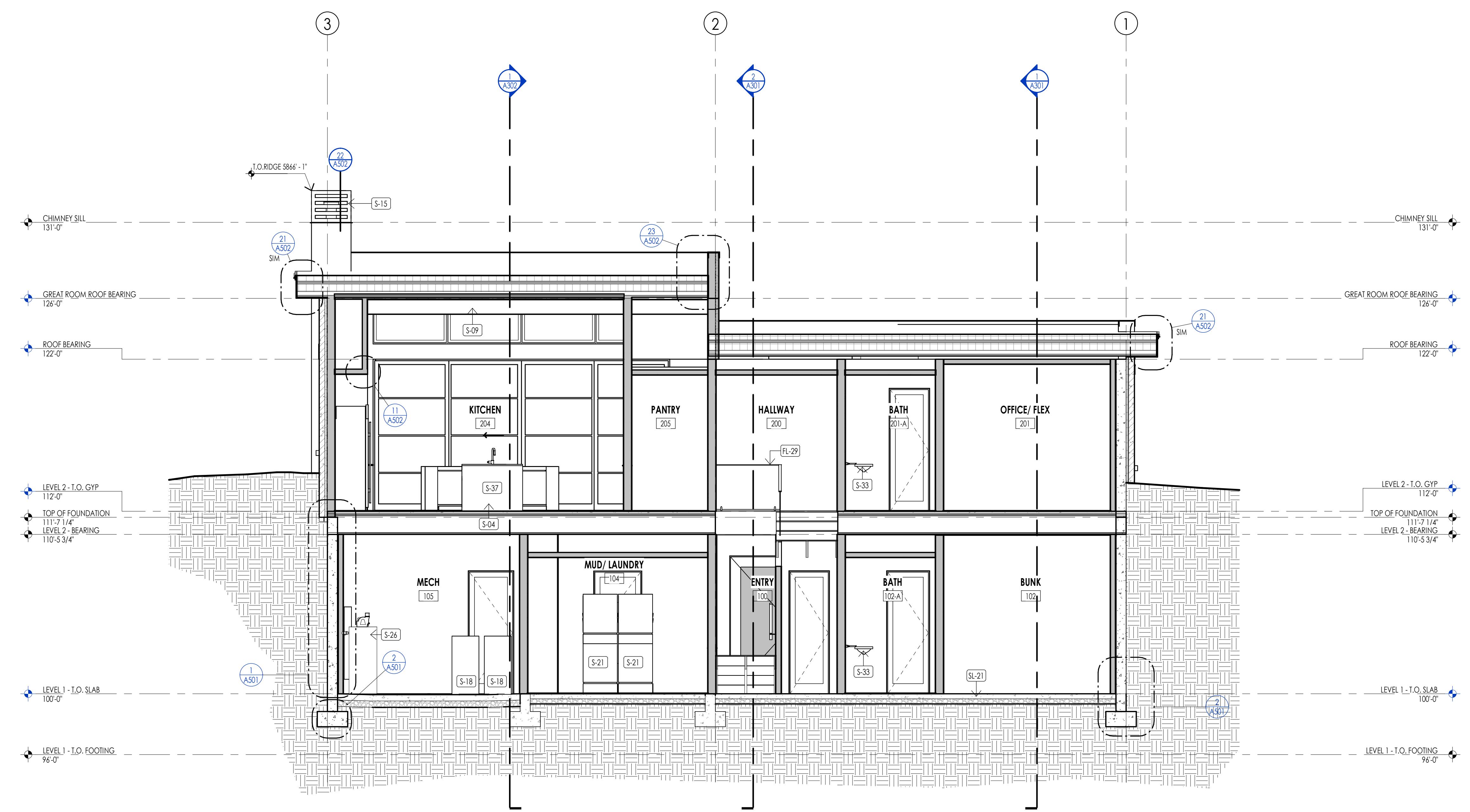
ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLEPLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
FL-29	3" HANDRAIL SEE STAIR/ RAIL DETAILS SHEET
S-04	PROVIDE FIRE CALLING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY
S-07	MECHANICAL AIR CONDITIONER UNIT- SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
S-09	STEEL BEAM- SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-10	STEEL PIPE COLUMN- SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-12	HEAVY TIMBER- SEE STRUCTURAL
S-15	PREFINISHED METAL CAP
S-18	GAS FIRED FURNACE PER MECHANICAL
S-21	STACKABLE WASHER/ DRYER. COORDINATE W/ INTERIOR DESIGNER & CONSTRUCTION TRADES AS REQUIRED.
S-25	SPA. BULLFROG AB SERIES COORDINATE FOR SHUT OFF SWITCH AND HOT-COLD HOOK UP PER MANUF.
S-26	MECHANICAL - HOT WATER BOILER
S-27	MECHANICAL - GAS FIRED FURNACE
S-32	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP.
S-33	BATHROOM SINK - VANITY PER INTERIOR DESIGNER.
S-36	KITCHEN SINK - COORDINATE W/ PLUMBING.
S-37	KITCHEN RANGE - COORDINATE FOR GAS AND ELECTRICAL - RANGE HOOD PER I.D.
S-38	PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING.
SL-21	PROVIDE RIGID FOAM INSULATION BELOW FLOOR SLAB AT LEVEL 0. SEE SCHEDULE FOR R-VALUES. PROVIDE SULTAP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION. TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.



Section 3  
1/4" = 1'-0" (A302)



Section 4  
1/4" = 1'-0" (A302)

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

REVISIONS:

SHEET TITLE:  
BUILDING SECTIONS

SHEET NUMBER:  
A302

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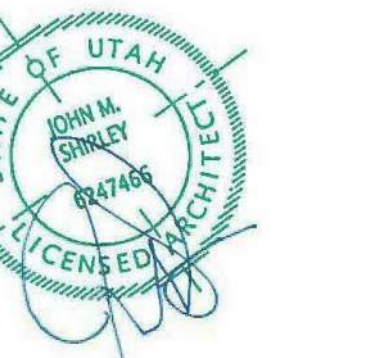


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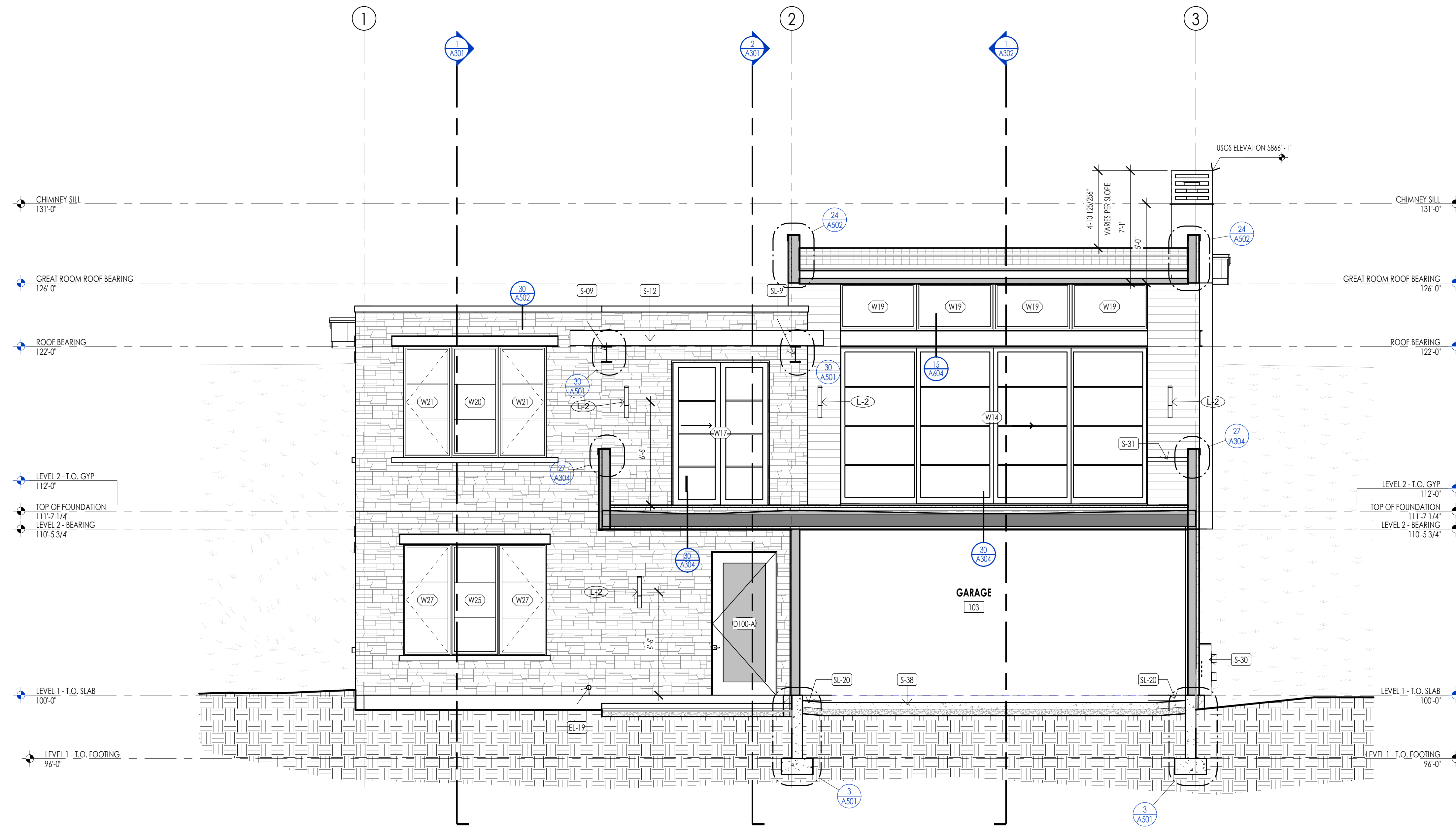


ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLEPLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

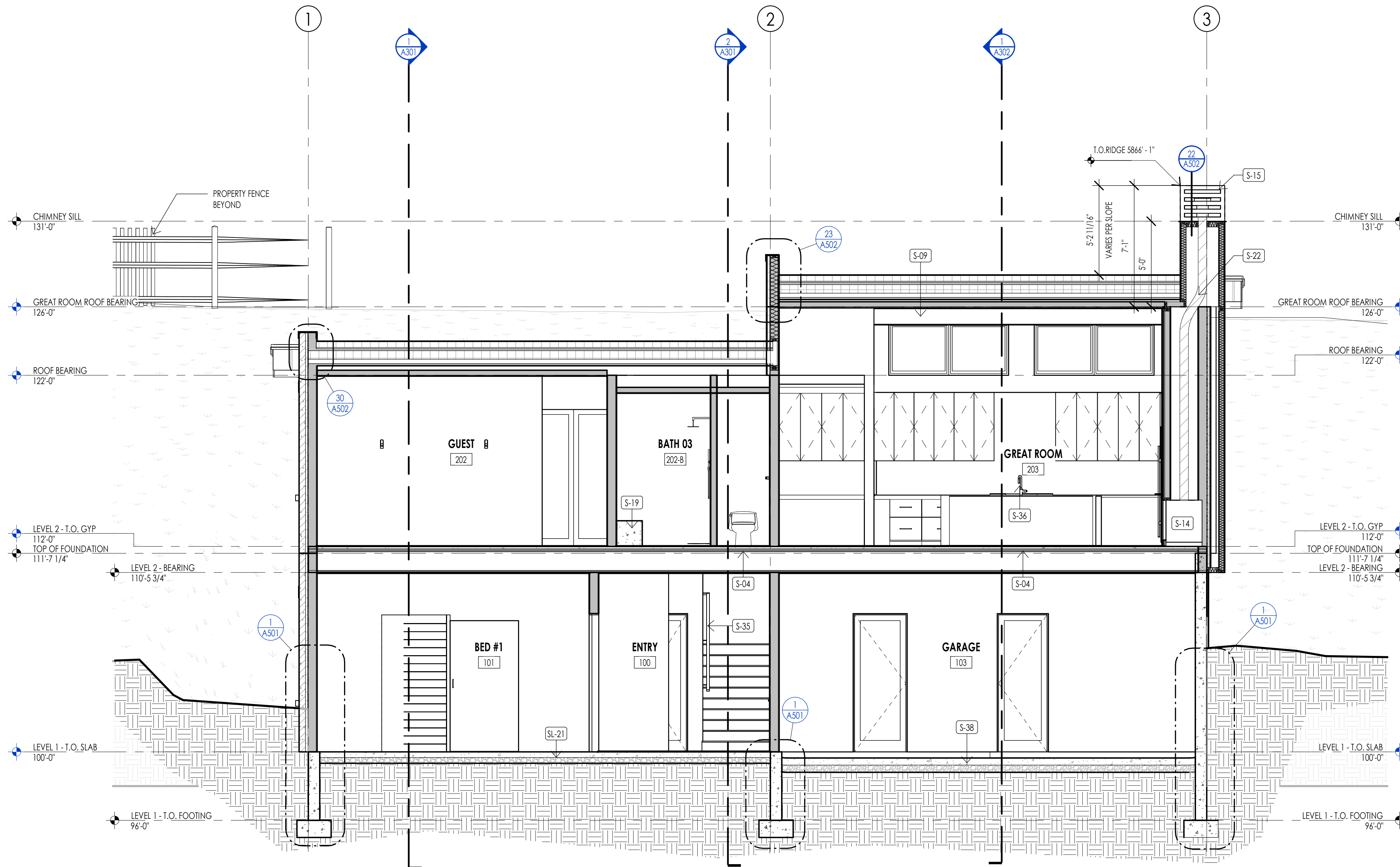
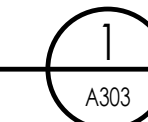
NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL

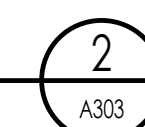
ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-19	OVERFLOW URN DOWNSPOUT- PLUMBING.
S-04	PROVIDE FIRE CAULKING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY.
S-09	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
S-12	HEAVY TIMBER. SEE STRUCTURAL.
S-14	FIREPLACE. AS SELECTED BY OWNER WALL FINISHES PER INTERIOR DESIGN- PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS.
S-15	PREFINISHED METAL CAP.
S-19	SHOWER BENCH PER INTERIOR DESIGNER.
S-22	DIRECT VENT FLEX FLUE PIPE-SEE SPECS. PER MECHANICAL.
S-30	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY ULILITY PROVIDER. SEE ELECTRICAL PLAN.
S-31	STAINLESS-STEEL COUNTERTOP.
S-35	36" CONTINUOUS HANDRAIL SEE STAIR/ RAIL DETAILS SHEET.
S-36	KITCHEN SINK - COORDINATE W/ PLUMBING.
S-38	PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING.
SL-9	CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION.
SL-20	WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING.
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R WALLS - PROVIDE BULKHEAD FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION. TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.



Section 5  
1/4" = 1'-0"



Section 6  
1/4" = 1'-0"



WARM SPRINGS RESIDENCE #33

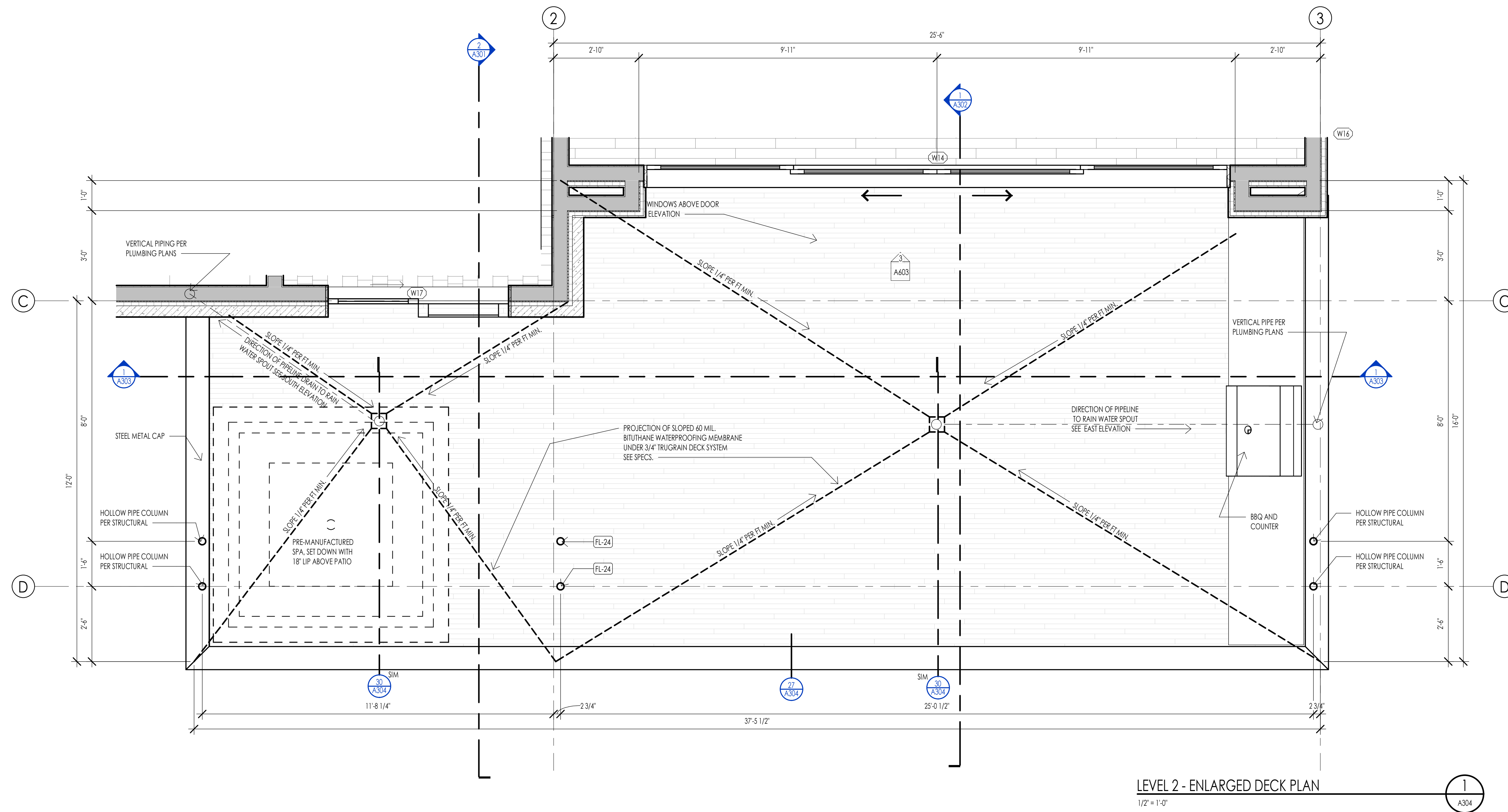
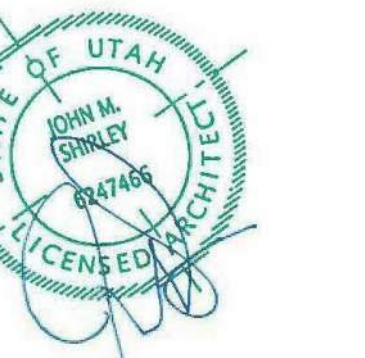
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

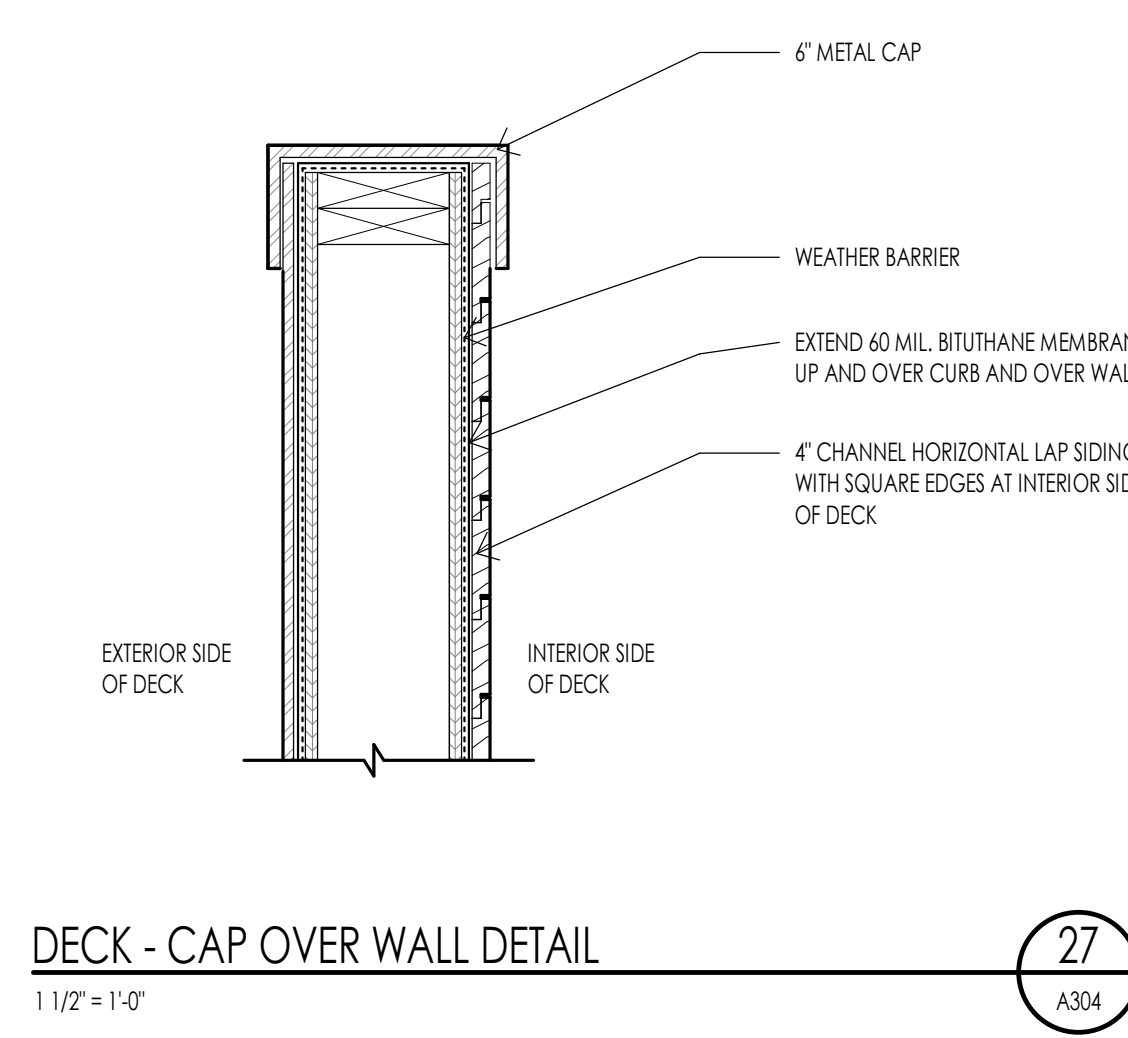
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BUILDING SECTIONS

SHEET NUMBER:  
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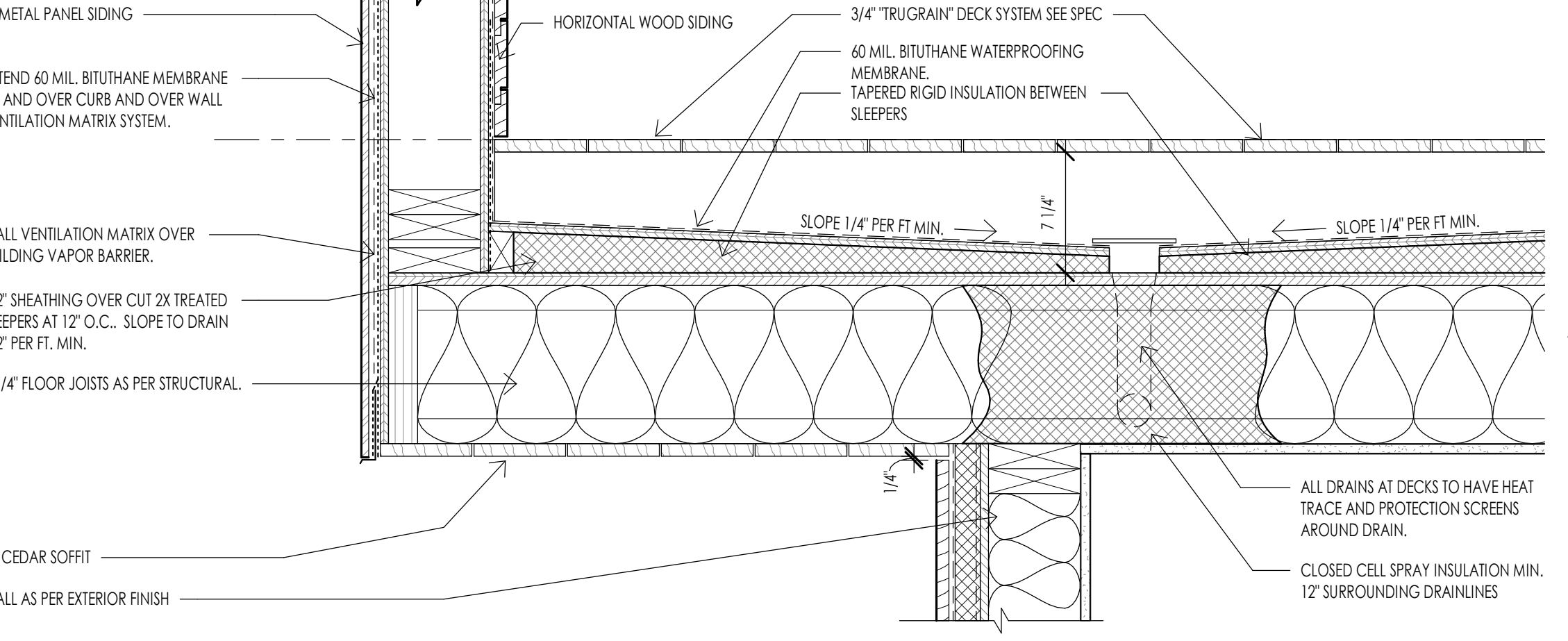
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LEVEL 2 - ENLARGED DECK PLAN  
1/2" = 1'-0"



DECK - CAP OVER WALL DETAIL  
1 1/2" = 1'-0"



DECK - DRAINAGE DETAIL  
1 1/2" = 1'-0"

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

SHEET TITLE:  
ENLARGED DECK -  
DETAILS

SHEET NUMBER:  
A304

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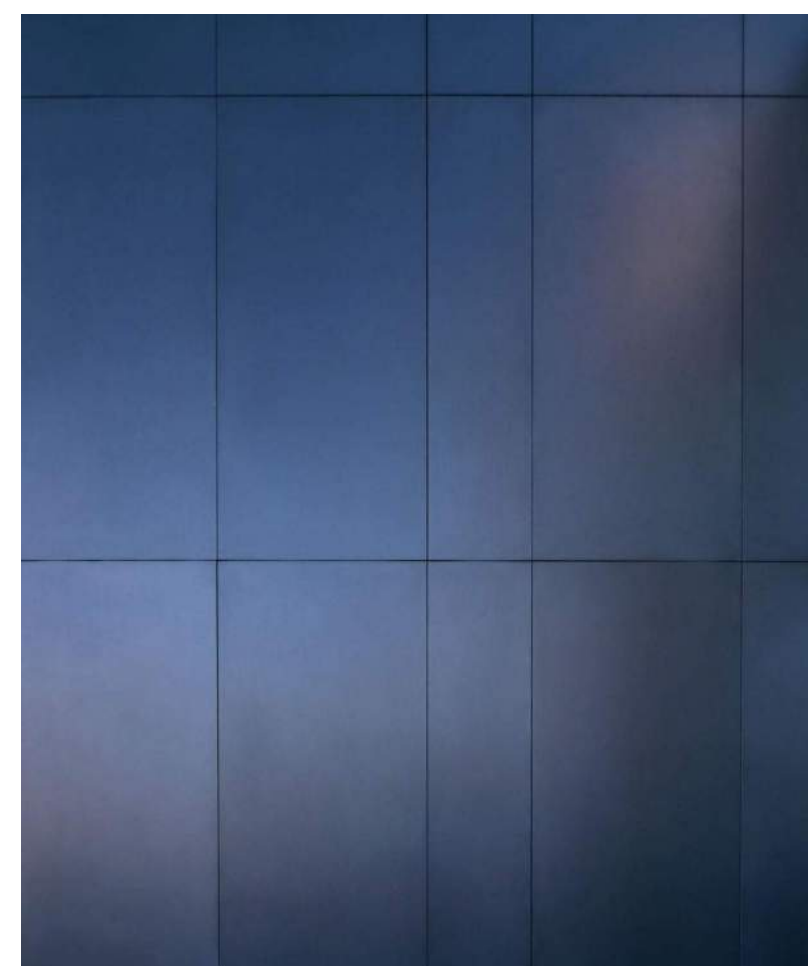
GREAT ROOM INTERIOR VIEW



OWNER SUITE INTERIOR VIEW



INTERIOR WOOD SLAT FINISH



STEEL FIREPLACE SURROUND



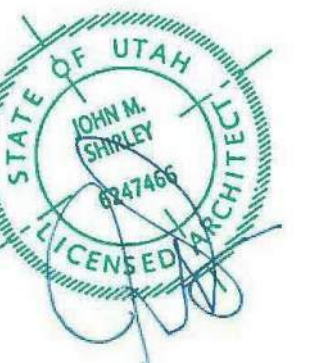
Architecture

Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
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WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33

DATE: 2023.11.06

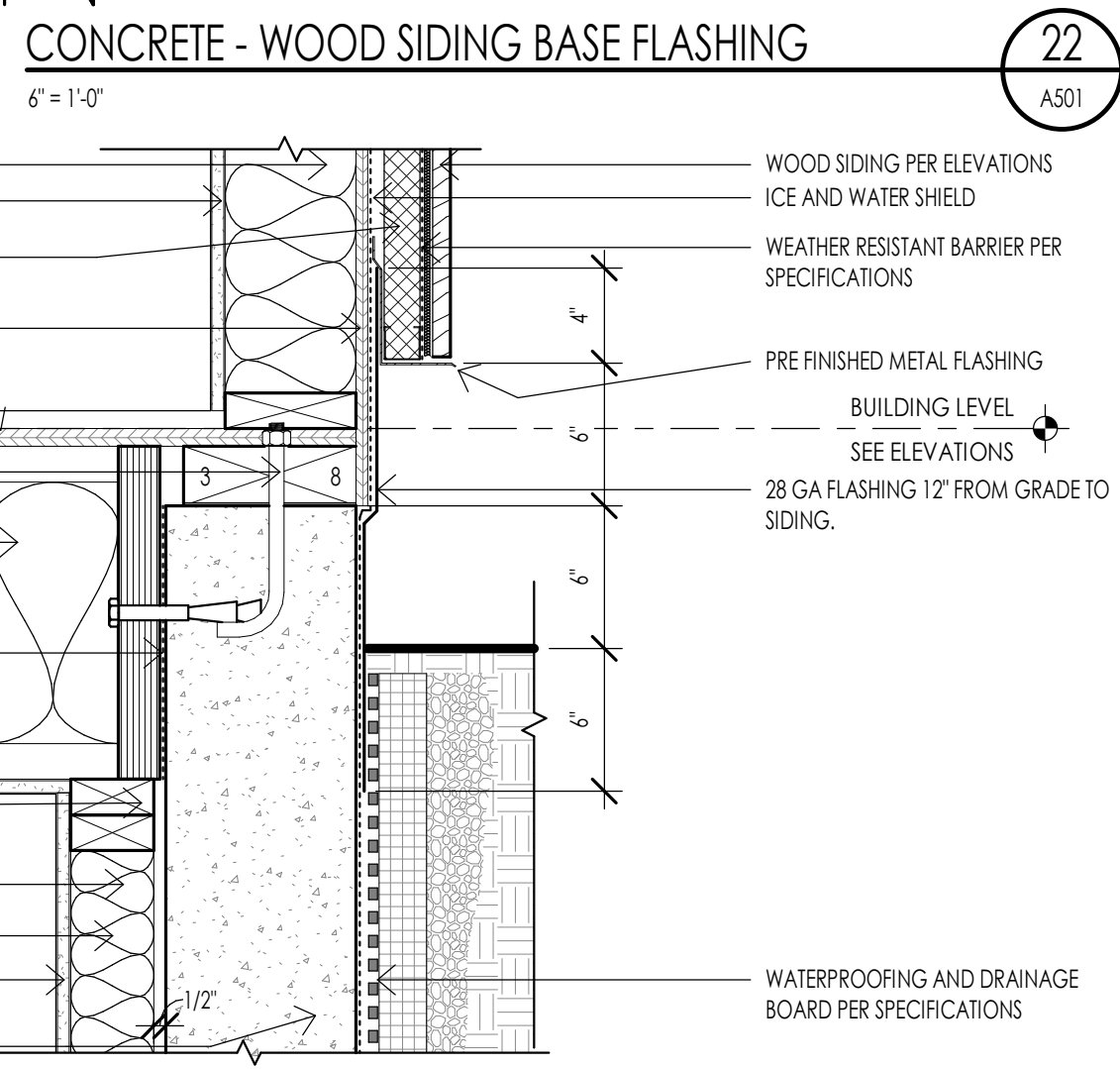
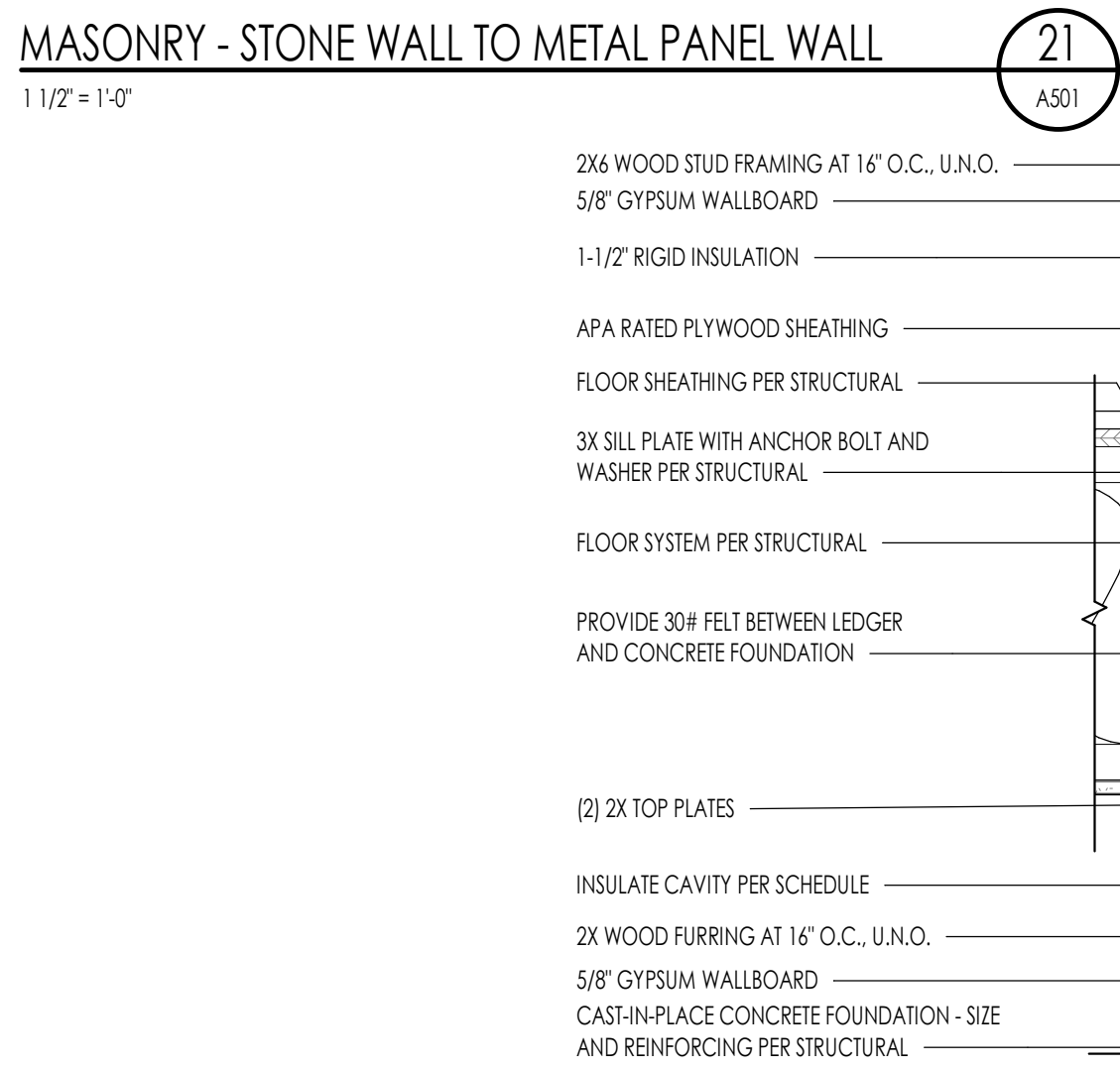
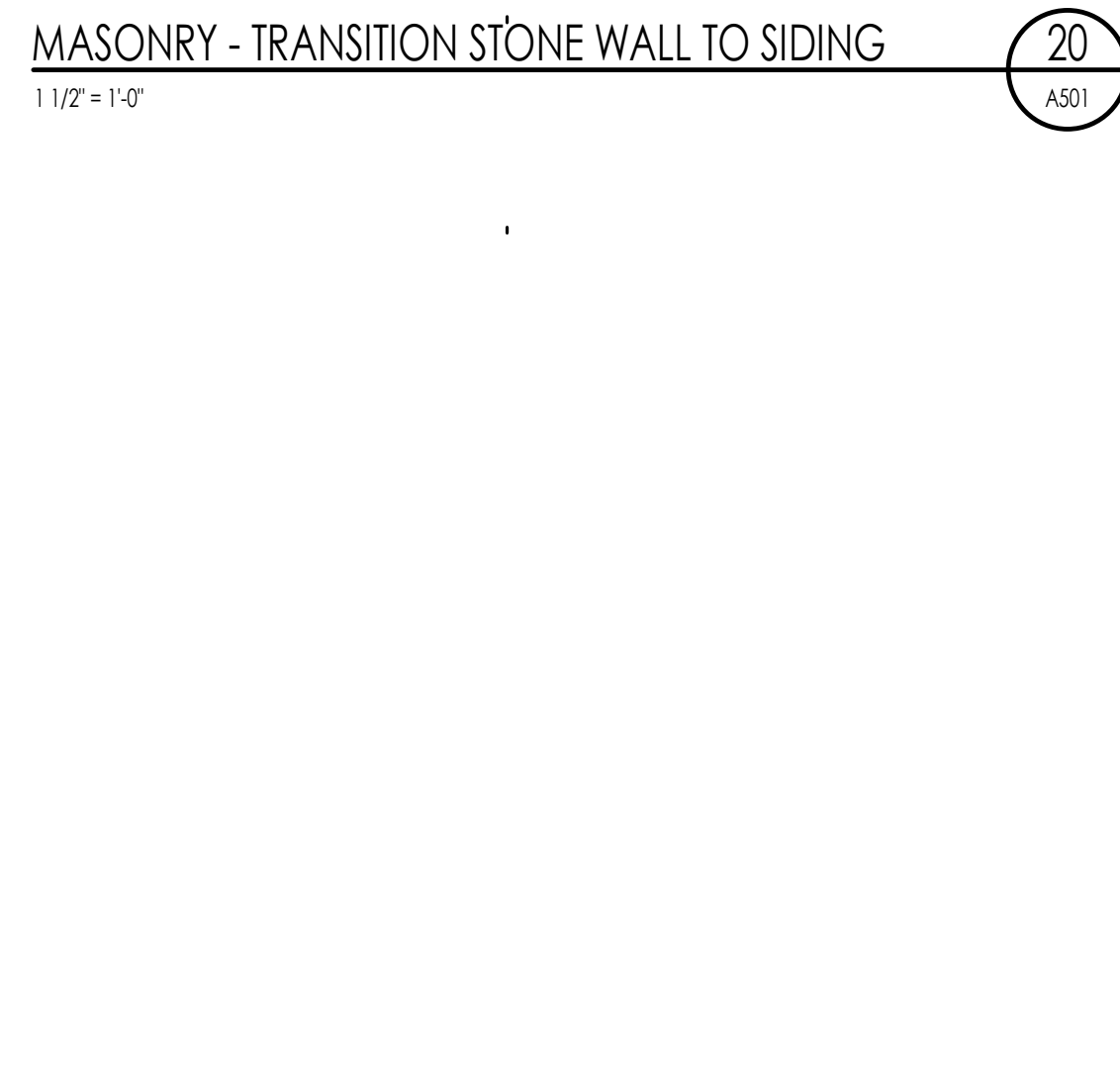
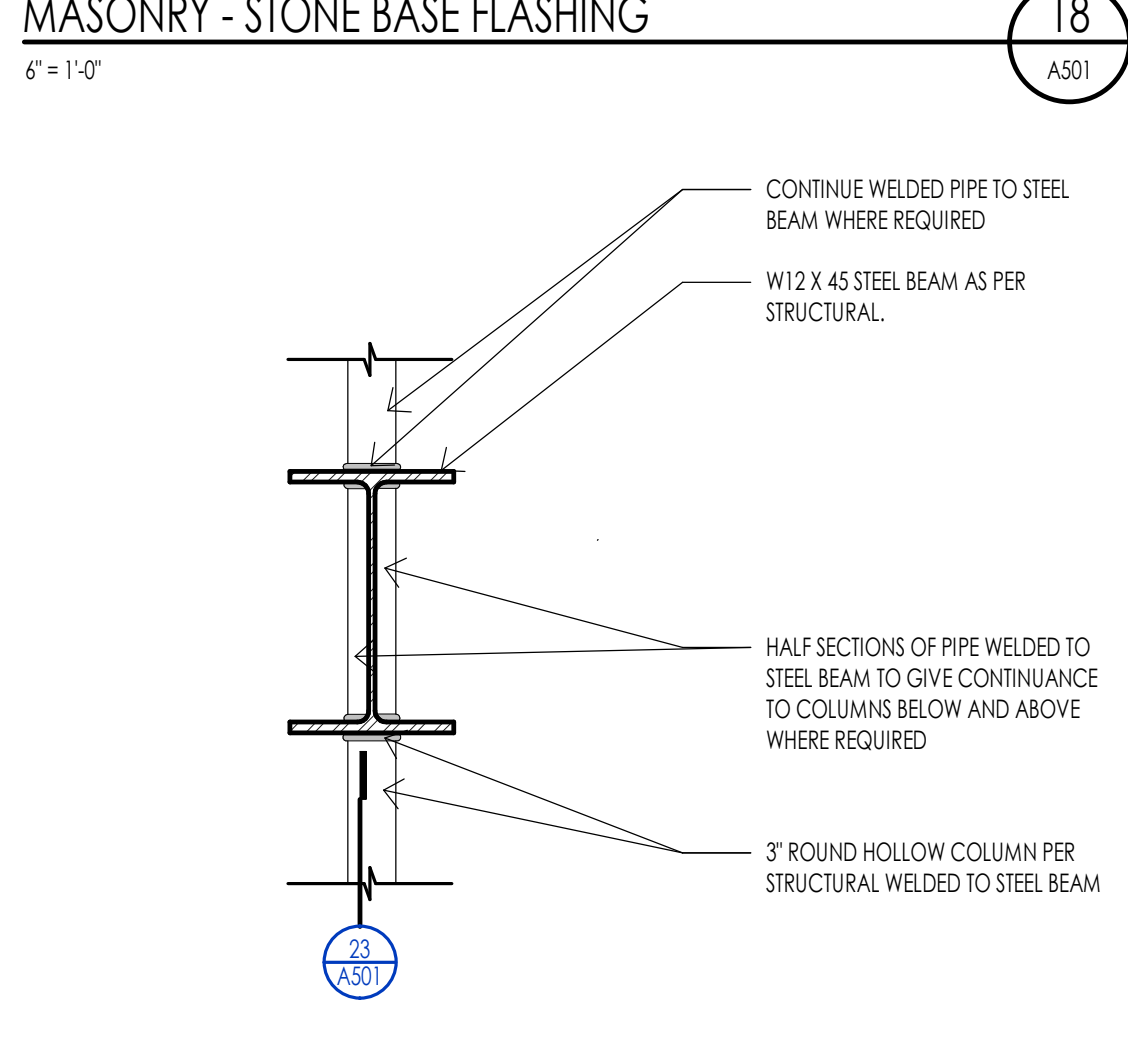
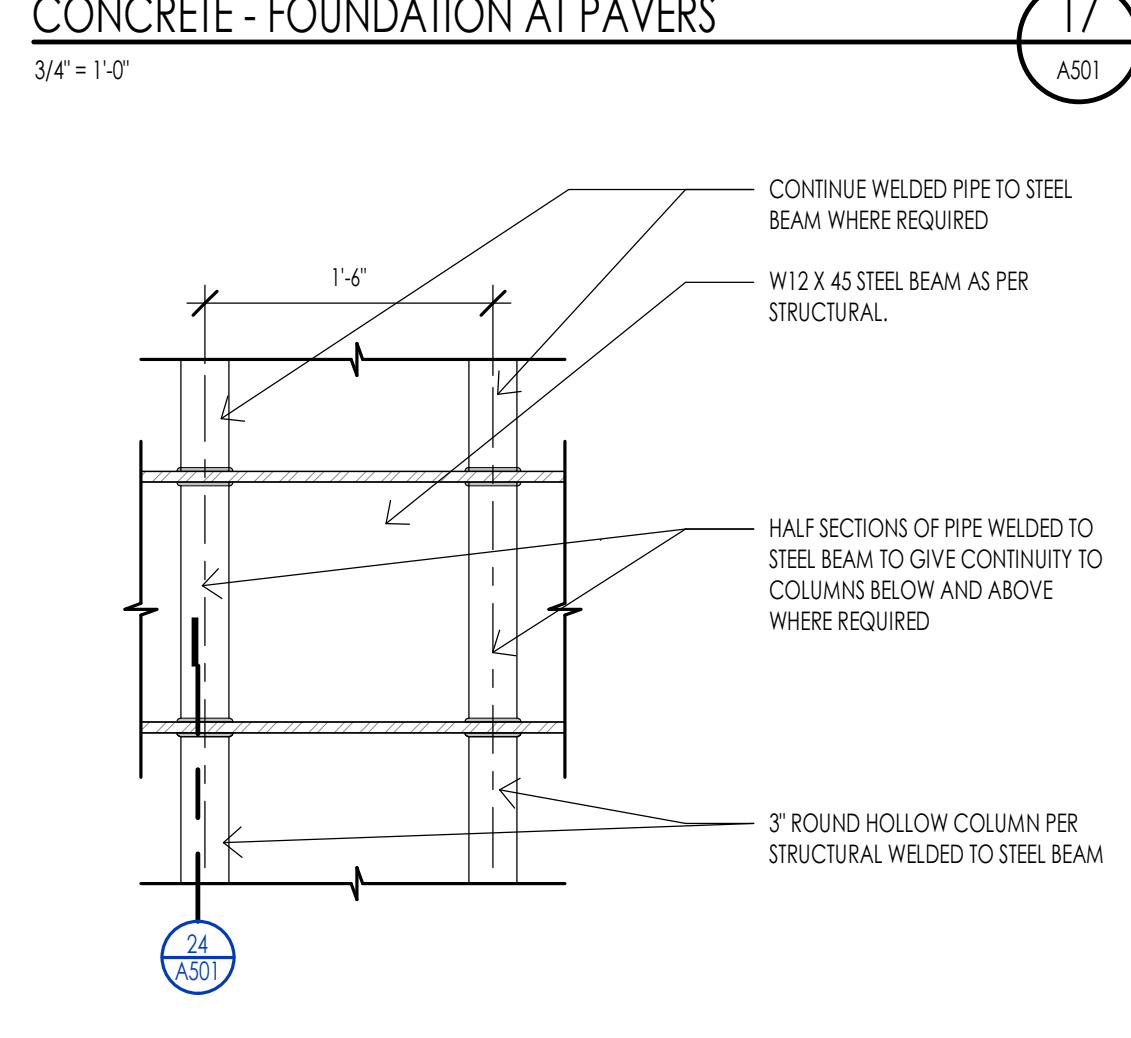
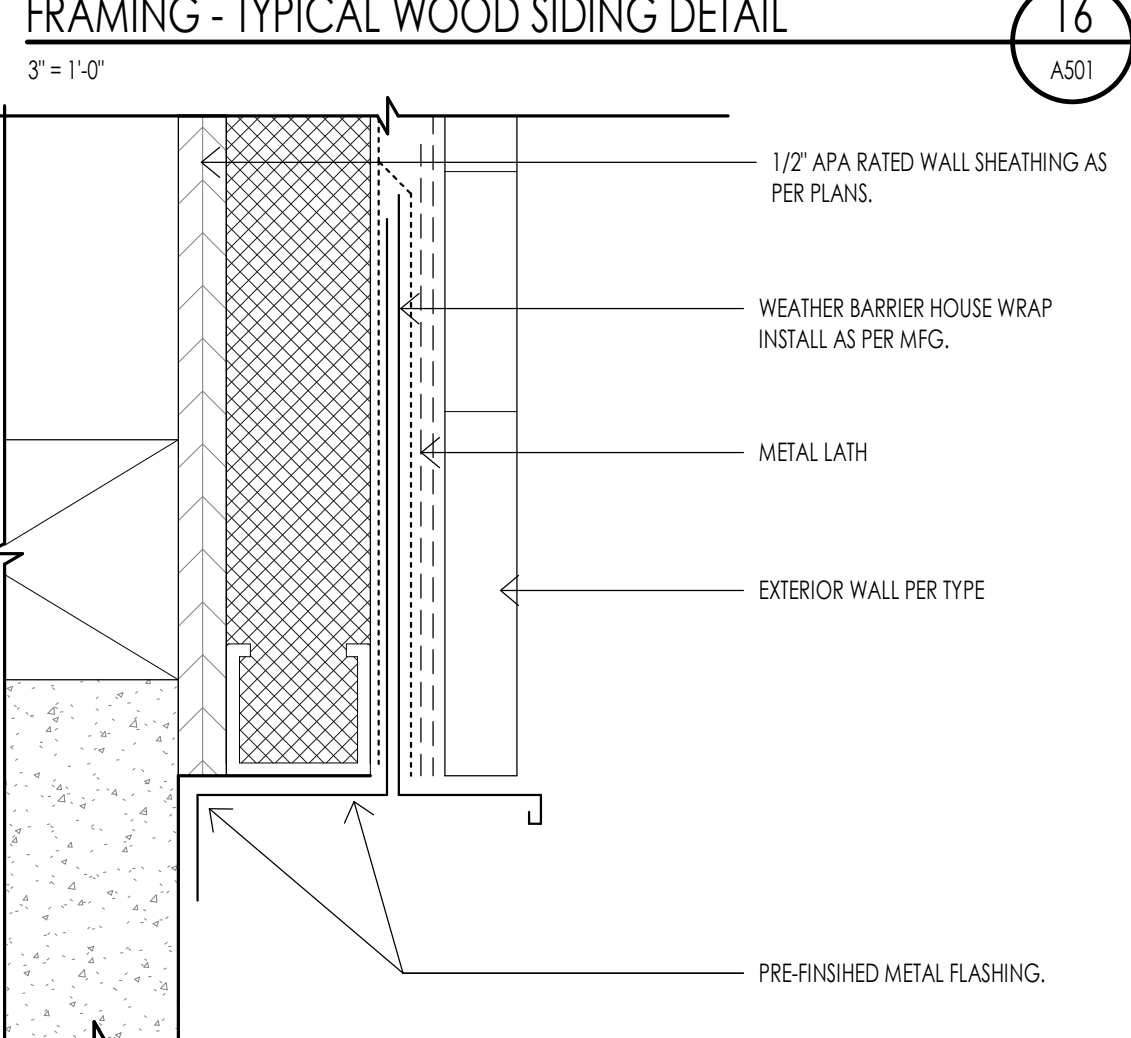
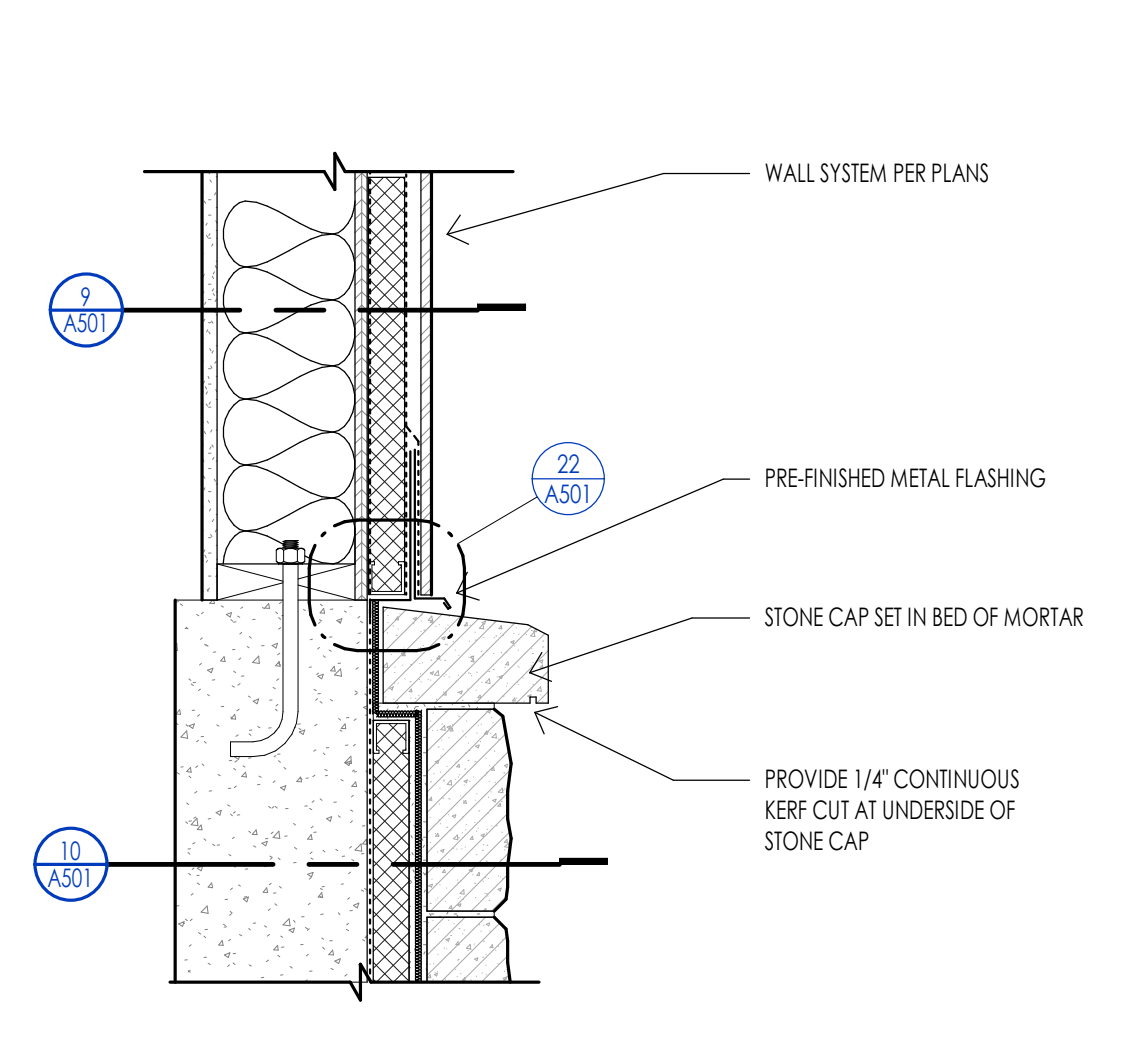
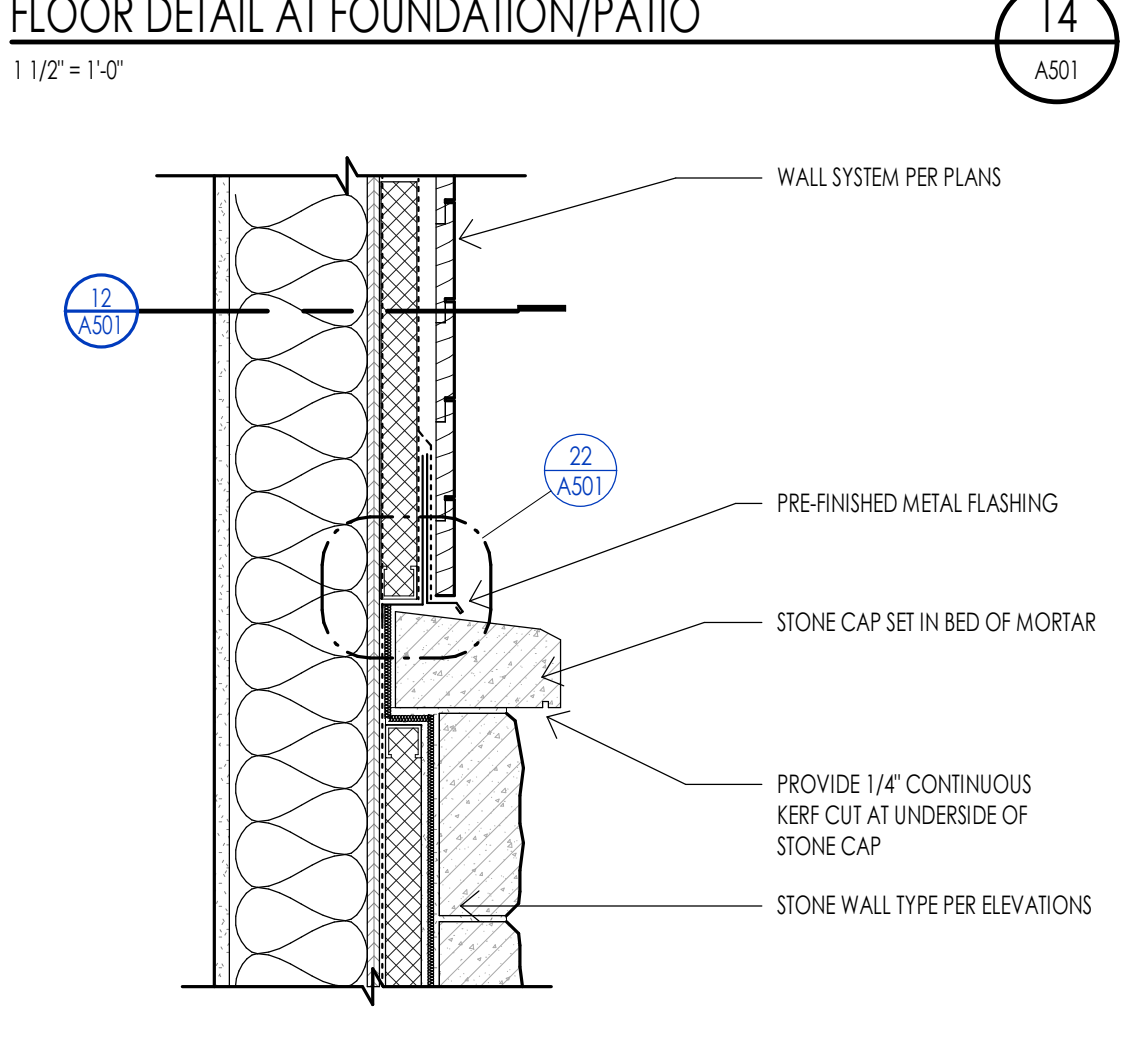
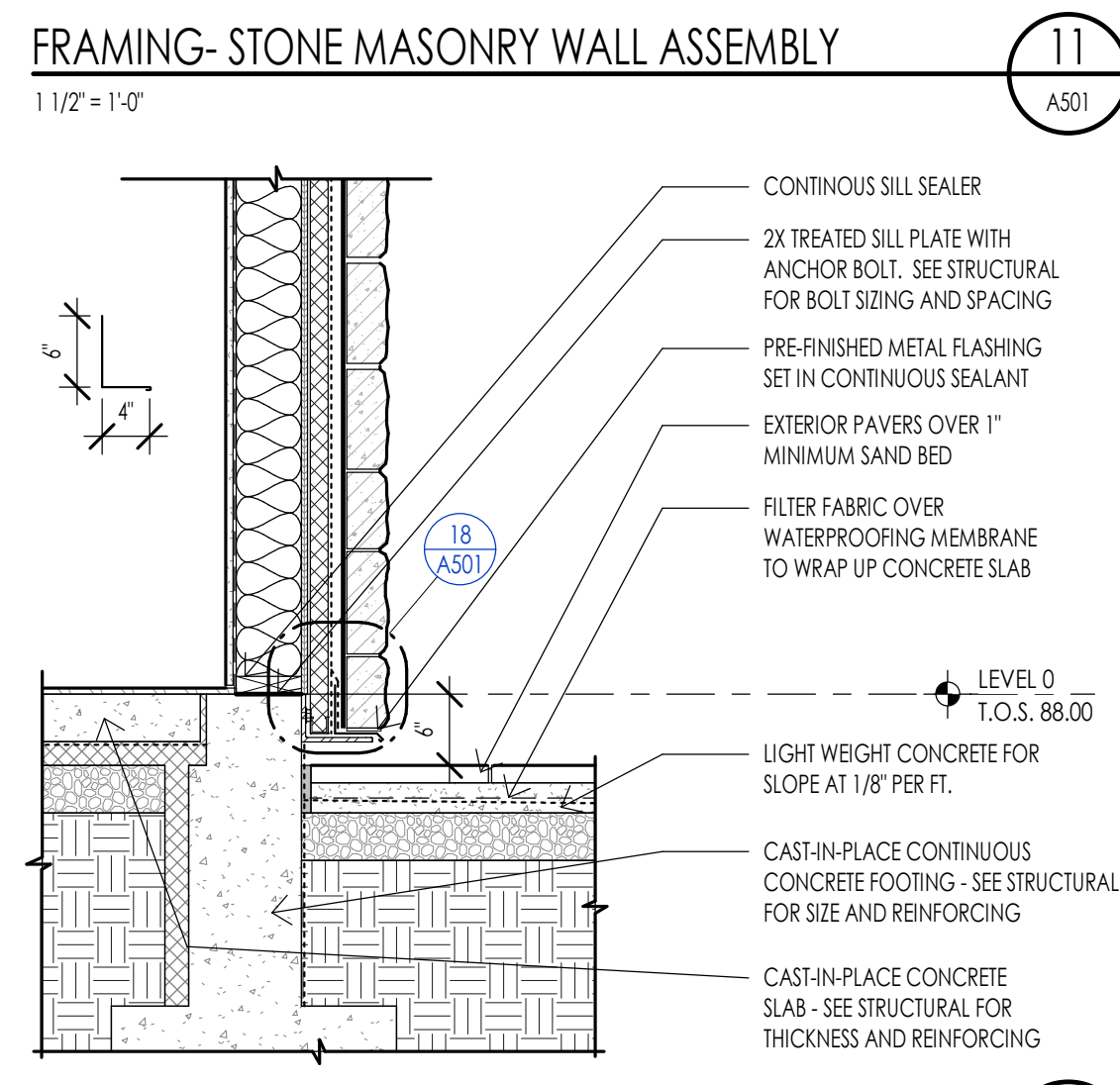
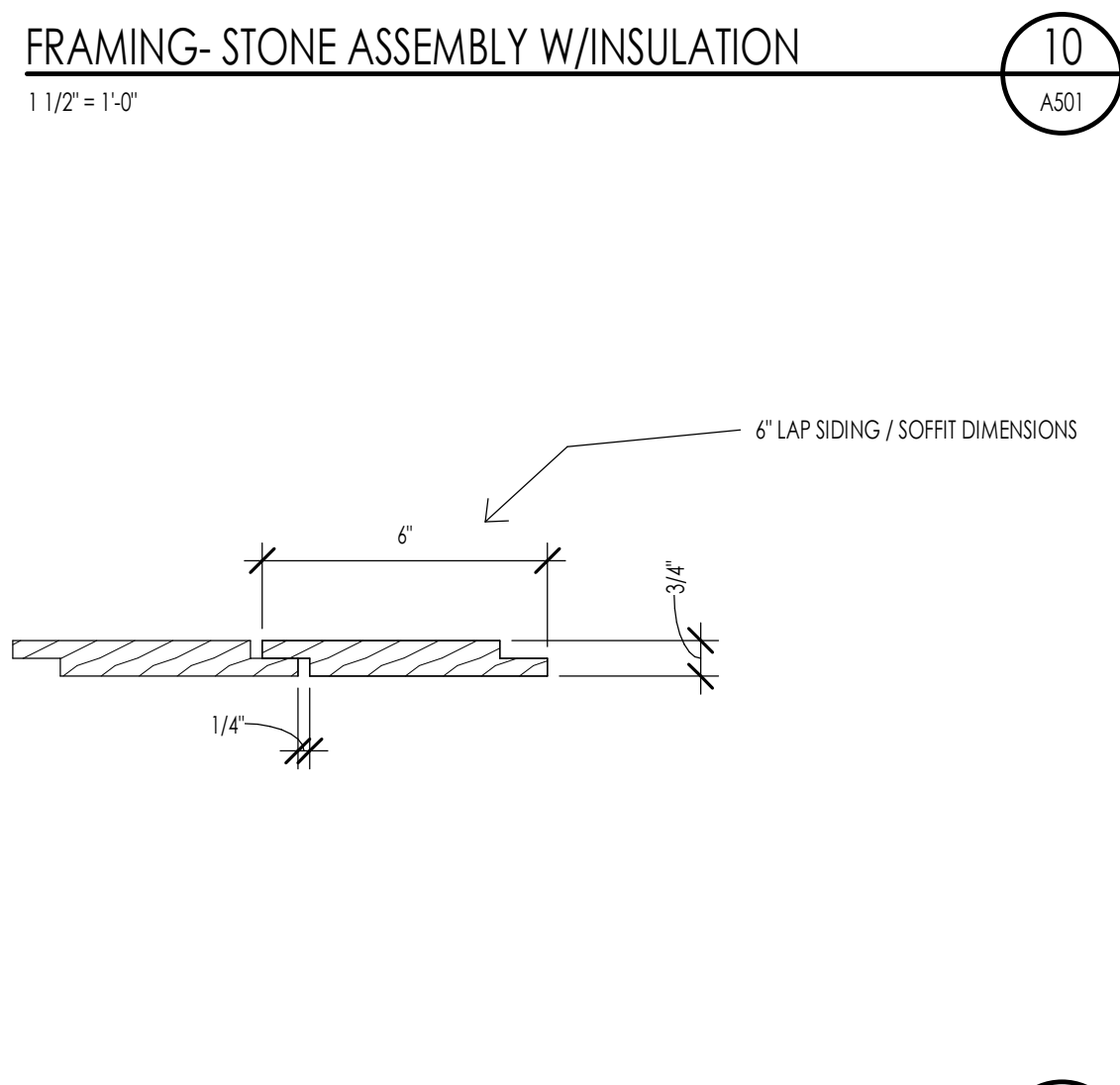
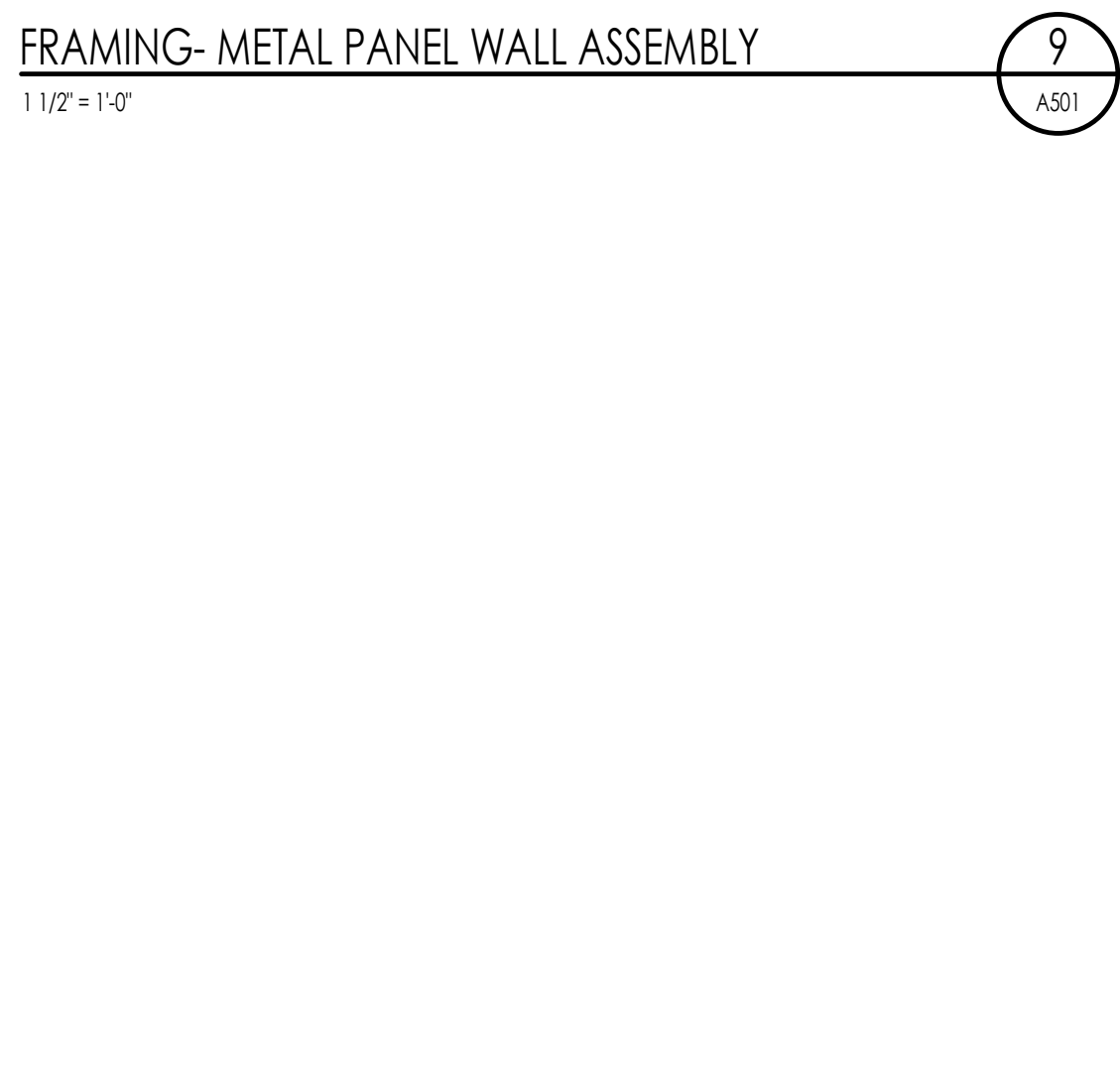
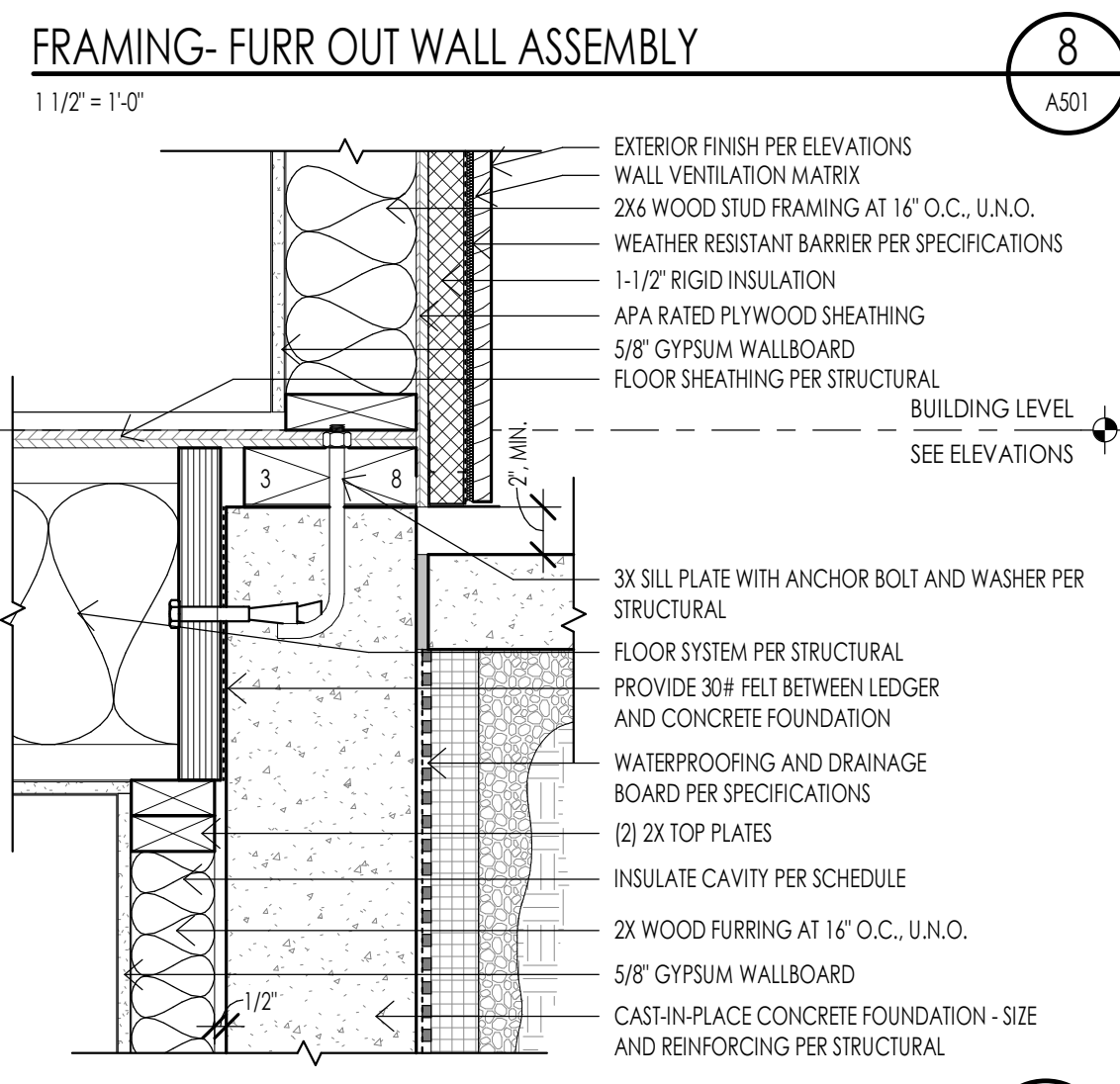
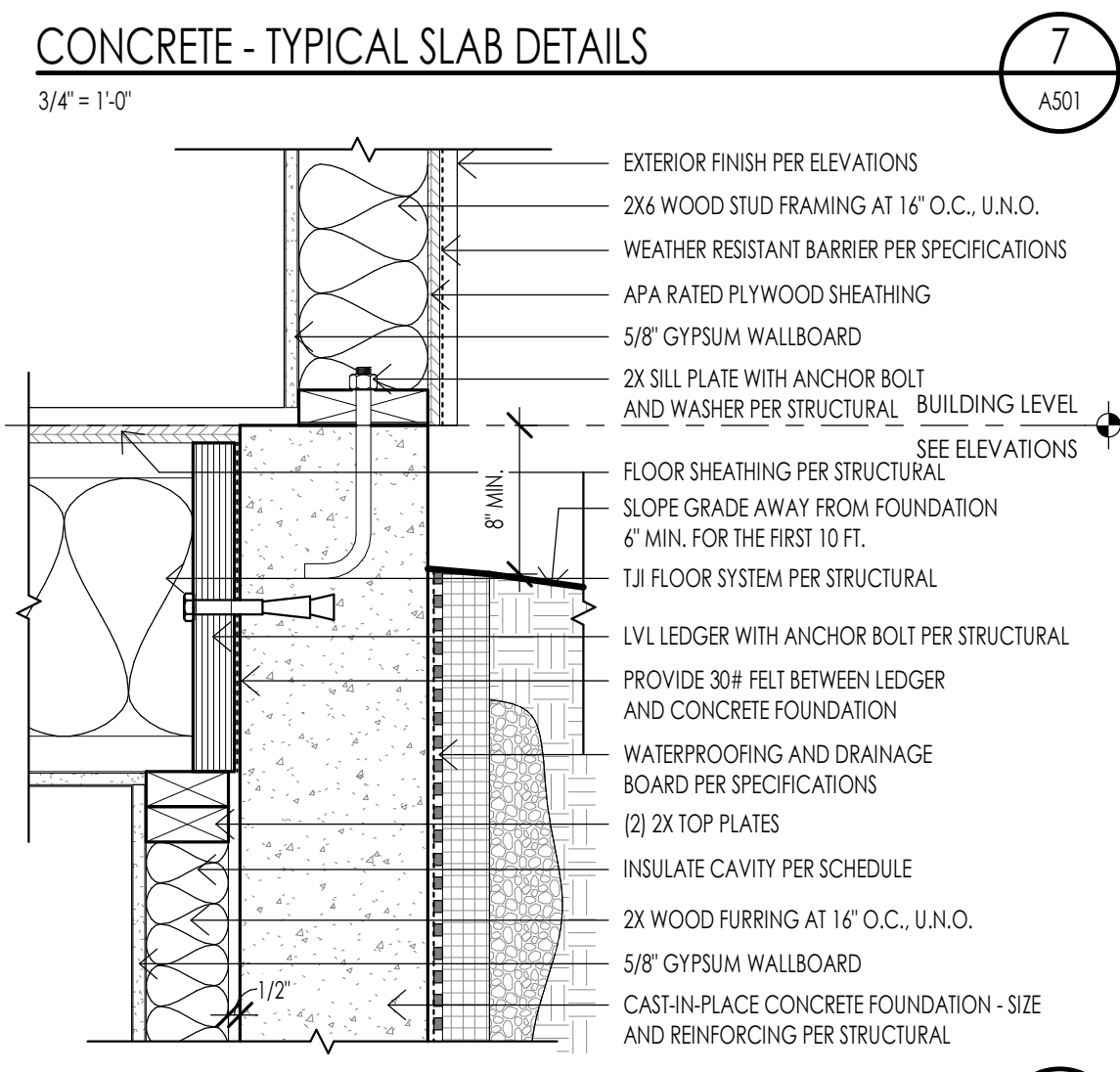
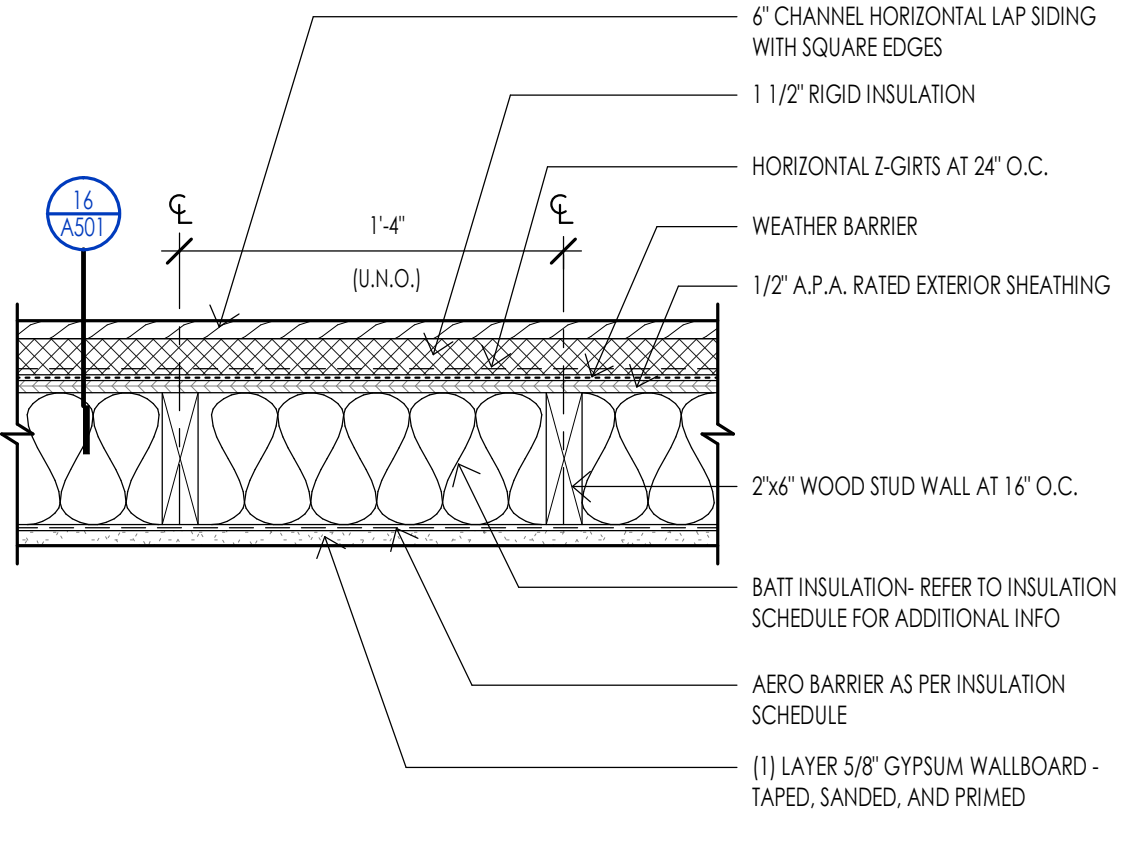
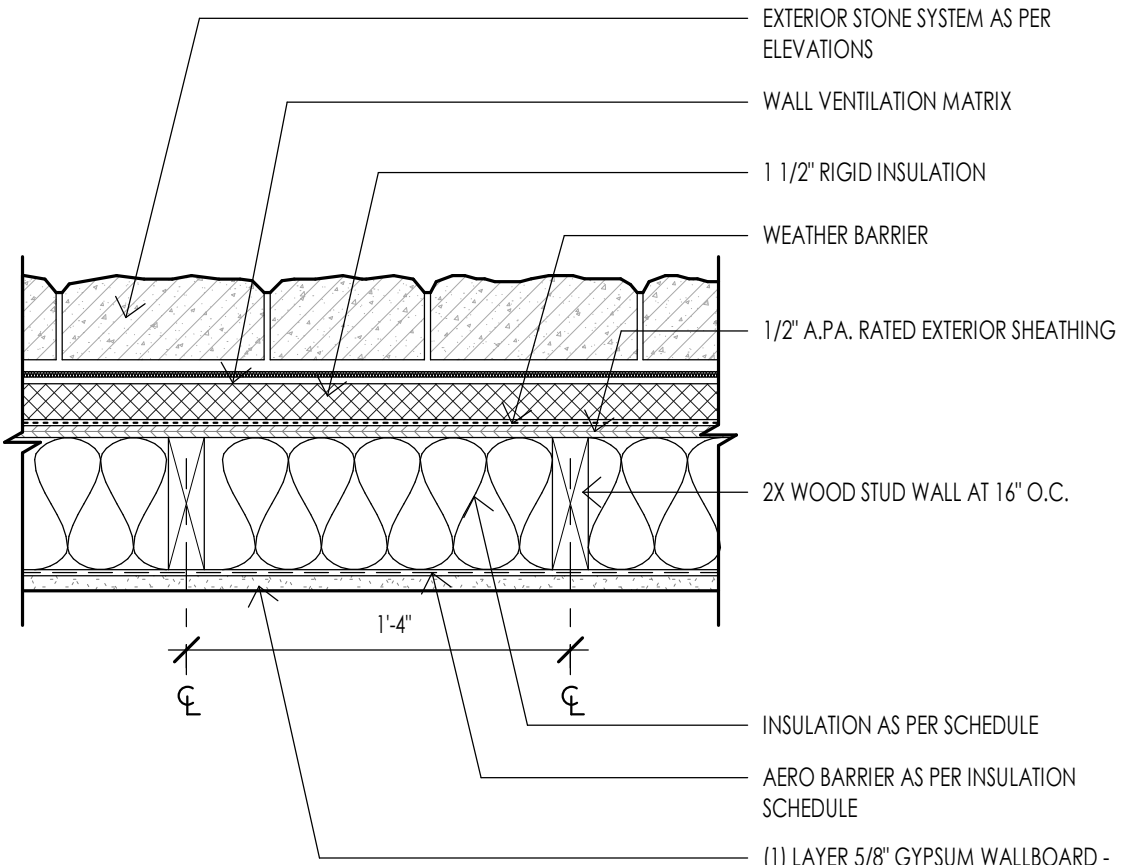
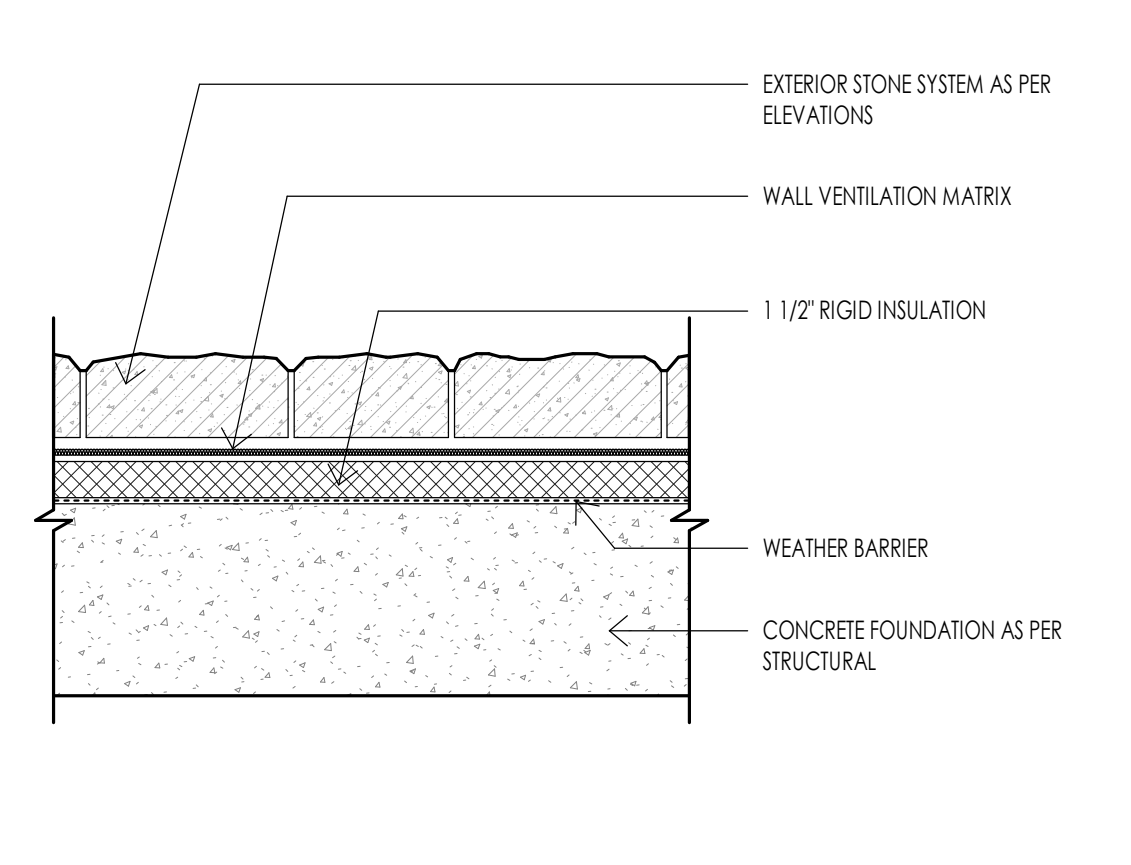
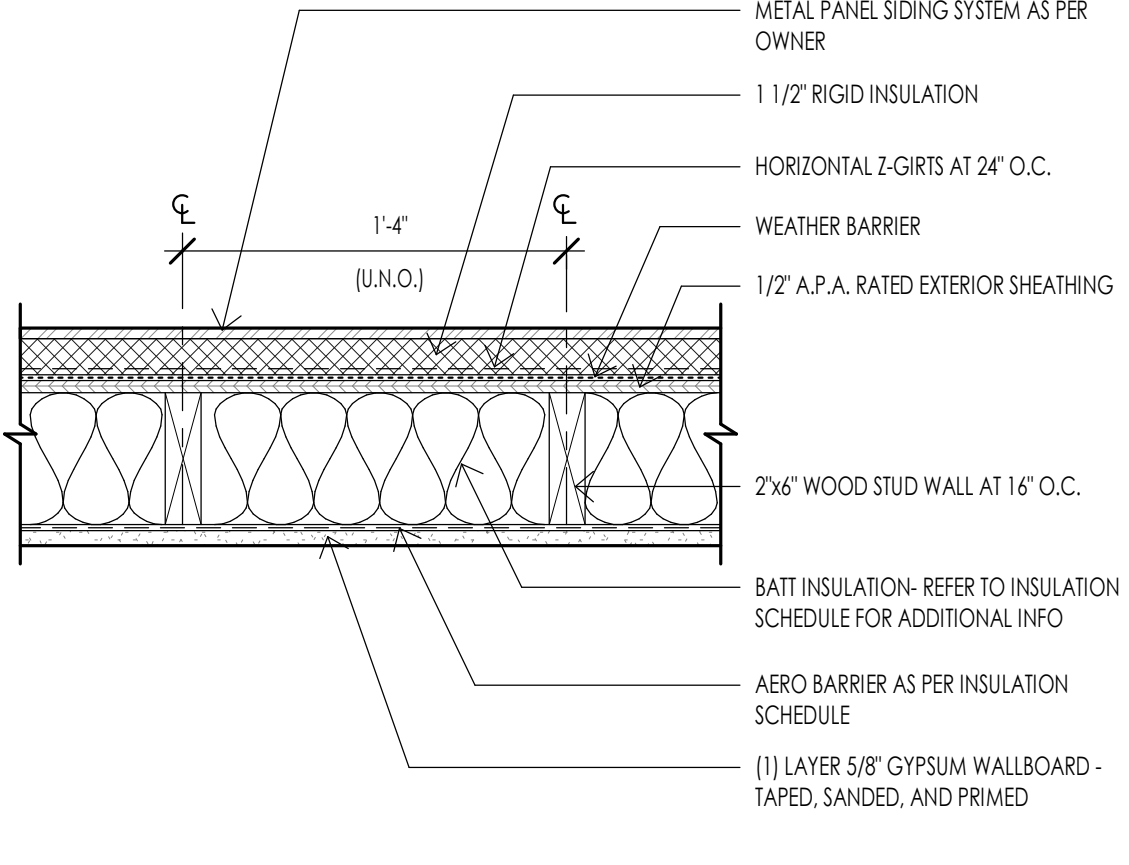
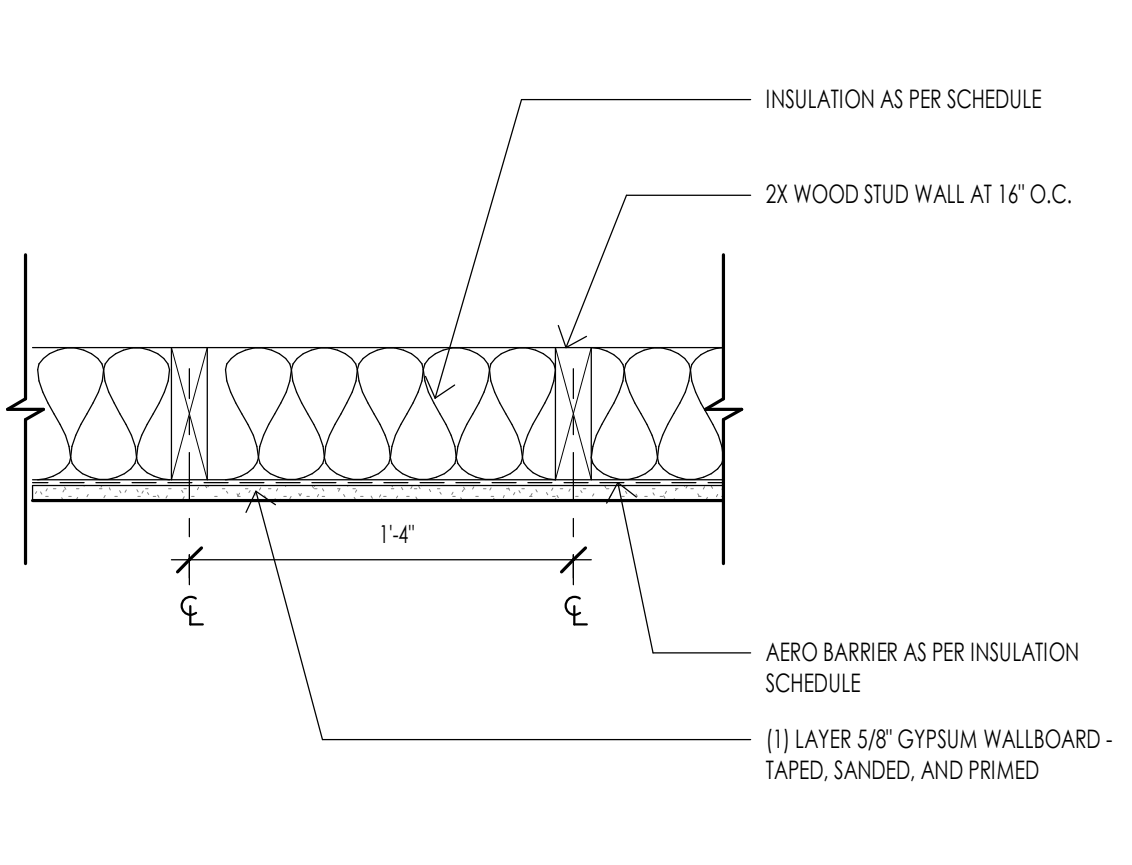
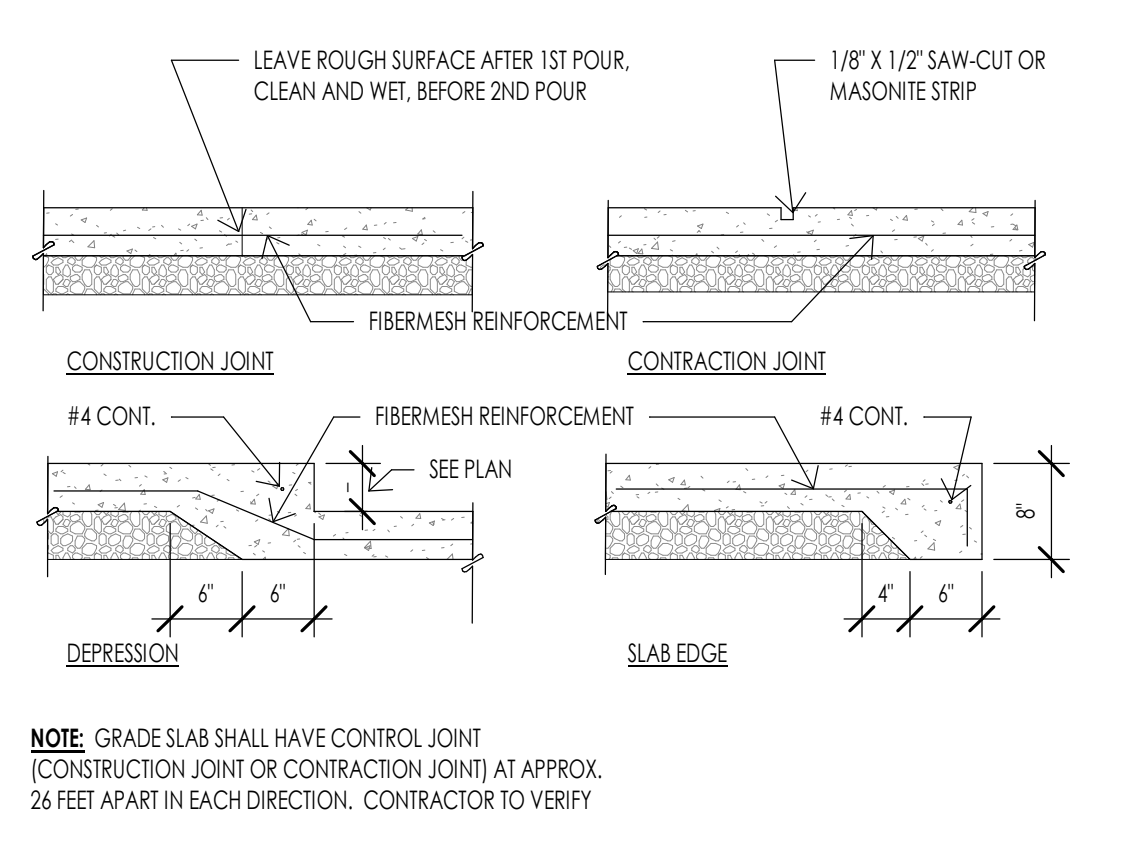
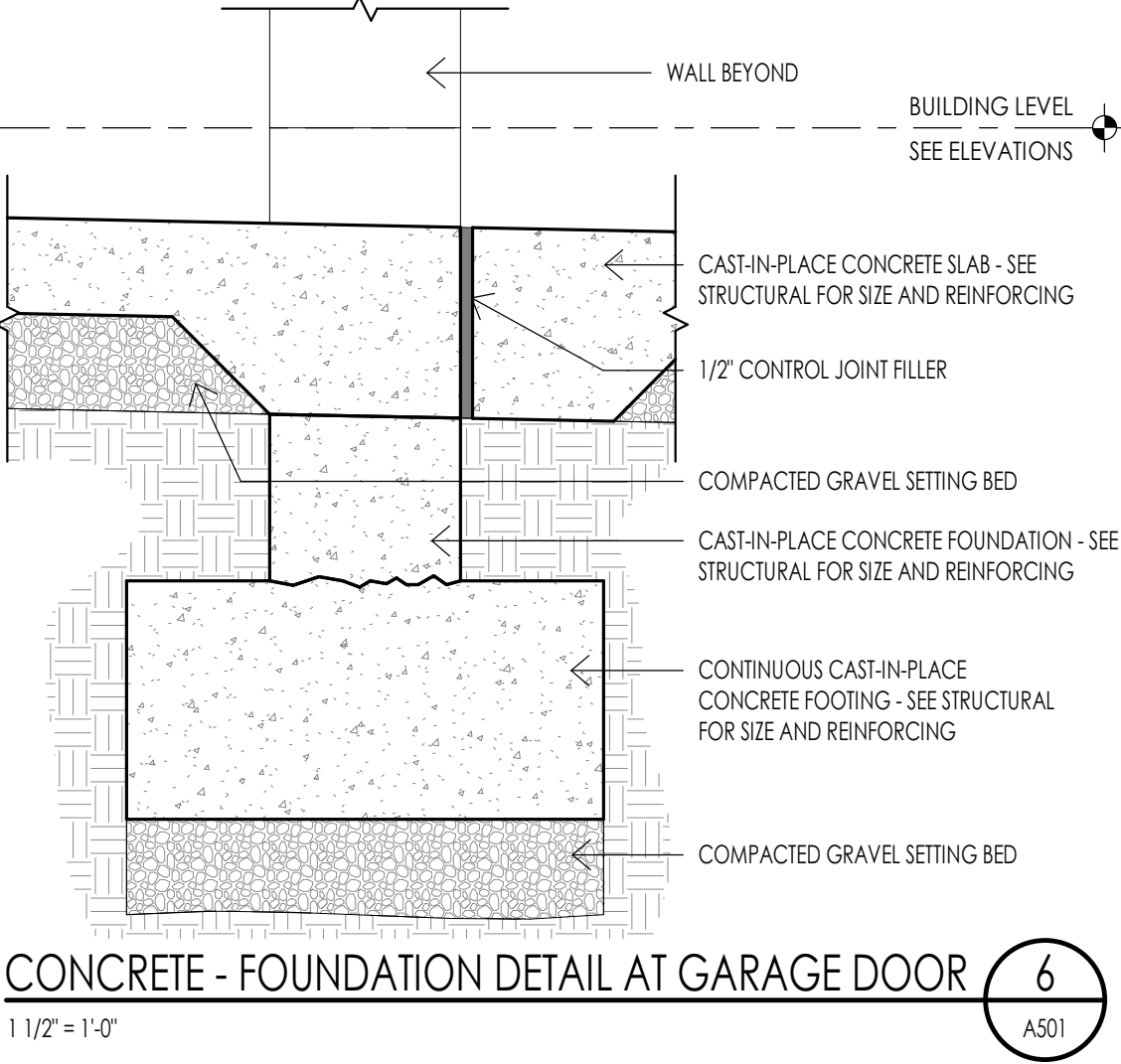
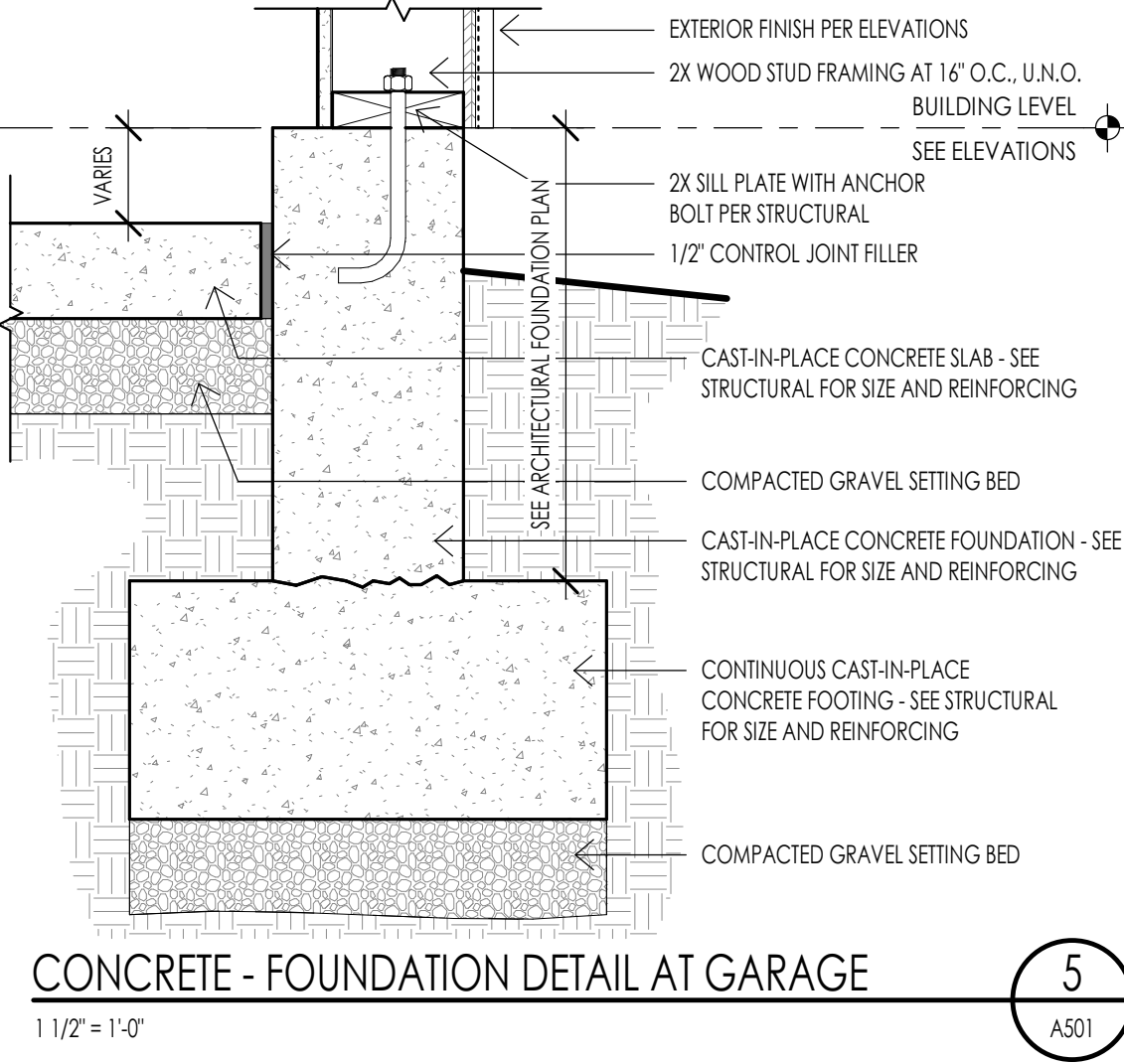
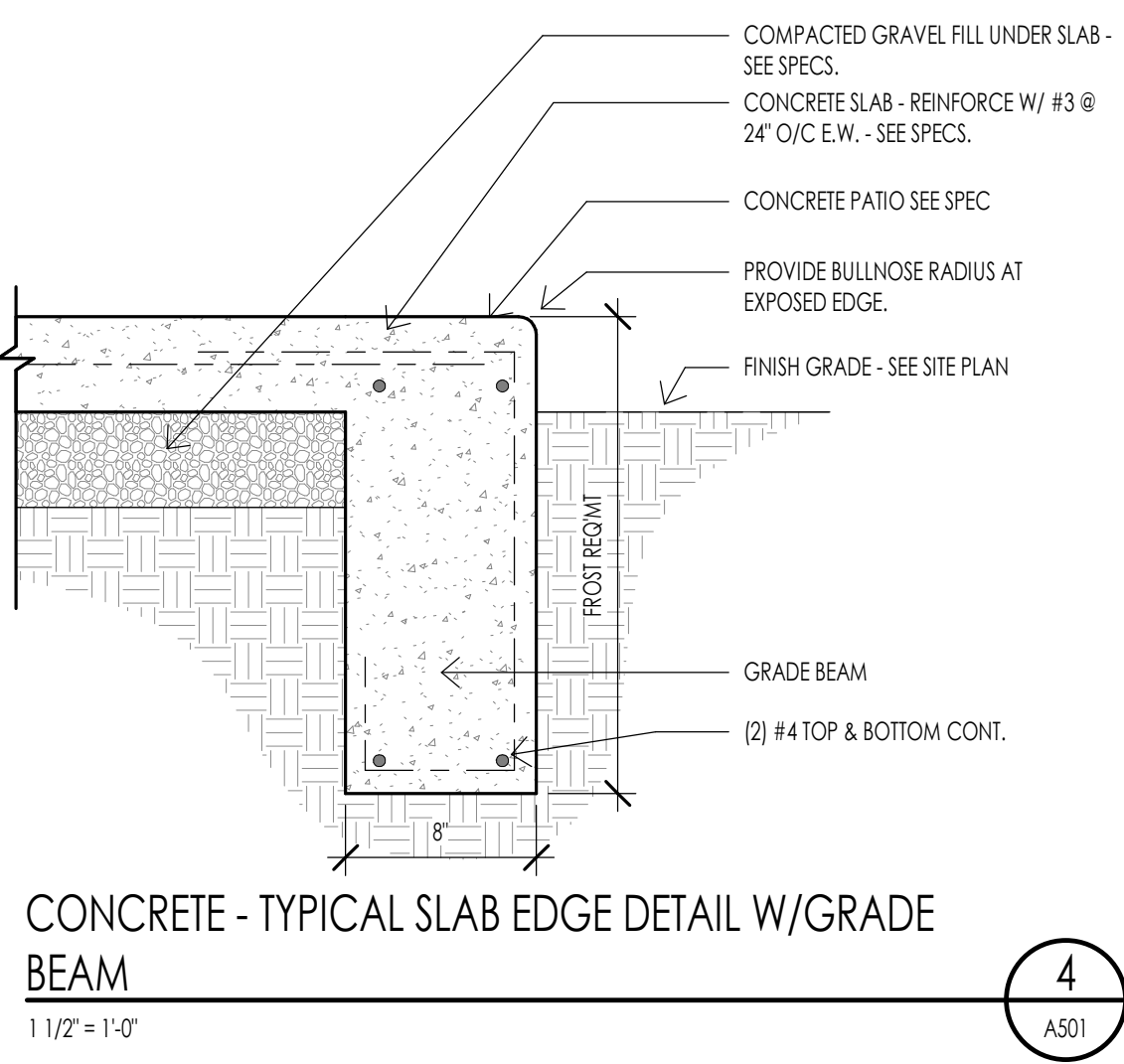
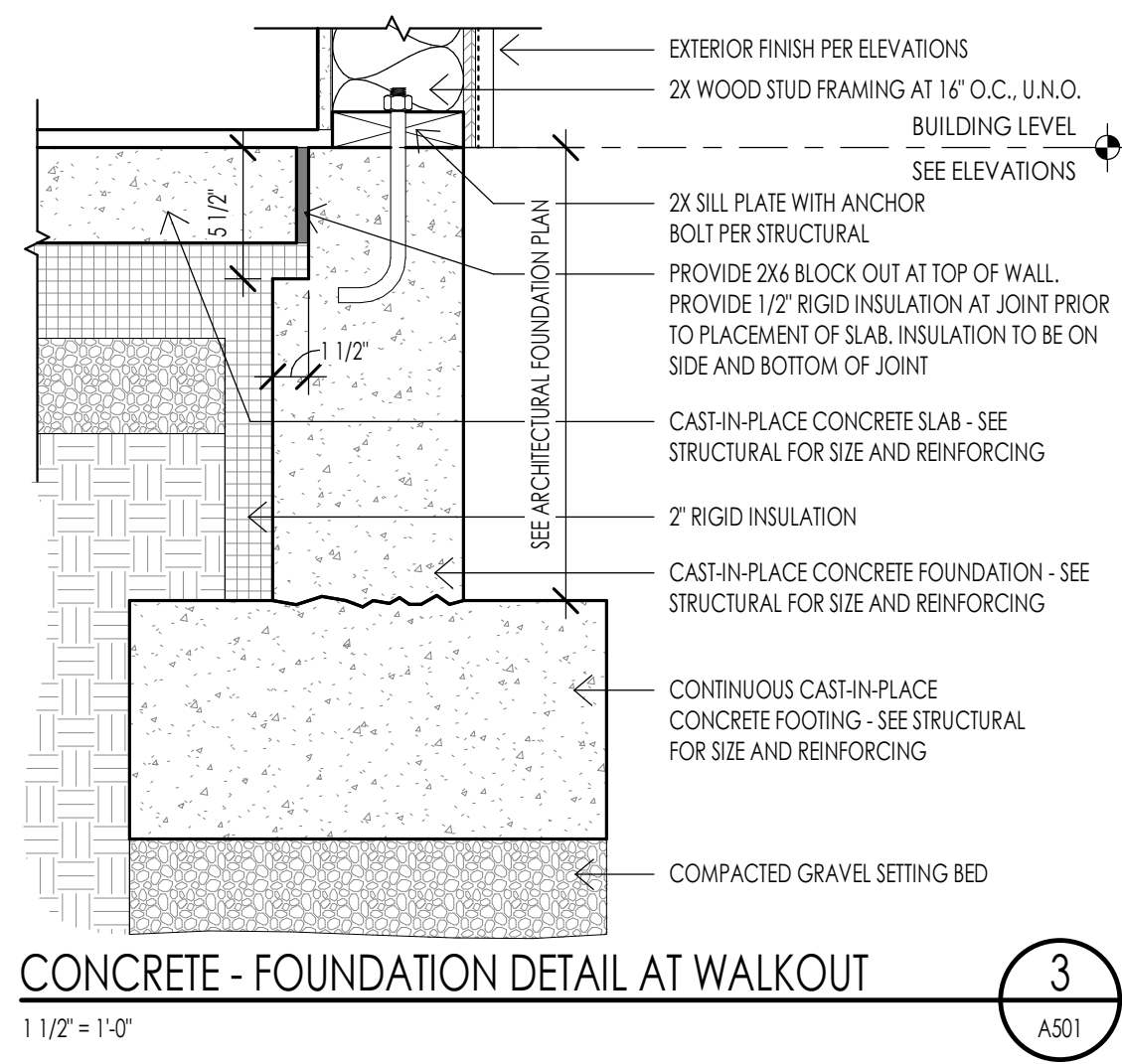
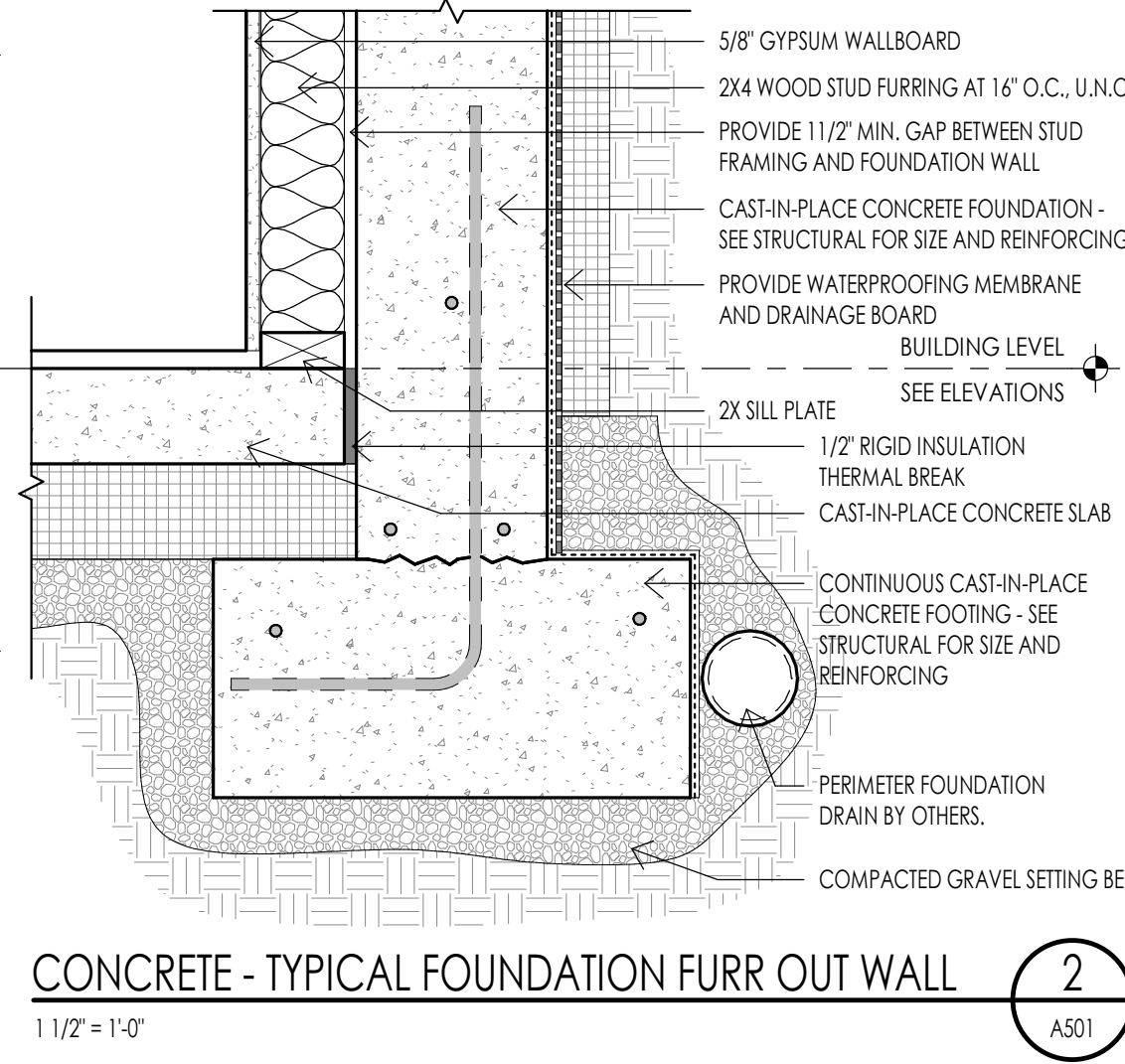
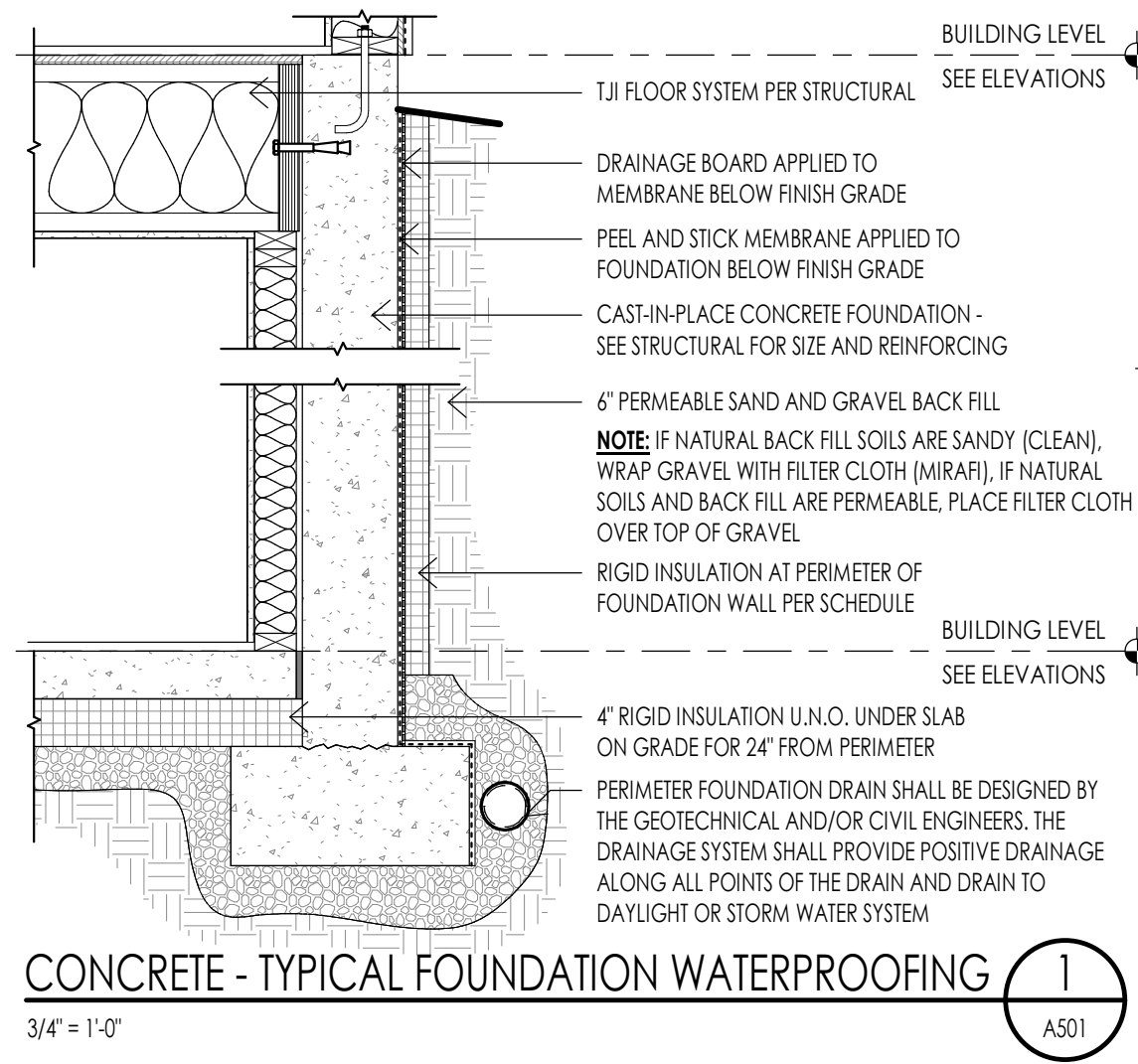
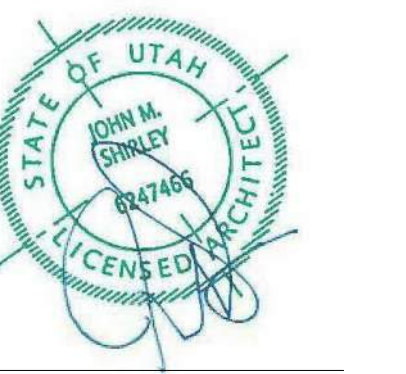
REVISIONS:

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FIREPLACE ELEVATIONS

SHEET NUMBER:  
A401

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WARM SPRINGS RESIDENCE #33

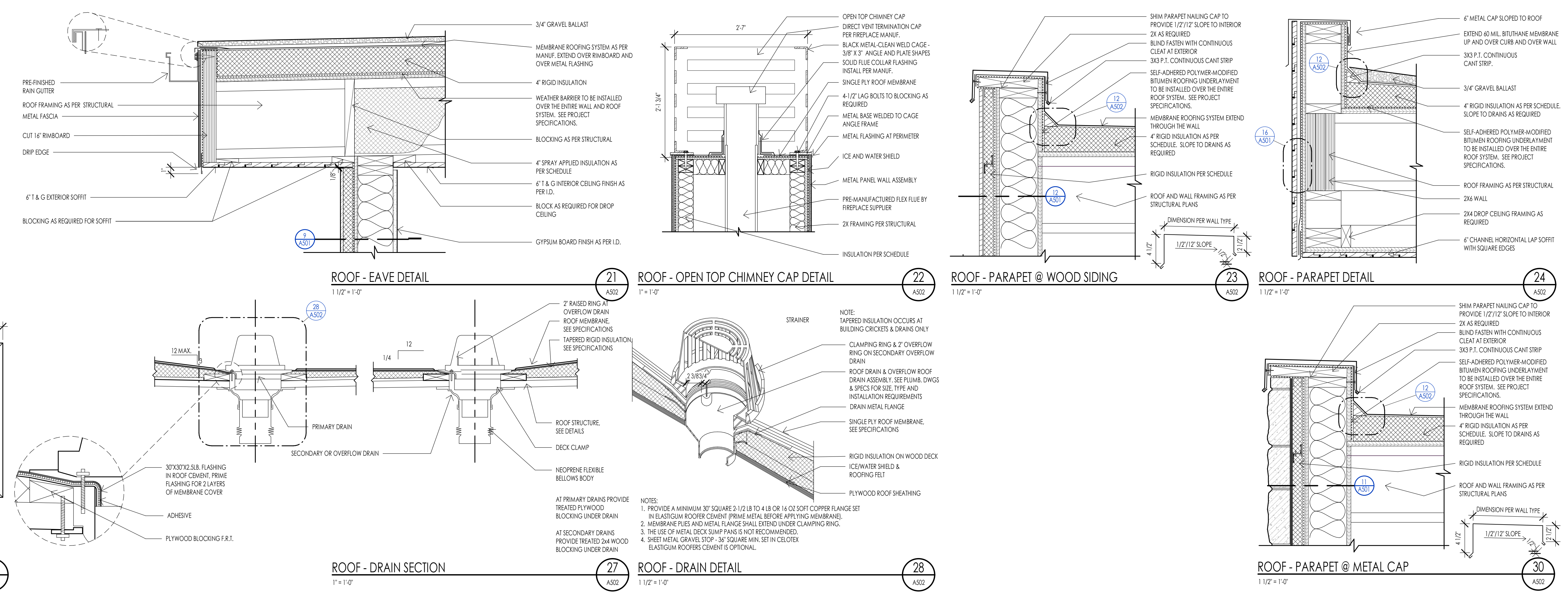
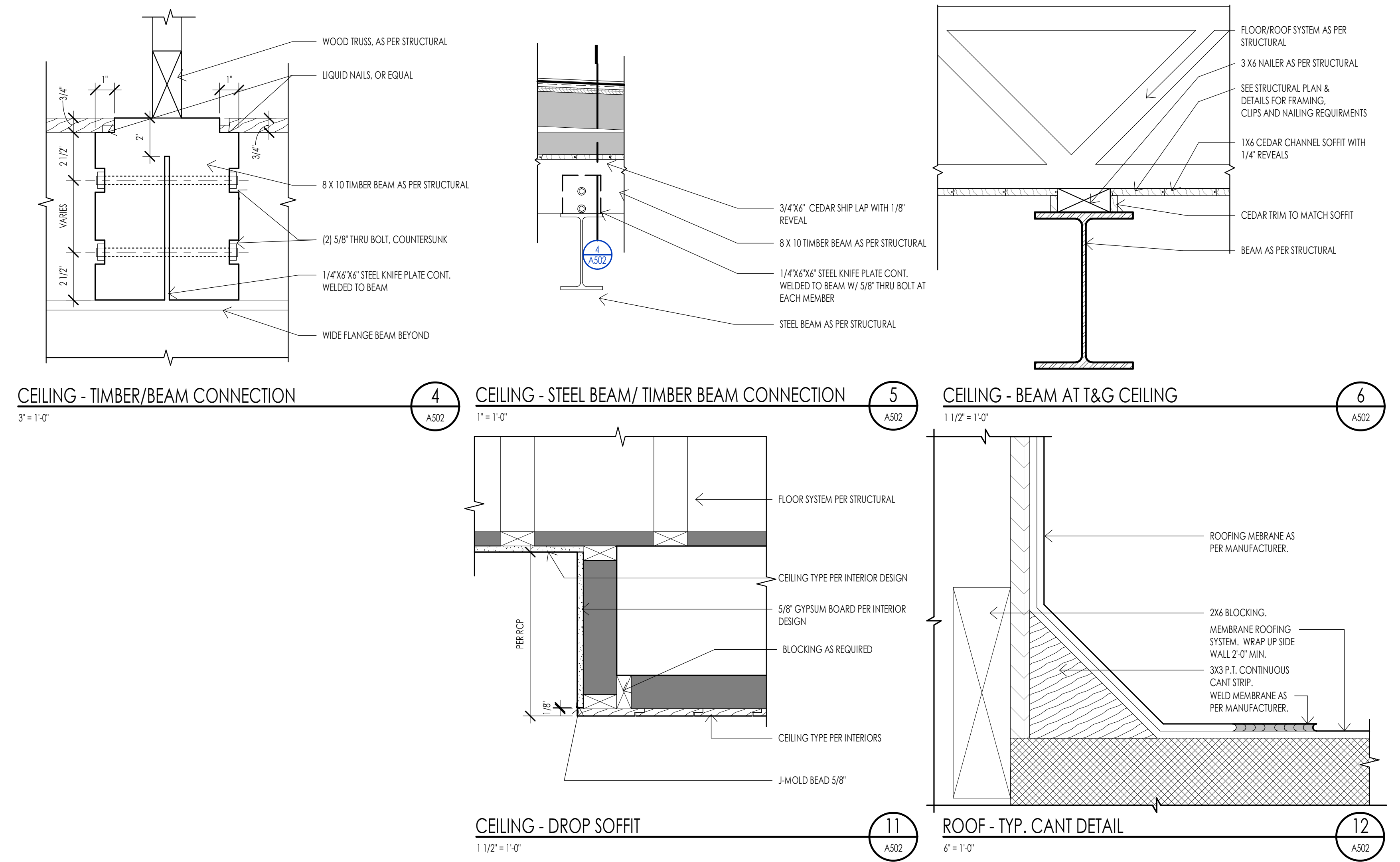
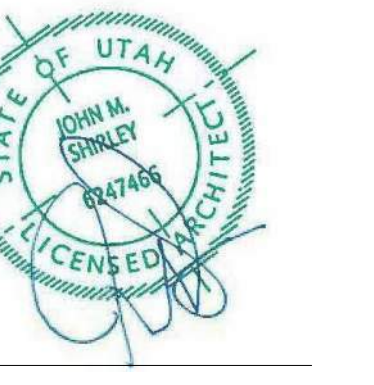
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
**ARCHITECTURAL  
DETAILS**

SHEET NUMBER:  
**A501**

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WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

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DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
**ARCHITECTURAL  
DETAILS**

SHEET NUMBER:  
**A502**

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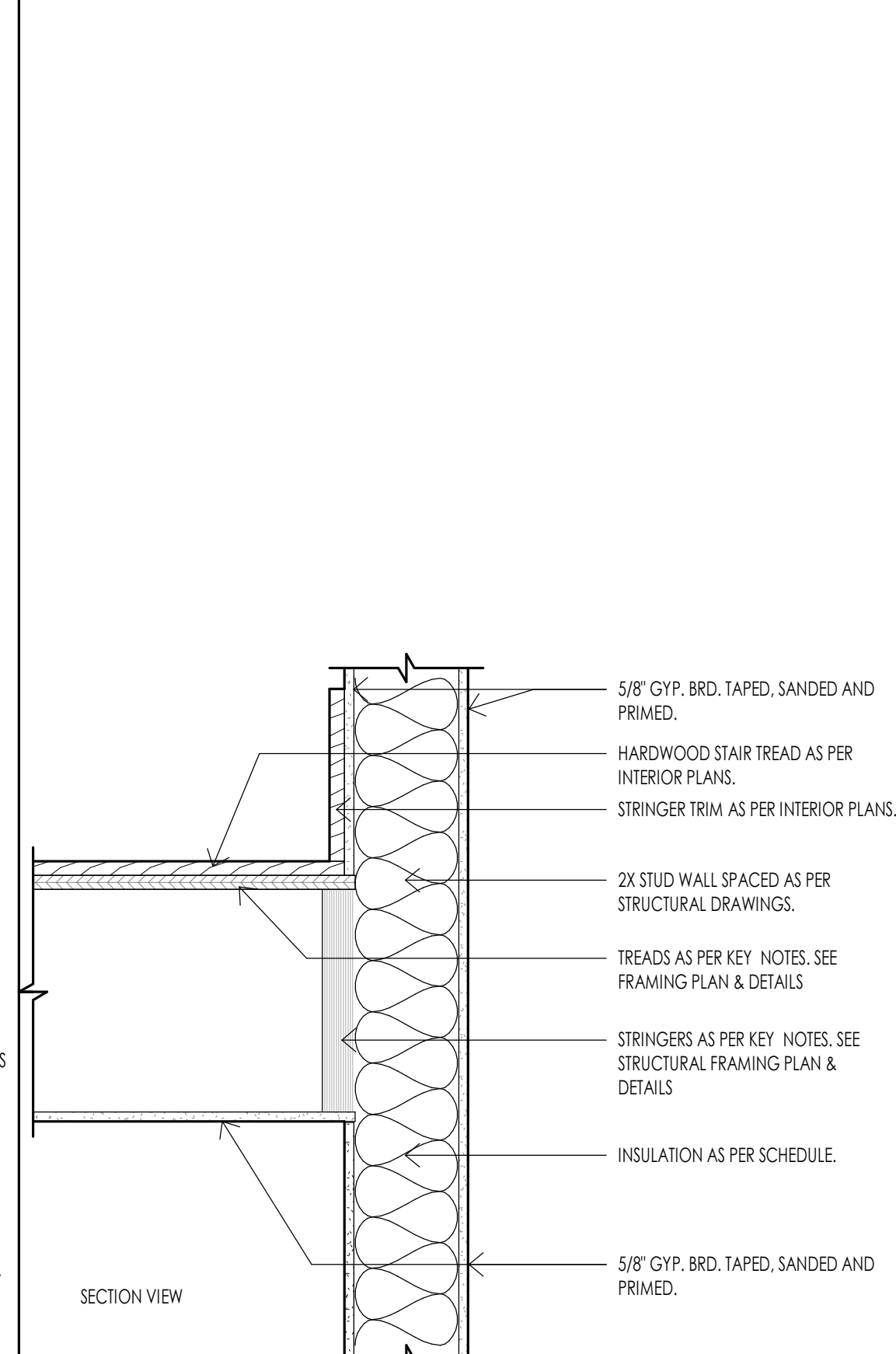
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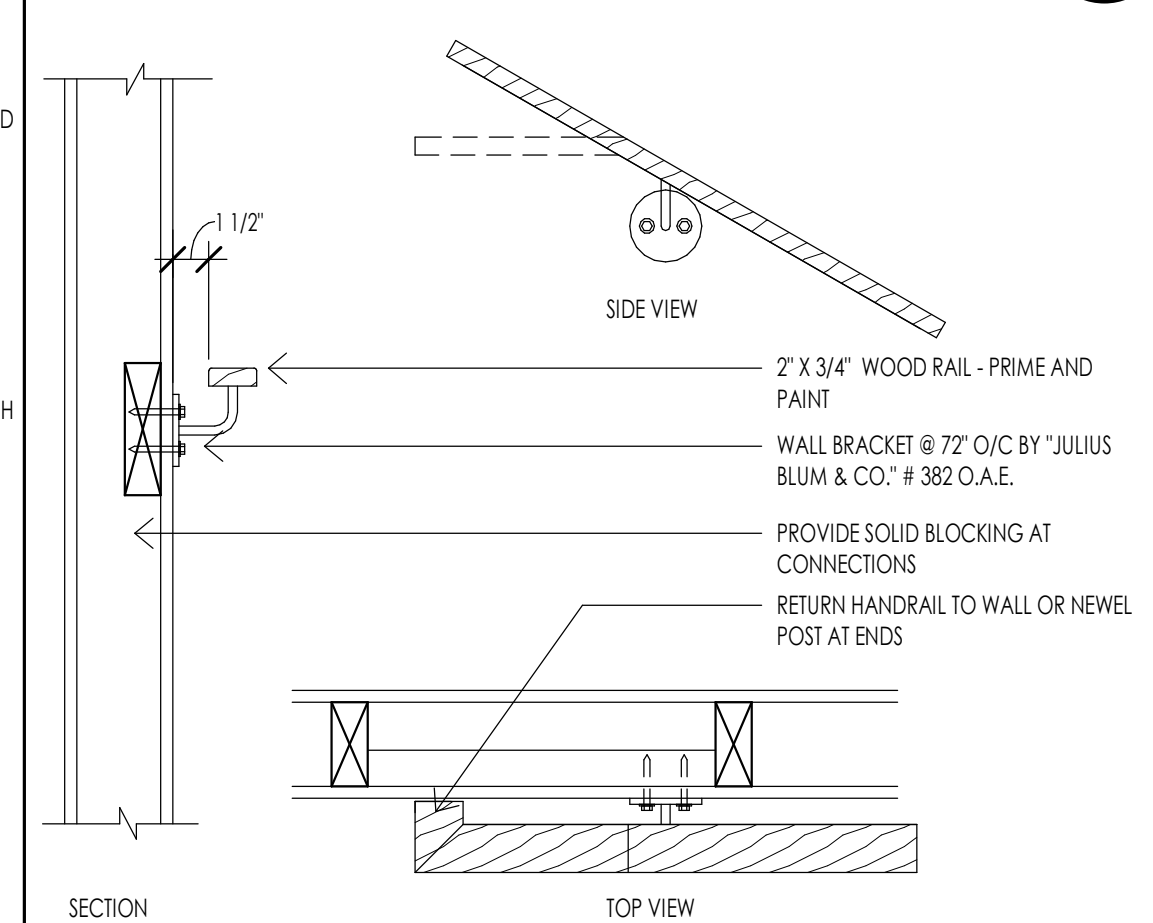
### STAIR PLAN GENERAL NOTES

- STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.5.
  - THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAN 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. (I.R.C. R311.7.1 FOR ADDITIONAL WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.1.0.1)
  - THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 7 3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. (UTAH STATE AMENDMENT (REPLACES R311.7.5 AND ALLOWS FOR 8" MAX RISERS AND 9" MIN. TREADS))
  - LANDINGS: EVERY LANDING SHALL HAVE A WIDTH DIMENSION OF NOT LESS THAN THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DEPTH DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. FOR LANDINGS WITH ADJOINING DOORS SEE I.R.C. SECTION R311.7.6 FOR SOME EXCEPTIONS/OPTIONS.
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SORTITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (I.R.C. R302.7)
  - HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
- HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
  - HANDRAILS SHALL BE MOUNTED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
  - THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4 INCHES MINIMUM TO 2 5/8 INCHES MAXIMUM. OTHER HANDRAIL SHAPES THAT HAVE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE. SEE BUILDING CODE. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. R311.7.8.3.
  - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
- GUARD RAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R312.
  - GUARDRAILS ARE REQUIRED AT ALL PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD.
  - REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES, ETC. SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - THE TRIANGLE OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH.
  - THE GUARDS AT SIDES OF STAIRS SHALL HAVE GUARD SUCH THAT A 4-3/8" SPHERE CANNOT PASS THROUGH IT.

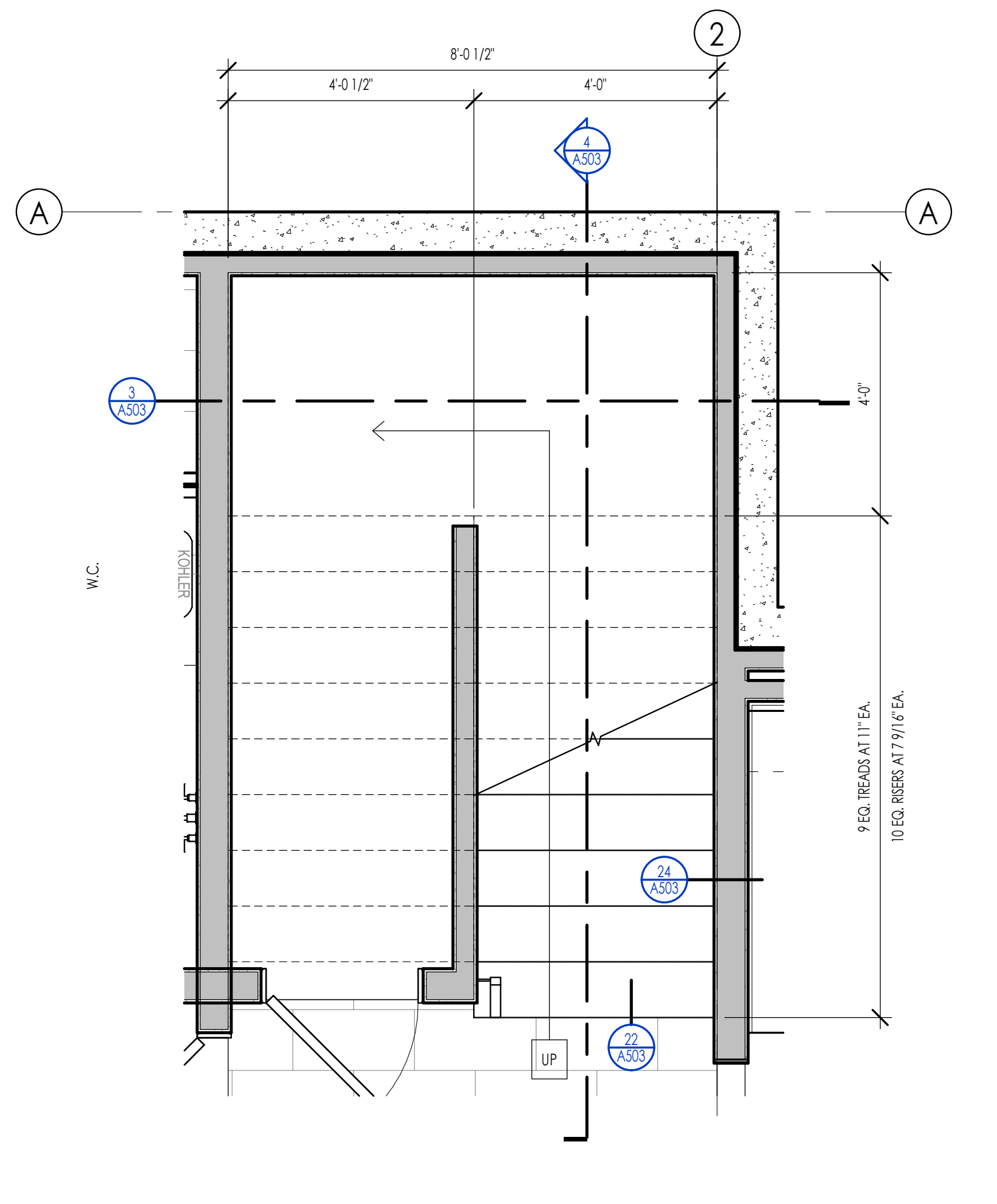
### STAIR PLAN KEYNOTES



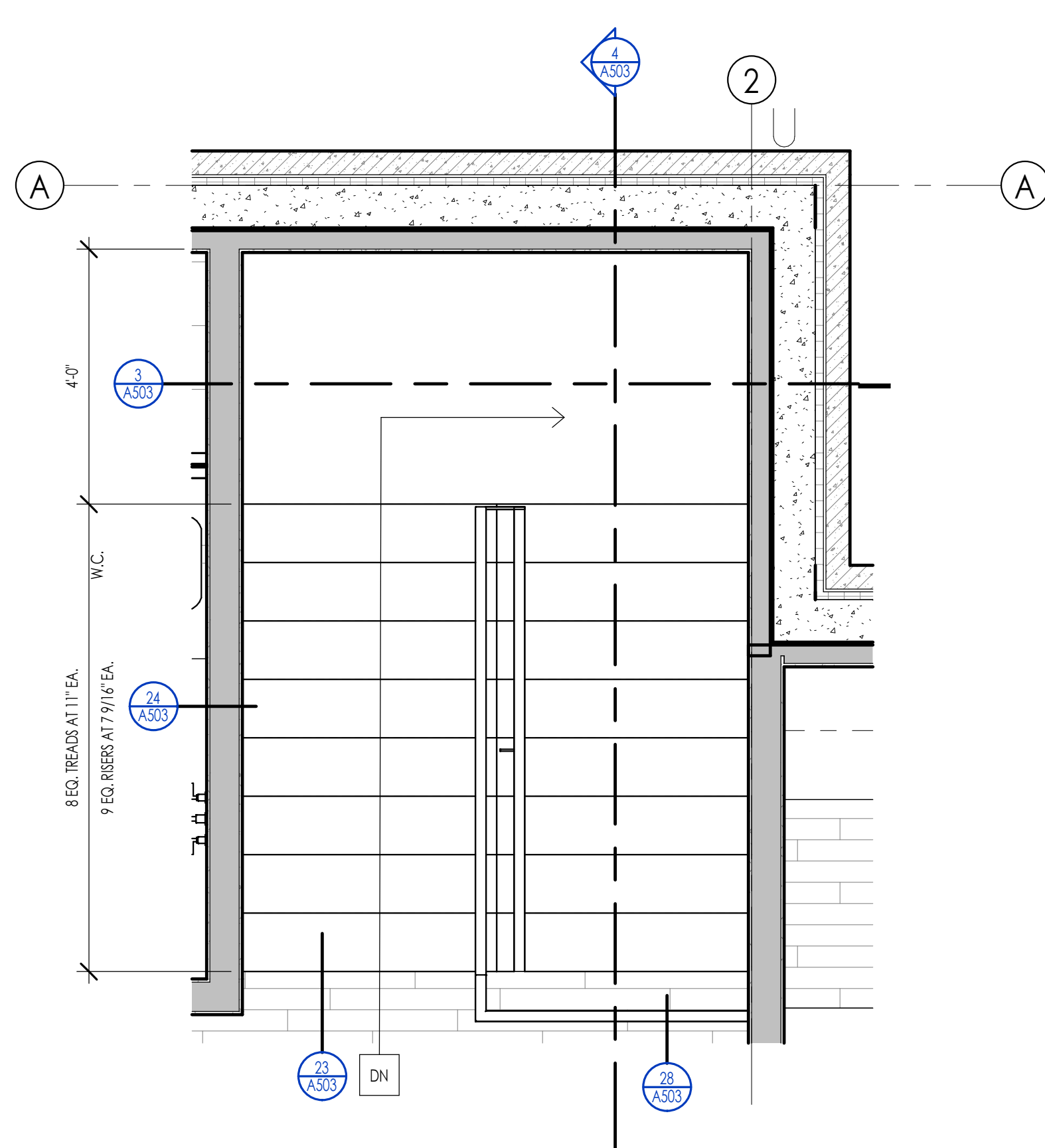
STAIR DETAIL - FRAMED STAIRS TO SIDE WALL  
1 1/2" = 1'-0"  
A503



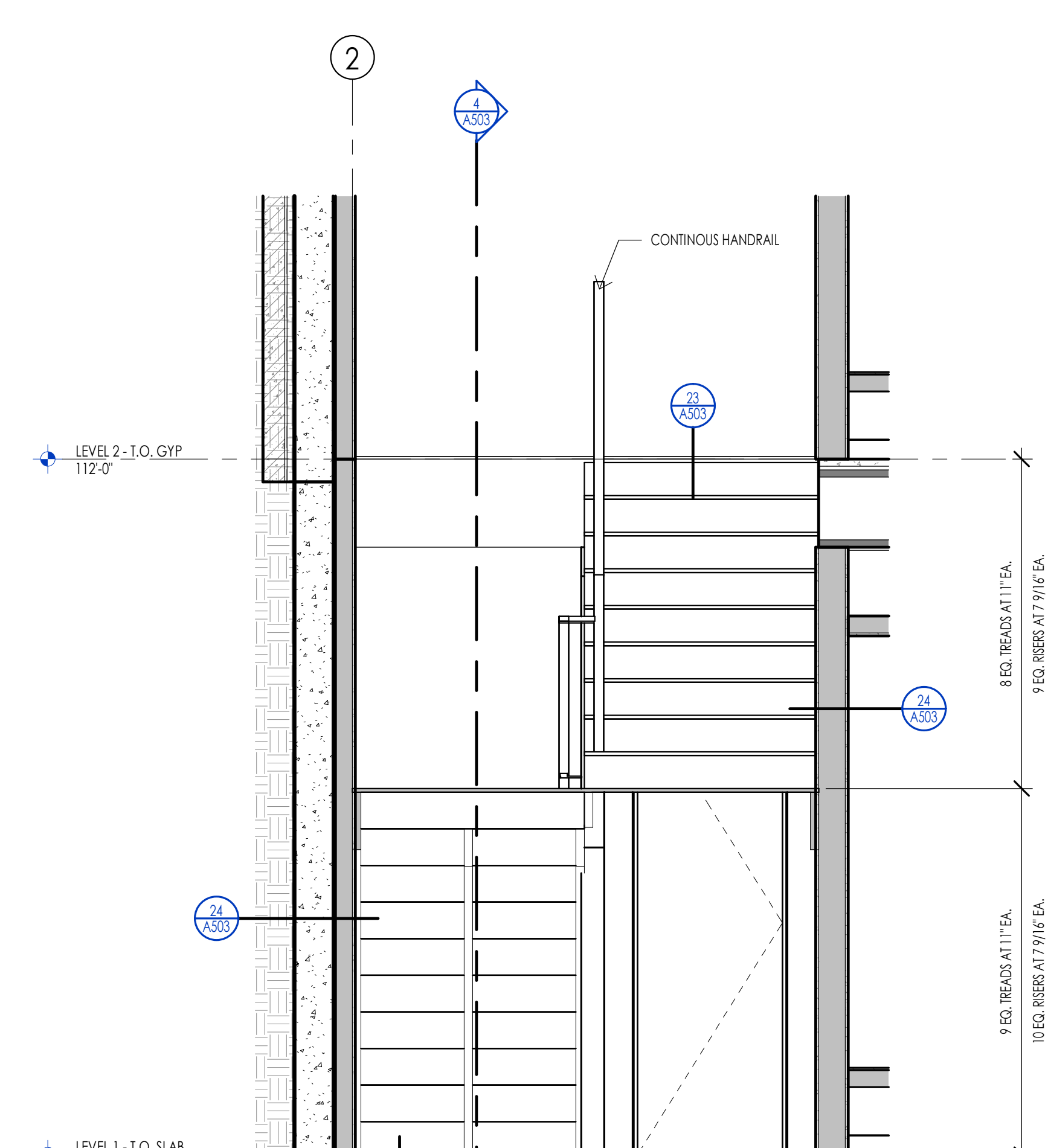
TYPICAL HANDRAIL DETAIL  
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A503



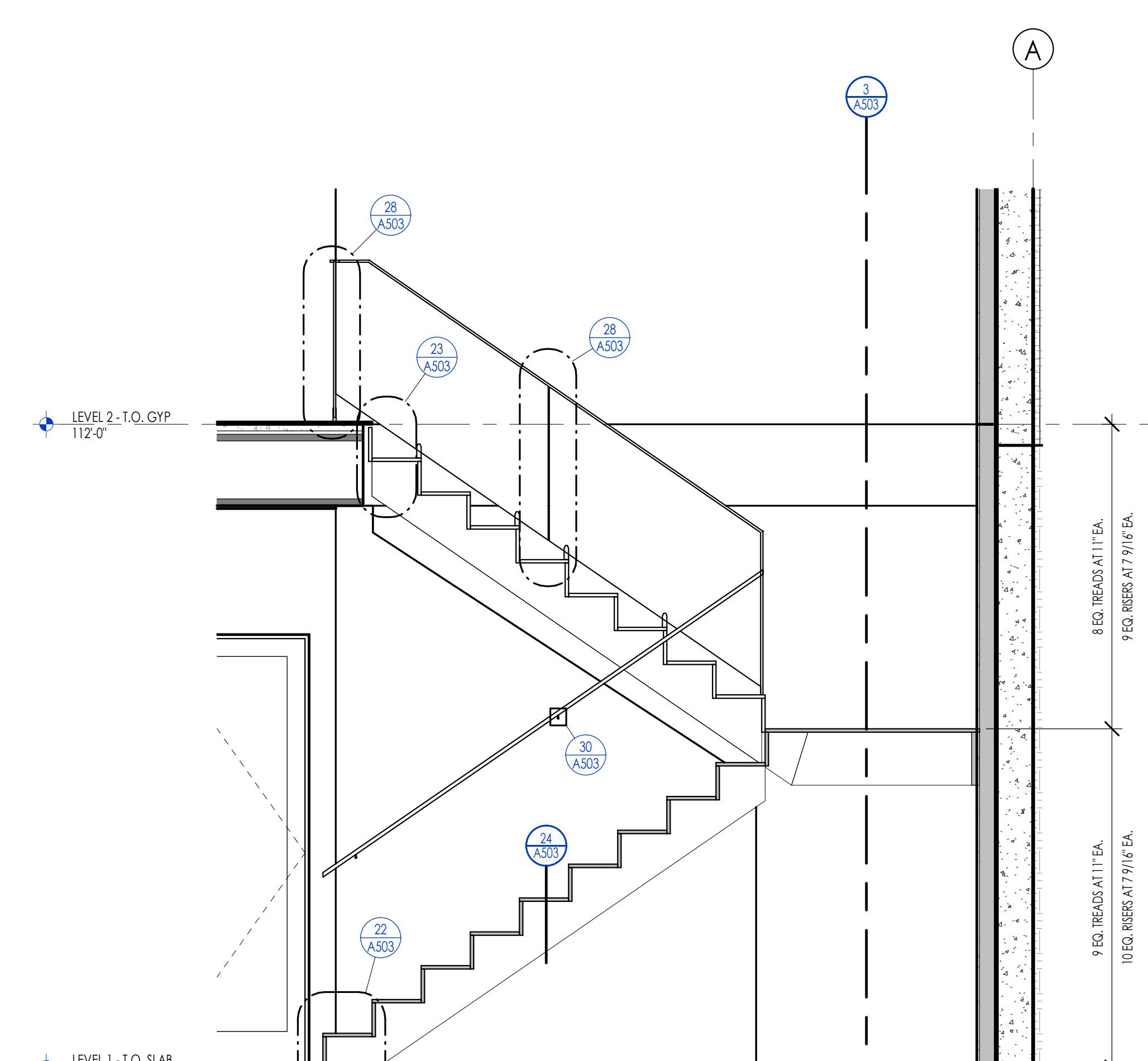
ENLARGED - STAIR LEVEL 1  
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A503



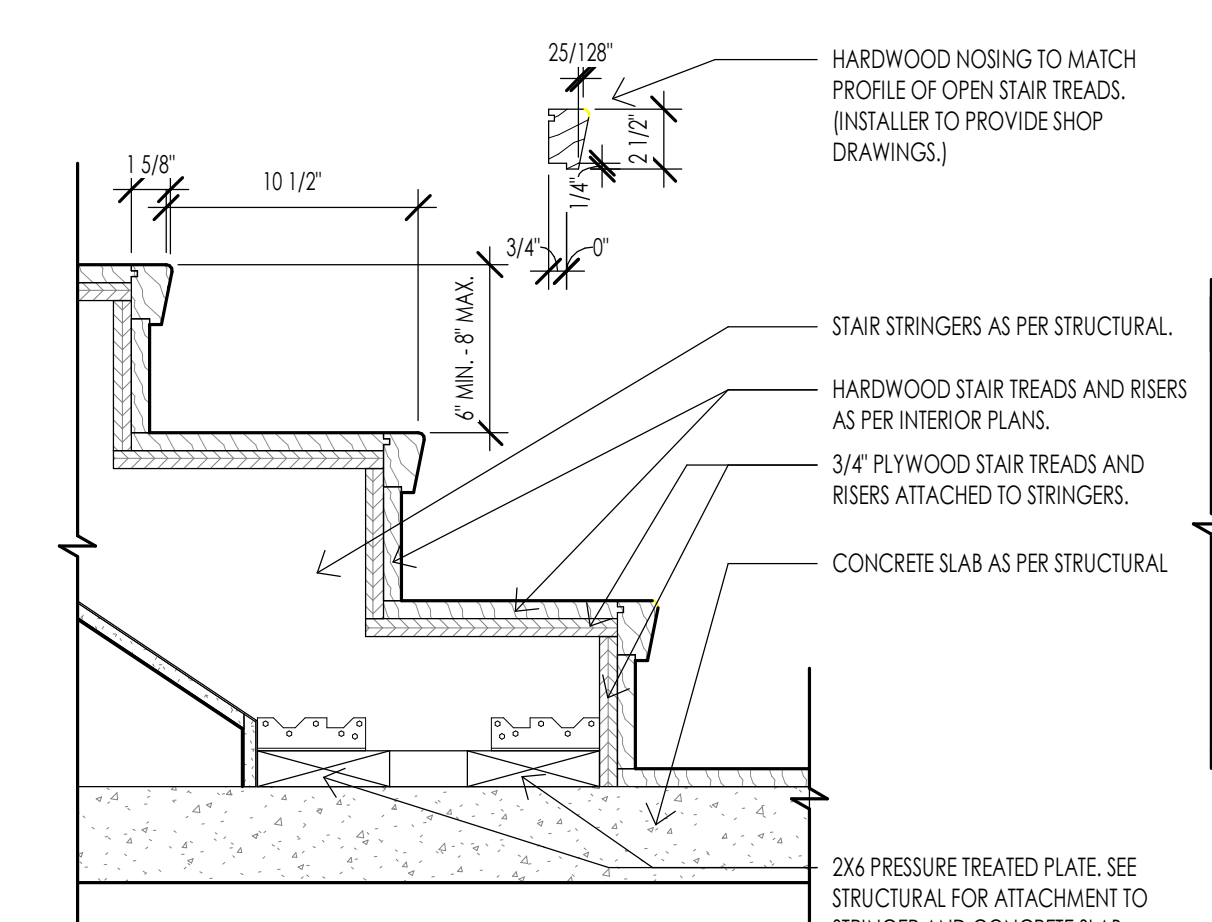
ENLARGED - STAIR LEVEL 2  
1/2" = 1'-0"  
A503



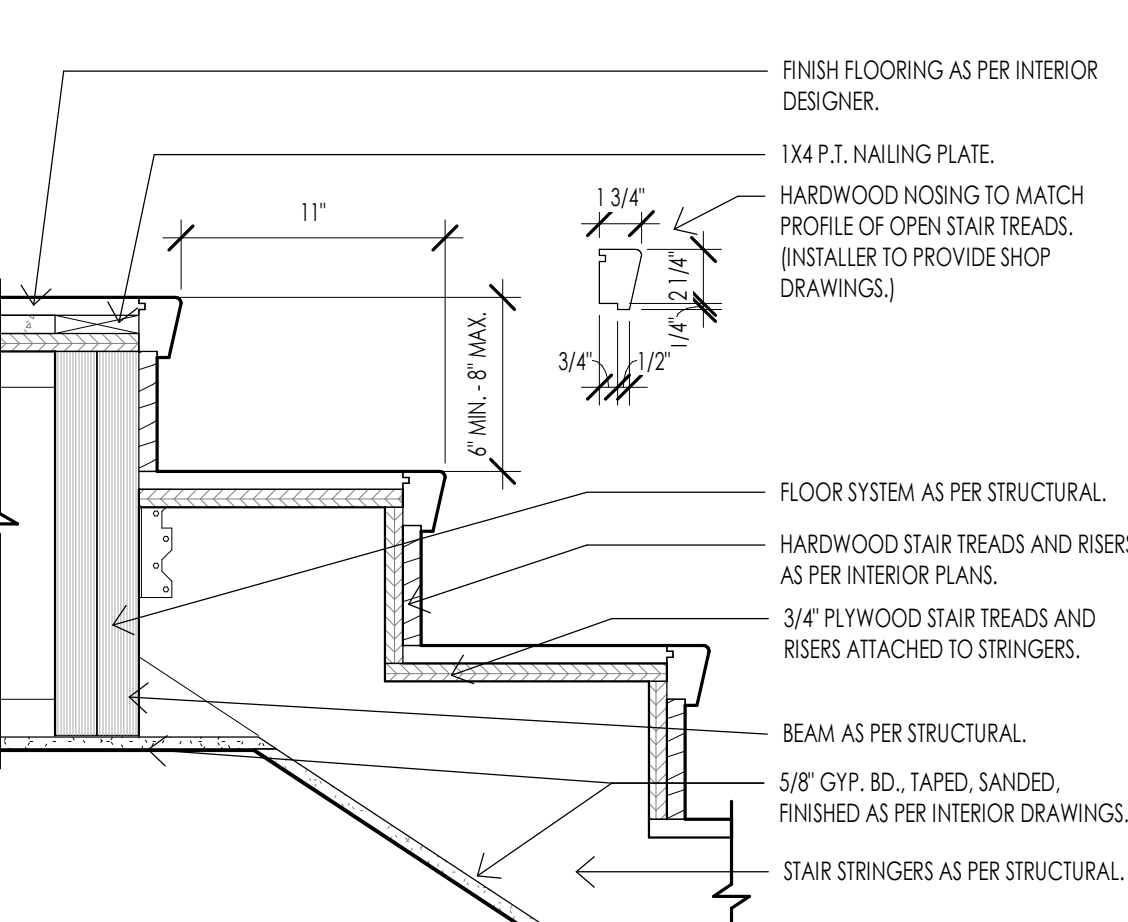
SECTION 1 - STAIR  
1/2" = 1'-0"  
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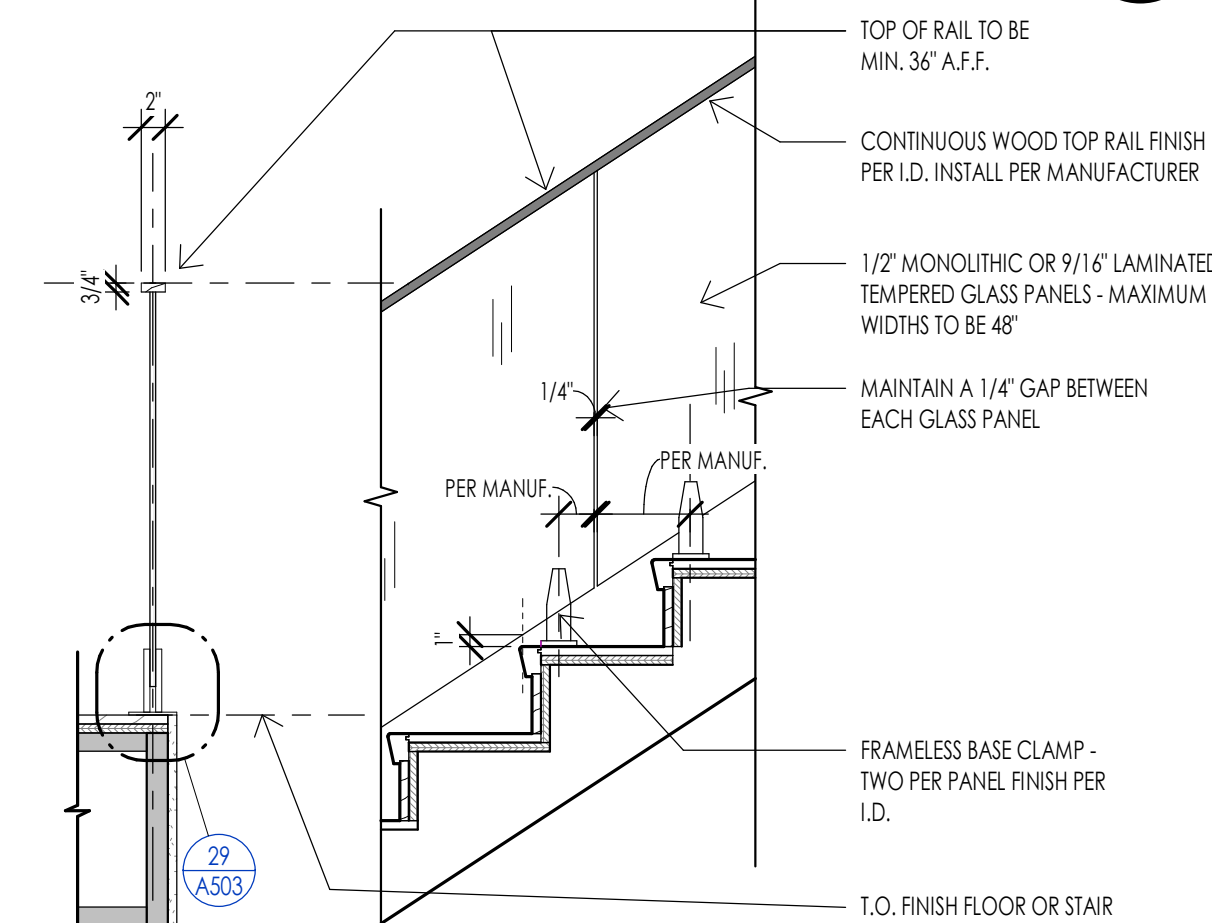
SECTION 2 - STAIR  
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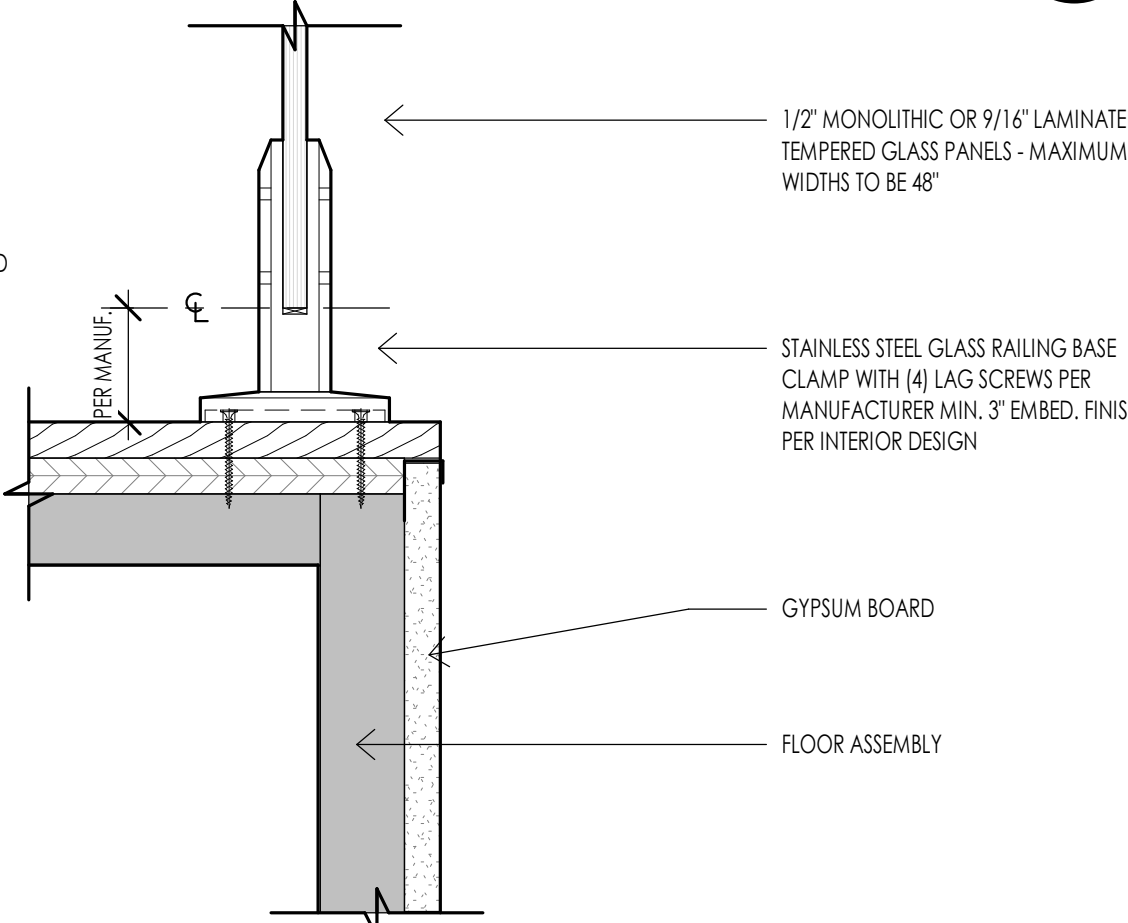
STAIR DETAIL - FRAMED STAIRS TO BASEMENT FLOOR  
1 1/2" = 1'-0"  
A503



STAIR DETAIL - FRAMED STAIRS TO LANDING  
1 1/2" = 1'-0"  
A503



GLASS GUARDRAIL AT STAIR  
3/4" = 1'-0"  
A503



GLASS GUARDRAIL - FLOOR CONNECTION  
3\"/>

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33

DATE: 2023.11.06

REVISIONS:

SHEET TITLE:  
STAIR- PLAN- SECTIONS -  
DETAILS

SHEET NUMBER:  
A503

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**DOOR SCHEDULE**

MARK	DOOR						FRAME						FIRE RATING	HARDWARE	REMARKS	
	SIZE			MATERIAL	TYPE	FINISH	DETAILS			MATERIAL	TYPE	FINISH				
	WIDTH	HEIGHT	THICKNESS				HEAD	JAMB	SILL							
D103-A	4'-0"	9'-0"	1 3/4"	WOOD/GLASS	D6	PER OWNER	1/A602	7/A602	13/A602	WOOD/GLASS	FI	PER I.D.	NON-RATED	H10	TEMPERED GLASS/WOOD FRAME	
D103-B	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5		
D101-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8		
D101-B	4'-0"	8'-0"	1 3/4"	WOOD	D3	PER I.D.	2/A602	8/A602	-	WOOD	FI	PER I.D.	NON-RATED	H6	BARN DOOR	
D101-C	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5		
D101-D	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	-	-	-	TEMPERED	
D102-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8		
D102-B	2'-6"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8		
D102-C	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	-	-	-	TEMPERED	
D103-A	20'-0"	10'-0"	-	WOOD/METAL	D7	PER OWNER	6/A602	12/A602	6/A601	METAL	-	-	-	-	H2	GARAGE DOOR WOOD PANELS
D104-A	3'-0"	8'-0"	1 1/2"	WOOD	D4	PER I.D.	3/A602	9/A602	-	-	-	-	NON-RATED	H12	POCKET DOOR	
D104-B	3'-0"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	20 MIN.	H1	FIRE RATED	
D105-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H1		
D200-A	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8		
D200-B	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	-	-	-	TEMPERED	
D201-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8		
D202-A	3'-0"	8'-0"	2"	WOOD	D2	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H11	DOUBLE DOOR	
D202-B	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5		
D202-C	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5		
D202-D	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	-	-	-	TEMPERED	
D202-E	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5		
D203-A	2'-4"	8'-0"	1 1/2"	WOOD	D4	PER I.D.	3/A602	9/A602	-	-	-	-	-	-	POCKET DOOR	

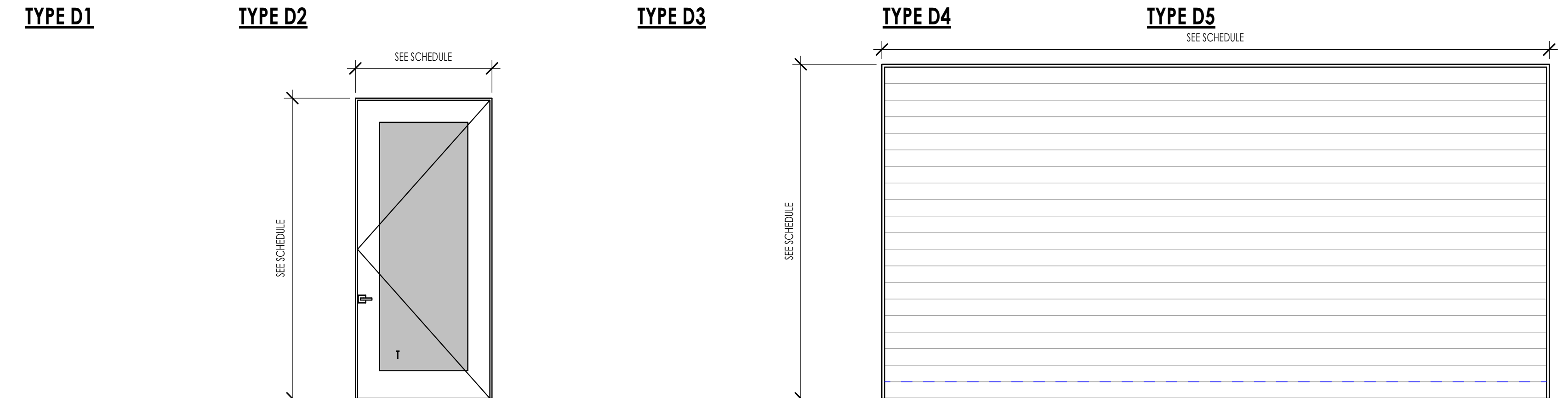
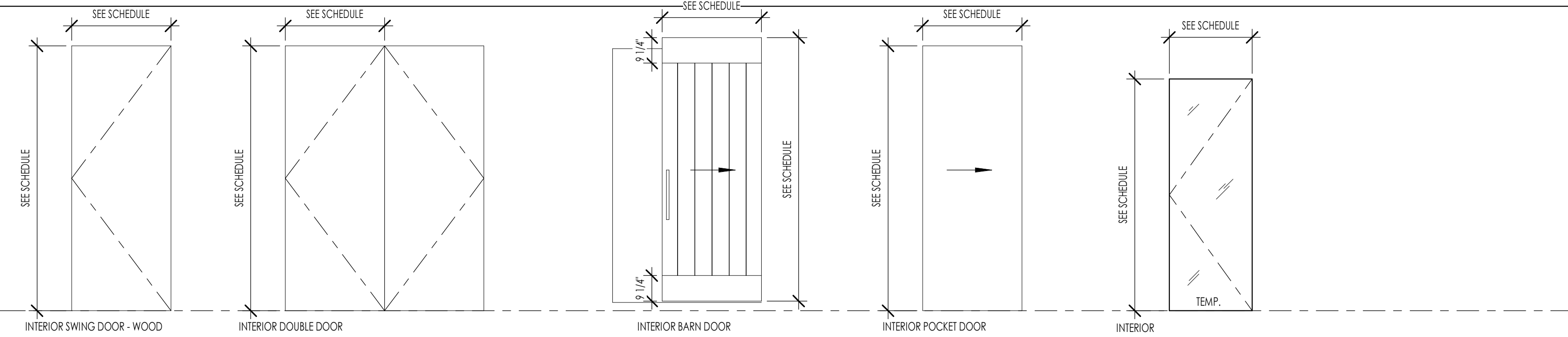
**DOOR SCHEDULE GENERAL NOTES**

- SEE SHEET A601 FOR DOOR AND FRAME TYPES.
- CONTRACTOR SHALL FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING ALL DOORS.
- CONTRACTOR SHALL SUBMIT COMPLETE DOOR AND HARDWARE SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL FOR EACH BUILDING PRIOR TO ORDERING AND TAKING RECEIPT OF DOOR OR DOOR. ARCHITECT SHALL REVIEW ALL DOORS FOR COMPLIANCE SPECIFICATIONS AND BUILDING CODE.
- ALL DOORS REQUIRED TO BE RATED SHALL HAVE APPROPRIATE U.L. RATING AS INDICATED IN DOOR SCHEDULE AND SPECIFICATION. ALL DOORS SHALL HAVE LABEL ON DOOR AND FRAME FOR INSPECTION ON SITE, AND SHALL NOT BE REMOVED.
- ALL DOORS SHALL BE INSTALLED SO AS NOT TO HAVE MORE THAN 1/2" THRESHOLD AT EACH DOOR.
- REFER TO INTERIOR DESIGNER FOR CORRECT DOOR STYLES, SPECIES, AND FINISHES.
- OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8" INCHES THICK, SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" INCHES THICK, OR 20 MINUTE FIRE RATED DOORS. SEE I.R.C. SECTION R302.5.1.

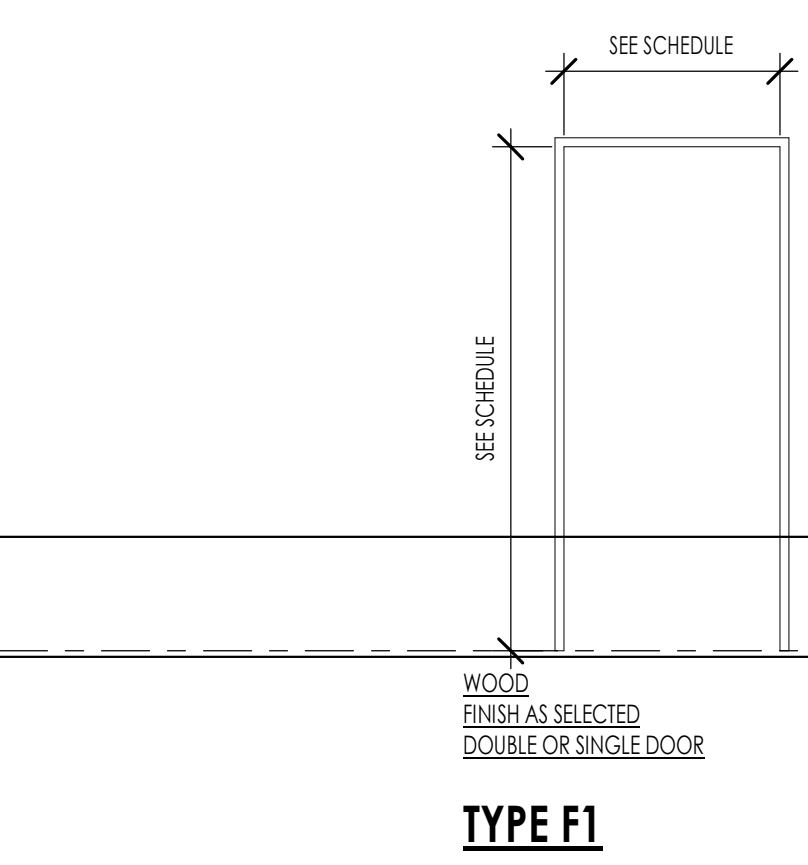
**HARDWARE GROUPS**

- H1 MECHANICAL ROOM**
  - 1 PAIR SPRING HINGES
  - 1 SMOKE SEAL
  - 1 PASSAGE SET
- H2 OVERHEAD GARAGE DOORS**
  - GARAGE ENTRY PROVIDED BY OVERHEAD DOOR MANUFACTURER
- H3 SECONDARY ENTRY DOOR**
  - 3 PAIR SPRING HINGES
  - 1 SMOKE SEAL
  - 1 LOCK SET
  - 1 DEADBOLT
  - 1 THRESHOLD
- H4 GARAGE/HOUSE**
  - 3 PAIR HINGES
  - 1 WEATHER STRIP
  - 1 LOCK SET
  - 1 DEADBOLT
- H5 INTERIOR DOOR**
  - 3 PAIR HINGES
  - 1 PASSAGE SET
- H6 INTERIOR BARN DOOR**
- H7 INTERIOR DOUBLE BARN DOOR**
- H8 INTERIOR DOOR**
  - 3 PAIR HINGES
  - 1 PRIVACY SET
- H9 INTERIOR DOUBLE DOOR**
  - 6 PAIR HINGES
  - 2 KNOBS (SINGLE SIDE ONLY)
- H10 ENTRY DOOR**
  - 1 WEATHER STRIP
  - 1 THRESHOLD
  - 1 LOCK SET
  - 1 DEADBOLT
  - 1 PIVOT HINGE (TOP AND BOTTOM)
- H11 INTERIOR DOUBLE DOOR**
  - 6 PAIR HINGES
  - 2 PASSAGE SET
- H12 POCKET DOOR**

**DOOR TYPES**



**FRAME TYPES**



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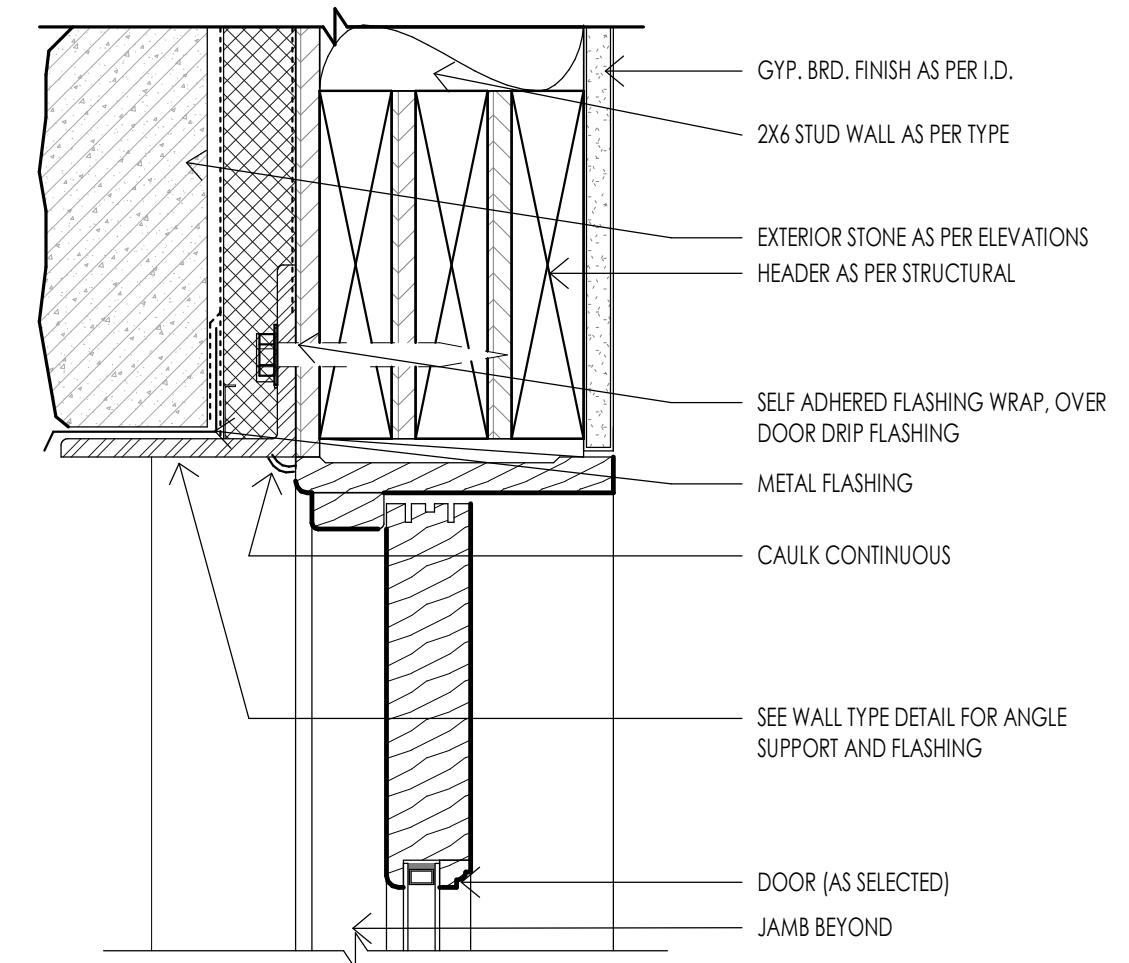
WARM SPRINGS RESIDENCE #33  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

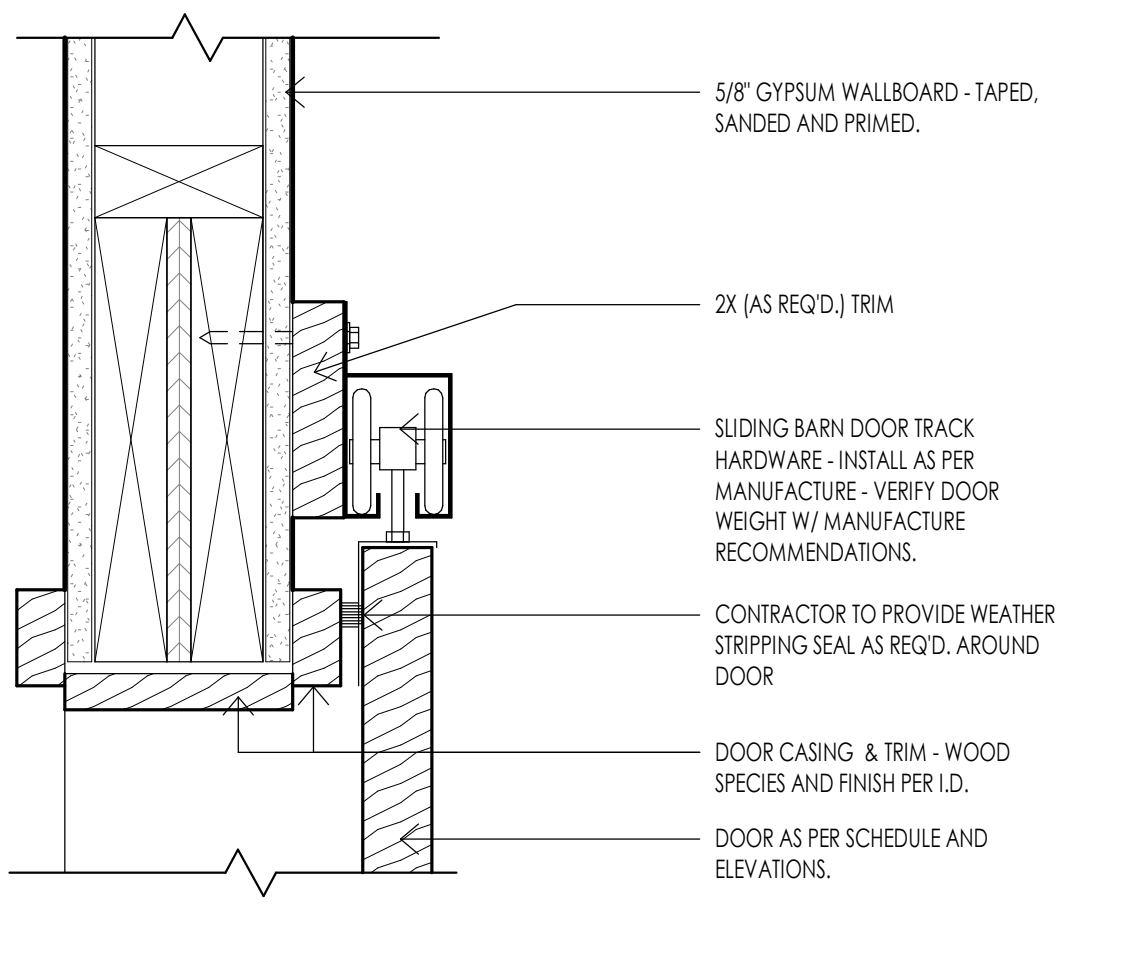
SHEET TITLE:  
DOOR SCHEDULE & ELEVATIONS

SHEET NUMBER:  
A601

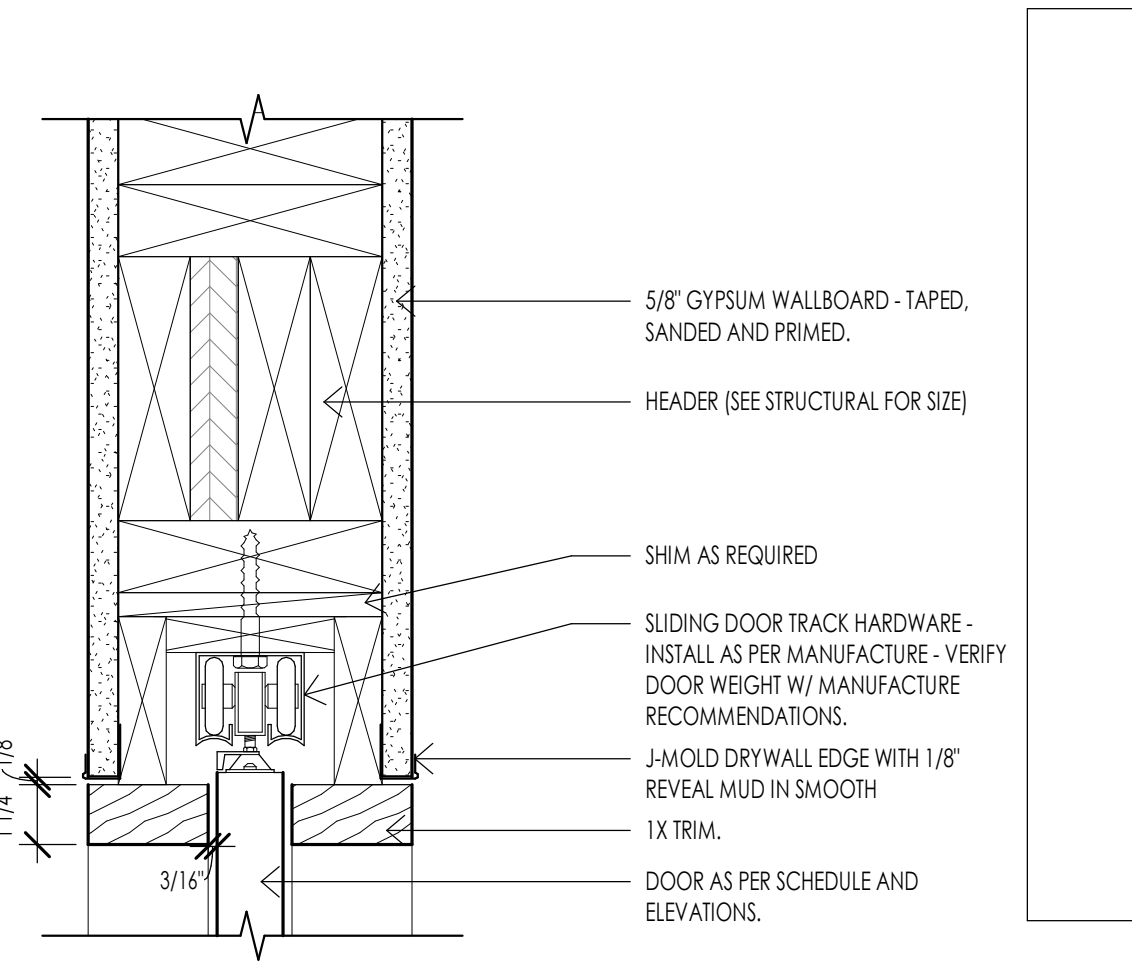
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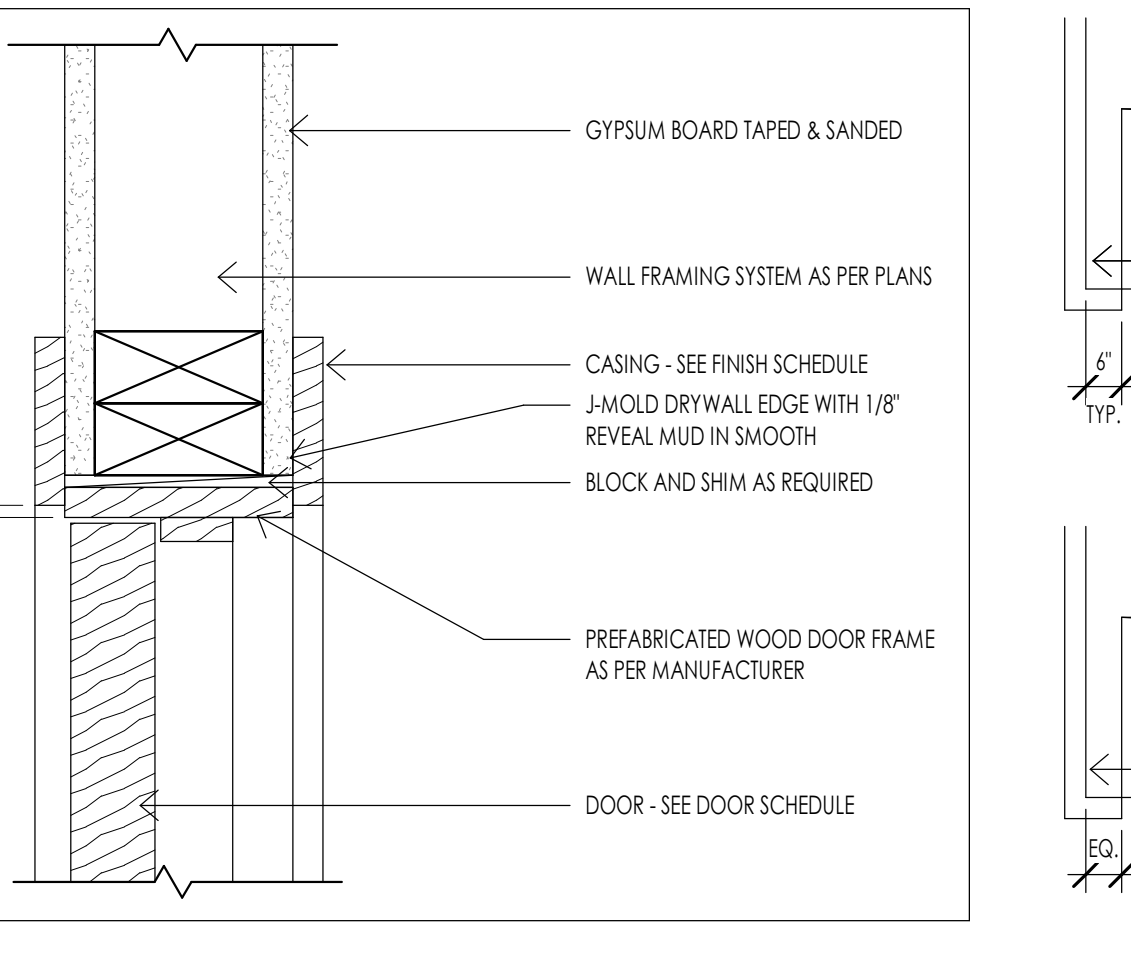
**DOOR - TYPICAL EXTERIOR HEADER AT STONE**  
3" = 1'-0"



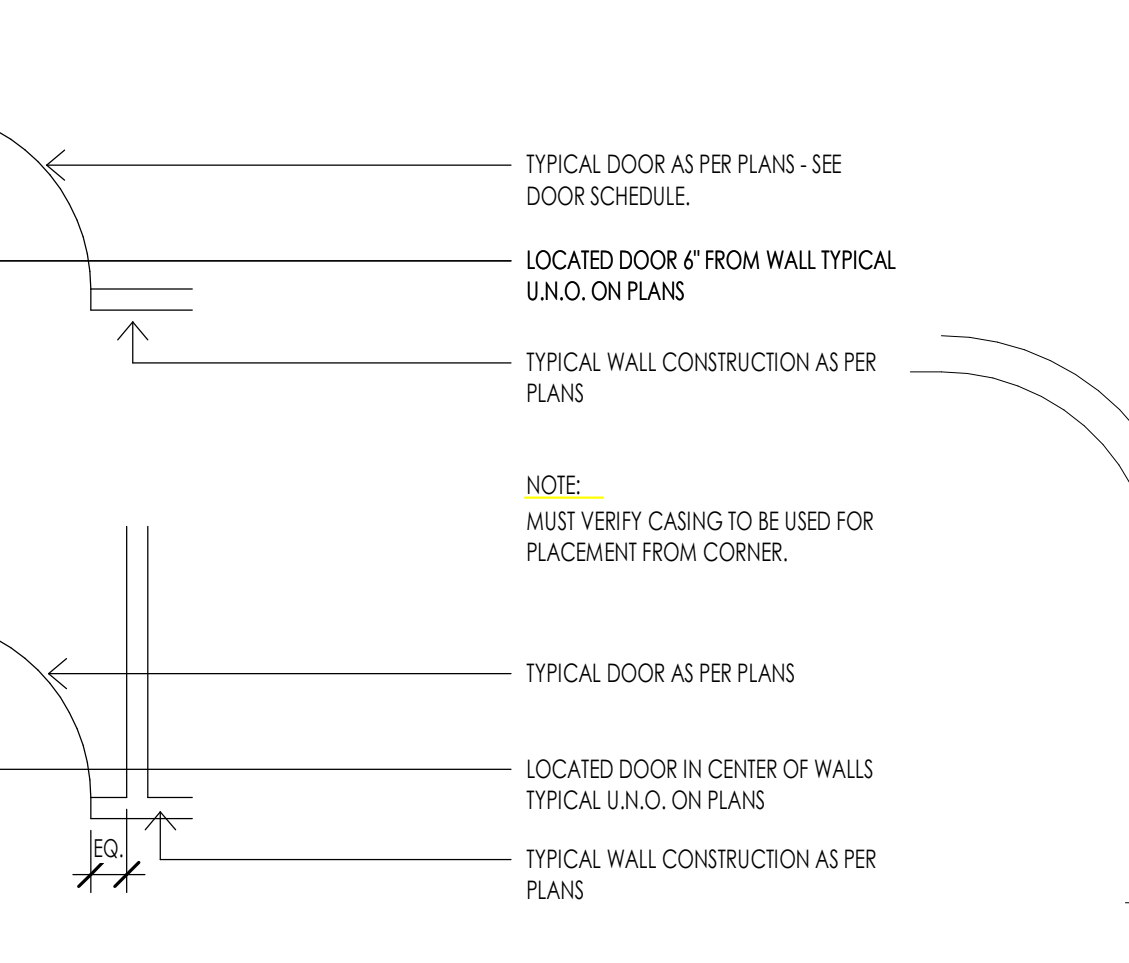
**DOOR - BARN TYP. HEADER**  
3" = 1'-0"



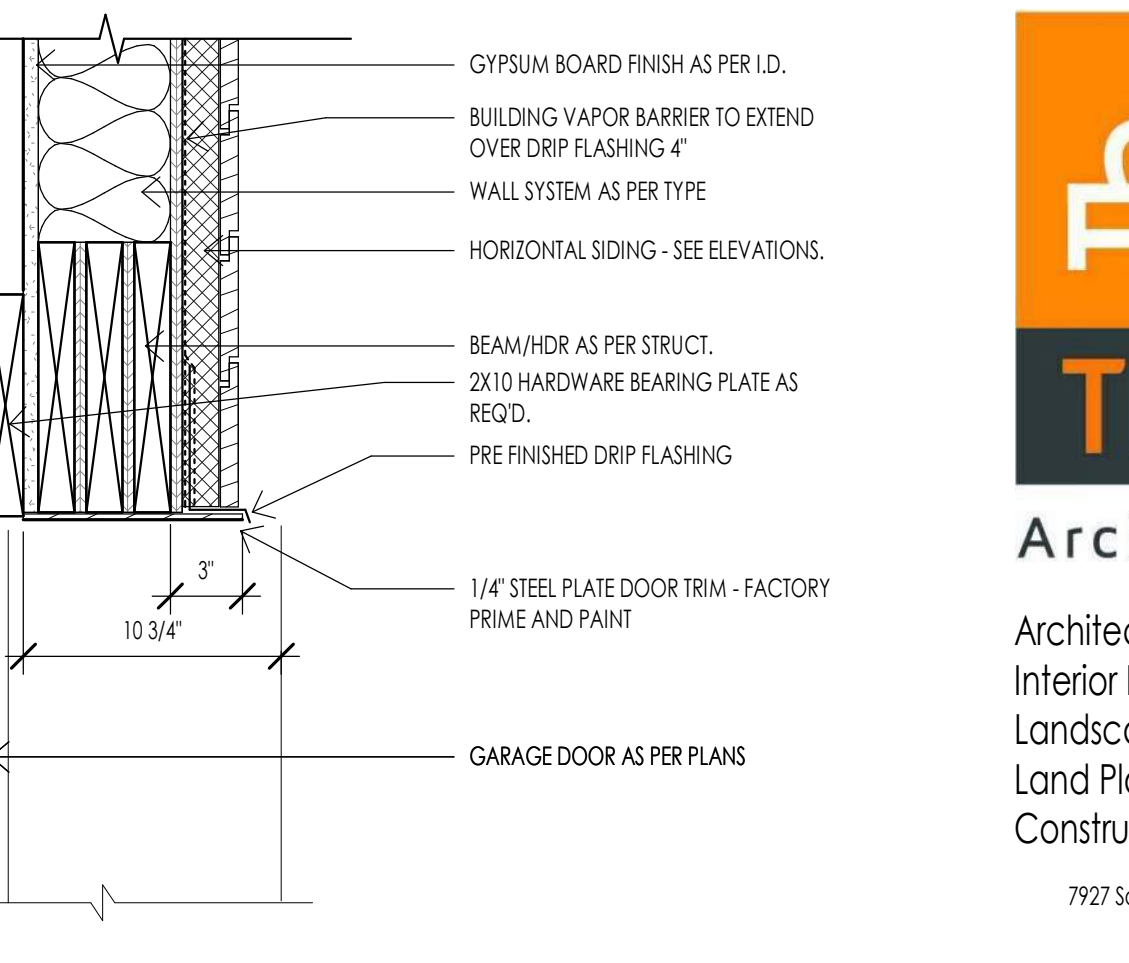
**DOOR - POCKET HEAD DETAIL**  
3" = 1'-0"



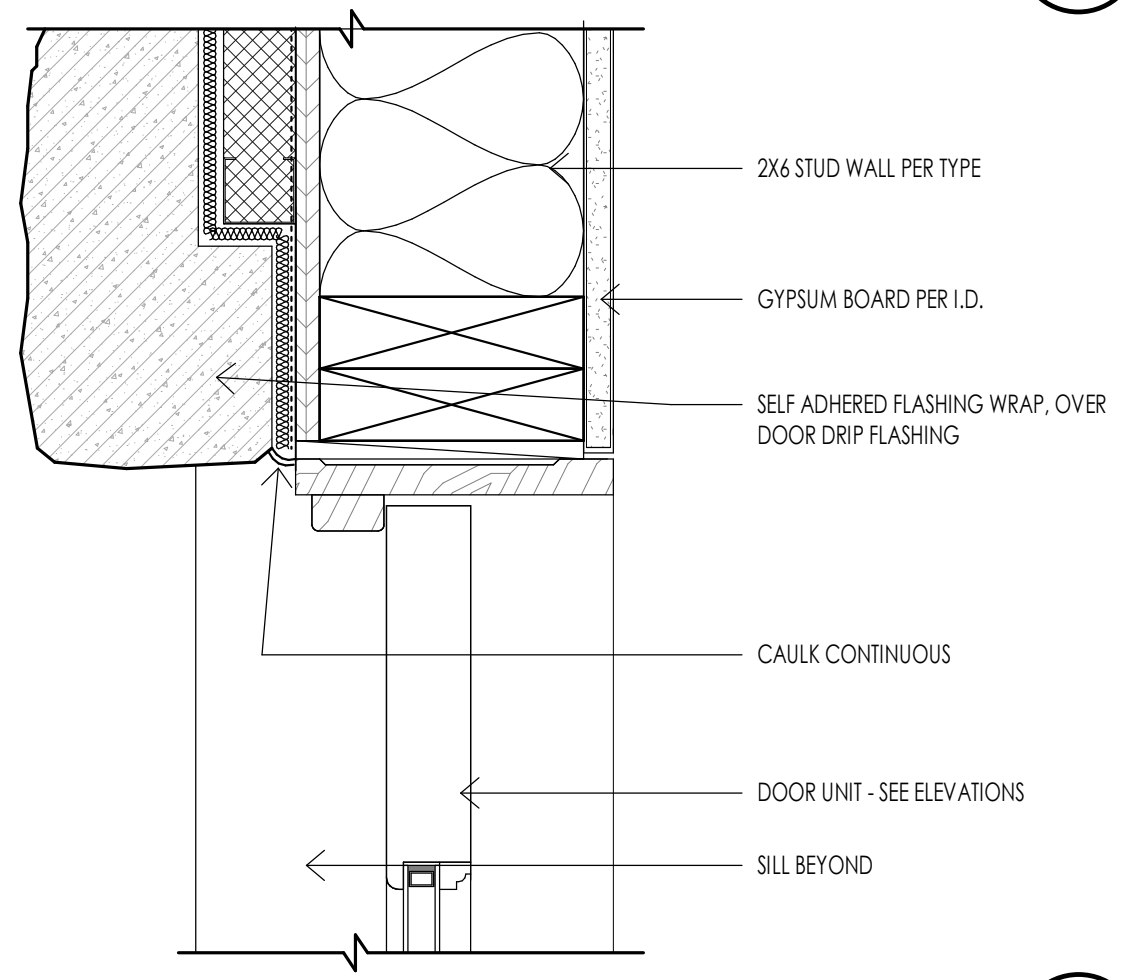
**DOOR - TYPICAL INTERIOR HEADER**  
3" = 1'-0"



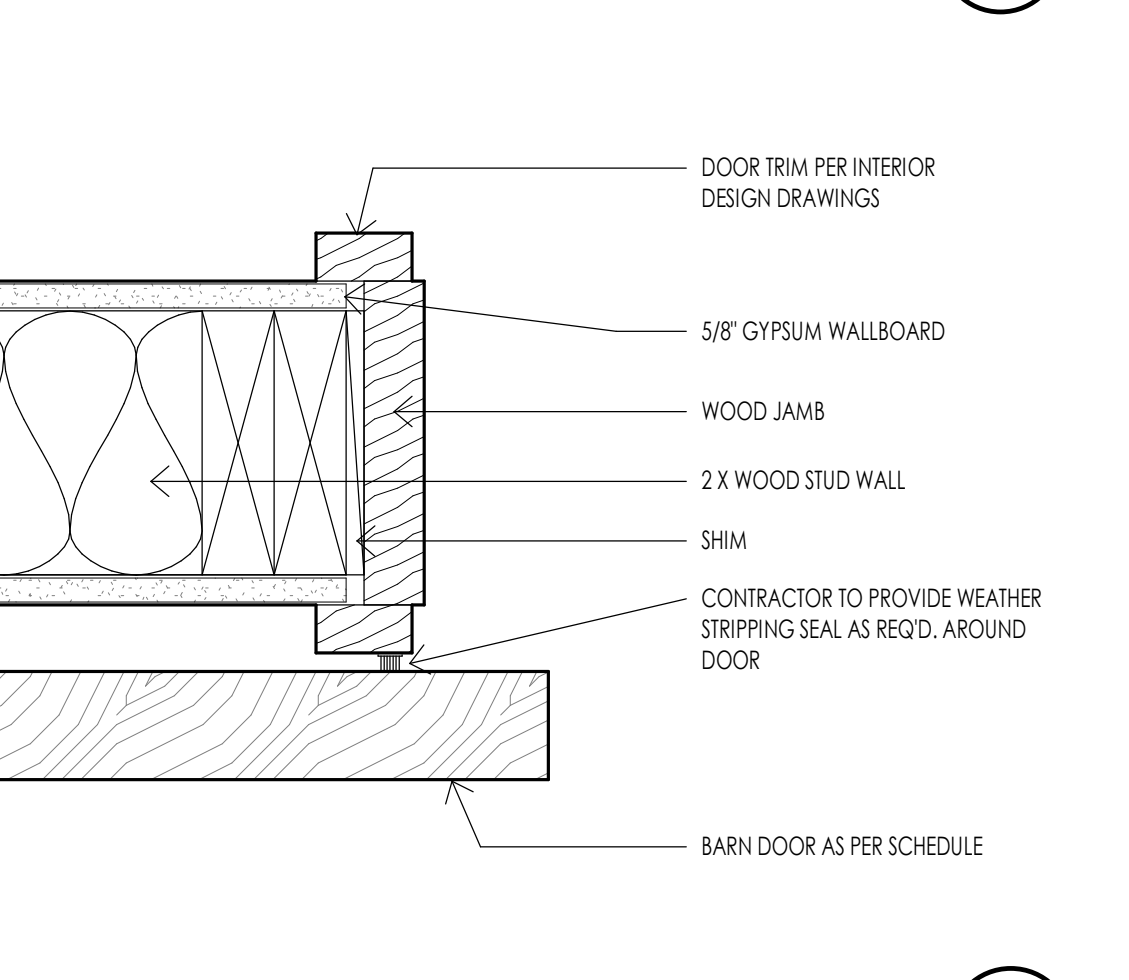
**DOOR - TYPICAL PLACEMENT DETAIL**  
3/8" = 1'-0"



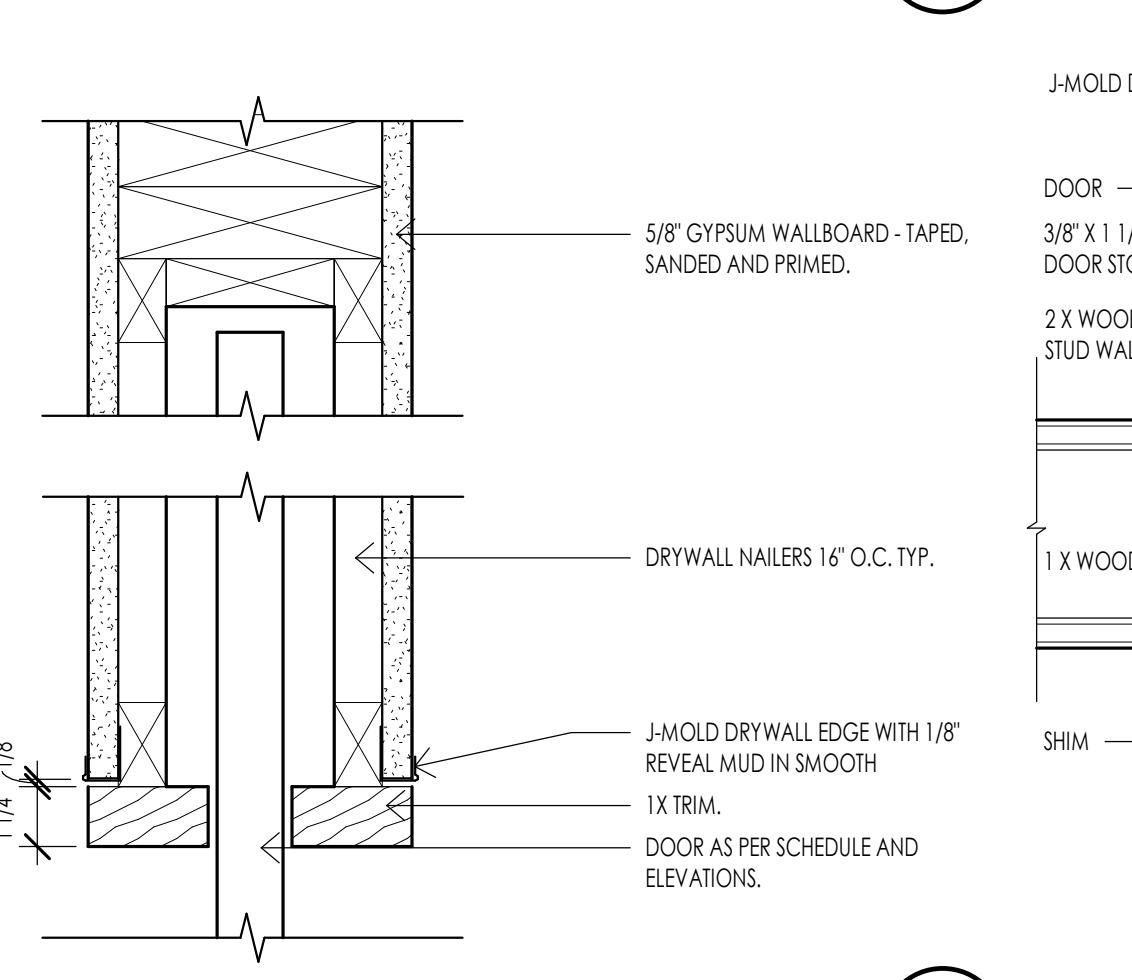
**GARAGE DOOR - HEAD DETAIL**  
1 1/2" = 1'-0"



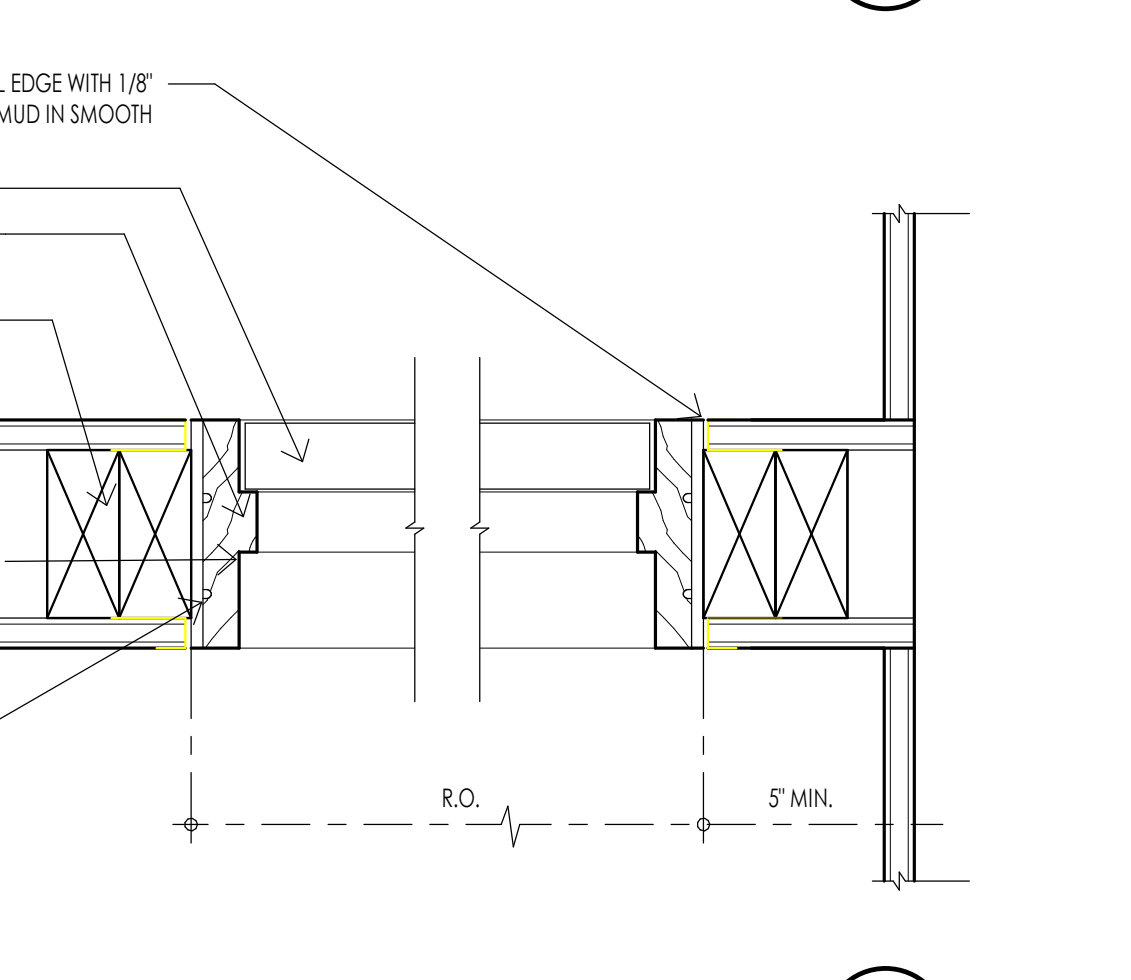
**TYPICAL EXTERIOR DOOR JAMB TRIM AT STONE**  
3" = 1'-0"



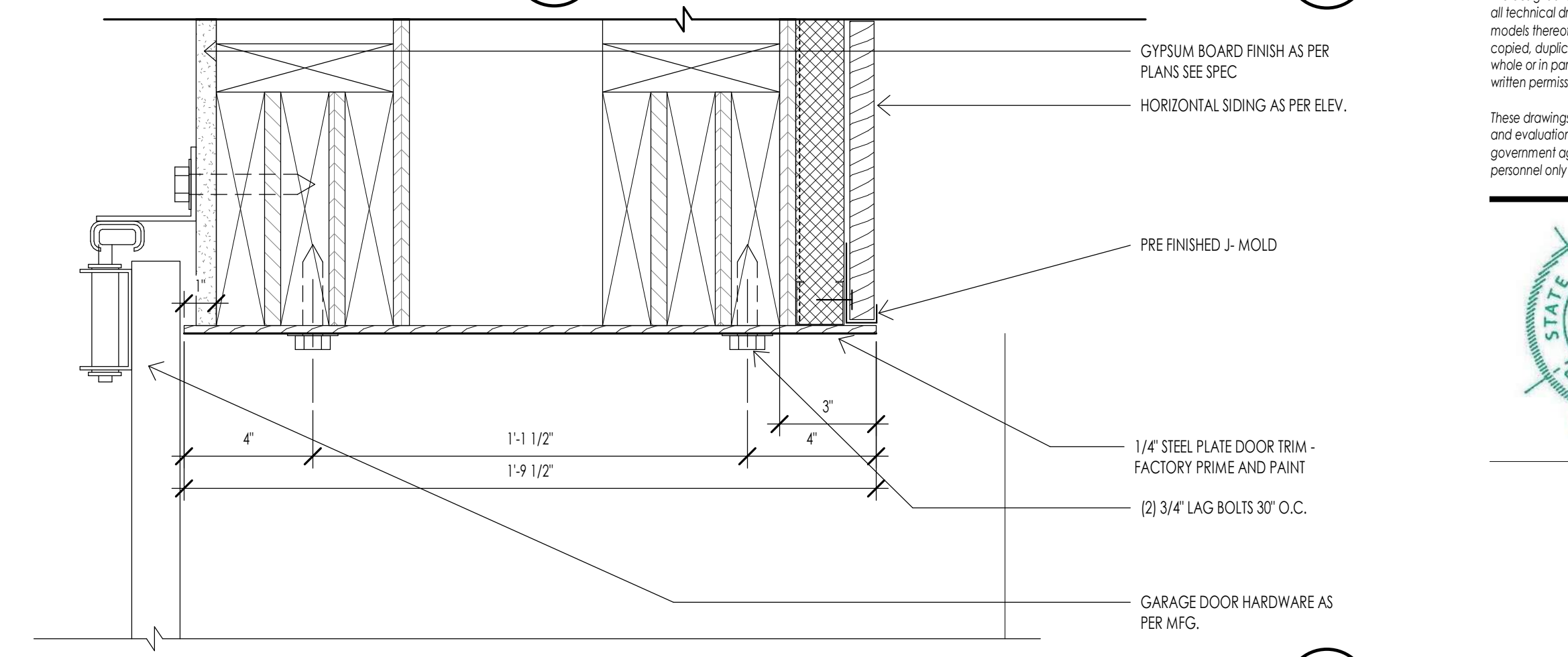
**DOOR - BARN TYP. JAMB**  
3" = 1'-0"



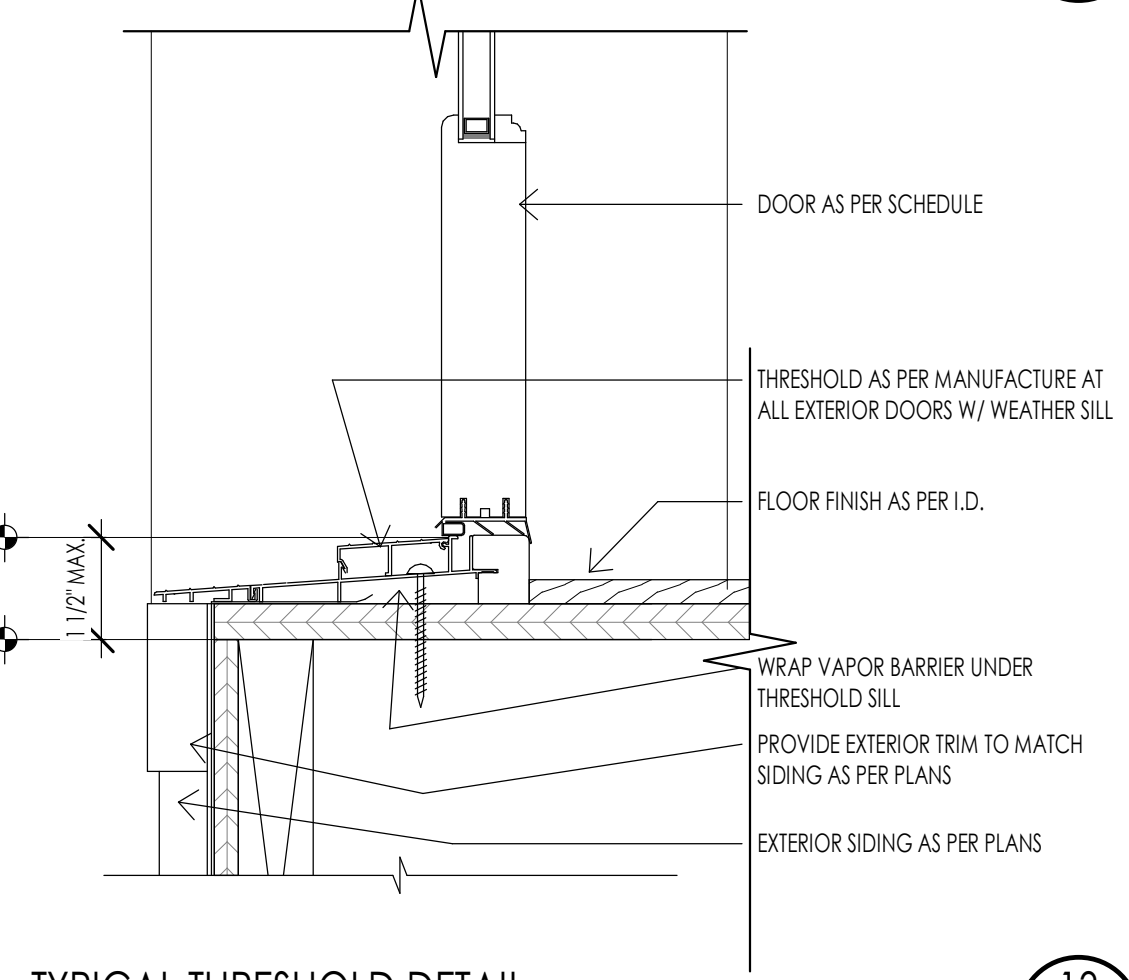
**DOOR - POCKET JAMB DETAIL**  
3" = 1'-0"



**DOOR INTERIOR JAMB**  
3" = 1'-0"



**GARAGE DOOR JAMB DETAIL**  
3" = 1'-0"



**TYPICAL THRESHOLD DETAIL**  
3" = 1'-0"



**DOOR - SLIDER TRIPLE JAMB @ STONE**  
3" = 1'-0"



**DOOR - SLIDER TRIPLE JAMB @ BOARD SIDING**  
3" = 1'-0"



WINDOW SCHEDULE

MARK	UNIT SIZE			OPERATION	MATERIAL	FINISH	DETAIL			GLAZING			COMMENTS
	WIDTH	HEIGHT	HEAD HEIGHT				HEAD	JAMB	SILL	THICKNESS	TYPE		
W14	19'-6"	10'-0"	10'-0"	DOOR SLIDER QUAD OPEN TO SIDE	ALUMINUM CLAD	AS PER I.D.	15/A604	26/A602	27/A604	PER MANUFACTURER	LOWE 366	TEMPERED	
W15	3'-0"	6'-0"	7'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366		
W16	2'-4"	6'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	15/A604	16/A604	22/A604	PER MANUFACTURER	LOWE 366		
W17	6'-0"	9'-0"	9'-0"	DOOR SLIDER DOUBLE	ALUMINUM CLAD	AS PER I.D.	11/A604	20/A602	27/A604	PER MANUFACTURER	LOWE 366	TEMPERED	
W18	2'-4"	3'-0"	14'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366		
W19	4'-10 1/2"	3'-0"	14'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	21/A604	16/A604	15/A604	PER MANUFACTURER	LOWE 366		
W20	3'-0"	7'-0"	10'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	12/A604	28/A604	23/A604	PER MANUFACTURER	LOWE 366		
W21	3'-0"	7'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366		
W22	3'-0"	7'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366		
W23	2'-4"	3'-0"	14'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	11/A604	17/A604	15/A604	PER MANUFACTURER	LOWE 366		
W24	2'-4"	3'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	15/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366		
W25	3'-0"	7'-0"	9'-6"	FIXED	ALUMINUM CLAD	AS PER I.D.	12/A604	28/A604	23/A604	PER MANUFACTURER	LOWE 366		
W27	3'-0"	7'-0"	9'-6"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366		
W28	3'-4"	3'-0"	13'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	10/A604	16/A604	22/A604	PER MANUFACTURER	LOWE 366		
W30	2'-4"	3'-0"	14'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	10/A604	16/A604	15/A604	PER MANUFACTURER	LOWE 366		

WINDOW LEGEND

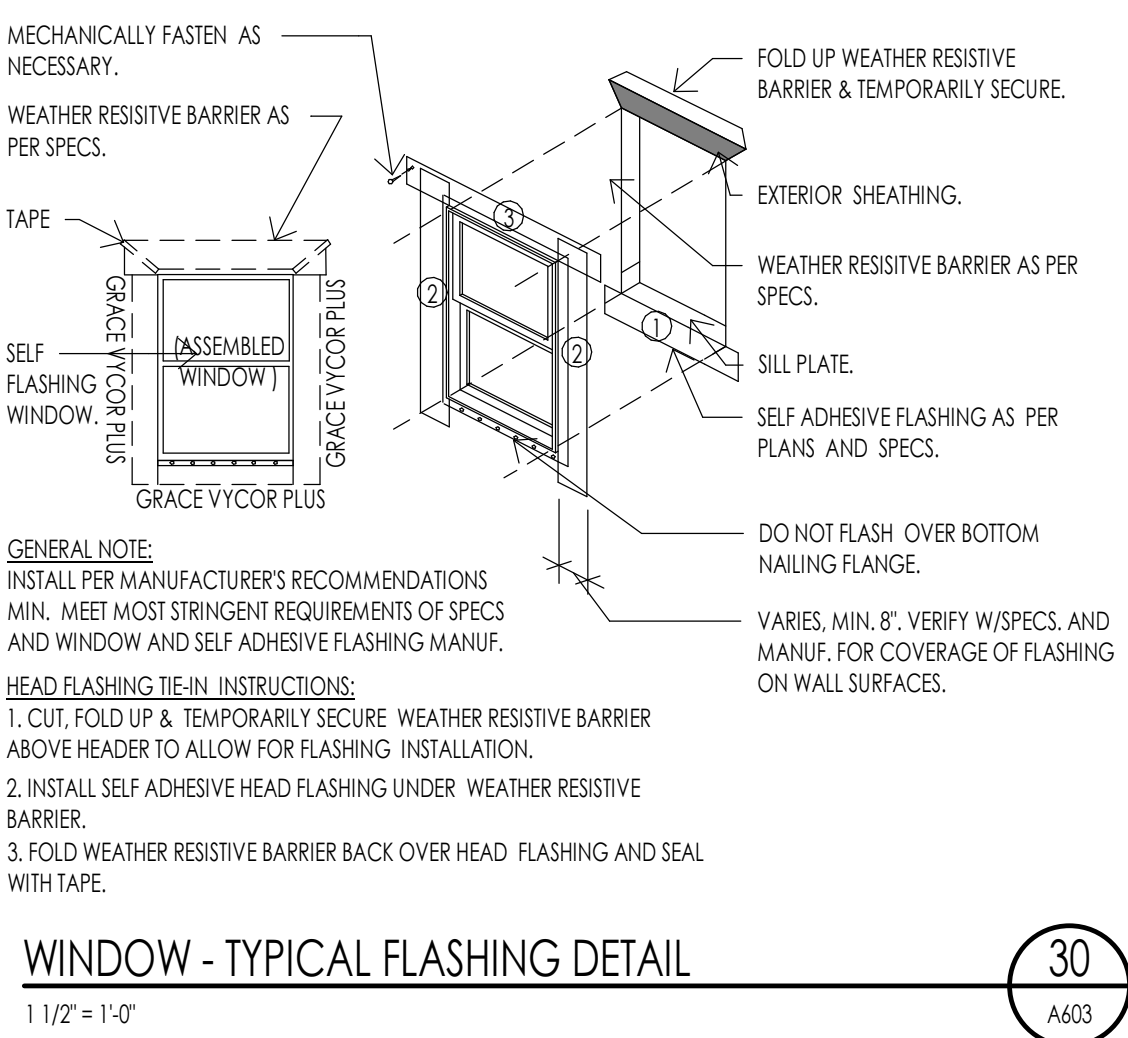
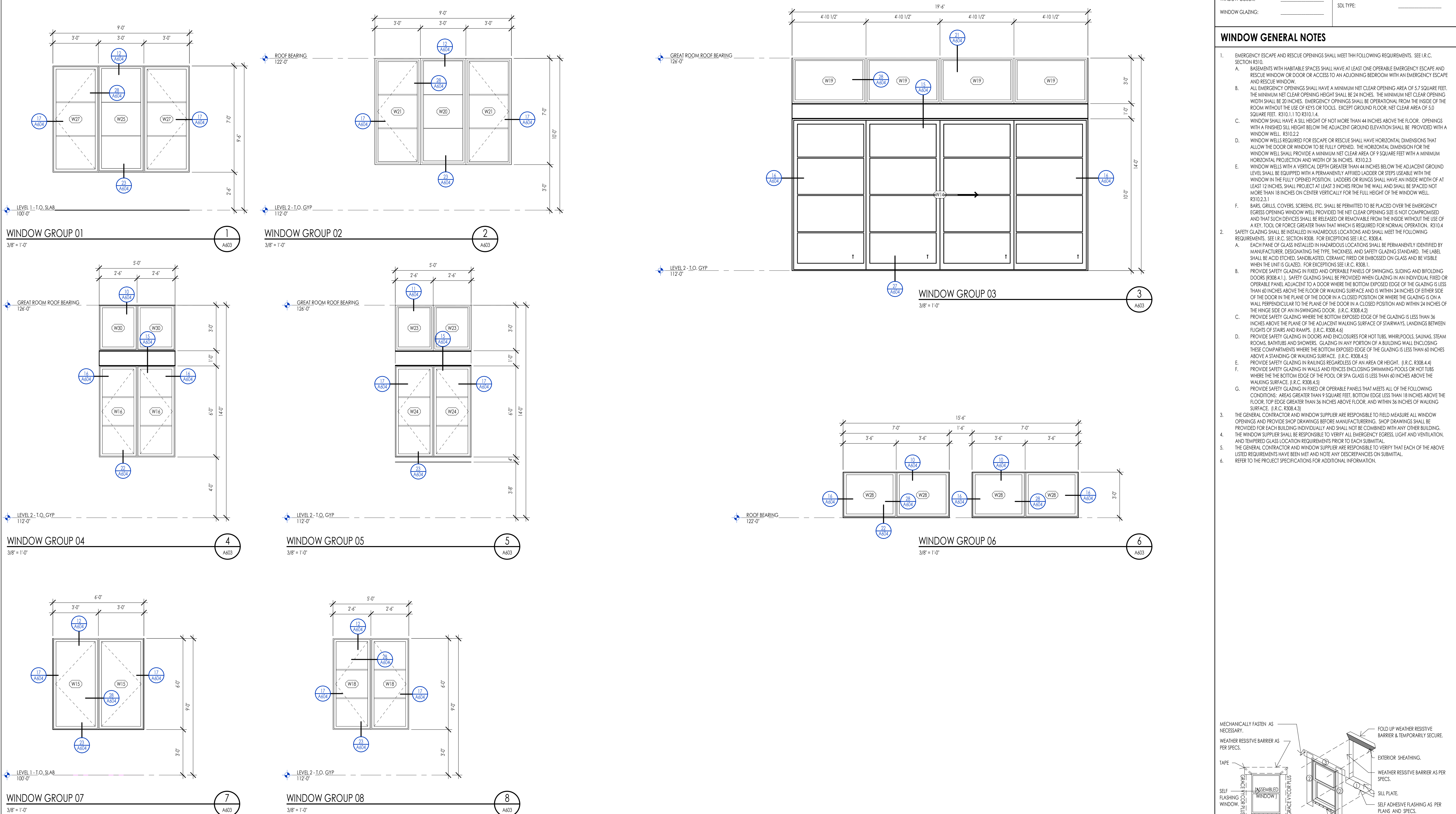
SYMBOL	DESCRIPTION
⊙	TEMPERED GLAZING LOCATIONS.
→	DIRECTION OF OPERABLE WINDOW/DOOR.
E	WINDOW IS REQUIRED TO MEET EMERGENCY EGRESS.

WINDOW SPECIFICATIONS

APPROVED MANUFACTURERS:	MINIMUM U-VALUE:
	SCREENS REQUIRED:
BASIS OF DESIGN:	SCREEN COLOR:
WINDOW TYPE:	TYPICAL JAMB WIDTH:
WINDOW COLOR:	SDL WIDTH:
WINDOW GLAZING:	SDL TYPE:

WINDOW GENERAL NOTES

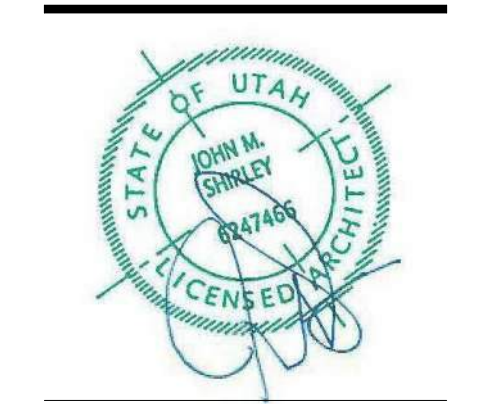
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R310.
  - BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR OR ACCESS TO AN ADJOINING BERGION WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW.
  - ALL EMERGENCY OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. EMERGENCY OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. EXCEPT GROUND FLOOR, NET CLEAR AREA OF 5.0 SQUARE FEET. R310.1 TO R310.1.4.
  - WINDOW SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.2.2
  - WINDOW WELLS REQUIRED FOR ESCAPE OR RESCUE SHALL HAVE HORIZONTAL DIMENSIONS THAT ALLOW THE DOOR OR WINDOW TO BE FULLY OPENED. THE HORIZONTAL DIMENSION FOR THE WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 18 INCHES. R310.2.3
  - WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USEABLE WITH THE WINDOW IN THE FULLY OPENED POSITION. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12 INCHES. SHALL PROJECT AT LEAST 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. R310.2.3.1
  - BARB, GRILL, COVERS, SCREENS, ETC. SHALL BE PERMITTED TO BE PLACED OVER THE EMERGENCY EGRESS OPENING WINDOW WELL PROVIDED THE NET CLEAR OPENING SIZE IS NOT COMPROMISED AND THAT SUCH DEVICES SHALL BE RELEASED OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION. R310.4
- SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R308. FOR EXCEPTIONS SEE I.R.C. R308.4.
  - EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FRIED OR EMBOSSED ON GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. FOR EXCEPTIONS SEE I.R.C. R308.1.
  - PROVIDE SAFETY GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND FOLDING DOORS (R308.4.1). SAFETY GLAZING SHALL BE PROVIDED WHEN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 40 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN SWINGING DOOR. (I.R.C. R308.4.2)
  - PROVIDE SAFETY GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS. (I.R.C. R308.4.6)
  - PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLCING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 40 INCHES ABOVE A STANDING OR WALKING SURFACE. (I.R.C. R308.4.5)
  - PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT. (I.R.C. R308.4.I)
  - PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLCING SWIMMING POOLS OR HOT TUBS WHERE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 40 INCHES ABOVE THE WALKING SURFACE. (I.R.C. R308.4.3)
  - PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET; BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR; TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR; AND WITHIN 36 INCHES OF WALKING SURFACE. (I.R.C. R308.4.3)
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO FIELD MEASURE ALL WINDOW OPENINGS AND PROVIDE SHOP DRAWINGS BEFORE MANUFACTURING. SHOP DRAWINGS SHALL BE PROVIDED FOR EACH BUILDING INDIVIDUALLY AND SHALL NOT BE COMBINED WITH ANY OTHER BUILDING. THE WINDOW SUPPLIER SHALL BE RESPONSIBLE TO VERIFY ALL EMERGENCY EGRESS, LIGHT AND VENTILATION, AND TEMPERED GLASS LOCATION REQUIREMENTS PRIOR TO EACH SUBMITTAL.
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO VERIFY THAT EACH OF THE ABOVE LISTED REQUIREMENTS HAVE BEEN MET AND NOTE ANY DISCREPANCIES ON SUBMITTAL.
- REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.



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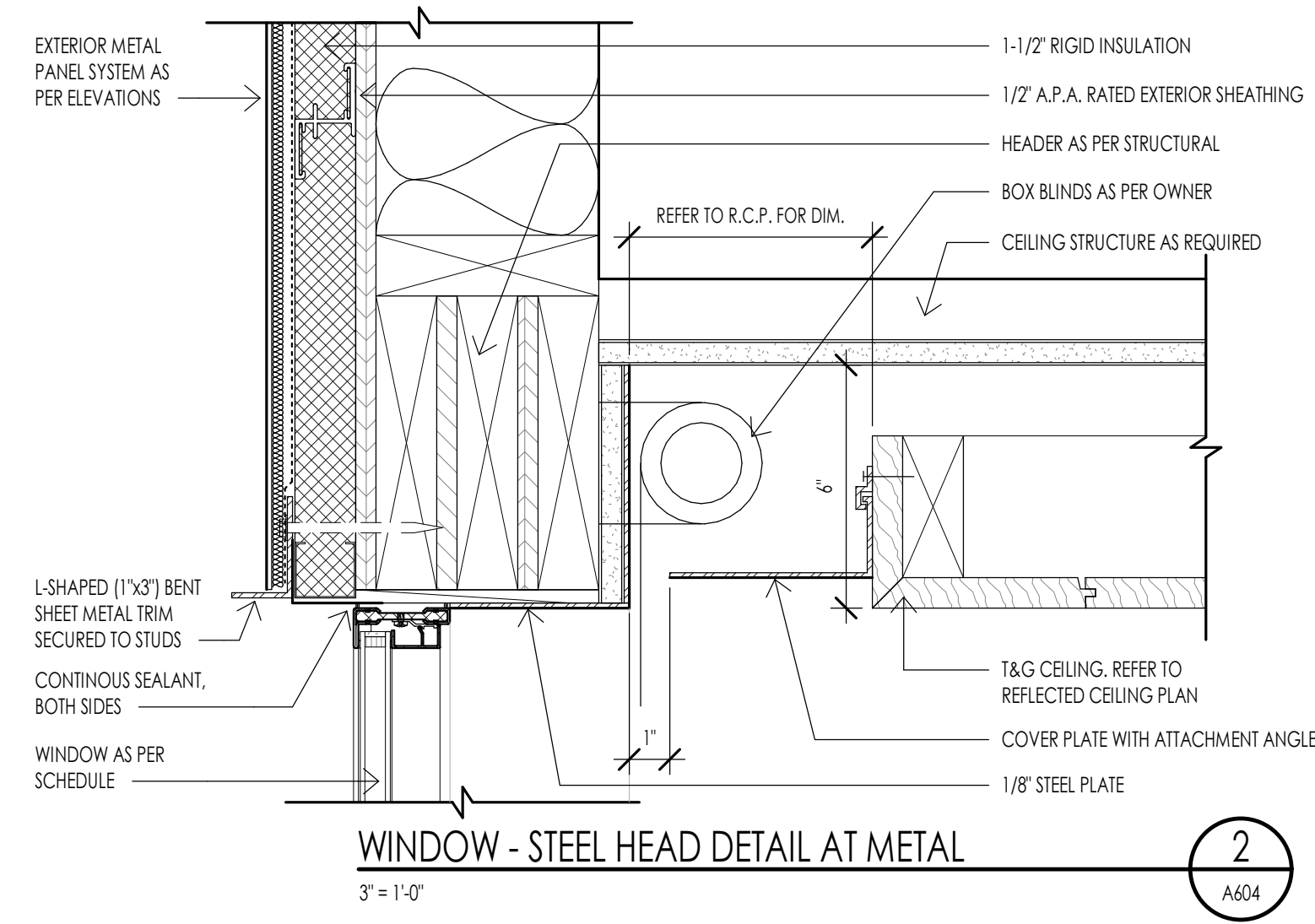
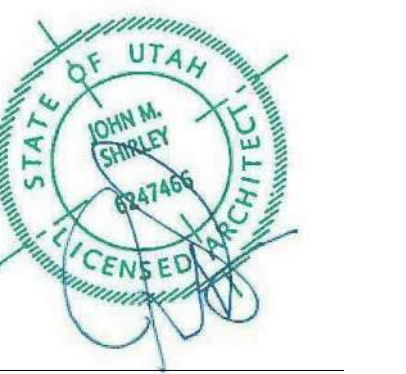
WARM SPRINGS RESIDENCE #33  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

SHEET TITLE:  
WINDOW SCHEDULE &  
ELEVATIONS

SHEET NUMBER:  
**A603**

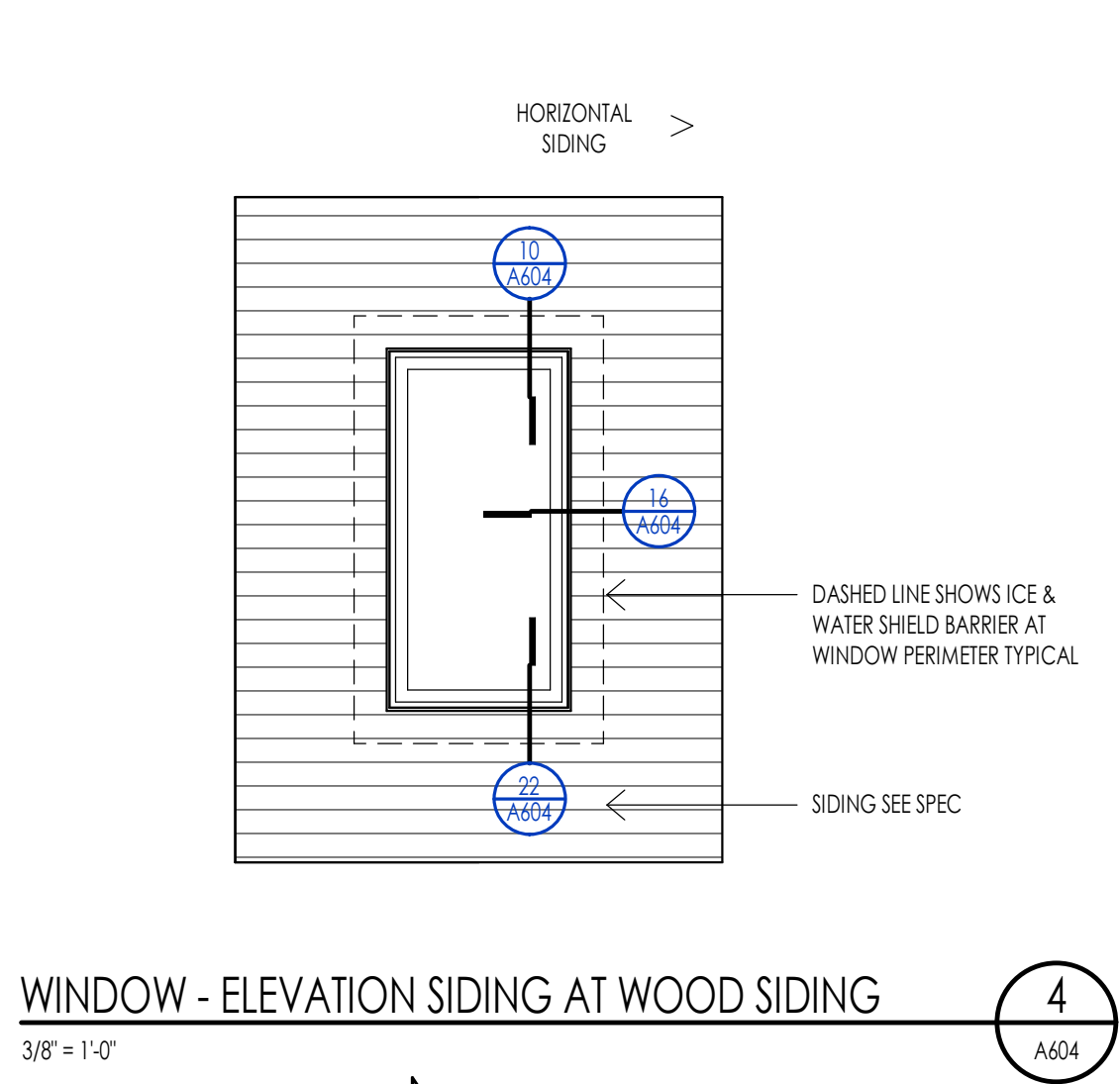
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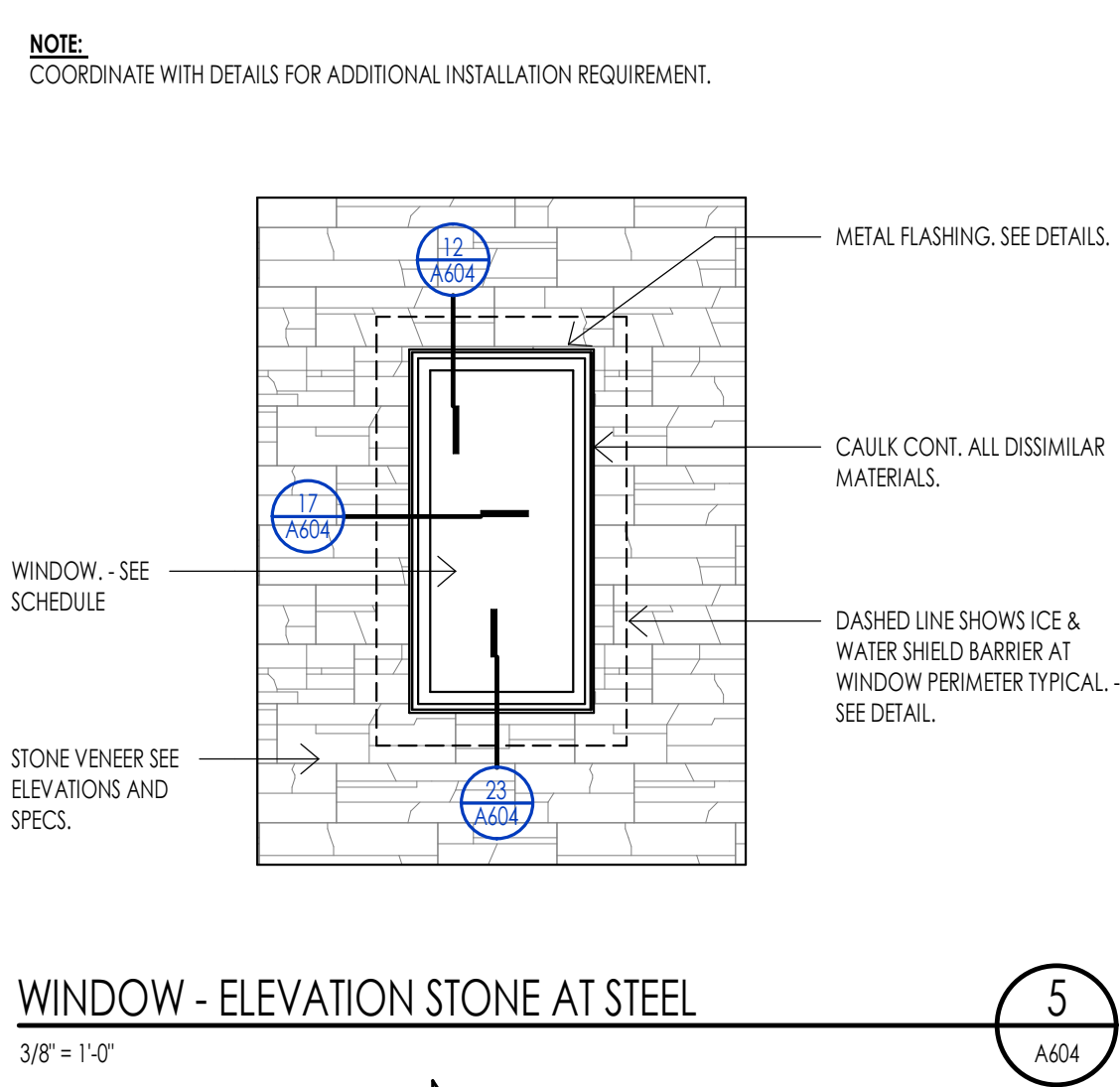
**WINDOW - STEEL HEAD DETAIL AT METAL**  
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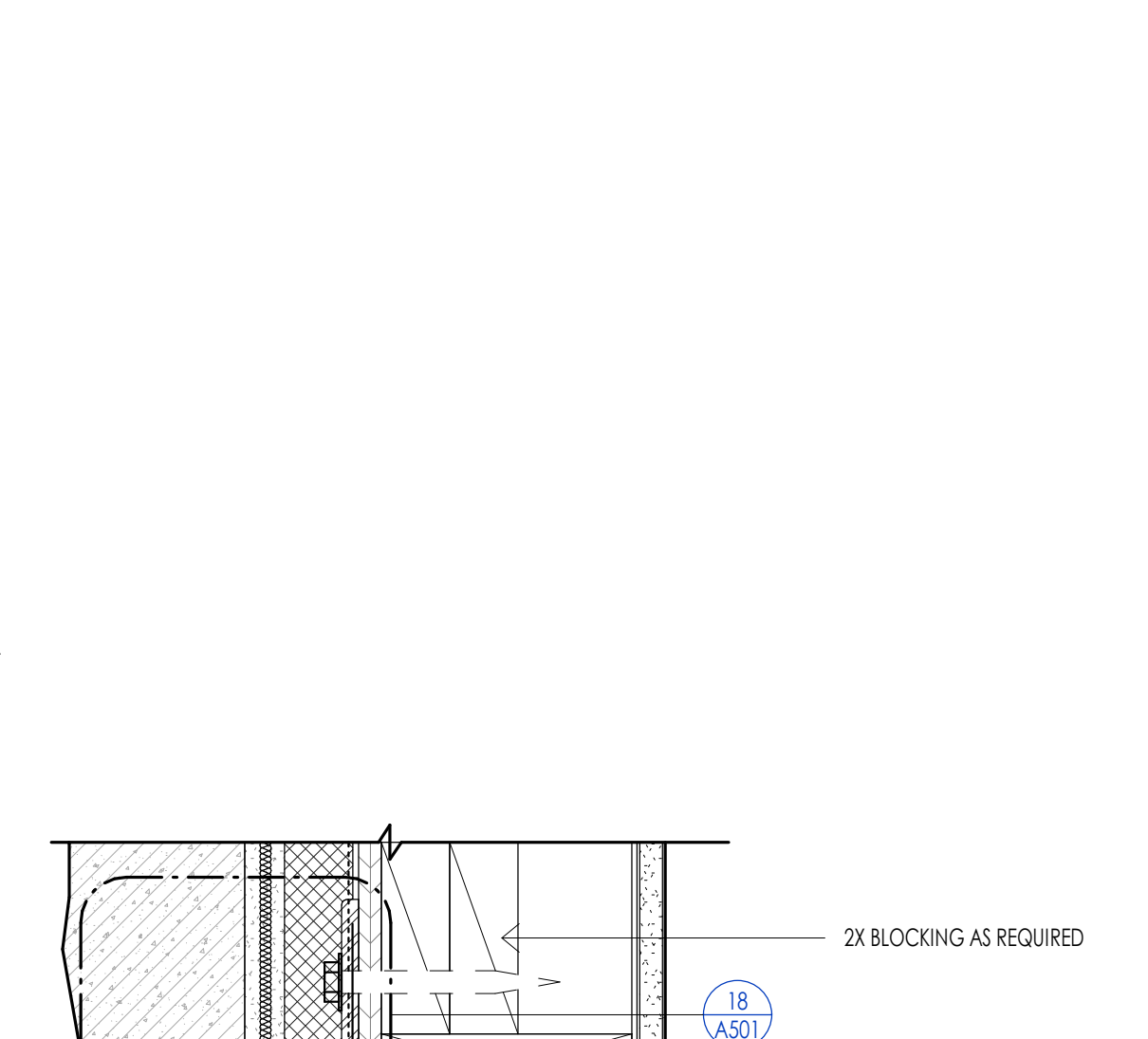
**WINDOW - STEEL HEAD DETAIL AT SIDING**  
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**WINDOW - STEEL HEAD DETAIL AT STONE**  
3\"/>



**WINDOW - STEEL HEAD DETAIL AT T&G CEILING**  
3\"/>



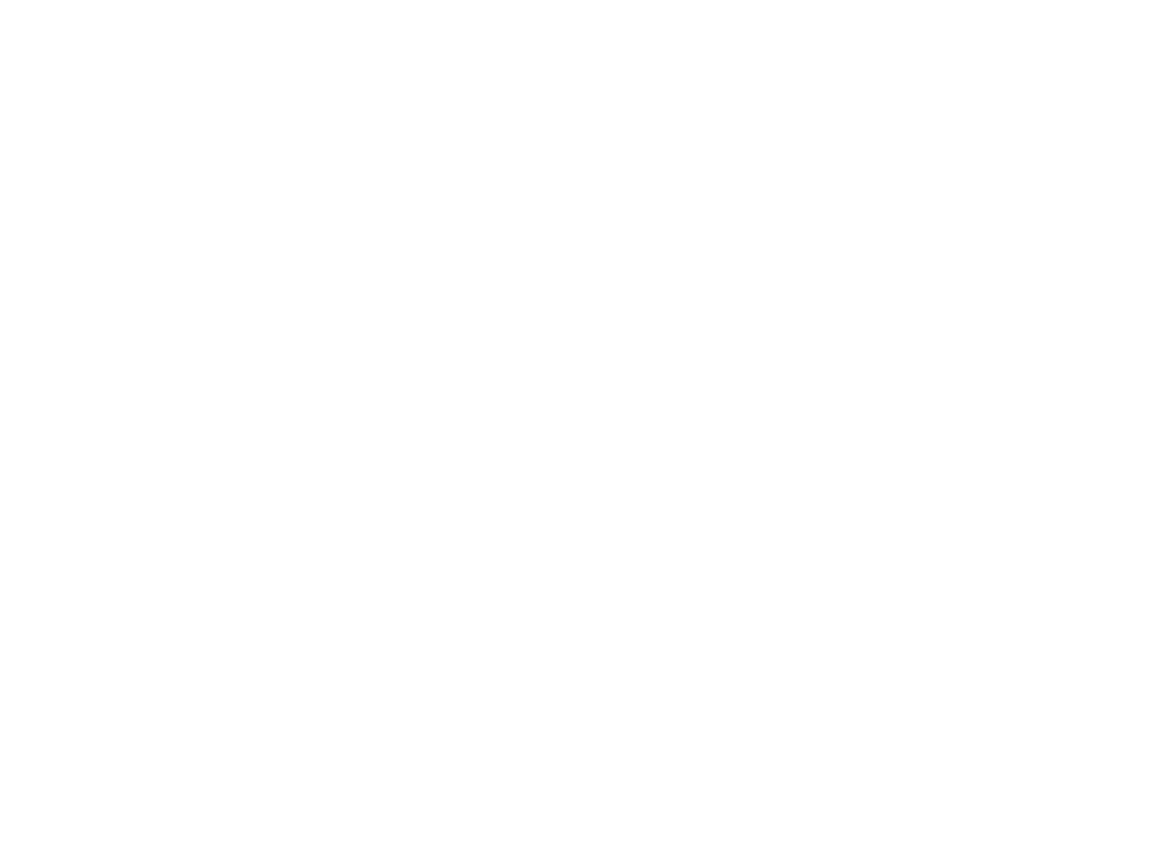
**WINDOW - STEEL JAMB DETAIL AT SIDING**  
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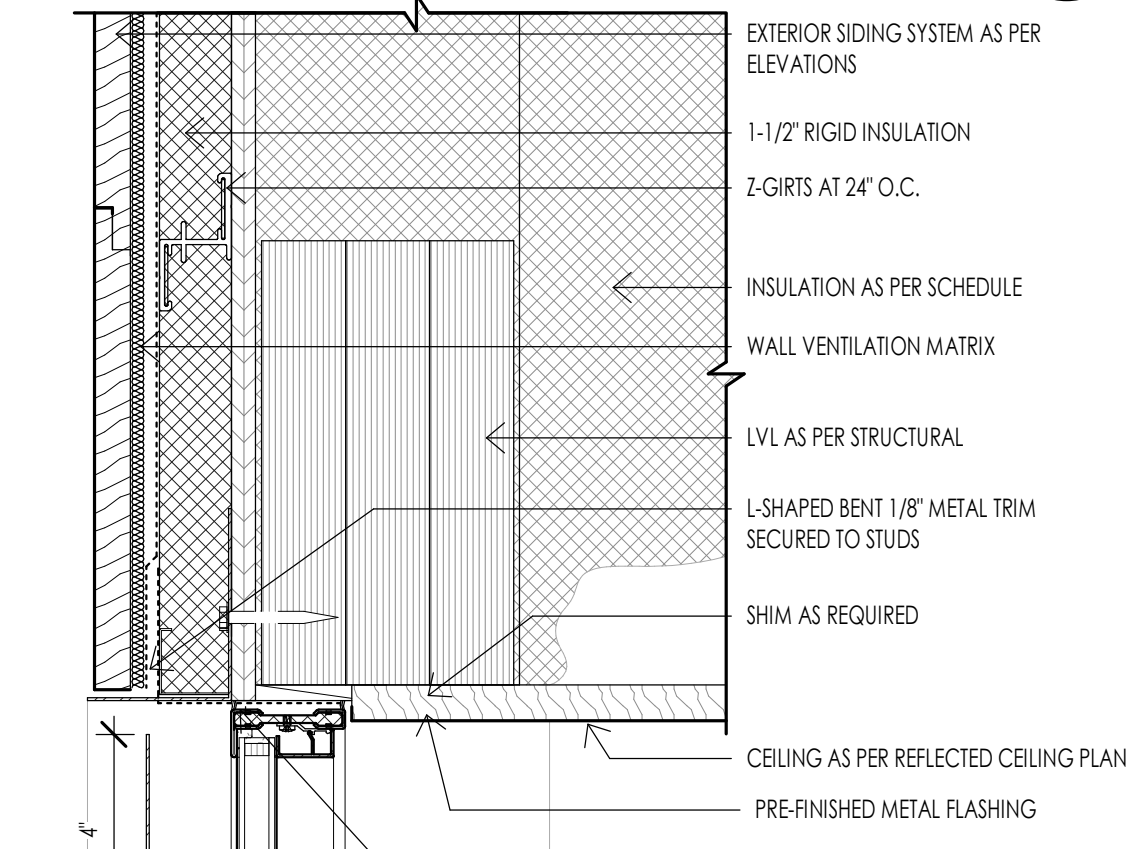
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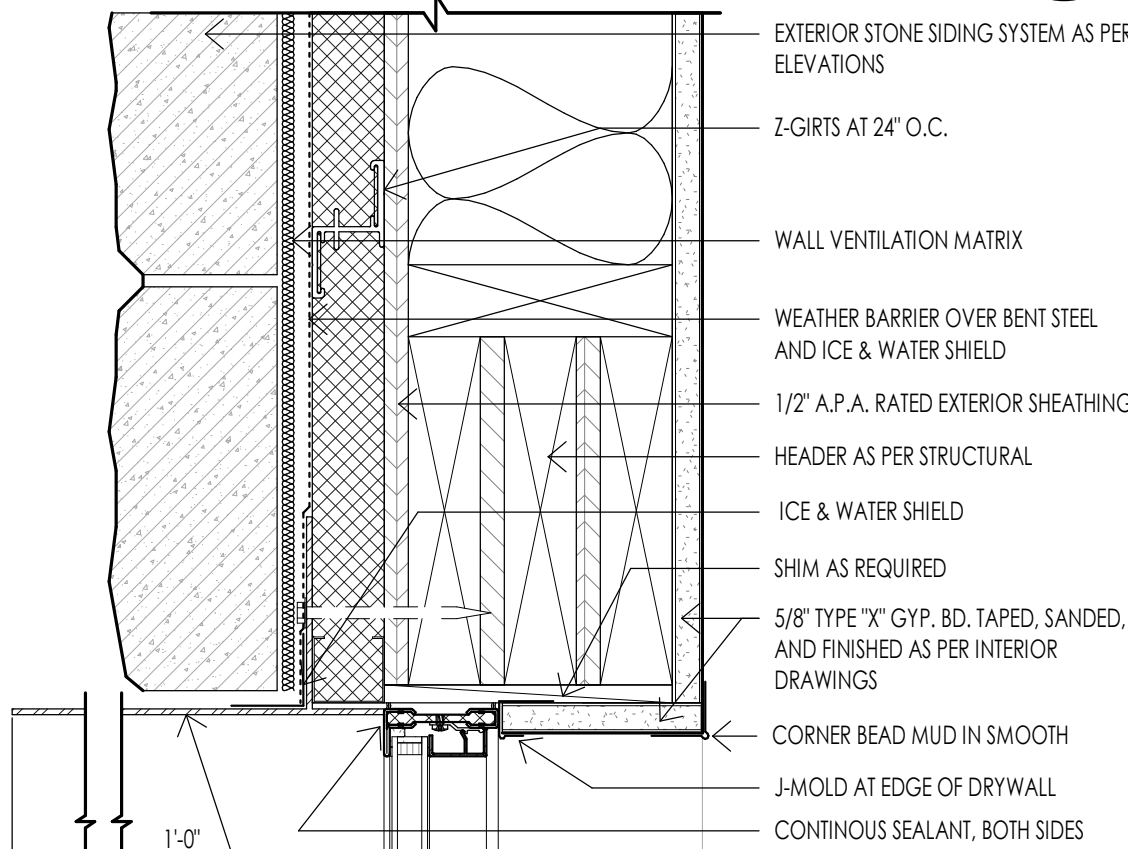
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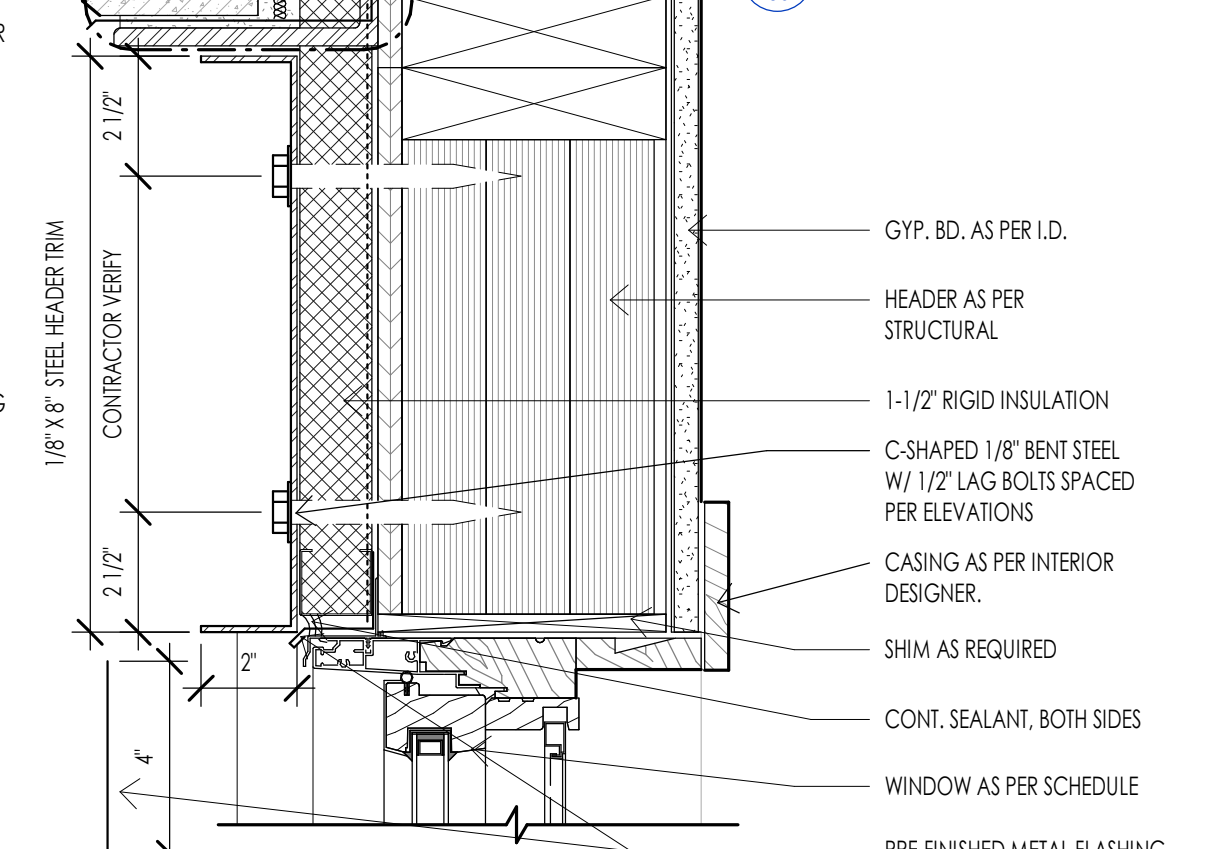
**WINDOW - STEEL SILL DETAIL AT SIDING**  
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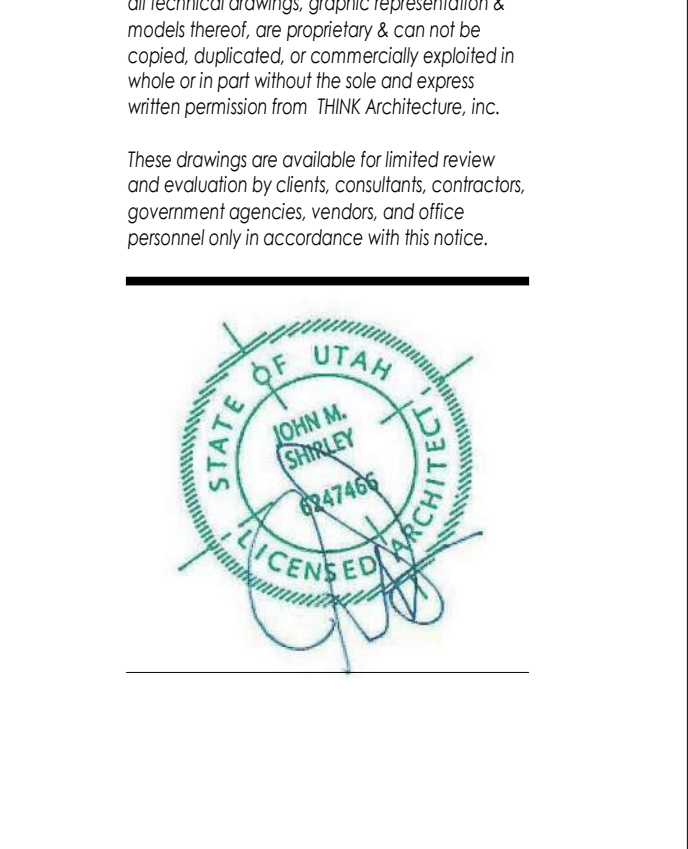
**WINDOW - STEEL SILL DETAIL AT STONE**  
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**WINDOW - STEEL SILL DETAIL AT T&G CEILING**  
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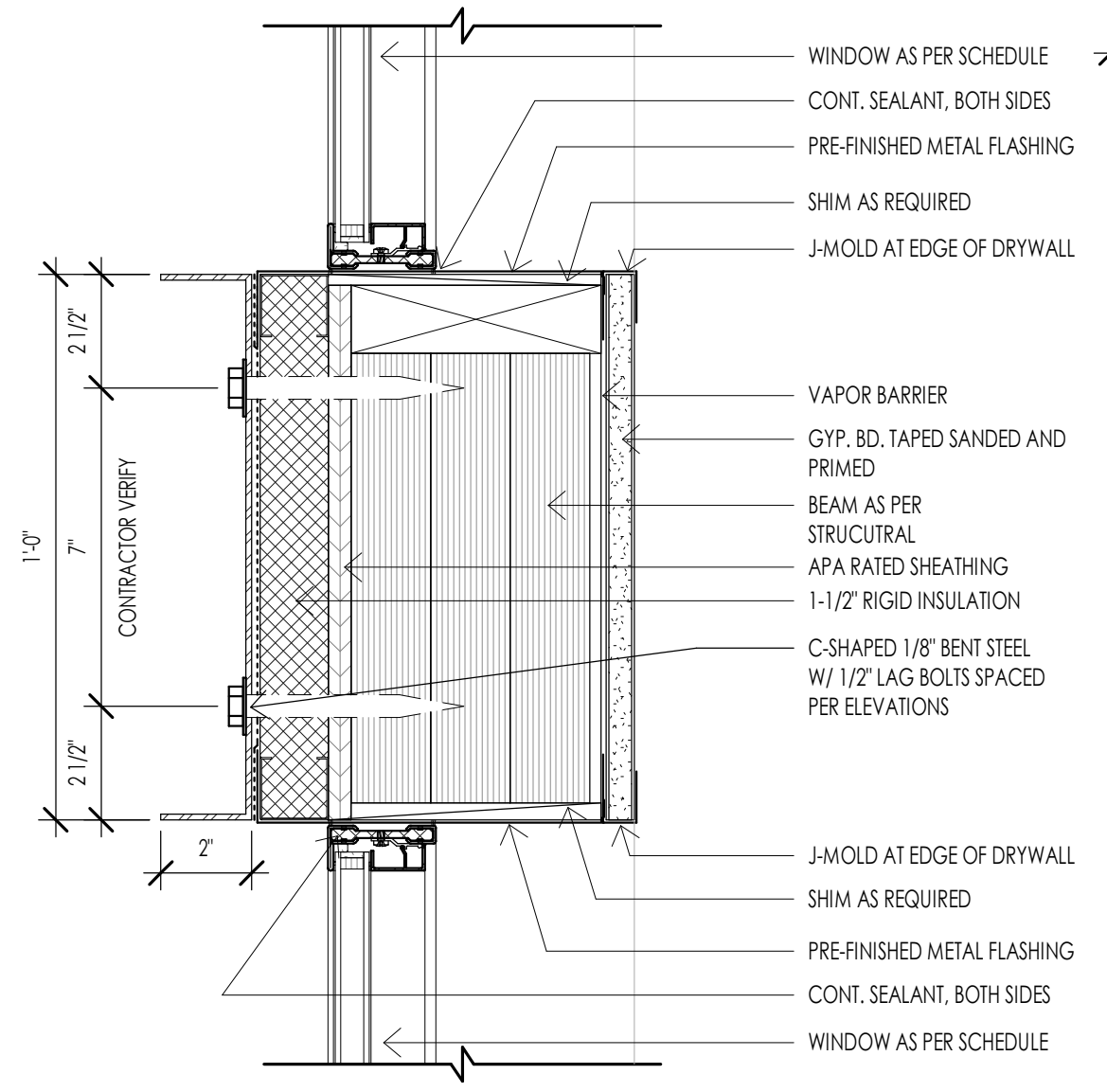
**WINDOW - MULLED DETAIL**  
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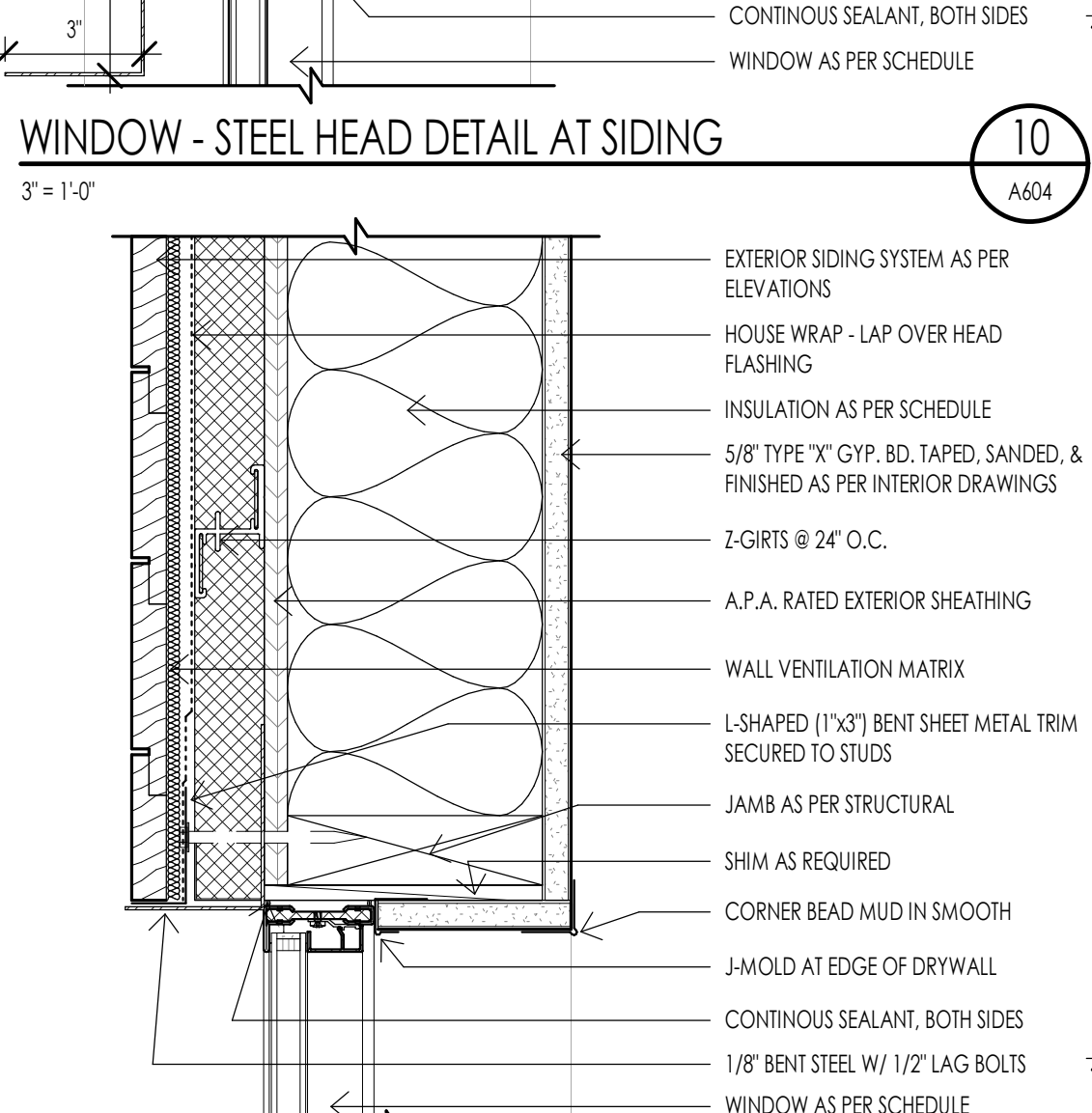
**WINDOW - MULLED DETAIL STIFFENED**  
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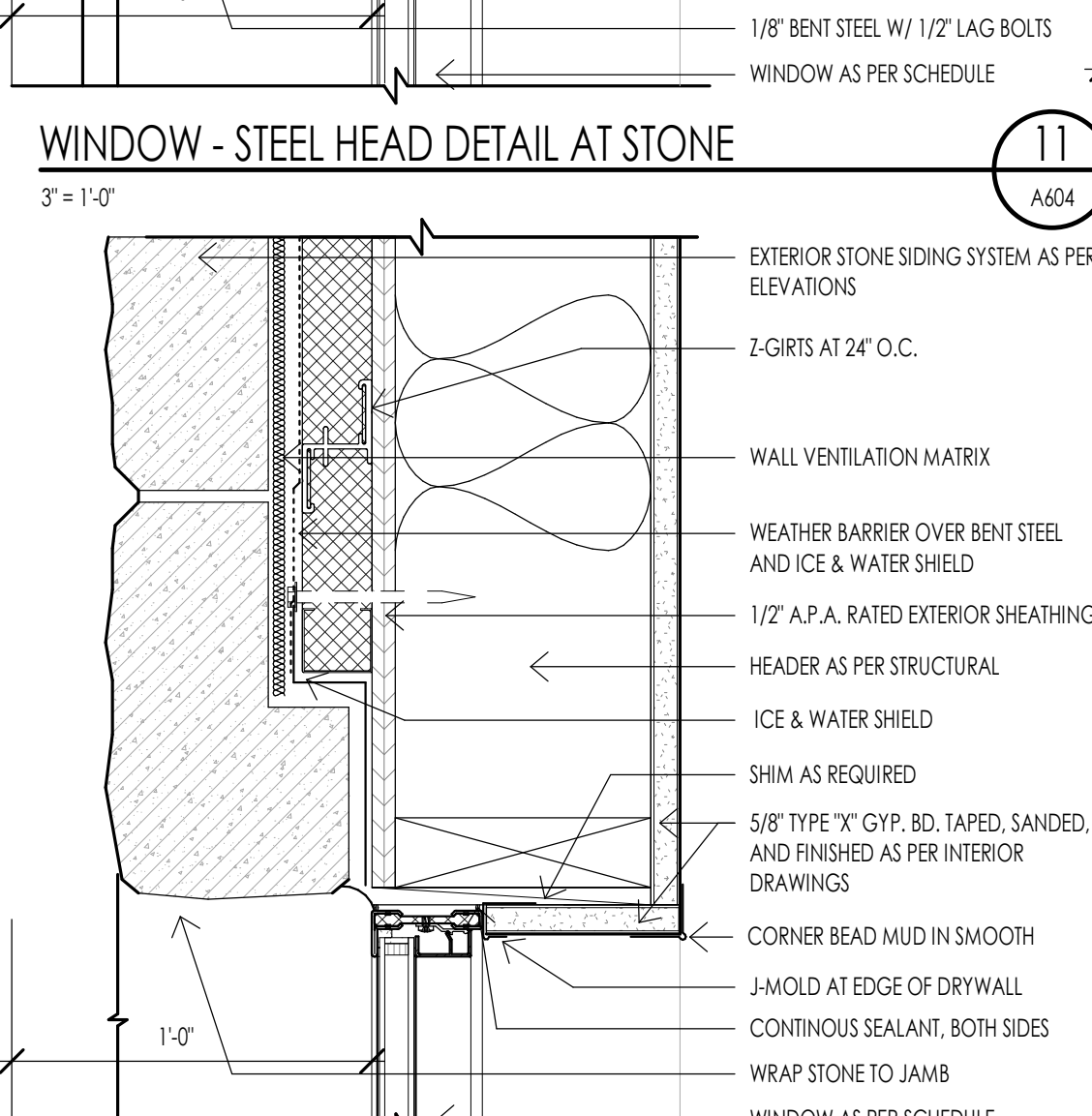
**WINDOW - STEEL HEAD DETAIL AT METAL**  
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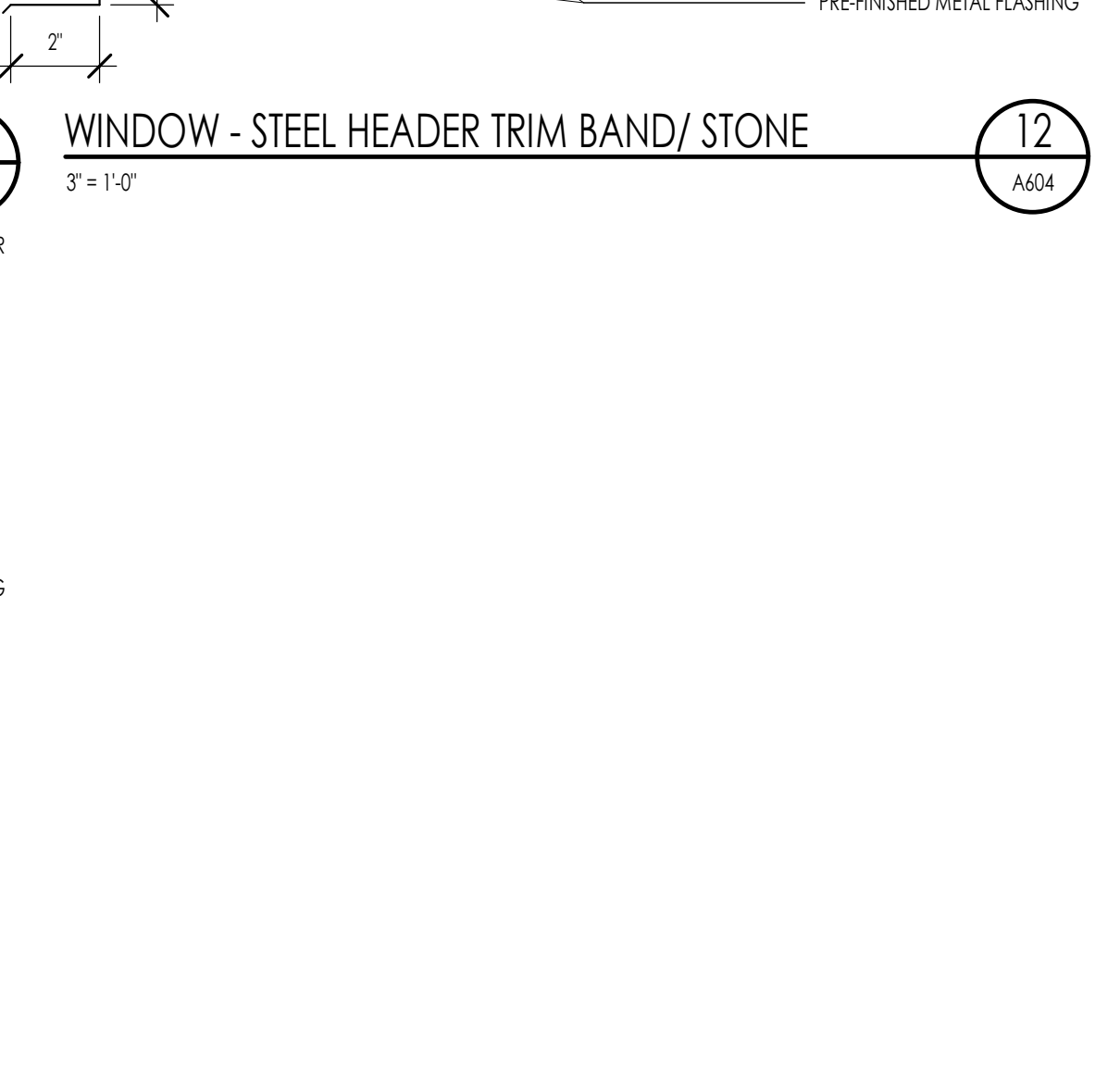
**WINDOW - STEEL HEAD DETAIL AT SIDING**  
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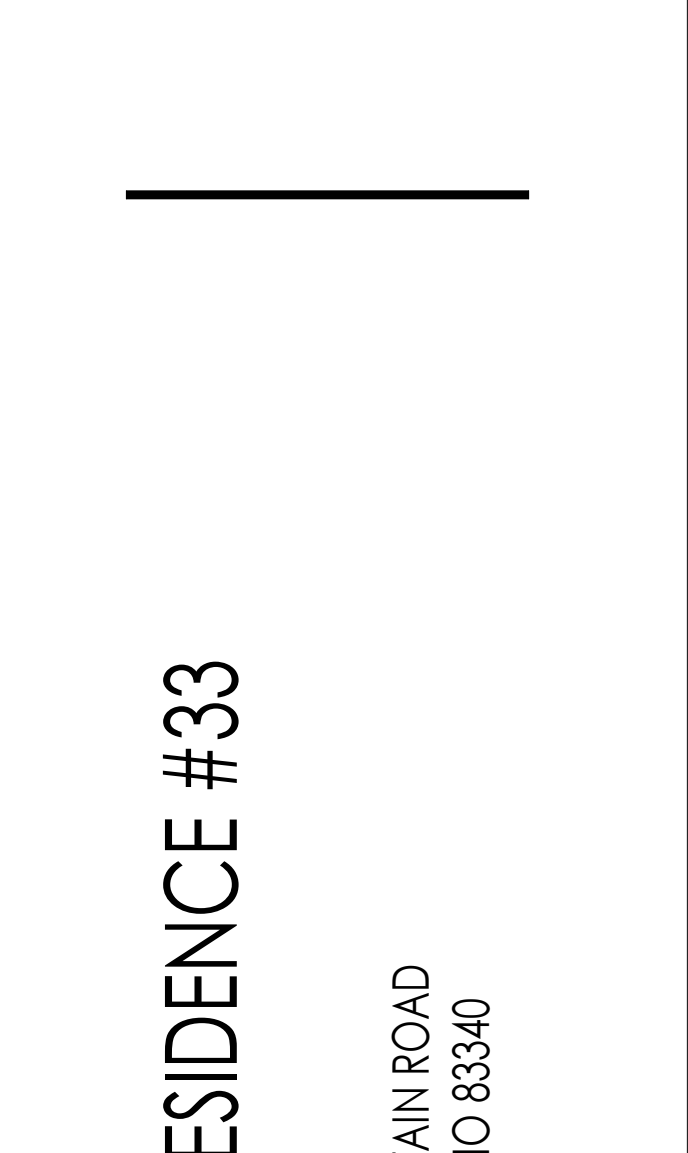
**WINDOW - STEEL HEAD DETAIL AT STONE**  
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**WINDOW - STEEL HEAD DETAIL AT T&G CEILING**  
3\"/>



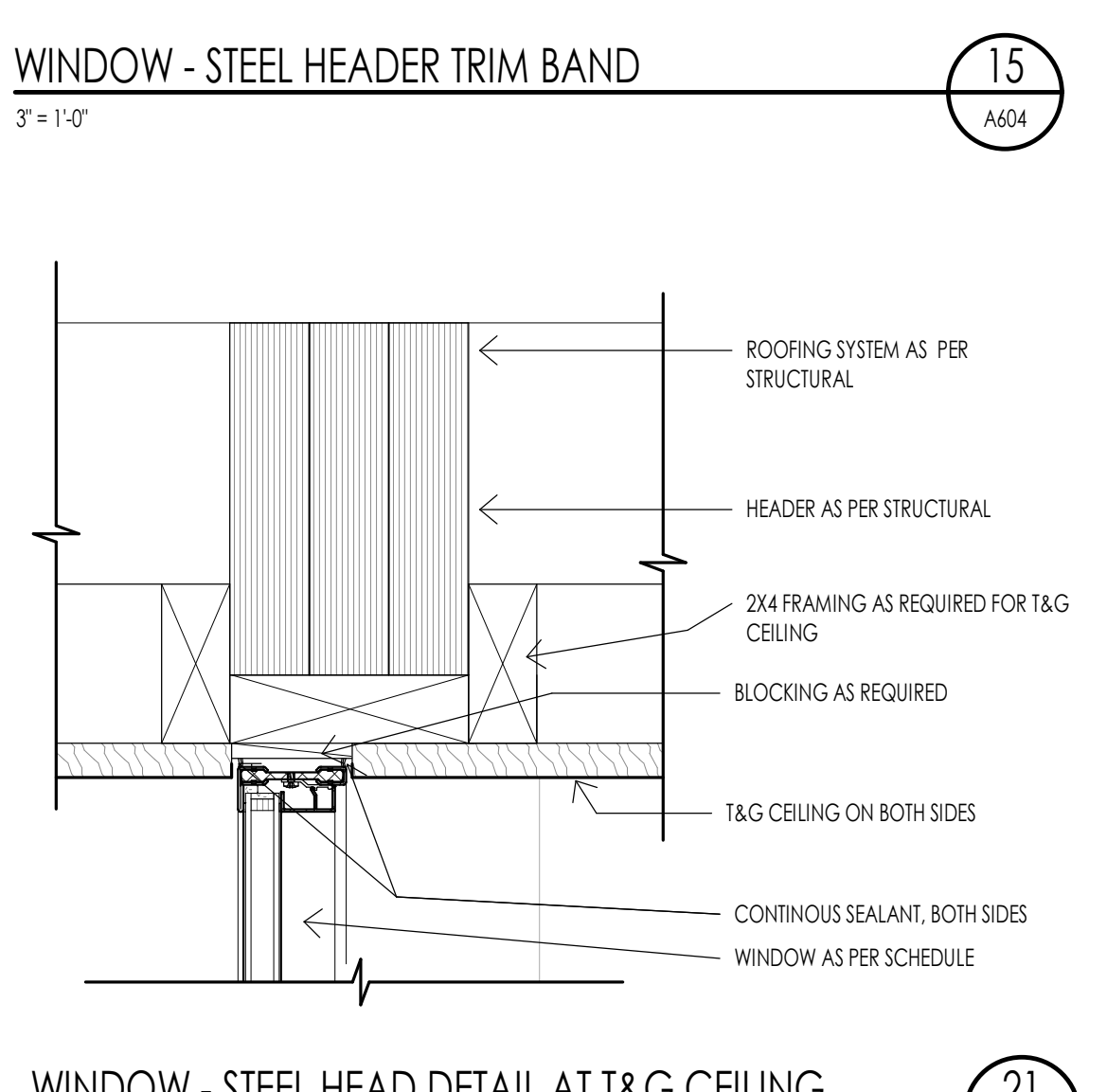
**WINDOW - STEEL JAMB DETAIL AT SIDING**  
3\"/>



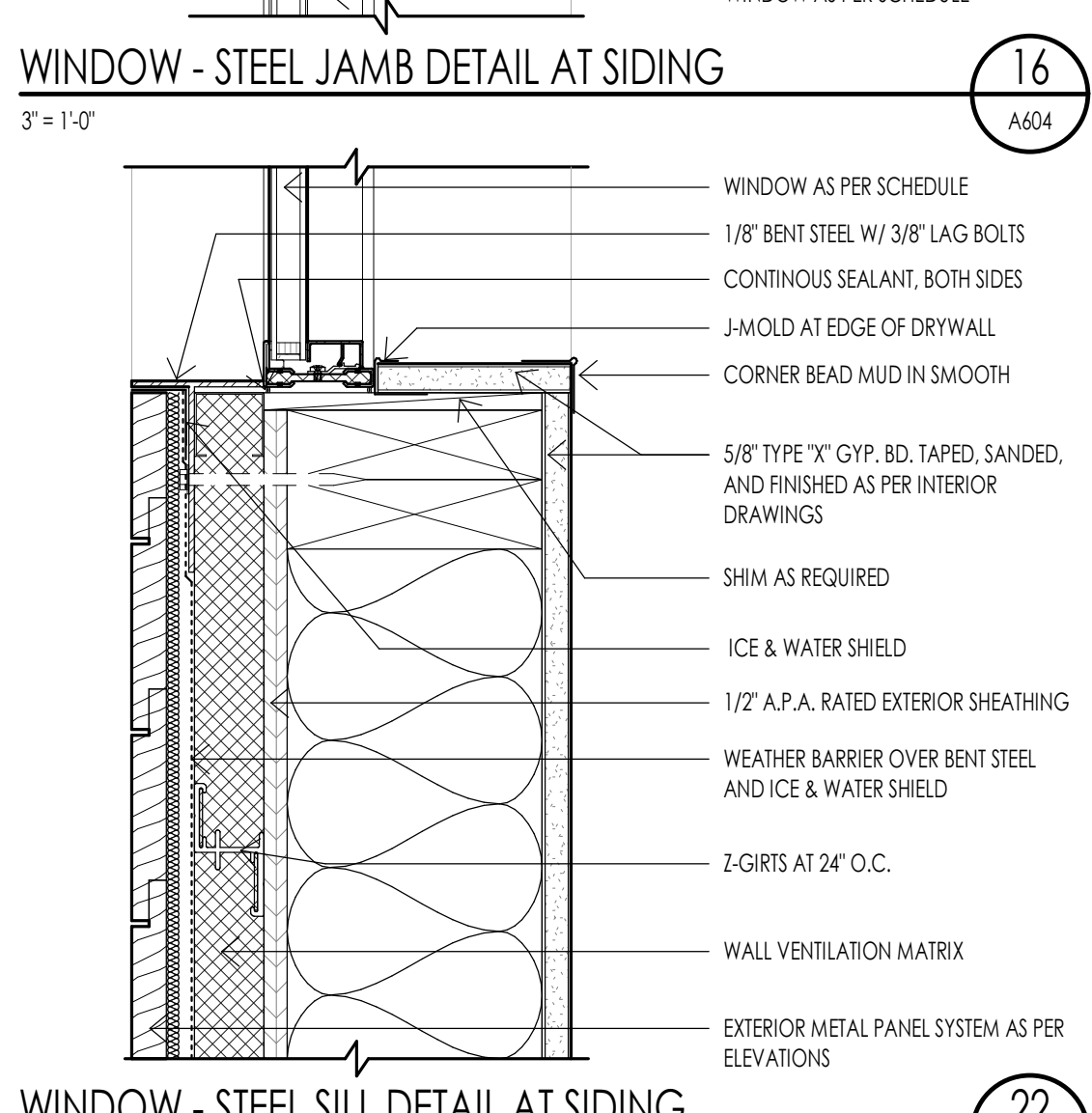
**WINDOW - STEEL JAMB DETAIL AT STONE**  
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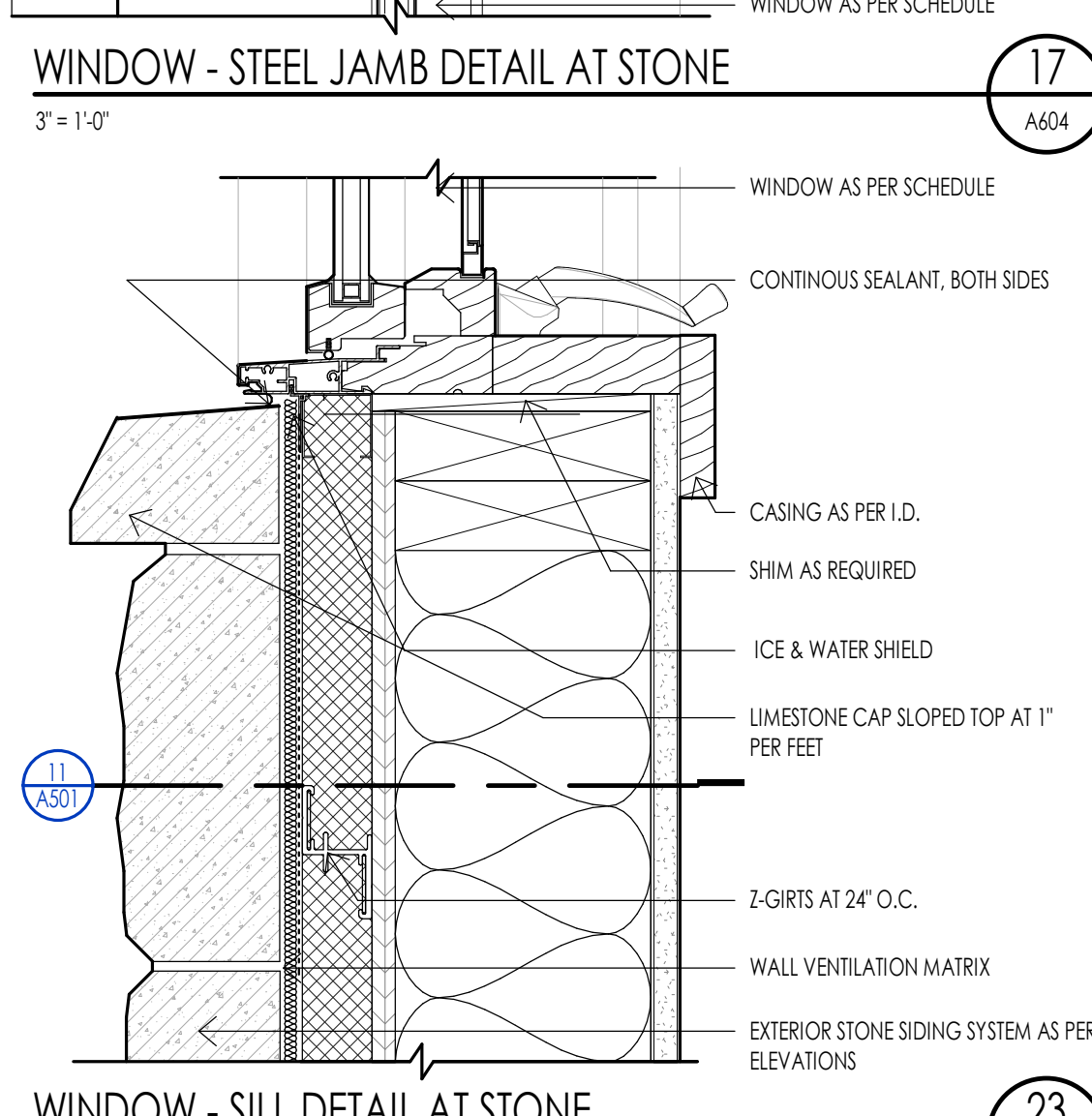
**WINDOW - STEEL JAMB DETAIL AT T&G CEILING**  
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**WINDOW - STEEL SILL DETAIL AT SIDING**  
3\"/>



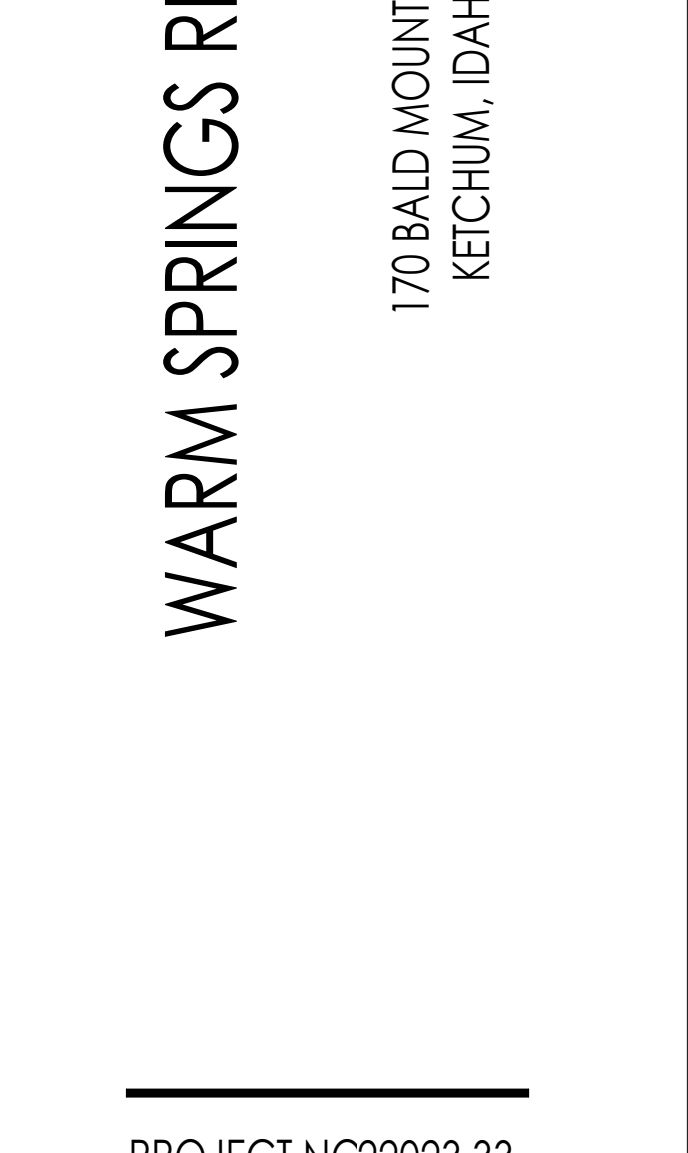
**WINDOW - STEEL SILL DETAIL AT STONE**  
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**WINDOW - STEEL SILL DETAIL AT T&G CEILING**  
3\"/>



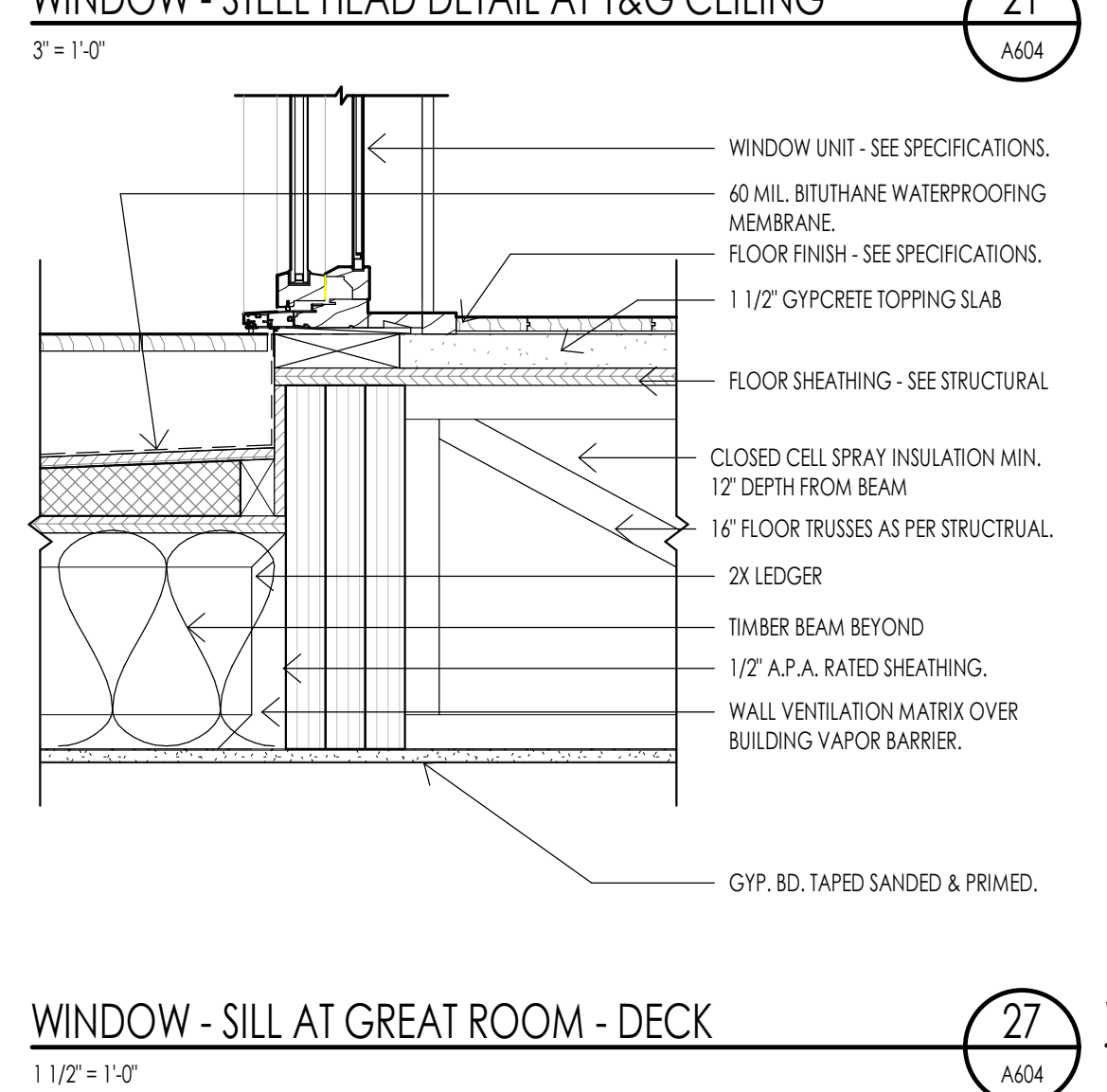
**WINDOW - MULLED DETAIL**  
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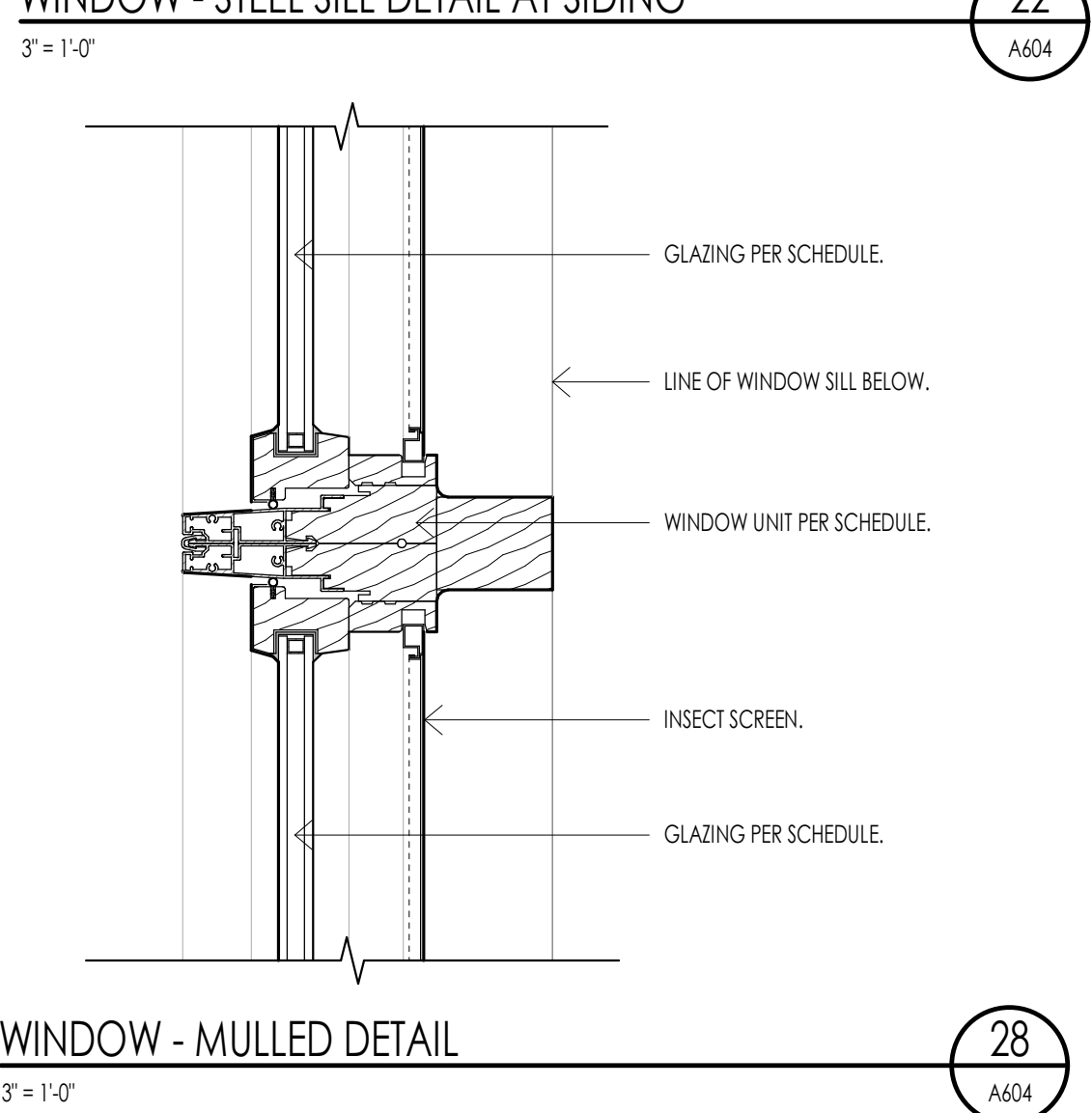
**WINDOW - MULLED DETAIL STIFFENED**  
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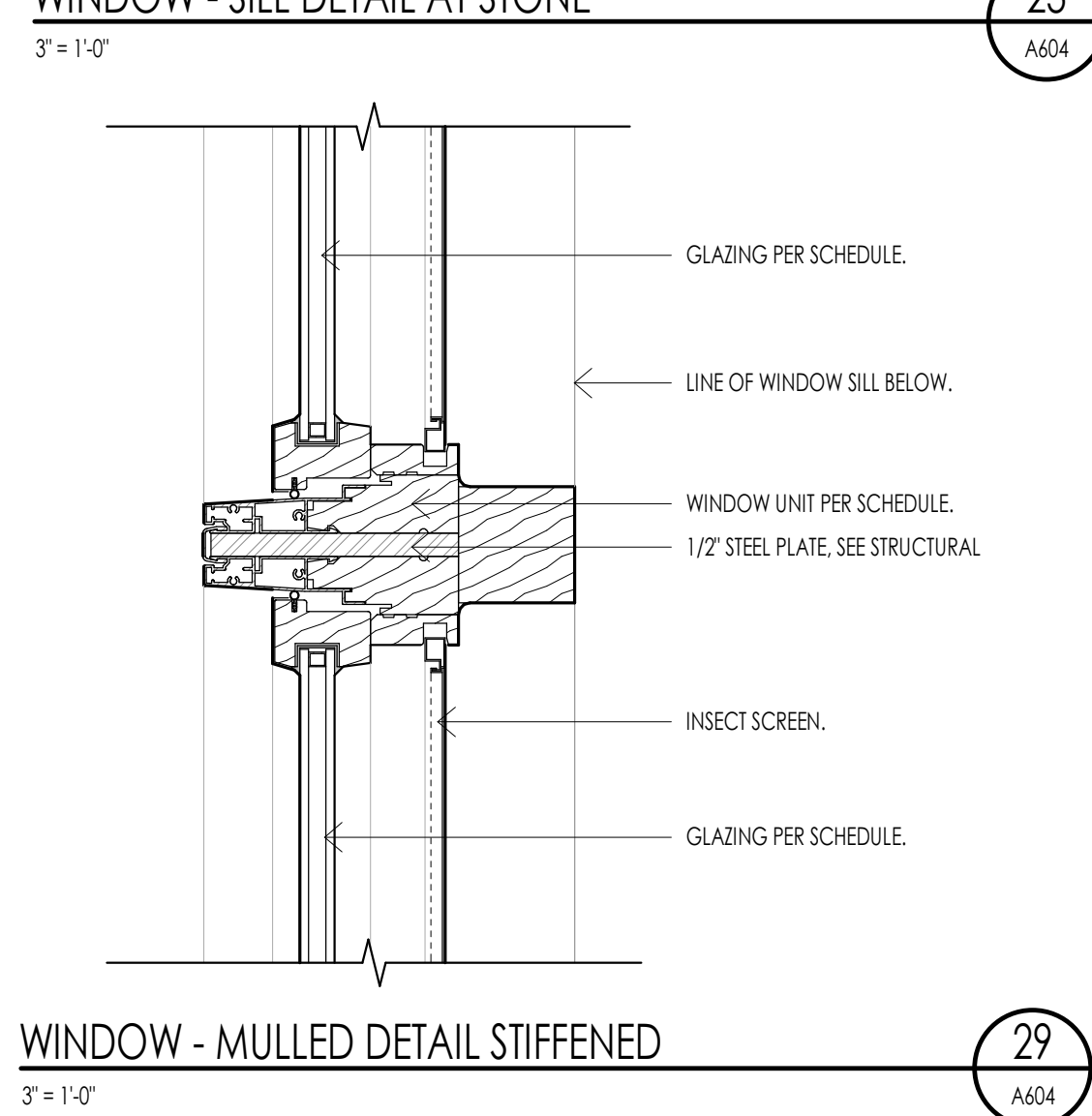
**WINDOW - SILL AT GREAT ROOM - DECK**  
1 1/2\"/>



**WINDOW - MULLED DETAIL**  
3\"/>



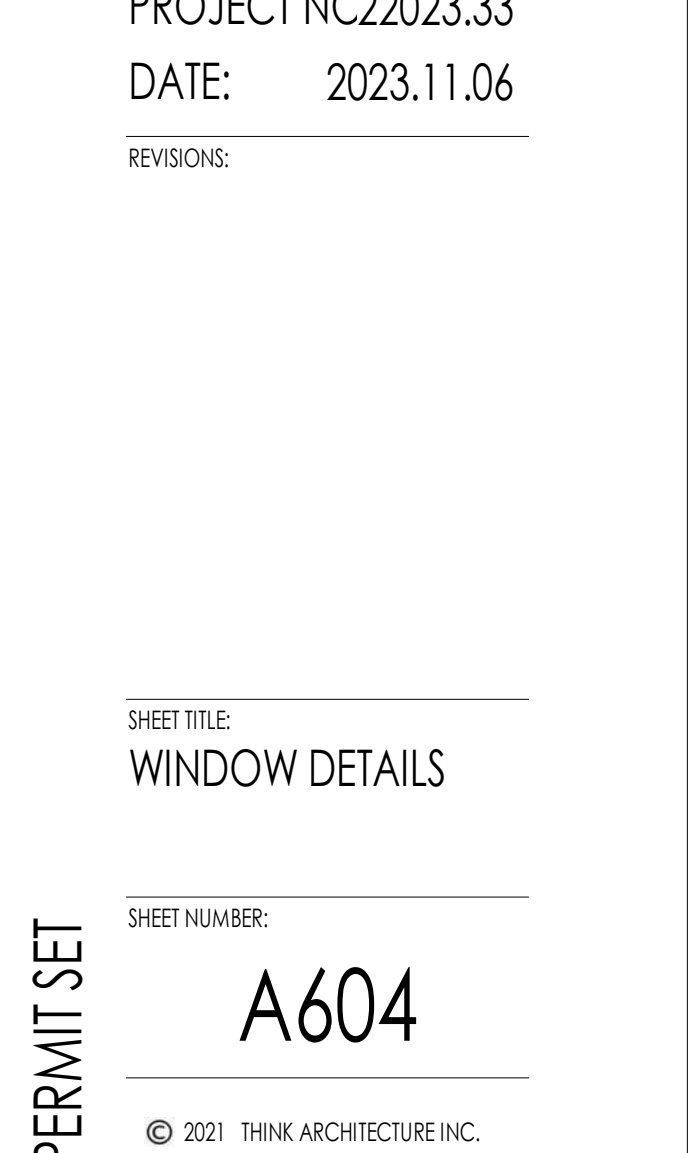
**WINDOW - MULLED DETAIL STIFFENED**  
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**WINDOW - MULLED DETAIL**  
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**WINDOW - MULLED DETAIL STIFFENED**  
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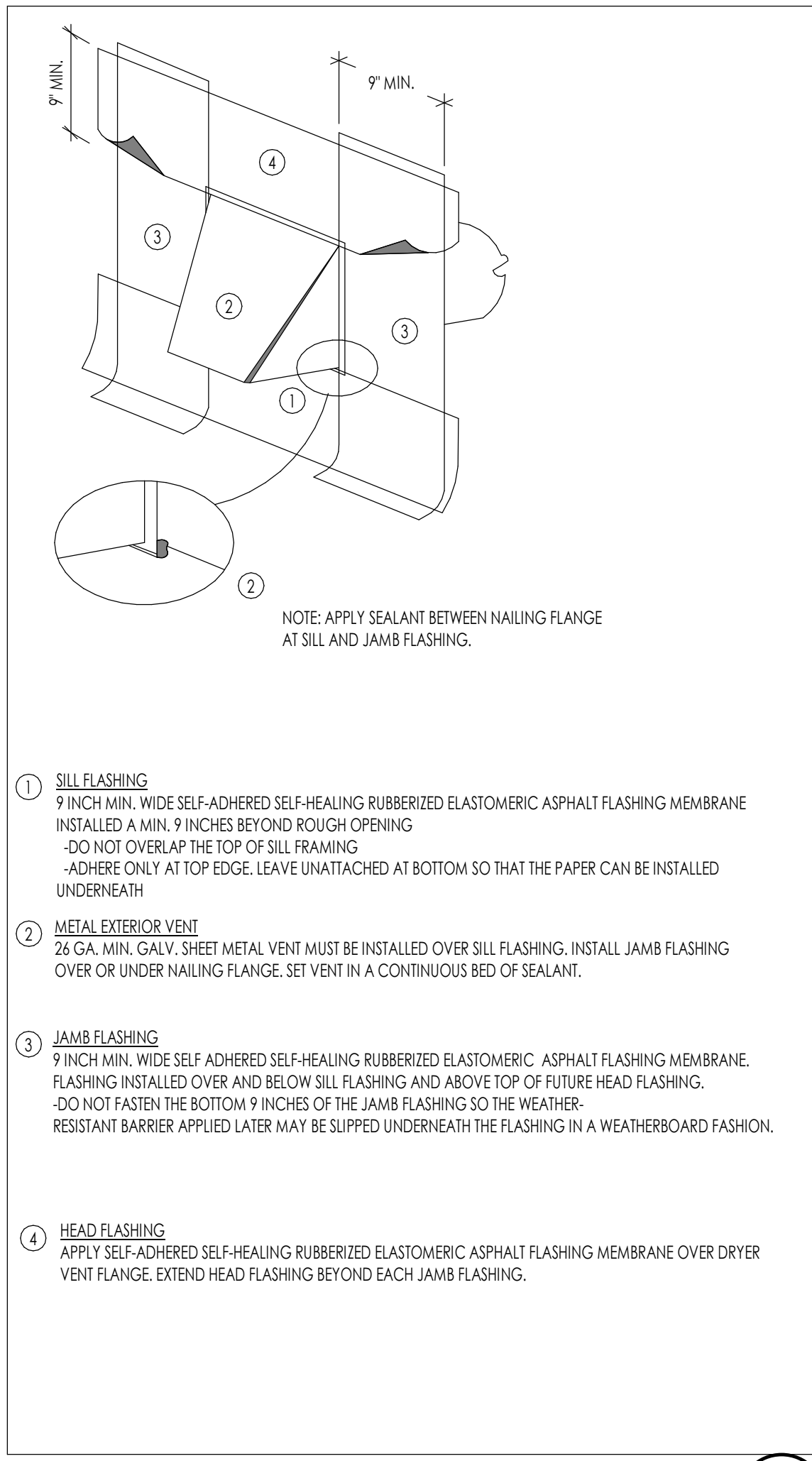


**WINDOW - MULLED DETAIL**  
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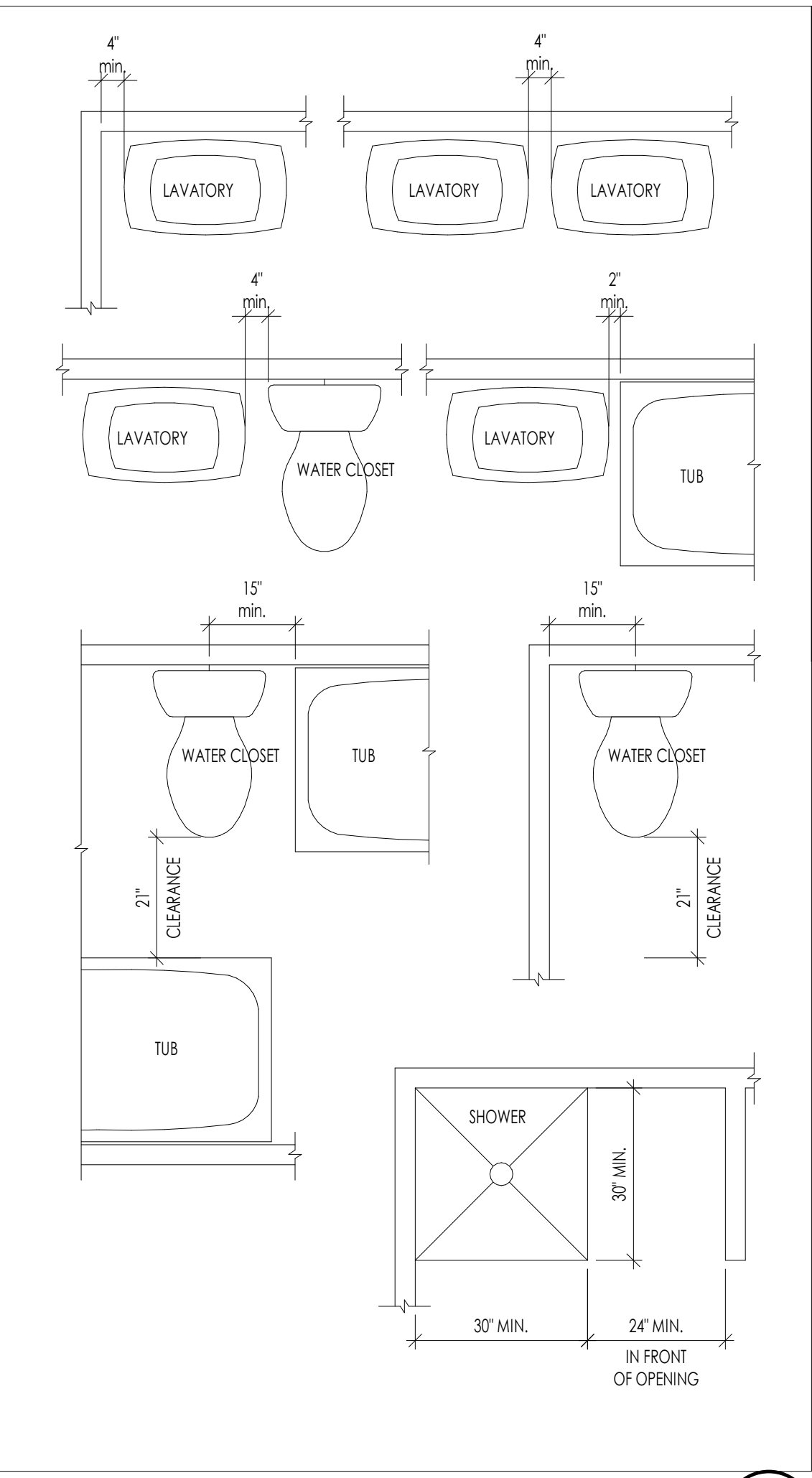
**MECHANICAL GENERAL NOTES**

- PLUMBING GENERAL NOTES**
- THE PLUMBING SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IPC AND IECC.
  - THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE PLUMBING SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.
  - THE PLUMBING CONTRACTOR SHALL REVIEW AND SHALL GANG ALL ROOF VENTS INTO SINGLE ROOF VENTS WHERE POSSIBLE, AND SHALL RUN THE VENTS OUT OF THE ROOF AT THE HIGHEST POINT POSSIBLE. ALL VENTS SHALL HAVE BLOCKING ON EACH SIDE OF THE VENT IN THE ROOF STRUCTURE TO ENSURE THE VENTS WILL NOT BE MOVED DUE TO SNOW ON THE ROOF. ALL VENTS SHALL BE SIZED PER THE BUILDING CODE, BUT SHALL NOT BE LESS THAN 3 INCH PIPES. THE PLUMBING CONTRACTOR SHALL COORDINATE THAT THE PROPER FLASHING HAS BEEN INSTALLED FOR EACH VENT.
  - THE ROOF VENTS SHALL EXTEND ABOVE THE ROOF AS REQUIRED BY THE LOCAL JURISDICTION AND BUILDING CODES. THE PLUMBING CONTRACTOR SHALL COORDINATE THIS INSTALLATION.
  - ALL PLUMBING FIXTURES ARE SPECIFIED ON THE MECHANICAL DRAWINGS, AND ON THE INTERIOR DRAWINGS. THE PLUMBING CONTRACTOR SHALL PROVIDE FULL AND COMPLETE SHOP DRAWING SUBMITTAL ON ALL PLUMBING FIXTURE ITEMS FOR APPROVAL BY OWNER AND DESIGN TEAM.
  - THE PLUMBING FIXTURES SHALL HAVE THE FOLLOWING REQUIREMENTS:
    - SHOWER HEADS SHALL HAVE A FLOW RATE OF 2.5 GPM OR LESS
    - WATER CLOSETS SHALL HAVE ECONO-FLUSH TANK 1.6 GAL. MAX. FLUSH
    - ALL NOSE BBS SHALL BE NON-FREEZE TYPE WITH BACK FLOW PREVENTERS
  - THE PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPER FUTURE SUPPORT AND THAT PROVISIONS ARE MADE FOR PROPER FUTURE SUPPORT. ROUGH IN PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OF DAMAGE DURING CONSTRUCTION.
  - THE PLUMBING CONTRACTOR SHALL MAKE SURE THAT NO PLUMBING WILL BE INSTALLED WITHIN THE EXTERIOR WALL.
  - PLUMBING CONTRACTOR SHALL ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE FOR MULTIPLE FUTURE USE SIMULTANEOUSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION.
  - PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY. ALL FIXTURES SHALL BE ABLE TO DRAIN TO THIS POINT. PROVIDE A FLOOR DRAIN AT THE LOCATIONS OF PLUMBING SYSTEM DRAIN.
  - ALL SUPPLY WASTE AND GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY STANDARDS. ALL WATER SUPPLY LINES IN THE BUILDING SHALL BE TYPE "1" COPPER. TO INCLUDED PIPING TO MANFOLDS. EQUIPMENT SHALL BE COPPER WITHIN THE BUILDING. ALL SUPPLY TO FIXTURES MAY BE POLYETHYLENE CROSS LINE PIPING FOR ABOVE GROUND AND BUILDING APPLICATIONS. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. ALL CONNECTIONS FOR POLYETHYLENE PIPING SHALL BE BRASS. FITTINGS WITH COMPRESSION BAND FITTINGS.
  - ALL WATER LINES UNDERGROUND SHALL BE TYPE "1" COPPER. ALL FITTINGS AND JOINTS SHALL BE SWEAT SOLDER JOINTS TOGETHER.
  - WASTE LINES SHALL BE PROVIDED WITH CLEAN OUT AS REQUIRED. EXTEND CLEAN OUT TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOORS UNLESS PREVIOUSLY APPROVED BY THE DESIGN TEAM AND OWNER.
  - GAS PIPING SHALL BE INSTALLED AS PER THE LATEST CODE REQUIREMENTS FOR THIS TYPE OF PROJECT. ALL GAS PIPING SHALL BE FULLY TESTED AND INSPECTED FOR ANY LEAKS PRIOR TO FINAL COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL INSTALL SHUT OFF VALVES AT EACH GAS APPLIANCE AND SHALL LOCATE THE VALVE TO HAVE ACCESS TO THE VALVE.
  - PLUMBING CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL GAS PIPING AND FITTINGS. ALL TEST SHALL BE PERFORMED TO MEET THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE.
  - ALL WATER LINES SHALL FULLY DISINFECTED UPON THE FINAL COMPLETION OF THE PROJECT, AND BEFORE CERTIFICATE OF OCCUPANCY AND TURN OVER TO THE OWNER.
  - ALL DRAINS SHALL HAVE A TRAP PRIMER OR EQUIVALENT NECESSARY TO KEEP THE INTEGRITY OF THE PLUMBING TRAP.

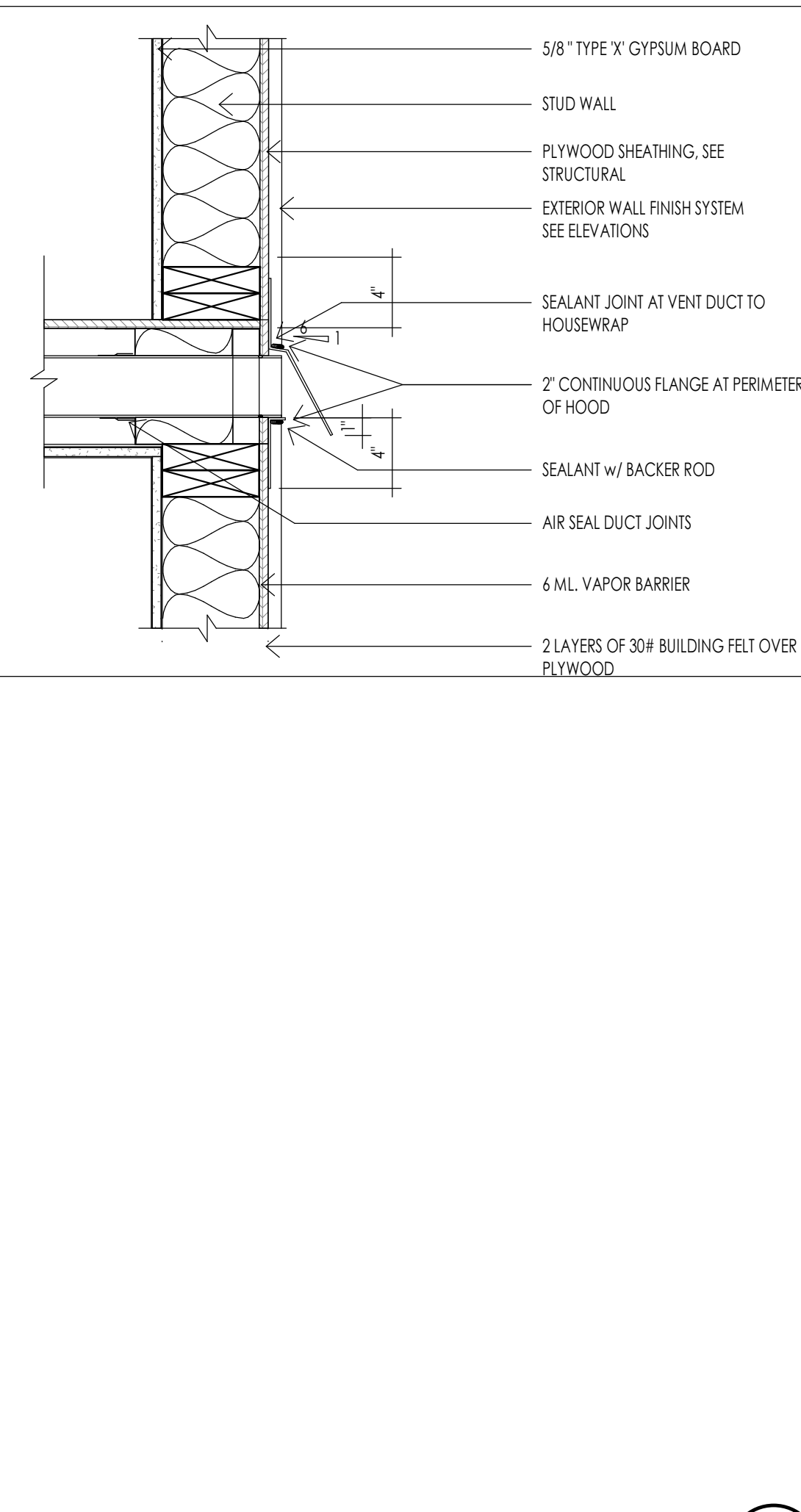
- MECHANICAL GENERAL NOTES**
- THE MECHANICAL SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IMC AND IECC.
  - THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE MECHANICAL SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.
  - THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK. THE MECHANICAL CONTRACTOR MUST ALSO PROVIDE NOTIFICATION TO THE ARCHITECT AND CONTRACTOR OF CONDITIONS THAT MAY BE DIFFERENT THAN EXPECTED DURING BIDDING.
  - ALL LINE VOLTAGE AND LOW VOLTAGE CONTROL WIRING SHALL BE RAN, INSTALLED AND CONNECTED BY THE MECHANICAL CONTRACTOR OR THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SCOPE OF WORK.
  - ALL EQUIPMENT SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR MUST PROVIDE THE DOCUMENTATION THAT IT MEETS THE REQUIREMENTS OF THE ENERGY LEVELS BEING ACHIEVED WITHIN THIS BUILDING.
  - THE MECHANICAL CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE DRAWINGS FOR LOCATIONS OF ALL MECHANICAL ZONES.
  - EXHAUST FANS WHERE SHOWN ON EITHER THE MECHANICAL OR ELECTRICAL PLANS SHALL BE SIZED FOR A MINIMAL RATE OF 50 CFM. ALL FANS SHALL BE HARD DUCTED WITH RIGID DUCT (NO FLEX DUCT SHALL BE ALLOWED), AND DIRECTED DIRECTLY TO THE EXTERIOR OF THE BUILDING IN A SOFFIT OR SIDE WALL. THE TERMINATION OF ALL EXHAUST FANS SHALL BE A MINIMUM OF 10'-0" AWAY FROM ANY OPERABLE WINDOW. TERMINATIONS SHALL BE INSTALLED AS NOT TO BE BLOCKED BY SNOW AND ICE. FANS SHALL BE A DIRECT DRIVE CENTRIFUGAL UNIT WITH SLOW SPEED MOTOR. PROVIDE AN ACOUSTICAL INSULATION, GRIPS, CAPS, ETC. AS REQUIRED.
  - ALL GRILLS AND REGISTERS MUST BLEND TO THE ADJACENT FINISH, AND SHALL BE PROVIDED TO MEET THE REQUIREMENTS FOR THE FLOW RATE AS PER THE CFM REQUIREMENTS. ALL GRILLS SHALL BE EITHER PAINTED FOR METAL FINISH SELECTED.
  - WATER HEATERS
    - THE REQUIRED NUMBER OF WATER HEATERS ARE SHOWN ON THE MECHANICAL PLANS. ALL WATER HEATERS SHALL BE 90% OR BETTER HIGH EFFICIENCY WATER HEATERS WITH RAPID RECOVERY. ALL WATER HEATERS SHALL BE INSTALLED WITH SEISMIC ANCHORING, AS PER DETAILS.
    - ALL WATER HEATERS SHALL BE VENTED TO THE EXTERIOR.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN WHETHER SHOWN OR NOT AT THE BASE OF ALL WATER HEATERS. THE FLOOR DRAIN MUST BE LOCATED, AND THE FLOOR MUST SLOPE TOWARD THE DRAIN IN A POSITIVE FLOW.
  - GAS FIRED FURNACES
    - THE REQUIRED NUMBER OF GAS FIRE FURNACES SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRE FURNACES.
    - THE GAS FIRED FURNACES SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER.
    - THE VENTING OF EACH GAS FIRE FURNACE SHALL BE PVC PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE EXACT LOCATION WITH THE OWNER AND ARCHITECT.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED FURNANCES FOR THE UNIT CONDENSATE LINES.
  - GAS FIRE BOILERS
    - THE REQUIRED NUMBER OF GAS FIREBOILERS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRE BOILERS.
    - THE GAS FIRED BOILER SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER.
    - THE VENTING OF EACH GAS FIRE BOILER SHALL BE PVC PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE EXACT LOCATION WITH THE OWNER AND ARCHITECT.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED BOILER FOR THE UNIT CONDENSATE LINES.
  - DUCTWORK
    - ALL DUCTWORK SHALL BE 26 GA. MINIMUM RIGID DUCT AND SHALL BE FULL SEALED AT EACH JOINT LOCATION. NO FLEXIBLE DUCT IS ALLOWED WITHIN THE INSTALLATION.
    - ALL DUCTWORK IN CEILINGS OF UNHEATED ROOM OR UNDER SLAB SHALL BE INSULATED DUCT WORK. ALL DUCTWORK WITHIN THE HEATING ENVELOPE OF THE STRUCTURE DOES NOT REQUIRE TO BE INSULATED, UNLESS SPECIFICALLY NOTED.
    - ALL DUCTWORK SHALL BE IN THE SPACE ALLOCATED, AND SHALL NOT BE DROPPED BELOW FLOOR JOISTS, UNLESS NOTED ON DRAWINGS, OR PREVIOUSLY APPROVED BY THE ARCHITECT AND OWNER.



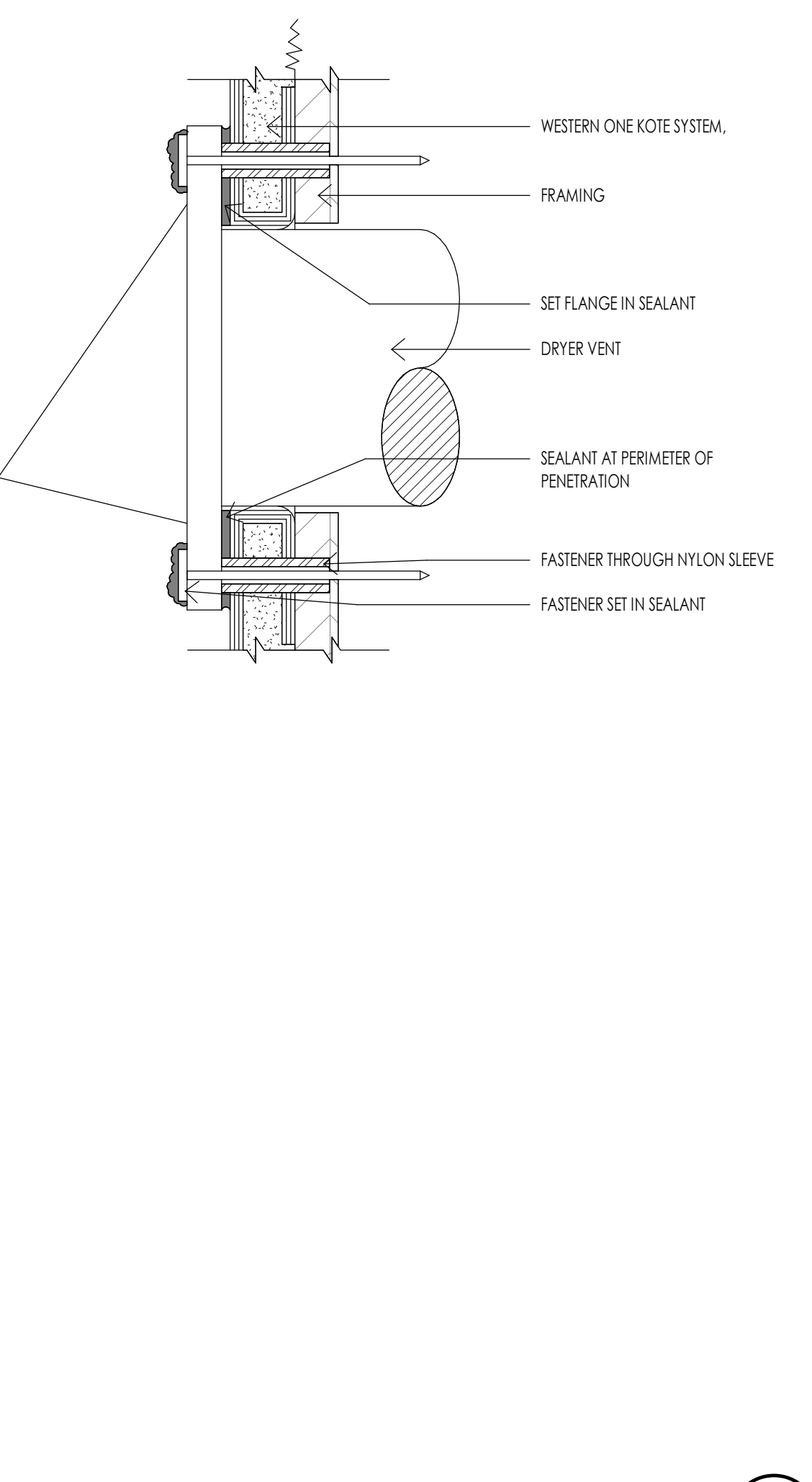
**EXHAUST VENT DETAIL**  
1/1/2" = 1'-0"



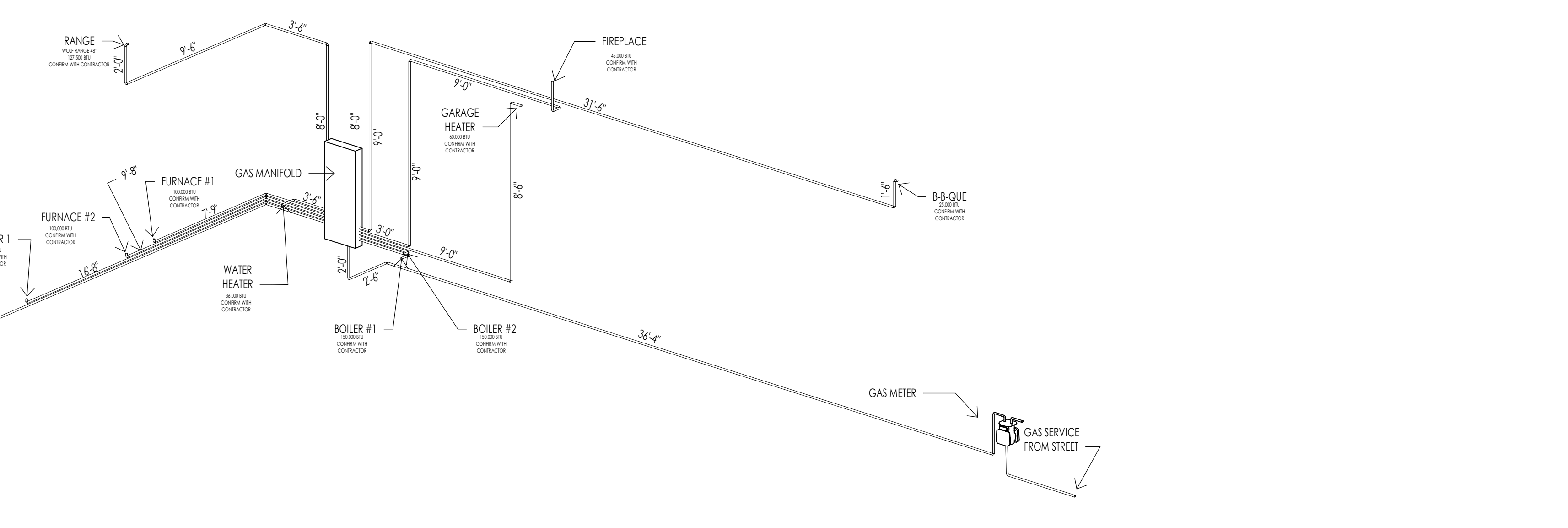
**MINIMUM PLUMBING FIXTURE CLEARANCES**  
1/8" = 1'-0"



**WALL EXHAUST VENT**  
1/1/2" = 1'-0"



**TYPICAL DRYER VENT (SHOWN WITH STUCCO)**  
6" = 1'-0"



**GAS SCHEMATIC**  
5 M101



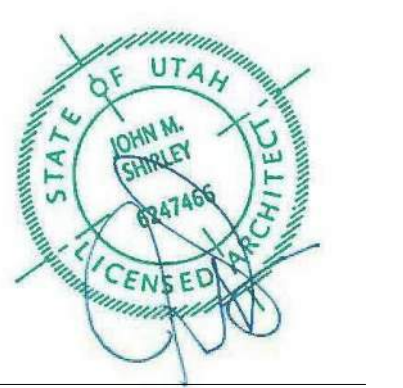


Architecture  
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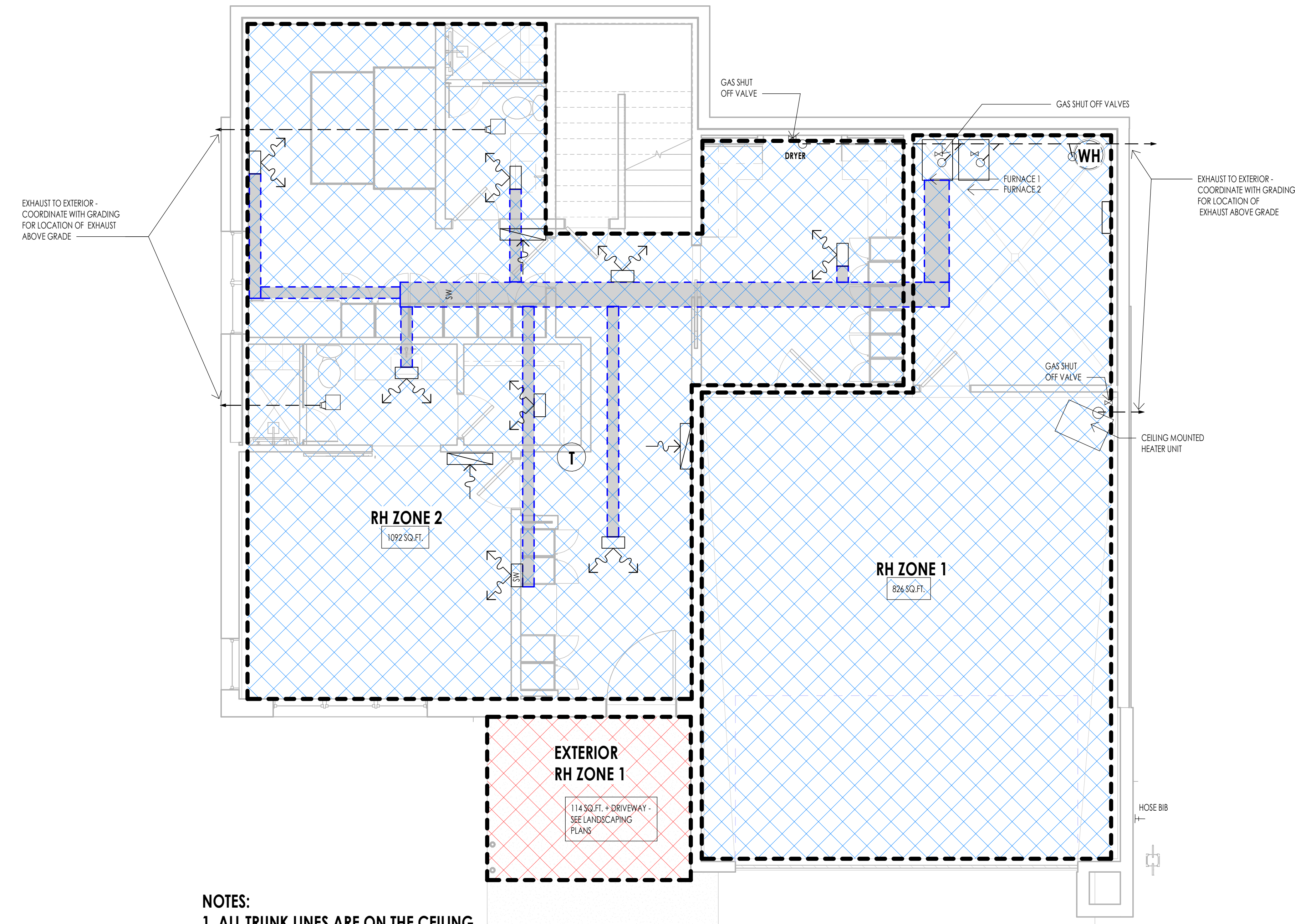
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MECHANICAL LEGEND	
SYMBOL	TYPE
	FLOOR OR CEILING MOUNTED HVAC REGISTER
	SW = SIDE WALL T.K. = TOE KICK
	HVAC RETURN AIR REGISTER
	HOSE BIB
	GAS SHUT OFF VALVE
	BATHROOM EXHAUST FAN
	THERMOSTAT
	WATER HEATER

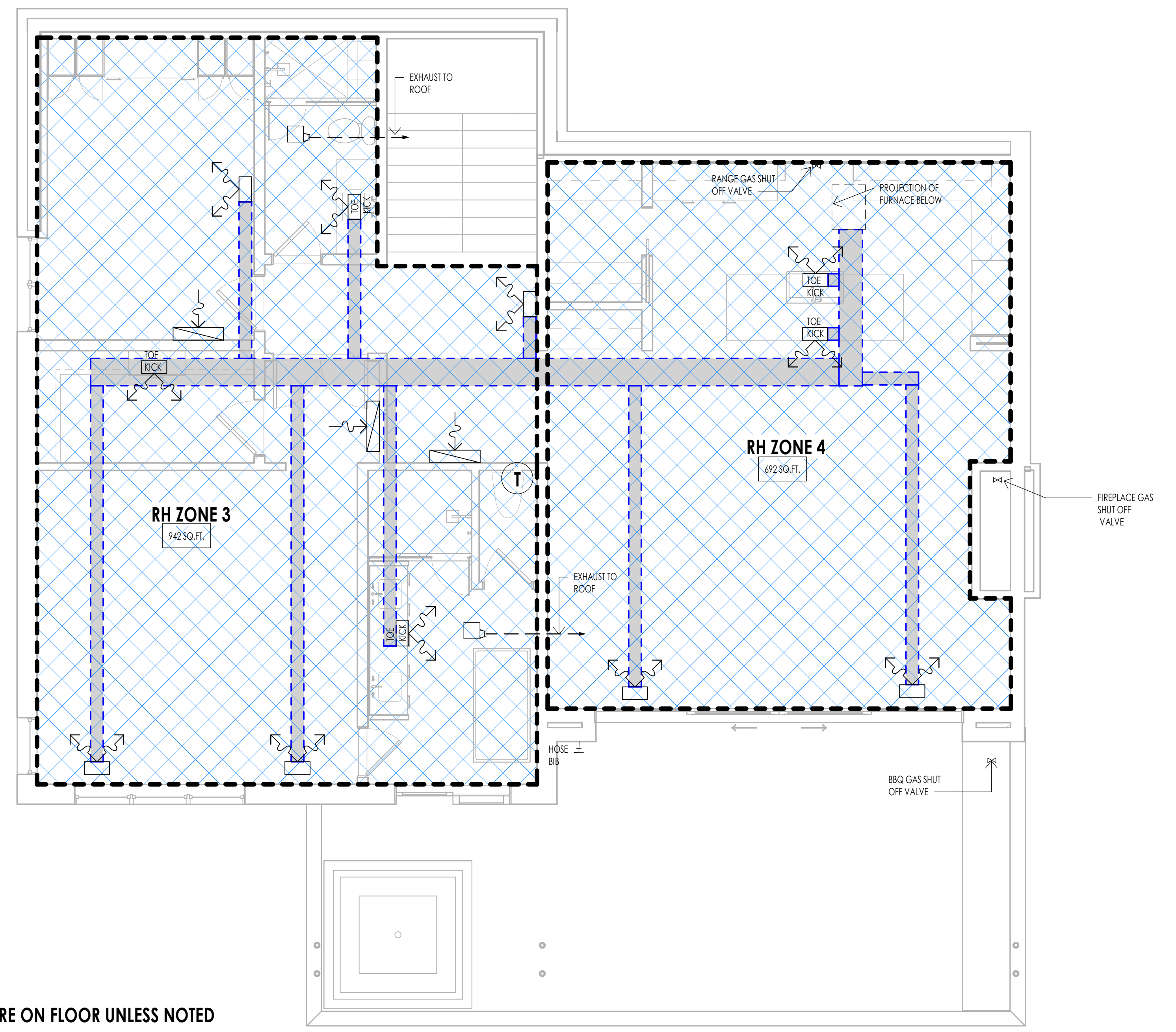
  

MECHANICAL GENERAL NOTES	
1.	SEE SHEETS AD.3 FOR MECHANICAL AND PLUMBING PROJECT KEY NOTES AND MECHANICAL/PLUMBING INFORMATION.
2.	MECHANICAL AND PLUMBING LAYOUTS ARE SHOWN IN SCHEMATIC. THE PLUMBING AND MECHANICAL CONTRACTORS ARE RESPONSIBLE TO DESIGN AND SIZE EQUIPMENT CAPACITY, PIPE AND DUCT LINES, PLUMBING LINES AND ALL OTHER EQUIPMENT AS PER NATIONAL, STATE AND LOCAL CODES AND AS PER THE GENERAL NOTE REQUIREMENTS.
3.	THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND ALL OTHER TRADES.
4.	COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
5.	ALL REGISTERS AT LOWER LEVEL TO BE CEILING MOUNT UNLESS OTHERWISE NOTED.
6.	COORDINATE BETWEEN MECH. SUB AND ELECTRICAL SUB AT PRECONSTRUCTION MEETING FOR DUCT LOCATIONS AND RECESSED CAN LOCATIONS.
7.	ALL PLUMBING FIXTURE/MECHANICAL EQUIPMENT SELECTIONS TO BE APPROVED BY OWNER/DEVELOPER.
8.	PROVIDE REQUIRED COMBUSTION AIR VENT DUCTS AT CEILING FOR WATER HEATER AND FURNACE AS REQUIRED BY BLDG. CODES AND MANUFACTURER.
9.	MECHANICAL DESIGN SHOULD BE IN ACCORDANCE WITH 2006 INTERNATIONAL RESIDENTIAL CODE.
10.	DUCT PENETRATIONS IN GARAGES SHALL BE 26-GAUGE SHEET METAL MIN. AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
11.	FLUES SHALL NOT PENETRATE THE ROOF WITHIN 4'-0" OF PARTY WALLS.
12.	RADON: THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE RADON TESTING AND APPLY AN APPROPRIATE MITIGATION SYSTEM.



- NOTES:**
1. ALL TRUNK LINES ARE ON THE CEILING.
  2. ALL REGISTERS ARE ON CEILING UNLESS NOTED OTHERWISE.
  3. GRILLS TO BE MAXIMUM 6" OFF FLOOR
  4. PROVIDE SNOW MELT AT DRIVEWAY, ENTRY WALK AND FRONT PORCH

LEVEL 1 - MECHANICAL  
1/4" = 1'-0" (1) M102



- NOTES:**
1. ALL REGISTERS ARE ON FLOOR UNLESS NOTED OTHERWISE.
  2. GRILLS TO BE MAXIMUM 6" OFF FLOOR

LEVEL 2 - MECHANICAL  
1/4" = 1'-0" (2) M102

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

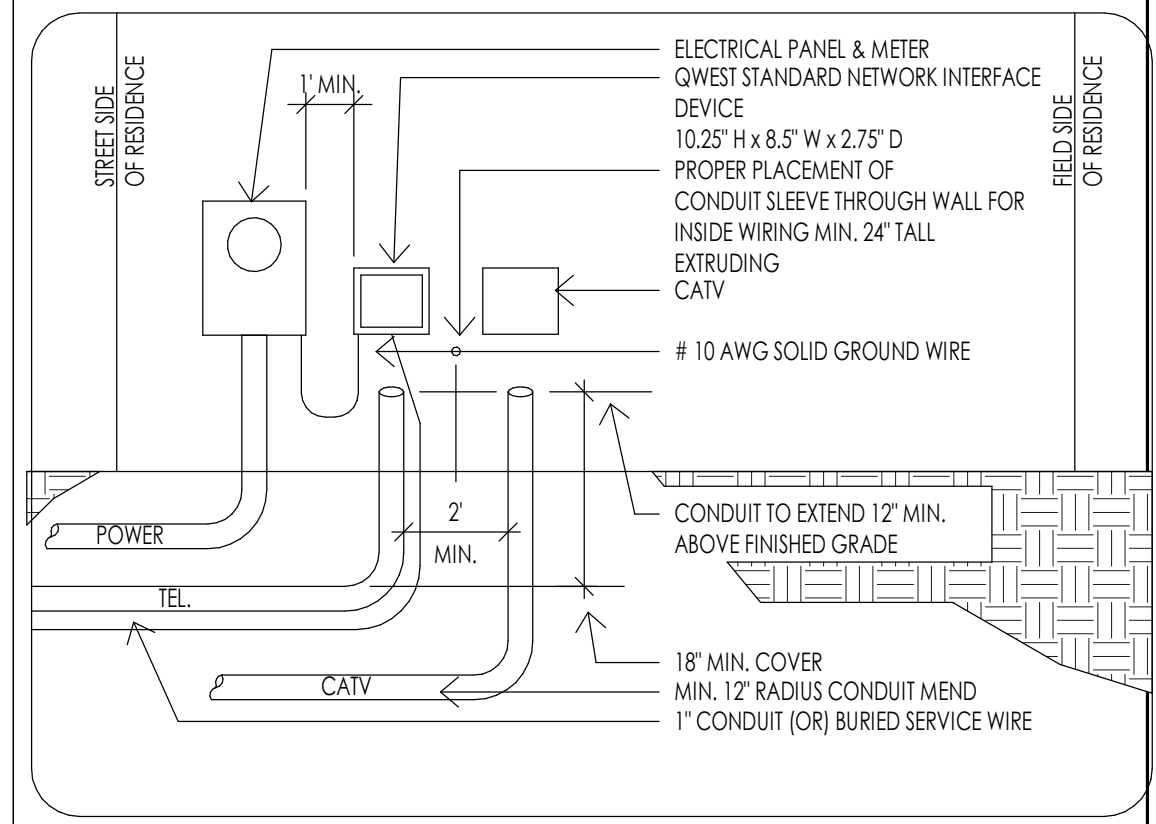
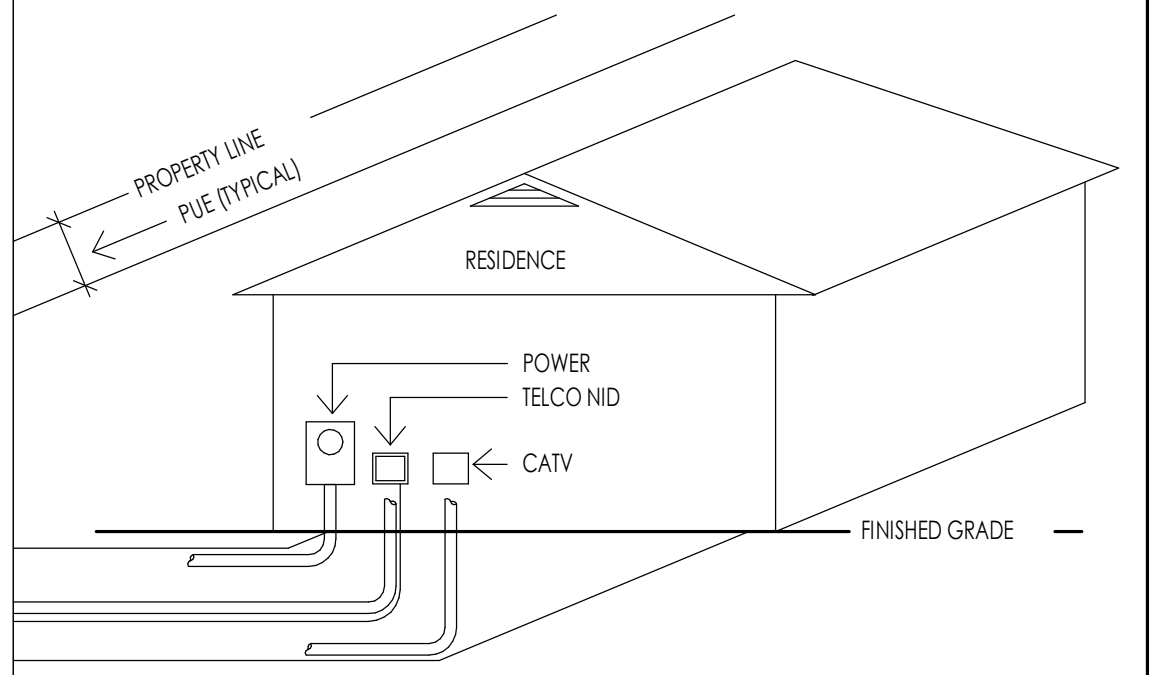
SHEET TITLE:  
MECHANICAL PLAN

SHEET NUMBER:  
M102

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**ELECTRICAL GENERAL NOTES**

- ALL WORK DONE BY ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODE REGULATIONS AND AMENDMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT, SPECIALTY LIGHTING, FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES RECEPTACLES, ETC.
- ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.  
  
THE CONTRACTOR SHALL SET ALL THE BOXES AND NOTIFY THE ARCHITECT AND OWNER OF PLACEMENT OF BOXES. THE ARCHITECT, OWNER AND INTERIOR DESIGNER SHALL WALK THE HOUSE WITH THE ELECTRICAL CONTRACTOR AND SHALL VERIFY ALL THE LOCATIONS. THIS SHALL BE DONE PRIOR TO ANY WIRE BEING PULLED.  
  
IF WIRE IS PULLED, AND BOXES ARE REQUIRED TO BE MOVED, ALL COSTS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND NOT THE OWNER'S DESIGN TEAM.
- ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE NATIONAL ELECTRICAL CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS, ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCE TO BE MINIMUM 30" WIDTH AND 6' 0" HEAD ROOM. ELECTRICAL TO COMPLY WITH N.E.C. 110-16. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.
- ALL RECEPTACLES LOCATED WITH THE FOLLOWING CONDITIONS TO BE GFCI PROTECTED: ALL KITCHEN COUNTERTOPS IN BATHROOMS, OUTSIDE AT GRADE LEVEL, UNFINISHED BASEMENTS, AND IN GARAGES. GARAGE RECEPTACLES TO BE 18" ABOVE FINISHED FLOOR.
- ALL SWITCHES, RECEPTACLES, TELEPHONE JACKS AND CATV JACKS TO BE "LEVITON" 5601 ROCKER SERIES IN WHITE. DIMMER SWITCHES TO BE "LUTRON" DIVA ROCKER SERIES IN WHITE. HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED. OTHERWISE, THE MOUNTING FROM THE FINISH FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 12" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 10" TO CENTERLINE ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.
- UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFCI WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR WHETHER INDICATED ON DRAWINGS OR NOT. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR ADDITIONAL OUTLETS AT SOFFITS.
- ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED. ALL RECESS DOWN LIGHTS TO BE THERMAL RATED, AND ALL CAST IN PLACE FIXTURES TO BE INCLUDED IN BASE BID. ALL RECESS DOWN LIGHTS TO BE INCLUDED IN BASE BID WITH TRIM RINGS AS SELECTED BY DESIGNER OR OWNER. ALL LIGHTS IN CLOSETS SHALL MEET N.E.C. 410.8 REQUIREMENTS. ALL LIGHTS LOCATED IN WET OR DAMP LOCATIONS SHALL MEET N.E.C. 410.4 REQUIREMENTS.
- SMOKE DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT WITH BATTERY BACK UP. PROVIDE SMOKE DETECTORS AT ALL BUILDING LEVELS, IN ALL BEDROOMS, ACCESS TO ALL BEDROOMS, ETC. (UBC 310.9)
- ELECTRICAL PANEL (PANELBOARD/SWITCHBOARD) MAY NOT BE LOCATED BEHIND A DOOR OR IN A ROOM THAT MAY BE LOCKED AND MUST HAVE PROPER WORKING CLEARANCES. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR THE LOCATIONS FOR ALL ELECTRICAL PANELS. IF THE PANEL BOARD NEEDS TO BE RELOCATED, PLEASE CONSULT THE OWNER AND OR ARCHITECT PRIOR TO MOVING.
- SMALL WALL SECTIONS 2' OR WIDER (INCLUDES BETWEEN DOORS) REQUIRE AN OUTLET.
- GFCI PROTECTION MUST BE PROVIDED FOR ANY RECEPTACLE OUTLET IN THE FOLLOWING: A BATHROOM, ANY COUNTERTOP KITCHEN/LAUNDRY, GARAGE OUTLETS MINIMUM 18" ABOVE FINISHED FLOOR HEIGHT, OUTSIDE FRONT AND REAR OUTLETS MUST HAVE WATERPROOF COVERPLATE.
- A RECEPTACLE OUTLET MUST BE PROVIDED AT EACH SECTION OF KITCHEN COUNTERTOP 12" OR WIDER. THERE MUST ALSO BE A MINIMUM OF TWO (2) DEDICATED COUNTERTOP CIRCUITS.
- A SWITCH CONTROLLED LIGHT MUST BE PROVIDED AT HALLWAYS, STAIRWAYS, EXITS, AND EACH ROOM.
- A HARD-WIRED WITH BATTERY BACKUP SMOKE DETECTOR MUST BE INSTALLED IN ALL BEDROOMS (NEW AND EXISTING) IN THE ACCESS AREA TO ALL BEDROOMS, AND AT LEAST ONE PER FLOOR. TWO (2) FOOT CHANGES IN CEILING HEIGHT ALSO REQUIRE AN ADDITIONAL SMOKE DETECTOR. ALARM SOUND MUST BE AUDIBLE IN ALL AREAS OF HOME.
- WHEN BEDROOMS OCCUR ON 2ND STORES, THE DETECTOR SHOULD BE LOCATED AT THE TOP OF THE STAIRWAY.
- KITCHEN OUTLETS REQUIRED TO BE GFCI PROTECTED, NOT MORE THAN 4'-0" APART.
- CLOSET LIGHT FIXTURES MIN. 12" CLEARANCE TO SHELF (LATERAL MEASURED)

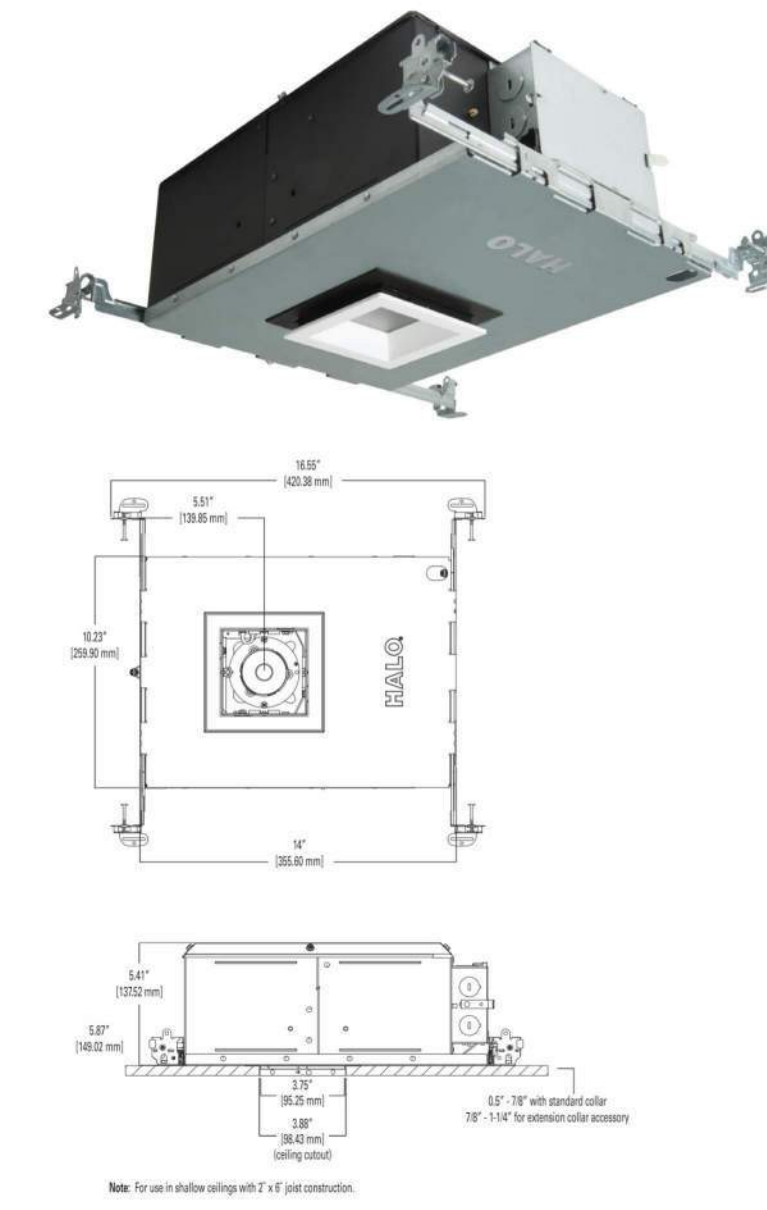


**TYPICAL DRY UTILITY LOCATION DETAIL**

1/2" = 1'-0"

1  
E101

**HL36SA**



**Ordering Information**

**SAMPLE ORDER NUMBERS:** HL36SA20R27V01D1CAT, TR45FL40, TL33RMW

**Series:**  
HL36SA = 3-inch square shallow new construction directional housing

**Options:**  
10 = 10W (nominal)  
15 = 15W (nominal)  
20 = 20W (nominal)

**Mounting:**  
(blank) = Purchase optic separately  
SP = 1\"/>

**HALO HL3 3-inch LED downlighting**

**L-1 RECESSED EXTERIOR SOFFIT LIGHT**



**CHAMPEAUX LINEAR SCONCE**

Starting at \$275. Member \$292. Member

Designer Jonathan Browning's Champeaux collection brings refinement and luxe materials to the classic sconce, a standard of 1970s utility. Crafted in solid brass, Browning's thoughtful reinterpretation goes beyond function to reveal the sconce as a thing of beauty. The design maintains the clean lines inherent in the concept, but sets the form in a new context.

**SHOP THE ENTIRE COLLECTION**

**FINISH OPTIONS**

Polished Chrome, Lacquered Burnished Brass, Bronze

**DETAILS**

**DIMENSIONS**

**INSTALLATION INSTRUCTIONS**

MAXIMUM OF 2.78K COLOR TEMPERATURE  
MAXIMUM OF 700 LUMENS  
CAP TOP DOWNLIGHT ONLY



**L-2 DECORATIVE EXTERIOR WALL SCONCE**

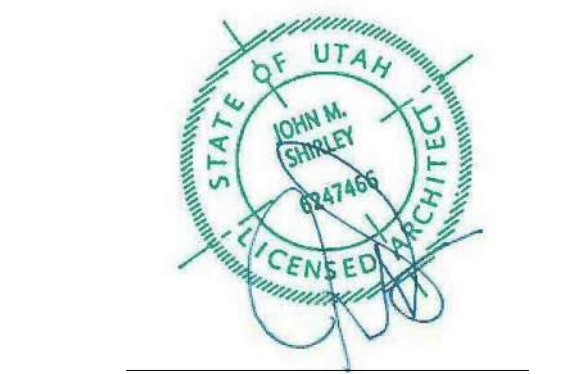


**Architecture**  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

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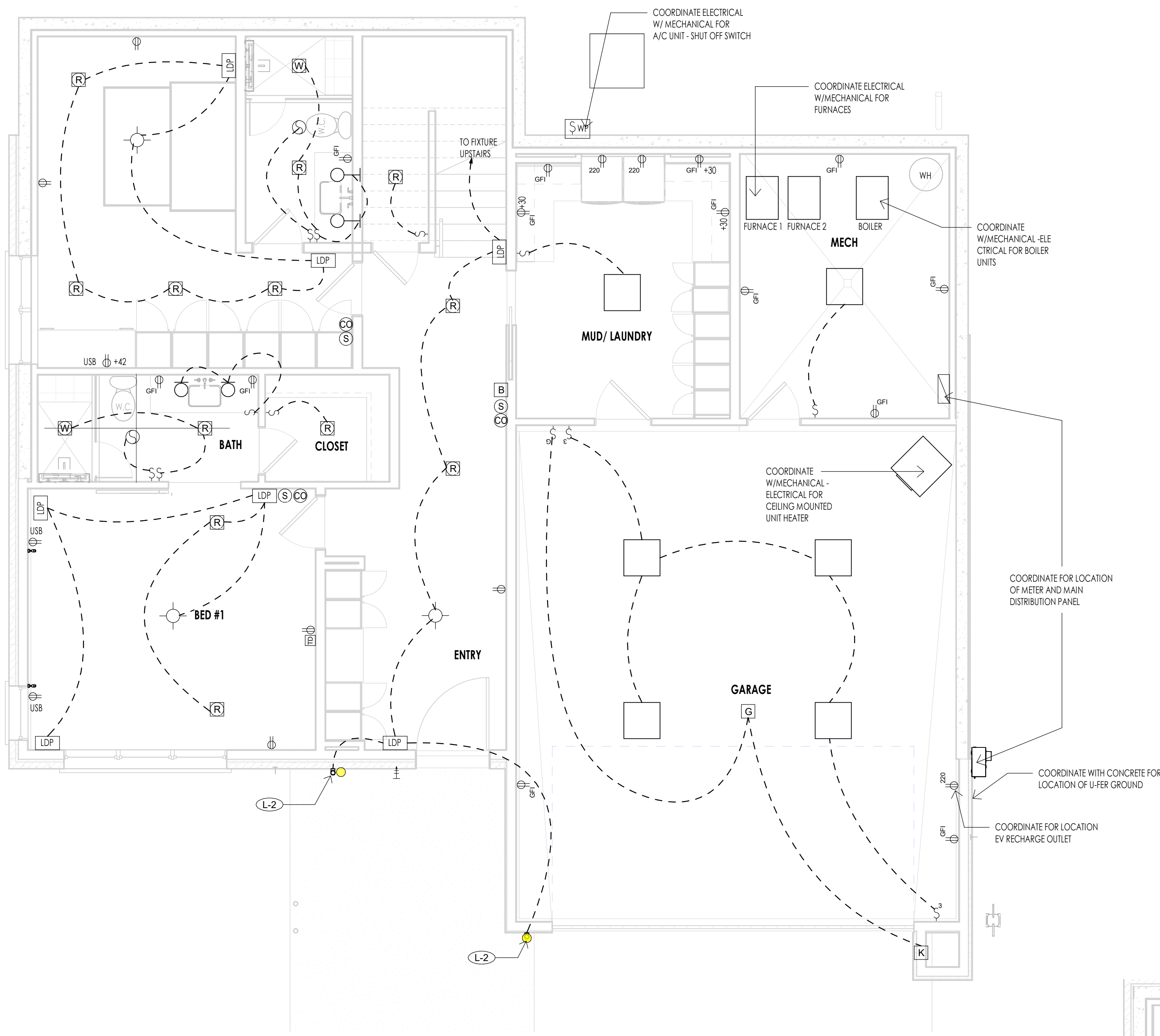
**WARM SPRINGS RESIDENCE #33**  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

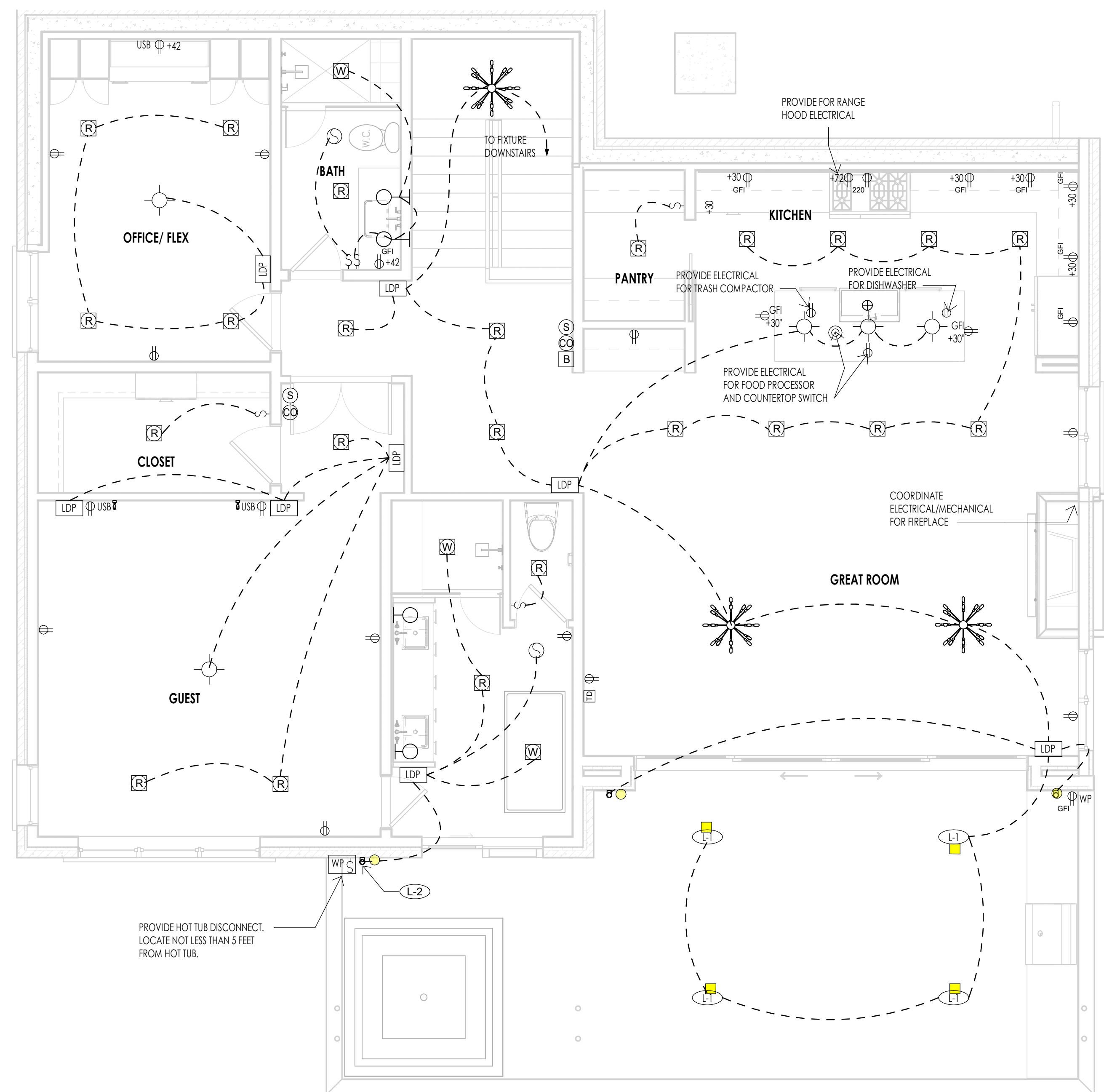
SHEET TITLE:  
**ELECTRICAL GENERAL NOTES**

SHEET NUMBER:  
**E101**

PERMIT SET



LEVEL 1 - ELECTRICAL  
1/4" = 1'-0"



LEVEL 2 - ELECTRICAL  
1/4" = 1'-0"

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
S	SINGLE POLE TOGGLE SWITCH
S <sup>3</sup>	THREE WAY TOGGLE SWITCH
S <sup>4</sup>	FOUR WAY TOGGLE SWITCH
S <sup>G</sup>	GARAGE DOOR OPENER
S <sup>D</sup>	DIMMER TOGGLE SWITCH
⊕	110 V DUPLEX OUTLET ON AN (AFP) ARC FAULT PROTECTED CIRCUIT
⊕ <sup>GFI</sup>	110 V GROUND FAULT INTERRUPTER
⊕ <sup>WP</sup>	110 V WATERPROOF GFI OUTLET
⊕ <sup>220</sup>	220 V OUTLET
⊕ <sup>4</sup>	QUADRUPLUX OUTLET
⊕ <sup>F</sup>	110 V FLOOR DUPLEX OUTLET
⊕ <sup>S</sup>	110 V SMOKE DETECTOR W/BATT BACK-UP
⊕ <sup>CD</sup>	CARBON MONOXIDE DETECTOR
⊕ <sup>E</sup>	EXHAUST FAN
⊕ <sup>EL</sup>	EXHAUST FAN WITH LIGHT FIXTURE
⊕ <sup>R</sup>	4" LED RECESSED CAN (FIXTURE & TRIM PER SCHEDULE)
⊕ <sup>C</sup>	4" LED RECESSED CAN (CLOSET FIXTURE & TRIM PER SCHEDULE)
⊕ <sup>W</sup>	RECESSED CAN (WET LOCATION-FIXTURE & TRIM PER SCHEDULE)
⊕ <sup>CF</sup>	CEILING MOUNT FIXTURE
⊕ <sup>TL</sup>	TRACK LIGHTING
⊕ <sup>WM</sup>	WALL MOUNT FIXTURE
⊕ <sup>RF</sup>	2X2 OR 2X4 FLUORESCENT CEILING FIXTURE
⊕ <sup>SL</sup>	FLUORESCENT STRIP LIGHT
⊕ <sup>UL</sup>	LED UNDERCOUNTER LIGHTING
⊕ <sup>G</sup>	GARAGE DOOR OPENER
⊕ <sup>K</sup>	KEYLESS ENTRY
⊕ <sup>B</sup>	DOORBELL
⊕ <sup>T</sup>	TELEPHONE (CAT SE WIRING) SINGLE LINE UNLESS NOTED (NUMBER) DESIGNATES PORT OUTLETS REQUIRED
⊕ <sup>M</sup>	MULTI-MEDIA NETWORK OUTLET (CAT SE WIRE) W/4 PORT OUTLET
⊕ <sup>SW</sup>	STRUCTURED WIRING (FUTURE SMART WIRING) (E) (2) RG6 QUAD SHIELD, (3) CAT 6E WIRE - FOR CABLE TV, VIDEO, SATELLITE, ETC. (4) PORT OUTLET
⊕ <sup>GD</sup>	GARBAGE DISPOSAL
⊕ <sup>LV</sup>	LOW VOLTAGE RECESSED CAN
⊕ <sup>L1</sup>	RECESSED EXTERIOR SOFFIT LIGHT - SEE SPECS ON SHEET E101
⊕ <sup>L2</sup>	DECORATIVE EXTERIOR WALL SCIENCE - SEE SPECS ON SHEET E101
⊕ <sup>L3</sup>	MOTOR COURT EXTERIOR LIGHTING - SEE SPECS ON SHEET E101
⊕ <sup>LDP</sup>	LIGHTING DIGITAL PAD
⊕ <sup>DB</sup>	DOOR BELL SWITCH
⊕ <sup>WBL</sup>	WALL MOUNTED BED LIGHT

- ELECTRICAL GENERAL NOTES**
- SEE SPECS FOR ELECTRICAL INFORMATION.
  - ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.
  - COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
  - ALL WORK TO COMPLY WITH 2014 N.E.C. CODES AND 2015 I.R.C. CODES.
  - CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER AND DESIGNER PRIOR TO WIRING.
  - PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN CONTACT WITH INSULATION AS REQUIRED.
  - CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED.
  - ALL BRANCH CIRCUITS BE PROTECTED BY AN ARCH-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
  - PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM. AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E358B.1.2 AND N.E.C. 250.30)
  - THE CONTRACTOR SHALL VERIFY OUTLET LOCATIONS AND VOLTAGE REQUIREMENTS AS PER APPLIANCE SPECIFICATIONS.
  - STRUCTURED WIRE MEDIA PANEL TO BE "TELEVISION" (O.A.E.) AND INCLUDE: A/C POWER MODULE, CAT 5 VOICE AND DATA MODULES, 10/100 Mbps SATA HUB, CATV BOOSTER AND AUDIO / VIDEO CONTROL MODULES.
  - SMOKE AND/OR CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACKUP AS PER CODE REQUIREMENTS. COMBINATION UNITS ARE PERMITTED AS APPROVED.
  - ALL EXTERIOR ELECTRICAL OUTLETS TO HAVE WEATHERPROOF COVERS.
  - ALL 125V 15 AND 20 AMP RECEPTACLES WITHIN DWELLING UNITS MUST BE TAMPER PROOF.

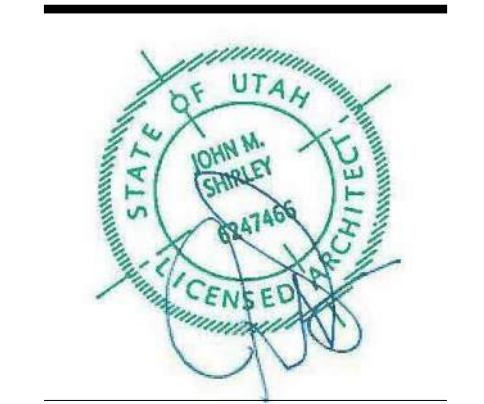


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WARM SPRINGS RESIDENCE #33

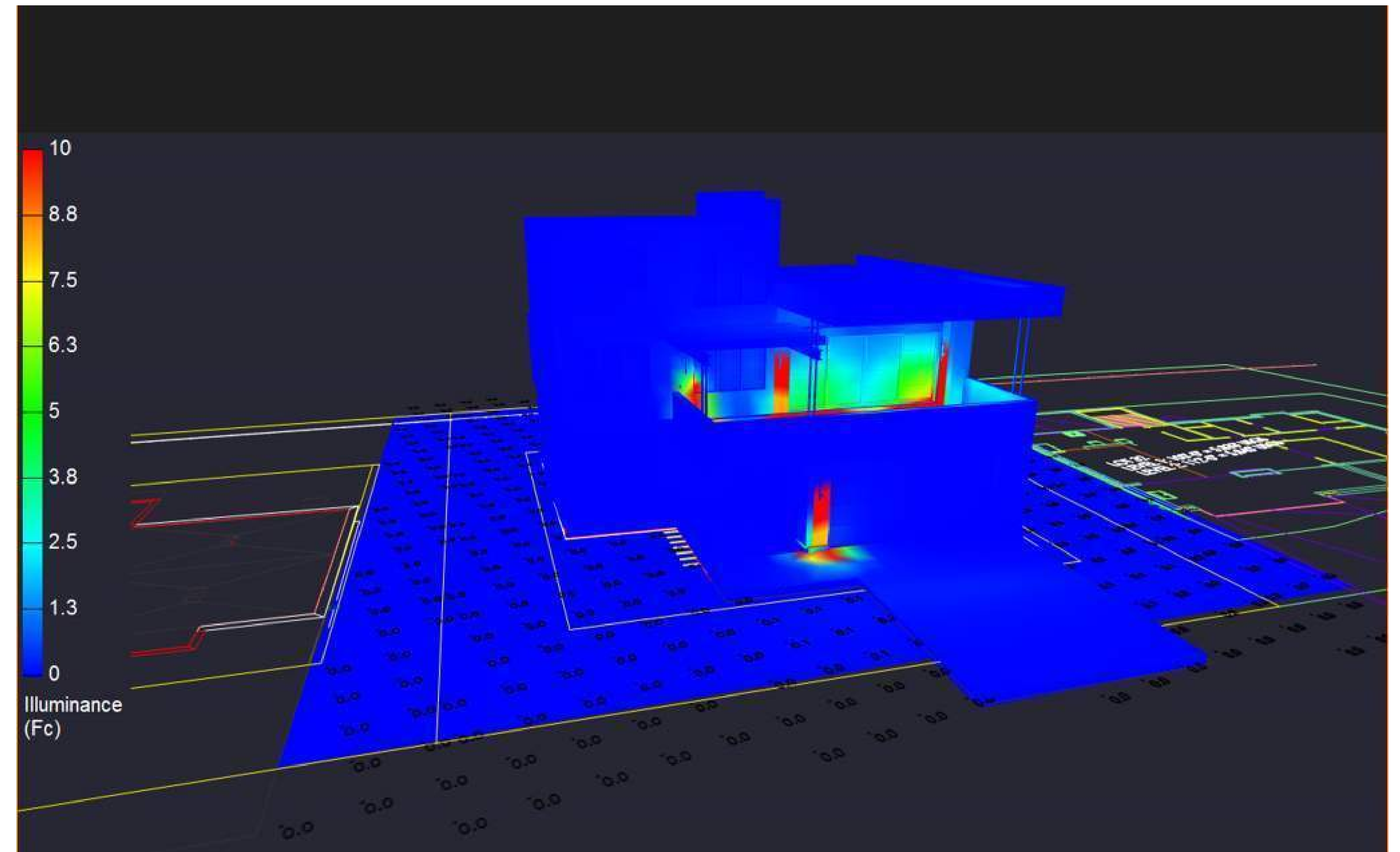
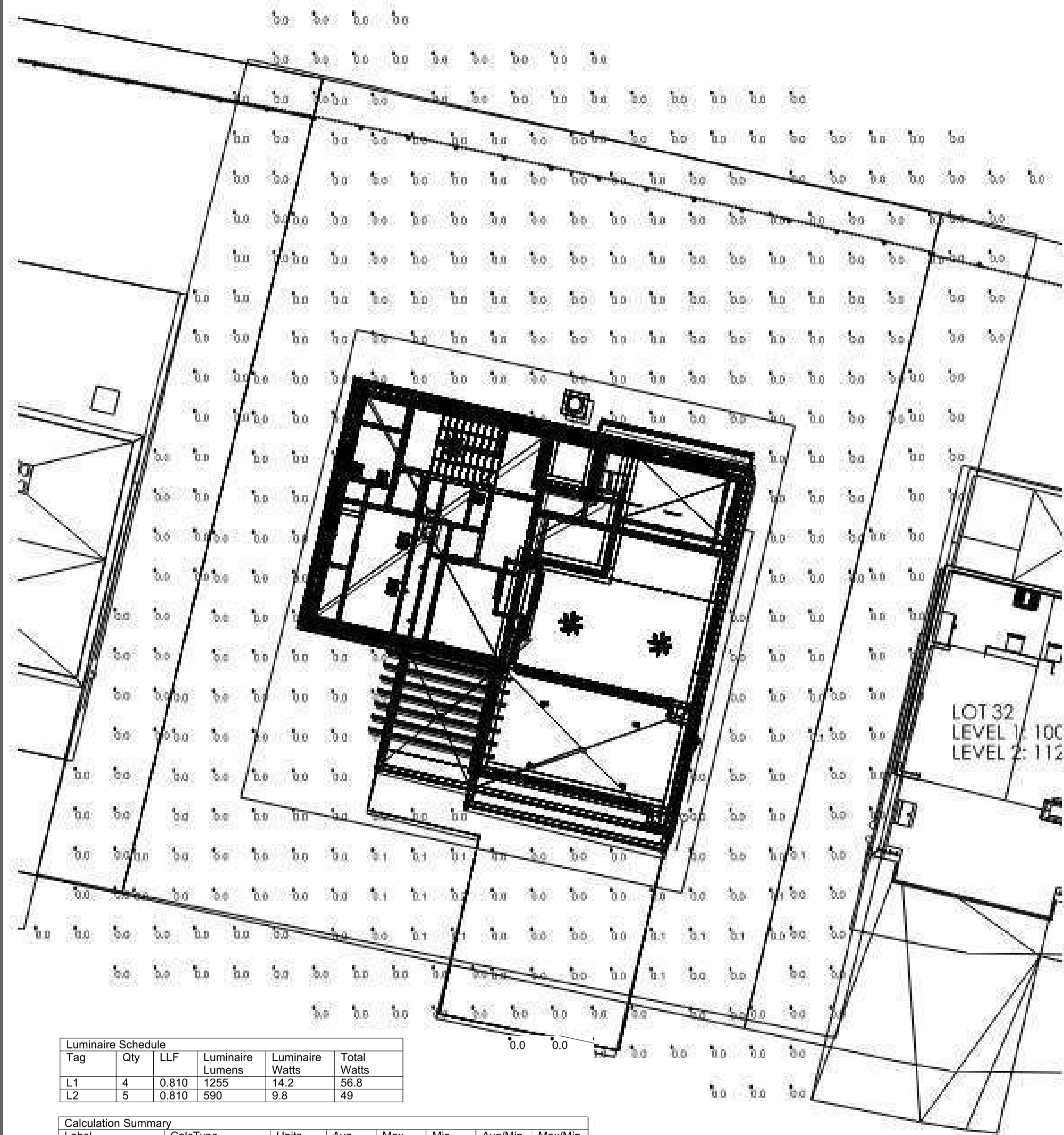
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
ELECTRICAL PLANS

SHEET NUMBER:  
E102

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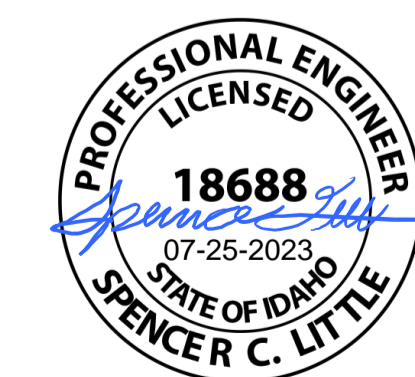



PSEUDO RENDERING WITH ILLUMINANCE SCALE

Luminaire Schedule					
Tag	Qty	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
L1	4	0.810	1255	14.2	56.8
L2	5	0.810	590	9.8	49

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY	Illuminance	Fc	0.01	0.2	0.0	N.A.	N.A.
TRESPASS	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

POINT-BY-POINT CALCULATION AND SUMMARIES  
(5 FOOT GRID)




**WARM SPRING RESIDENCES**  
 KETCHUM, ID  


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**LOT 33 CALCULATIONS AND**  
 RENDERINGS  
**SPECTRUM**  
 ENGINEERS



EXPOSED TIMBER AND STEEL  
FRAMED TRELLIS

WOOD  
SIDING

STONE  
VENEER

METAL SIDING

GARAGE DOOR TO  
MATCH SIDING



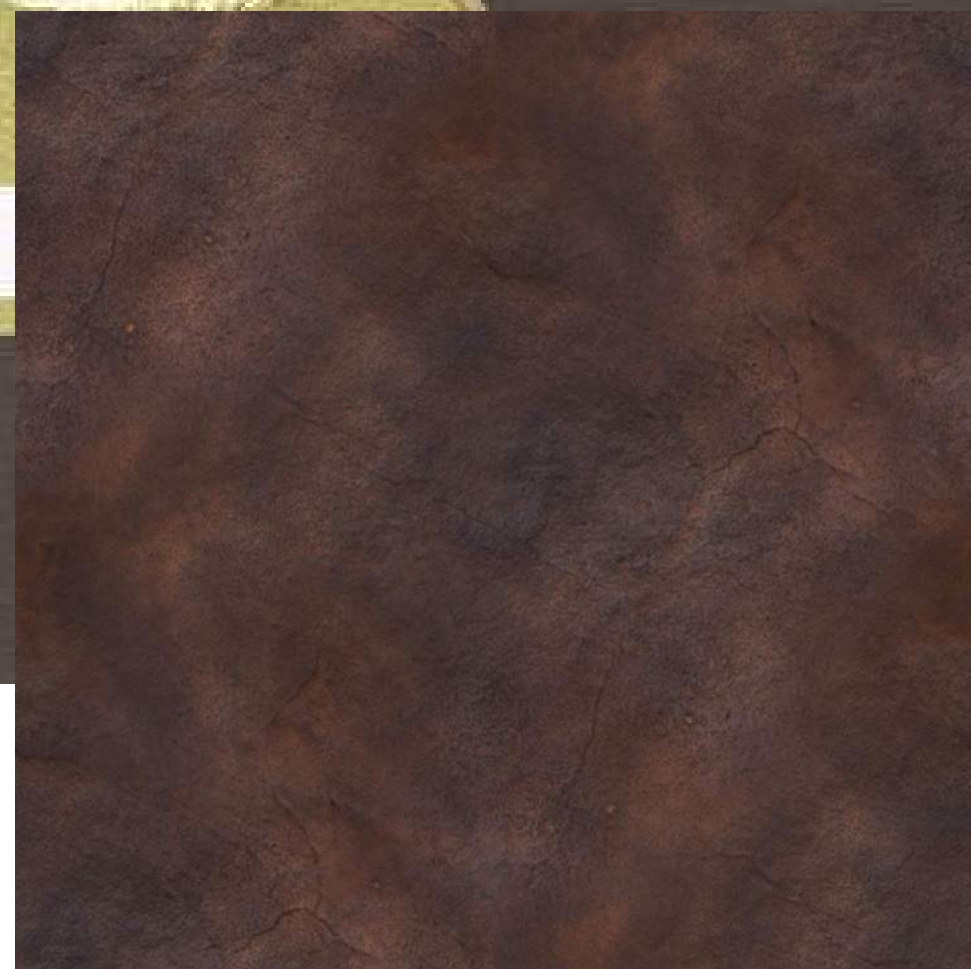
**THINSET MASONRY:**  
MOUNTAIN VALLEY SANDSTONE WITH OVER GROUTING



**HORIZONTAL SHIP LAP CEDAR SIDING:**  
PRESTAINED CEDAR SIDING



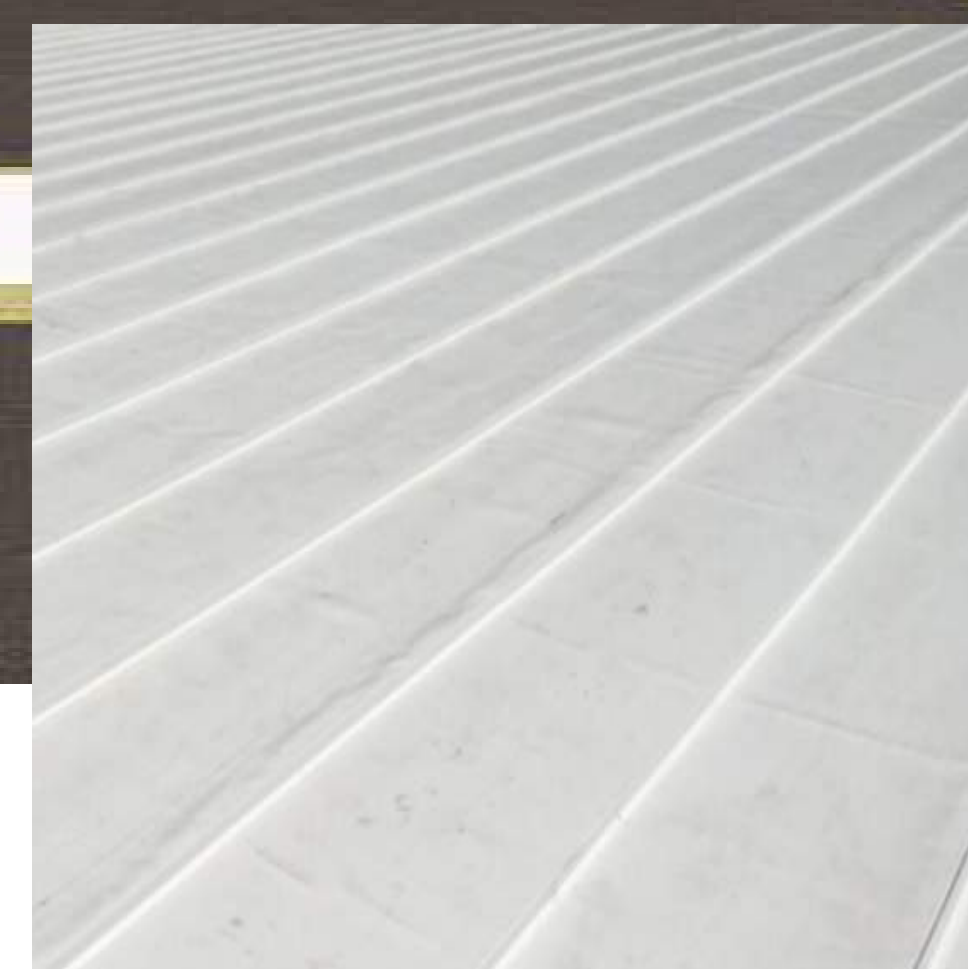
**VERTICAL SHIP LAP CEDAR SIDING:**  
PRESTAINED CEDAR SIDING



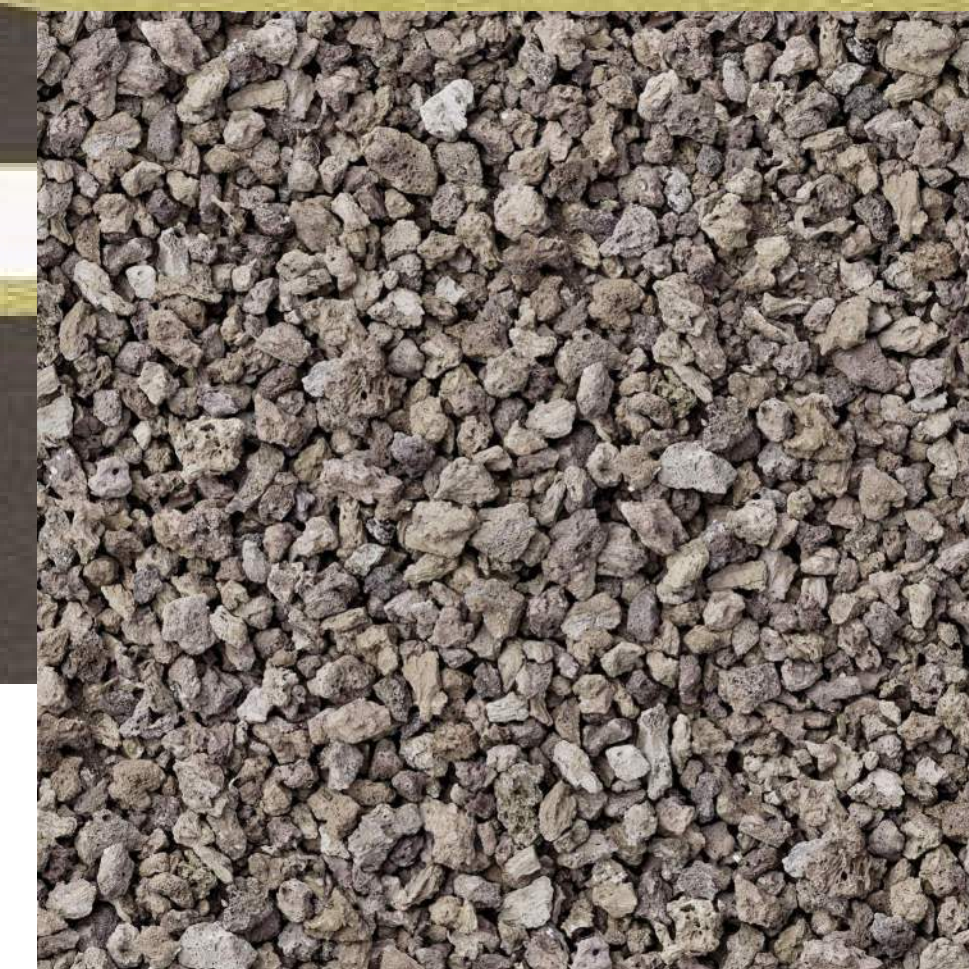
**METAL SIDING AT CHIMNEY:**  
STEEL TRIM  
COLOR: AGED STEEL, LIGHT RUST FINISH



**WINDOWS:**  
ALUMINUM CLAD WOOD WINDOWS  
COLOR: DARK BRONZE



**TPO WITH GRAVEL BALLAST**  
ROOFING MEMBRANE



**GRAVEL BALLAST OVER MEMBRANE:**  
3/4" SMOOTH GRAVEL



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# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

MATERIAL BOARD

D202

2024.02.20





LOT 33

BALD MOUNTAIN ROAD

STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340



LOT 33

BALD MOUNTAIN ROAD

STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340



BALD MOUNTAIN ROAD VIEW LOOKING NORTH EAST

## WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340



LOT 32

LOT 33

PROPOSED LANDSCAPING TO SCREEN ROAD FROM WINDOWS

PERSON FOR SCALE ALONG EDGE OF WARM SPRINGS ROAD

PROPOSED WOOD SLAT FENCE

EXISTING STEEL GAURDRAIL

WARM SPRINGS ROAD LOOKING SOUTH



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# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D303

2024.02.20



PROPOSED WOOD SLAT FENCE

PERSON FOR SCALE ALONG  
EDGE OF WARM SPRINGS  
ROAD

EXISTING STEEL GAURDRAIL

LOT 33

WARM SPRINGS ROAD LOOKING SOUTH



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# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D304

2024.02.20



WARM SPRINGS ROAD

BUS STOP

GRAVEL BALLAST OVER MEMBRANE

LOT 34

LOT 33

LOT 32

BIRDS EYE VIEW LOOKING EAST OVER BALD MOUNTAIN ROAD



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# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D305

2024.02.20



LOT 33

LOT 33

LOT 32

BALD MOUNTAIN ROAD



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# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D306

2024.02.20



LOT 32

LOT 33

LOT 34

LOT 35

WARM SPRINGS BUS STOP

VIEW FROM SECOND STORY WINDOW ON NORTH SIDE OF WARM SPRINGS ROAD LOOKING WEST