



**City of Ketchum
Planning & Building**

OFFICIAL USE ONLY	
File Number:	P23-017
Date Received:	3/28/23
By:	HLN
Pre-Application Fee Paid:	
Design Review Fee Paid:	\$1400
Approved Date:	
Denied Date:	
By:	
ADRE: Yes	<input type="checkbox"/> No <input type="checkbox"/>

Design Review Application

APPLICANT INFORMATION			
Project Name: Warm springs Lot 32		Phone: 208.1875	
Owner: WSR Development LLC		Mailing Address: PO Box 284 sun Valley, Idaho 83353	
Email: robert@vpcompanies.com			
Architect/Representative: Think Architecture, John Shirley		Phone: 801.269.0055	
Email: jmshirley@thinkaec.com		Mailing Address: 7927 S. High Point Pkwy, Ste 300 Salt Lake City, UT 84094	
Architect License Number: #6247466-0301			
Engineer of Record: Benchmark Associates		Phone: 208-726-9512	
Email: rob@bma5b.com		Mailing Address: 100 Bell Dr, Ketchum, ID 83340	
Engineer License Number:			
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>			
PROJECT INFORMATION			
Legal Land Description: Warm springs Residences Block 4, Lot 32 - RPK05790040320			
Street Address: 160 Bald Mountain Road			
Lot Area (Square Feet): 9,552 sq. ft.			
Zoning District: GR-L			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Single Family Residence		Number of Residential Units: 1	
TOTAL FLOOR AREA			
	Proposed		Existing
Basements	2,009 Sq. Ft.	0	Sq. Ft.
1 st Floor	1,706 Sq. Ft.		Sq. Ft.
2 nd Floor	Sq. Ft.		Sq. Ft.
3 rd Floor	Sq. Ft.		Sq. Ft.
Mezzanine	Sq. Ft.		Sq. Ft.
Total	3,715 Sq. Ft.		Sq. Ft.
FLOOR AREA RATIO			
Community Core:		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 3,343 sq. ft. allowed, 2,129.67 proposed or 22% proposed			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 15'-0"	Side: 10'-0"	Side: 10'-0"	Rear: 30'-0"
Building Height: 29'-1"			
OFF STREET PARKING			
Parking Spaces Provided: (2) garage spaces. (2) driveway stalls			
Curb Cut: 26'-0"	Sq. Ft.	923 sq. ft.	%
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.



Signature of Owner/Representative

2023.03.01

Date

Once your application has been received, we will review it and contact you with next steps.
No further action is required at this time.

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.



WARM SPRINGS #32

PROJECT ADDRESS
160 BALD MOUNTAIN ROAD KETCHUM, ID 83340
PROPERTY I.D. NUMBER:

DRAWING INDEX

GENERAL				STRUCTURAL			
SHEET #	SHEET NAME	#	DATE	SHEET #	SHEET NAME	#	DATE
COVER	COVER SHEET	1	04-27-2023	S101	Structural		
G002	GENERAL NOTES						
G003	BUILDING AREA ANALYSIS						
G004	SPECIFICATIONS						
G005	SPECIFICATIONS						
G006	SPECIFICATIONS	1	04-27-2023				
G007	SPECIFICATIONS						
G008	SPECIFICATIONS						
G009	SPECIFICATIONS						

CIVIL			
SHEET #	SHEET NAME	#	DATE
C101	Civil		

LANDSCAPE			
SHEET #	SHEET NAME	#	DATE
L101	Landscape		

ARCHITECTURAL			
SHEET #	SHEET NAME	#	DATE
A101	SITE PLAN	2	06-14-2023
A102	EROSION CONTROL DETAILS		
A103	FOUNDATION PLAN		
A104	LEVEL 1 FLOOR PLAN	2	06-14-2023
A105	LEVEL 2 FLOOR PLAN	1	04-27-2023
A106	ROOF PLAN	1	04-27-2023
A110	LEVEL 1 CEILING PLAN		
A111	LEVEL 2 CEILING PLAN		
A201	EXTERIOR ELEVATIONS	1	04-27-2023
A202	EXTERIOR ELEVATIONS	1	04-27-2023
A301	BUILDING SECTIONS	1	04-27-2023
A302	BUILDING SECTIONS	1	04-27-2023
A401	FIREPLACE ELEVATIONS		
A501	ARCHITECTURAL DETAILS	1	04-27-2023
A502	ARCHITECTURAL DETAILS		
A503	STAIR/ RAIL DETAILS		
A601	DOOR SCHEDULE & DETAILS		
A602	WINDOW SCHEDULE & DETAILS		

MECHANICAL			
SHEET #	SHEET NAME	#	DATE
M101	MECHANICAL GENERAL NOTES		
M102	MECHANICAL PLAN		

ELECTRICAL			
SHEET #	SHEET NAME	#	DATE
E101	ELECTRICAL GENERAL NOTES	1	04-27-2023
E102	ELECTRICAL PLANS	1	04-27-2023

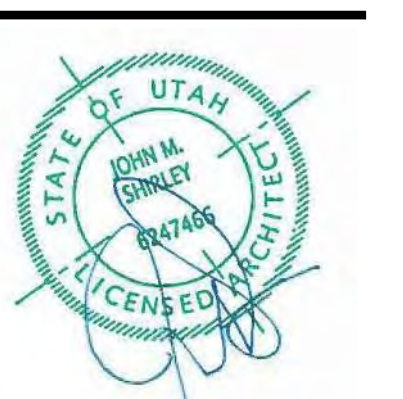


Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 So. Highpoint Parkway, Suite 300
Sandwich, Utah 84094
ph. 801.269.0055
fax. 801.269.1425
www.thinkaoc.com

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WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT TEAM	SEAL	GOVERNING BUILDING CODES & INFORMATION	ABBREVIATIONS	GRAPHIC SYMBOLS/ MATERIAL LEGENDS	VICINITY MAP																																																																																																																																																																																																																																																																																																								
ARCHITECT: THINK ARCHITECTURE: 7927 SOUTH HIGH POINT WAY, SUITE 300 SANDY, UT 84094 801.269.0055 STRUCTURAL ENGINEER: VECTOR ENGINEERS 1500 S. CLOVERDALE ROAD, SUITE 315 BOCA RATON, FL 33433 208.996.0003 MECHANICAL ENGINEER: DESIGN BUILD ELECTRICAL ENGINEER: DESIGN BUILD CIVIL ENGINEER: BENCHMARK ASSOCIATES PA 1102 BELL DRIVE KETCHUM, ID 83340 208.726.9512 LANDSCAPE ARCHITECT: EGGERS ASSOCIATES, PA 560 NORTH 2ND AVE KETCHUM, ID 83340 208.726.0988 GENERAL CONTRACTOR: MAGLEBY CONSTRUCTION SUN VALLEY 511 EAST AVENUE NORTH SUITE 201 KETCHUM, IDAHO 83340 208.726.3923 OWNER: VP PROPERTIES 240 LEADVILLE KETCHUM, IDAHO 83340 208.726.1875		BUILDING CODE: 2018 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) WITH IDAHO STATE AMENDMENTS PLUMBING CODE: 2017 IDAHO STATE PLUMBING CODE (I.S.P.C.) ELECTRICAL CODE: 2017 IDAHO ELECTRICAL CODE (I.E.C.) ACCESSIBILITY: 2009 ANSI 117.1 & 2018 I.B.C. MATERIALS: CONCRETE FOUNDATIONS, WOOD FRAME W/ BRICK MASONRY & FIBER CEMENT PANELS, & KEE MEMBRANE ROOFING.	<table border="0"> <tr><td>#</td><td>NUMBER</td><td>HDW.</td><td>HARDWARE</td></tr> <tr><td>A.B.</td><td>ANCHOR BOLT</td><td>H.M.</td><td>HOLLOW METAL</td></tr> <tr><td>ADJ.</td><td>ADJUSTABLE</td><td>HOBZ.</td><td>HORIZONTAL</td></tr> <tr><td>A.F.F.</td><td>ABOVE FINISHED FLOOR</td><td>HT.</td><td>HEIGHT</td></tr> <tr><td>ALUM.</td><td>ALUMINUM</td><td>HVAC</td><td>HEATING/VENTILATION/AIR CONDITIONING</td></tr> <tr><td>BD</td><td>BOARD</td><td>HYD</td><td>HYDRANT</td></tr> <tr><td>BDDG.</td><td>BUILDING</td><td>ID.</td><td>INSIDE DIAMETER</td></tr> <tr><td>B.M.</td><td>BENCHMARK</td><td>INFO.</td><td>INFORMATION</td></tr> <tr><td>B.O.</td><td>BOTTOM OF</td><td>INSUL.</td><td>INSULATION</td></tr> <tr><td>BOF.</td><td>BOTTOM</td><td>LAV.</td><td>LAVATORY</td></tr> <tr><td>B.P.</td><td>BASE PLATE</td><td>LT.</td><td>LIGHT</td></tr> <tr><td>BRG.</td><td>BEARING</td><td>LT WF</td><td>LIGHT WEIGHT</td></tr> <tr><td>BTWN.</td><td>BETWEEN</td><td>MAINT.</td><td>MAINTENANCE</td></tr> <tr><td>C.I.</td><td>CONSTRUCTION JOINT</td><td>MANUF.</td><td>MANUFACTURER</td></tr> <tr><td>CLG.</td><td>CEILING</td><td>MAX.</td><td>MAXIMUM</td></tr> <tr><td>CLR.</td><td>CLEAR</td><td>MAT</td><td>MATERIAL</td></tr> <tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>M.C.J.</td><td>MASONRY CONTROL JOINT</td></tr> <tr><td>COL.</td><td>COLUMN</td><td>MECH.</td><td>MECHANICAL</td></tr> <tr><td>CONC.</td><td>CONCRETE</td><td>MIN.</td><td>MINIMUM</td></tr> <tr><td>CONT.</td><td>CONTINUOUS</td><td>MISC.</td><td>MISCELLANEOUS</td></tr> <tr><td>CORNL.</td><td>CORNER</td><td>M.O.</td><td>MASONRY OPENING</td></tr> <tr><td>C.T.J.</td><td>CONSTRUCTION JOINT</td><td>MTL.</td><td>METAL</td></tr> <tr><td>DBL.</td><td>DOUBLE</td><td>N.I.C.</td><td>NOT IN CONTRACT</td></tr> <tr><td>DFT./DTL.</td><td>DETAIL</td><td>N.I.S.</td><td>NOT TO SCALE</td></tr> <tr><td>DIA.</td><td>DIAMETER</td><td>O.C.</td><td>ON CENTER</td></tr> <tr><td>DIMS.</td><td>DETAIL</td><td>O.D.</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>EF.</td><td>EACH FACE</td><td>O.F.</td><td>OUTSIDE FACE</td></tr> <tr><td>E.J.</td><td>EXPANSION JOINT</td><td>PERP.</td><td>PERPENDICULAR</td></tr> <tr><td>EL.ELEV.</td><td>ELEVATION</td><td>PL</td><td>PLATE</td></tr> <tr><td>EQ.</td><td>EQUAL</td><td>PTD.</td><td>PAINTED</td></tr> <tr><td>E.S.</td><td>EACH SIDE</td><td>QTY.</td><td>QUANTITY</td></tr> <tr><td>E.W.</td><td>EACH WAY</td><td>R.D.</td><td>ROOF DRAIN</td></tr> <tr><td>EXIST.</td><td>EXISTING</td><td>RAD.</td><td>RADIUS</td></tr> <tr><td>EXPAN.</td><td>EXPANSION</td><td>REQ.</td><td>REQUIRED</td></tr> <tr><td>EXT.</td><td>EXTERIOR</td><td>REQ.D.</td><td>REQUIRED</td></tr> <tr><td>F.D.</td><td>FLOOR DRAIN</td><td>RM</td><td>ROOM</td></tr> <tr><td>FDN./FDN</td><td>FOUNDATION</td><td>R.O.</td><td>ROUGH OPENING</td></tr> <tr><td>F.F.</td><td>FIRE EXTINGUISHER</td><td>SCHED.</td><td>SCHEDULE</td></tr> <tr><td>F.F.F.</td><td>FIRE EXTINGUISHER CABINET</td><td>SHT.</td><td>SHEET</td></tr> <tr><td>FIN.</td><td>FINISH</td><td>SHR.</td><td>SHRIMP</td></tr> <tr><td>FIN.</td><td>FINISH</td><td>SPEC.</td><td>SPECIFICATION</td></tr> <tr><td>FT</td><td>FEET</td><td>STC</td><td>SOUND TRANSMISSION COEFFICIENT</td></tr> <tr><td>FTG.</td><td>FOOTING</td><td>STRUC.T.</td><td>STRUCTURAL</td></tr> <tr><td>GA.</td><td>GAGE/GAUGE</td><td>SUSP.</td><td>SUSPENDED</td></tr> <tr><td>GALL.</td><td>GALLONS PER MINUTE</td><td>T.O.P.</td><td>TOP OF</td></tr> <tr><td>GND.</td><td>GROUND</td><td>T.O.C.</td><td>TOP OF CURB</td></tr> <tr><td>G.P.M.</td><td>GYPSONUM WALL BOARD</td><td>T.O.F.</td><td>TOP OF FOOTING</td></tr> <tr><td>GV.</td><td>GROUND</td><td>T.O.S.</td><td>TOP OF SLAB OR SIDEWALK</td></tr> <tr><td>GVF. 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SPECIAL INSPECTIONS REQUIREMENTS SPECIAL INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH IBC 2015 CHAPTER 17, SECTION 1704.		BUILDING AREAS SEE SHEET G003 FOR AREA PLANS		OWNER & MUNICIPAL DRAWING APPROVALS OWNER: _____ DATE: _____ CITY ENGINEER: _____ DATE: _____ CITY PLANNING & ZONING DEPARTMENT: _____ DATE: _____ CITY FIRE DEPARTMENT: _____ DATE: _____ CITY BUILDING DEPARTMENT: _____ DATE: _____ CITY POLICE DEPARTMENT: _____ DATE: _____																																																																																																																																																																																																																																																																																																									
DEFERRED SUBMITTAL REQUIREMENTS DEFERRED SUBMITTALS ARE THOSE PORTIONS OF DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE PERMIT APPLICATION AND HAVE RECEIVED PRIOR APPROVAL FROM THE BUILDING OFFICIAL TO BE DEFERRED. THE DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND GENERAL CONTRACTOR WITHIN SIX WEEKS TO COMMENCEMENT OF CONSTRUCTION TO THIS PORTION OF WORK.		DEFERRED SUBMITTAL ITEMS 1. EXTERIOR FRAMING, DESIGN, AND INSTALLATION DETAILS PER STRUCTURAL. 2. FIRE SPRINKLING DRAWINGS, INCLUDING DESIGN DRAWINGS AND CALCULATIONS. 3. FIRE ALARM DRAWINGS AND SPECIFICATIONS. 4. JACOZZI DRAWINGS AND SPECIFICATIONS. 5. CCTV SECURITY CAMERAS AND SECURITY SYSTEM. 6. PROJECT TRIPLE PLAY - (PHONE, DATA, TV) SHALL BE PROVIDED BY DEFERRED SUBMITTAL. 7. CAST IN PLACE STORM WATER DETENTION SYSTEM.		DEFERRED SUBMITTAL PROCESSES: 1. THE DEFERRED SUBMITTAL SHALL FIRST BE REVIEWED BY THE GENERAL CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SUBMITTAL MUST BE REVIEWED, APPROVED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR BEFORE BEING SUBMITTED TO THE ARCHITECT. 2. THE GENERAL CONTRACTOR SHALL DIGITALLY SUBMIT DEFERRED SUBMITTALS TO THE ARCHITECT. 3. THE DEFERRED SUBMITTAL ITEMS WILL BE REVIEWED BY THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE. THE ENGINEER OR ARCHITECT WILL ATTACH A LETTER TO THE SUBMITTAL STATING THAT THE DEFERRED ITEM IS IN CONFORMANCE WITH THE DESIGN OF THE STRUCTURE. 4. THE APPROVED SUBMITTALS WILL BE RETURNED TO THE GENERAL CONTRACTOR. TWO SETS OF THE DEFERRED SUBMITTAL ARE THEN SUBMITTED TO THE CITY FOR REVIEW. 5. THE GENERAL CONTRACTOR SHALL MAINTAIN ONE SET OF THE APPROVED SUBMITTAL ON SITE FOR REFERENCE BY THE CITY INSPECTOR. 6. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. 7. SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS FOR STRUCTURAL DEFERRED SUBMITTALS.																																																																																																																																																																																																																																																																																																									

PROJECT NC22023.32
DATE: 2023.06.30

REVISIONS:
1 04-27-2023 PER CITY COMMENTS

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
COVER

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PROJECT GENERAL NOTES

- 1. DEFINITIONS
a. PROVIDE: MEANS TO PROVIDE, FURNISH AND INSTALL...
b. FURNISH: MEANS TO SUPPLY, PURCHASE, PROCURE AND DELIVER COMPLETE WITH RELATED ACCESSORIES...
c. INSTALL: MEANS TO CONSTRUCT, ASSEMBLE, ERECT, MOUNT, ANCHOR, PLACE, CONNECT, APPLY AND SIMILAR OPERATIONS...
d. EQUIVALENT: MEANS EQUIVALENT AS ACCEPTED BY THE ARCHITECT...

GENERAL NOTES

- G1. INTENT OF THE SPECIFICATIONS: DRAWINGS AND DOCUMENTS ARE INTENDED TO PROVIDE THE BASIS FOR THE PROPER COMPLETION OF THE PROJECT...
G2. DRAWINGS AND SPECIFICATIONS: SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY AND SUPPLEMENTAL TO THE DRAWINGS...
G3. WORK NOT INCLUDED: ANY ITEM INDICATED ON THE DRAWINGS AS 'N.I.C.' (NOT IN CONTRACT)...
G4. CONTRACT DOCUMENTS AT SITE: THE CONTRACTOR SHALL MAINTAIN CURRENT PERMITS, SHOP DRAWINGS, REVISED DRAWINGS...
G5. RECORD DRAWINGS: THE CONTRACTOR SHALL MAINTAIN ACCURATELY DIMENSIONED RECORDS OF ALL UNDERGROUND LINES, SERVICES, AND UTILITIES...
G6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES...
G7. FIELD CONFIRMATION OF DISCREPANCIES SHALL BE RECORDED ON REPRODUCIBLE DOCUMENT AND IMMEDIATELY TRANSMITTED TO ARCHITECT...
G8. FIELD MEASUREMENTS: VERIFY FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS...
G9. ALL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF ALL APPLICABLE BUILDING CODES...
G10. REFERENCE STANDARDS: COMPLY WITH ASSOCIATION, TRADE, FEDERAL, COMMERCIAL, ASTM, AND OTHER SIMILAR STANDARDS REFERENCED WITHIN INDIVIDUAL SECTIONS...

CONTRACT

- C1. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING SITE CONDITIONS, UTILITIES, CONNECTIONS, LOCATIONS, ETC. AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
C2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE.
C3. CONTRACTOR SHALL, PRIOR TO COMMENCEMENT OF WORK, FIELD VERIFY ALL EXISTING PROJECT CONDITIONS, INCLUDING DIMENSIONS, UTILITY LOCATIONS, AND UTILITY SIZES.
C4. THE CONTRACTOR SHALL BE REQUIRED TO MEET ALL NATIONAL, STATE AND LOCAL, AND RELATED CODES FOR STANDARD CONSTRUCTION PRACTICES.
C5. INSTALLATION STANDARDS: ALL MANUFACTURED MATERIALS AND PRODUCTS SHALL BE APPLIED, INSTALLED, CONNECTED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS...
C6. HOURS OF WORK: ALL DEMOLITION, GRADING, AND CONSTRUCTION WORK SHALL BE LIMITED TO THE FOLLOWING HOURS: MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM, OR AS REQUIRED BY THE RWMA AND SUMMIT COUNTY PLANNING AND ZONING...
C7. TESTING AGENCIES: THE CONTRACTOR SHALL PROVIDE AND PAY FOR INSPECTIONS, TESTS, AND OTHER SERVICES SPECIFIED. REFER TO INDIVIDUAL SECTIONS FOR ADDITIONAL REQUIREMENTS.
C8. PROJECT LOG: MAINTAIN DAILY LOG CONTAINING ALL INFORMATION REGARDING CONSTRUCTION OPERATIONS AND OTHER OCCURRENCES PERTAINING TO THE PROJECT.
C9. WORK PROGRESS SCHEDULE: MAINTAIN AN UPDATED WORK PROGRESS SCHEDULE POSTED IN A VISIBLE PLACE LOCATED IN FIELD OFFICE.
C10. THE GENERAL BUILDING PERMITS SHALL BE PAID FOR BY THE OWNER AND SECURED BY THE GENERAL CONTRACTOR.
C11. CONTRACTOR SHALL ASSIST OWNER IN OBTAINING FINAL APPROVAL OF LOCAL HEALTH DEPARTMENT AND THE TEMPORARY AND FINAL CERTIFICATES OF OCCUPANCY.
C12. ADDITIONAL REQUIRED CITY AND COUNTY LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADES.
C13. ALL CONTRACTORS SHALL HAVE VALID CERTIFICATES OF WORKMAN'S COMPENSATION OF FILE WITH THE APPROPRIATE AGENCIES.
C14. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
C15. CONTRACTOR'S FIELD OFFICE: PROVIDE AND MAINTAIN A FIELD OFFICE ON THE PREMISES WHERE DIRECTED. OFFICE SHALL BE OF HEAT, SUBSTANTIAL CONSTRUCTION.
C16. TEMPORARY FACILITIES: PROVIDE TEMPORARY FACILITIES AND CONNECTIONS AS REQUIRED FOR THE PROPER COMPLETION OF THE PROJECT.
C17. STORAGE AND PROTECTION: STORE AND PROTECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH LABELS INTACT AND LEGIBLE.

- C18. FIELD QUALITY CONTROL: EMPLOY ONLY EXPERIENCED INSTALLERS AND FURNISH EVIDENCE OF EXPERIENCE IF REQUESTED.
C19. PRODUCT HANDLING: TRANSPORT AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
C20. COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS: HANDLE, INSTALL, ERECT, CONNECT, CONDITION, USE, ADJUST, AND CLEAN PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND IN CONFORMITY WITH SPECIFIED REQUIREMENTS.
C21. MANUFACTURER'S FIELD SERVICES: WHEN SPECIFIED IN INDIVIDUAL SECTIONS, REQUIRE MATERIAL OR PRODUCT SUPPLIERS OR MANUFACTURERS TO PROVIDE QUALIFIED STAFF PERSONNEL TO OBSERVE SITE CONDITIONS.
C22. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL WORK AND MATERIALS - INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
C23. NON-CONFORMING WORK: REMOVE AND REPLACE WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS AT NO ADDITIONAL EXPENSE TO THE OWNER.
C24. PRODUCT IDENTIFICATION: NAMEPLATES, TRADEMARKS, LOGOS, AND OTHER IDENTIFYING MARKS ON PRODUCTS ARE NOT PERMITTED ON SURFACES EXPOSED TO VIEW OR PUBLIC ACCESS.
C25. PROTECTION OF ADJACENT WORK: PROVIDE TEMPORARY PROTECTION FOR ADJACENT AREAS TO PREVENT DAMAGE BY INSTALLATION OF NEW WORK.
C26. DAMAGED PRODUCTS: DO NOT USE PRODUCTS IN WORK, WHICH HAVE DETERIORATED, BECOME DAMAGED, OR ARE OTHERWISE UNFIT FOR USE.
C27. SECURITY: PROVIDE FACILITIES TO PROTECT WORK FROM UNAUTHORIZED ENTRY, VANDALISM, AND THEFT.
C28. TEMPORARY CONTROLS:
o. HEAT: PRIOR TO ENCLOSURE, PROVIDE HEATING AS NECESSARY TO PROTECT MATERIALS, PRODUCTS, AND FINISHES FROM DAMAGE DUE TO TEMPERATURE OR HUMIDITY.
o. VENTILATION: VENTILATE ENCLOSED AREAS TO ASSIST CURE OF MATERIALS, TO DISSIPATE HUMIDITY, AND TO PREVENT ACCUMULATION OF DUST, FUMES, VAPORS, OR GASES.
o. BARRIERS AND CLOSURES: PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS AND TO PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES FROM DAMAGE FROM CONSTRUCTION OPERATIONS.
o. FIRE PROTECTION: COMPLY WITH LOCAL FIRE PROTECTION CODE AND GOVERNING AUTHORITIES.
C29. INTERRUPTION OF SERVICES: INTERRUPTIONS TO ANY SERVICE FOR THE PURPOSE OF MAKING OR BREAKING A CONNECTION SHALL BE MADE ONLY AFTER CONSULTATION WITH THE OWNER AND SHALL BE AT SUCH TIME AND OF SUCH DURATION AS MAY BE DIRECTED.
C30. EXCAVATIONS OR TRENCHING: KEEP THE INTERVALS BETWEEN EXCAVATION OR TRENCHING, INSTALLATION OF CONDUIT OR PIPING, AND BACK FILLING OPERATIONS TO AN ABSOLUTE MINIMUM.
C31. CUTTING AND PATCHING: DO NOT CUT AND PATCH IN A MANNER THAT WOULD RESULT IN A FAILURE OF THE WORK TO PERFORM AS INTENDED.
C32. COORDINATION AND CLEARANCES: VERIFY AND COORDINATE CLEARANCES, DIMENSIONS, AND INSTALLATION OF ADJOINING CONSTRUCTION.
C33. EXAMINATION OF CONDITIONS: EXAMINE SUBSTRATE AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED.
C34. CONTRACTOR SHALL PROVIDE BACKING SUPPORT OF ALL WALL, CEILING, AND PARTITION MOUNTED ITEMS SUCH AS TABLE BRACKETS, LIGHT FIXTURES, ARTIFACTS, SHELVING, EQUIPMENT, AND TELEVISIONS.
C35. EXTERIOR OPENINGS SHALL COMPLY WITH ALL SECURITY REQUIREMENTS AS OUTLINED IN ALL LOCAL BUILDING CODES AND ORDINANCES.
C36. GLASS AND GLAZING FOR ALL WINDOWS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.
C37. ROOFING WORK SHALL BE PERFORMED AND ALL PENETRATIONS THROUGH THE ROOFING MEMBRANE SHALL BE PATCHED OR FLASHED AS PER THE MANUFACTURER'S STANDARDS.
C38. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNAE, SOLAR PANELS, AND GUY WIRES SHALL NOT BE LOCATED OR INSTALLED IN SUCH A WAY AS TO PREVENT FIRE DEPARTMENT ACCESS OR EGRESS.

SUBMITTALS/SUBSTITUTIONS

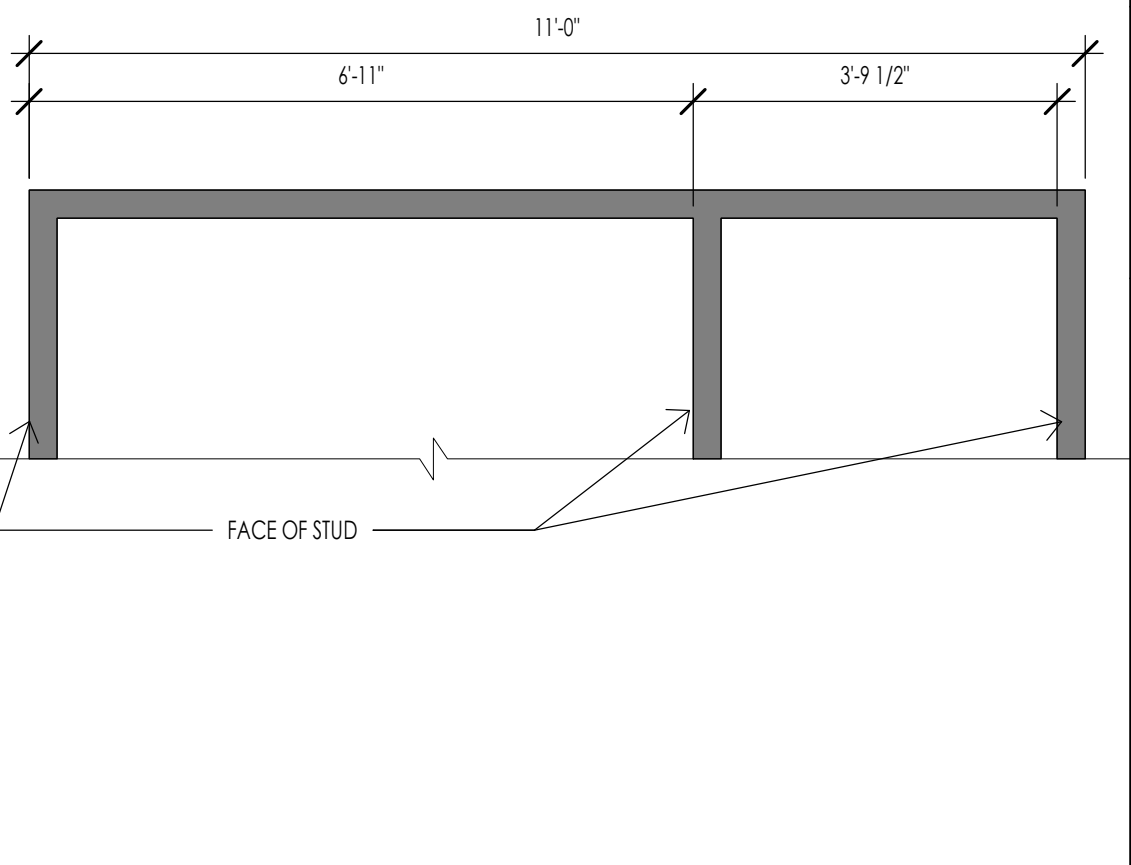
- S1. CONTRACTOR SHALL PROVIDE COMPLETE LIST OF SUBMITTALS TO ARCHITECT/OWNER WITHIN 1 WEEK OF OBTAINING BUILDING PERMIT.
S2. ALL SUBMITTALS SHALL BE COMPLETE AND SUBMITTED WITHIN FIRST 90 DAYS OF WORK.
S3. ALL ITEMS NOTED AS DESIGNATED 'BY MANUFACTURER' IS A DEFERRED DESIGN AND SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH MANUFACTURER FOR FINAL DESIGN AND SUBMIT FINAL DESIGN FOR APPROVAL.
S4. SOURCE QUALITY CONTROL: PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS, WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS.
S5. SUBSTITUTIONS: PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT, AND METHODS WILL ONLY BE CONSIDERED WHEN ACCOMPANIED BY FULL AND COMPLETE TECHNICAL DATA AS WELL AS ANY OTHER INFORMATION REQUIRED TO EVALUATE THE PROPOSED SUBSTITUTION.
S6. AVAILABILITY OF PRODUCTS: VERIFY PRIOR TO CONSTRUCTION START THAT ALL SPECIFIED ITEMS WILL BE AVAILABLE IN TIME FOR INSTALLATION.
S7. PRODUCTS AND MATERIALS: PROVIDE PRODUCTS AND MATERIALS SPECIFIED. REQUEST ARCHITECT'S SELECTION OF COLORS AND ACCESSORIES IN SUFFICIENT TIME TO AVOID DELAYING PROGRESS OF THE WORK.

TOLERANCES

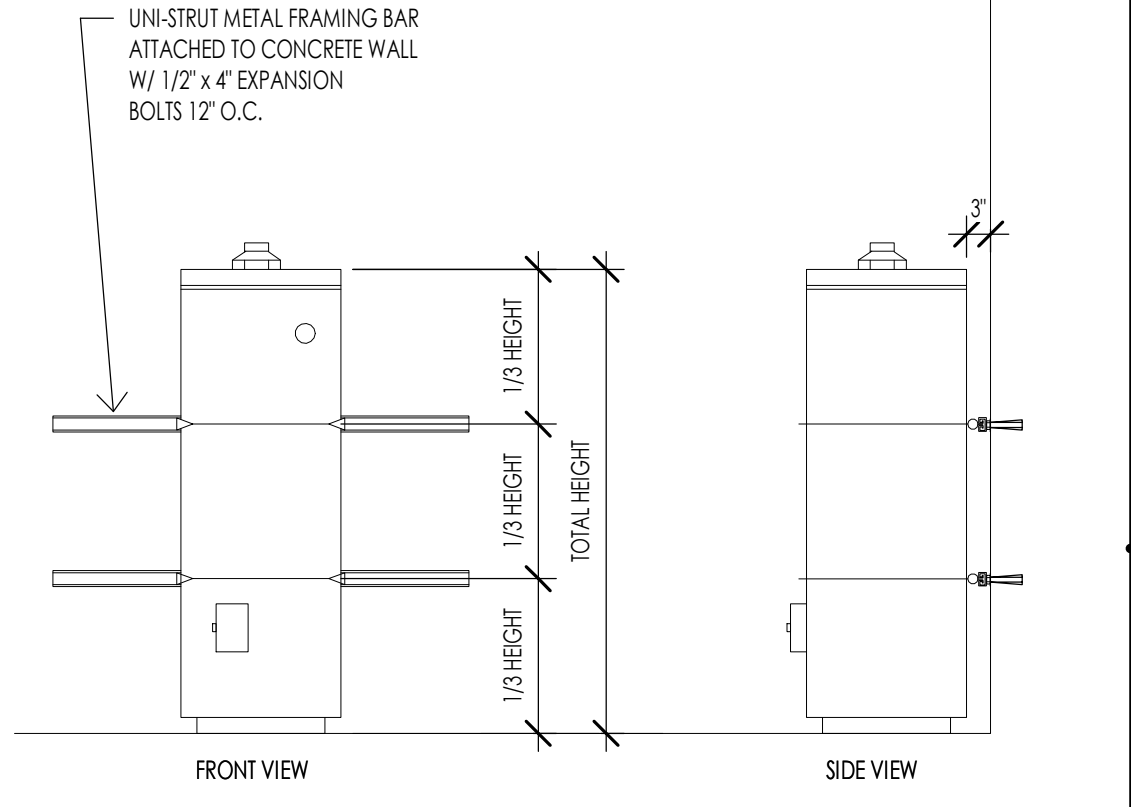
- T1. TOLERANCES: INSTALL WORK TRUE TO LINE, PLUMB, AND LEVEL, EXCEPT WHERE SPECIFIED OTHERWISE.
o. TRUE TO LINE: ALLOWED DEVIATION FROM AN ABSOLUTELY STRAIGHT LINE OF SIGHT WITHIN PLUS OR MINUS 1/8 INCH IN 10 FT.
o. PLUMB: ALLOWED DEVIATIONS FROM AN ABSOLUTELY VERTICAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT.
o. LEVEL: ALLOWED DEVIATIONS FROM AN ABSOLUTELY HORIZONTAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT.
o. ALLOWED DEVIATIONS FROM AN ABSOLUTELY FLAT IF WITHIN PLUS OR MINUS 1/16 INCH IN ONE SQUARE FOOT.
T2. REFER TO SPECIFICATIONS FOR ADDITIONAL TOLERANCE REQUIREMENTS.

PROJECT CONTRACT CLOSURE:

- a. SUBSTANTIAL COMPLETION: AT SUBSTANTIAL COMPLETION OF THE PROJECT, SCHEDULE AND ATTEND A PUNCH LIST WALK THROUGH OF REMAINING WORK FOR REVIEW WITH THE ARCHITECT AND OWNER.
b. CERTIFICATE OF OCCUPANCY: PROVIDE THE FINAL CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT.
c. PERMITS/INSPECTION CARDS: FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES: BUILDING DEPARTMENT; PLUMBING/MECHANICAL DEPARTMENT; ELECTRICAL DEPARTMENT; FIRE DEPARTMENT; HEALTH DEPARTMENT; OTHERS AS REQUIRED.
d. MAINTENANCE MANUALS AND WARRANTIES: FURNISH (2) COPIES FOR EACH UNIT OF ALL MANUALS, MAINTENANCE INSTRUCTIONS, CONTRACTORS AND MANUFACTURER'S PRINTED WARRANTIES, AND INSTRUCTIONS FOR OPERATION.
e. TOUCH UP MATERIAL: FURNISH OWNER WITH ONE GALLON OF EACH PAINT AND STAIN USED PER UNIT.
f. FINAL CLEANING AND REPAIRS: REMOVE TEMPORARY FACILITIES AND PROVIDE FINAL CLEANING AND TOUCH-UP.
g. SUBCONTRACTORS: PROVIDE THE OWNER THE NAMES, ADDRESSES, AND PHONE NUMBERS OF ALL SUBCONTRACTORS.
h. FINAL CLEANING AND REPAIRS: REMOVE TEMPORARY FACILITIES AND PROVIDE FINAL CLEANING AND TOUCH-UP.
i. CLOSEOUT DOCUMENTS: PROVIDE THE OWNER WITH A COMPACT DISK OF ALL RECORD DRAWINGS IN PDF FORMAT.



TYPICAL DIMENSION METHOD



WATER HEATER SEISMIC STRAPPING

INSULATION SCHEDULE

ENERGY STRATEGY: PRESCRIPTIVE PER IBC [] RESCHECK - 2015 IECC [x]

Table with columns: LOCATION, TYPE, THICKNESS, "R" VALUE, REMARKS. Rows include foundation walls, exterior walls, floors, roof/ceiling, and interior walls with various insulation specifications.

INSULATION NOTES:

- 1. COORDINATE WITH PROJECT SPECIFICATION SECTIONS FOR INSULATION FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. ALL INSULATION SHALL BE TIGHT, AND NO GAPS SHALL BE LEFT.
3. ALL INSULATION AT PIPES SHALL BE INSTALLED AT WARM SIDE ONLY.
PROVIDE SEALING OF THE BUILDING THERMAL ENVELOPE FOR LEAKAGE BY THE REQUIREMENTS BELOW:
1. AIR BLOWER DOOR TEST FOR BUILDING ENVELOPE AT FINAL WITH A MAXIMUM AIR LEAKAGE OF 5 AIR CHANGES PER HOUR.
2. TO BE PERFORMED AFTER DRYWALL INSTALLATION AND MUDD AND TAPE.
3. CONTRACTOR TO VERIFY NO WALL OPENINGS GREATER THAN 1/2" PRIOR TO INSTALLATION OF ENVELOPE SEALING.

RESCHECK/ ENERGY COM CHECK

REScheck Software Version 4.7.2 Compliance Certificate. Project: Warm Springs #32. Includes energy code, location, construction type, and project details.

Table showing energy code compliance data. Columns: Assembly, Gross Area of Partition, Cavity R-Value, Cost, Prop. R-Value, Req. U-Factor, Prop. U-Factor, Min. U-Factor, Max. U-Factor. Rows include window, door, and roof assemblies.

Envelope Assemblies table. Columns: Assembly, Gross Area of Partition, Cavity R-Value, Cost, Prop. R-Value, Req. U-Factor, Prop. U-Factor, Min. U-Factor, Max. U-Factor. Rows include slab on grade, floor over garage, basement walls, and various window and door assemblies.

Project Title: Warm Springs #32. Report date: 06/06/22. Data filename: C:\Users\jcares\THINKAE\Desktop\Rescheck Temp\Warm Springs Residence #32.rck. Page 2 of 10.



Architecture Interior Design Landscape Architecture Land Planning Construction Management

7927 So. Highpoint Parkway, Suite 300 Sandy, Utah 84094 ph. 801.269.0555 fax. 801.269.1425 www.thinkae.com

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WARM SPRINGS RESIDENCE #32 160 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340

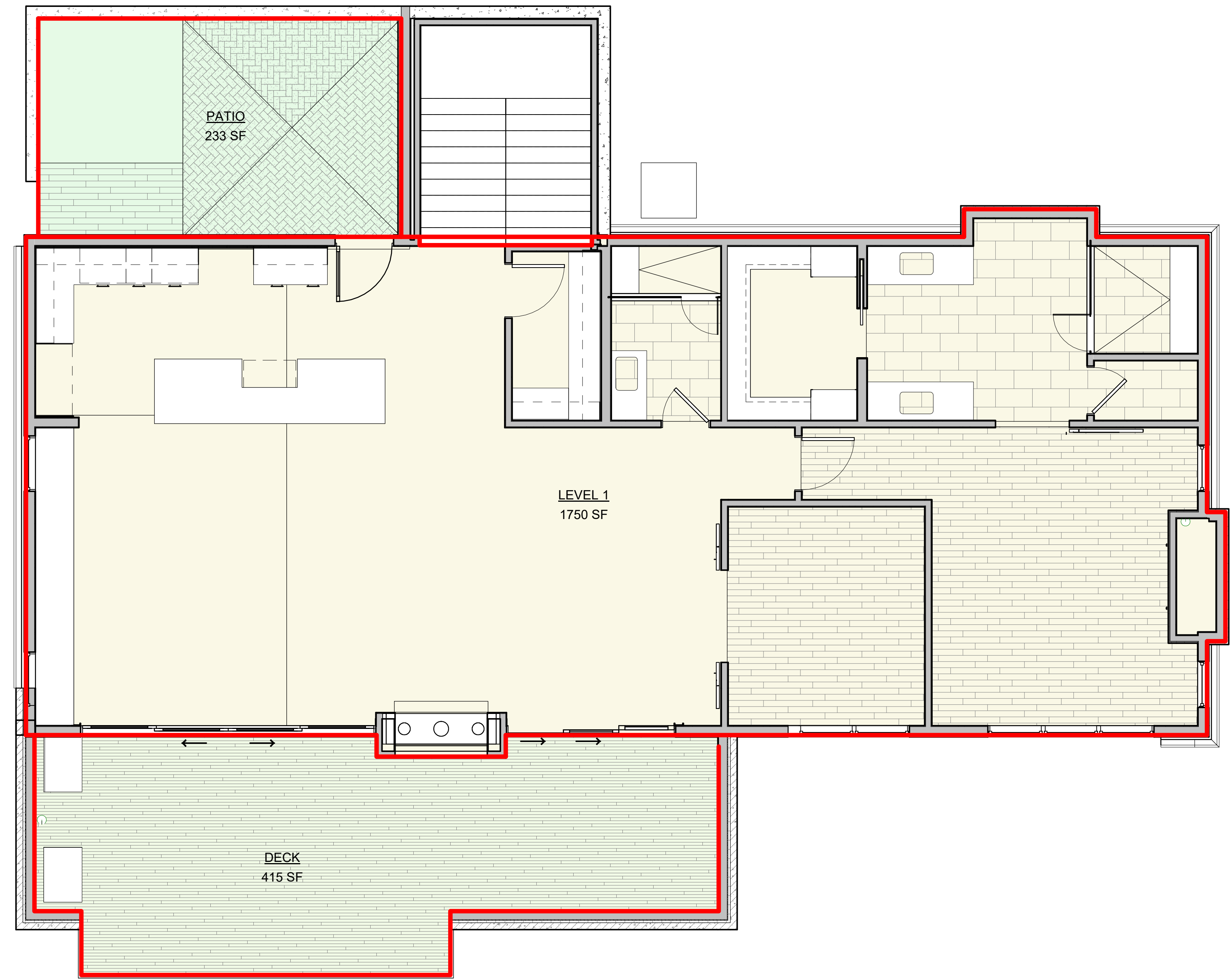
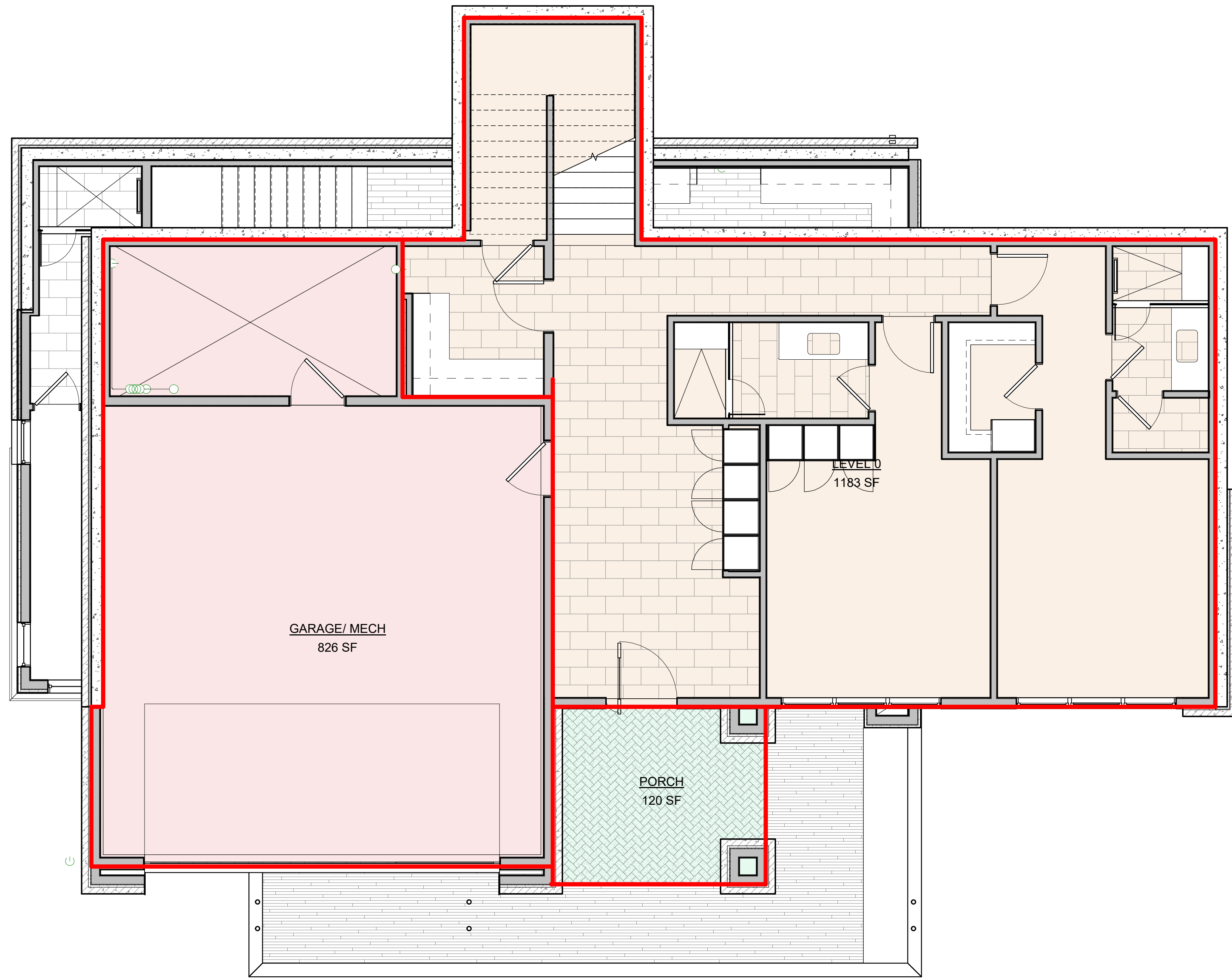
PROJECT NC22023.32 DATE: 2023.06.30

REVISIONS:

SHEET TITLE: GENERAL NOTES

SHEET NUMBER: G002

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BUILDING AREA - FINISHED	
AREA	FINISHED
LEVEL 0	1183 SF
LEVEL 1	1750 SF
	2933 SF
BUILDING AREA - UNFINISHED	
AREA	UNFINISHED
GARAGE/MECH	826 SF
	826 SF
BUILDING AREA - TOTAL	
TOTAL	3759 SF
EXTERIOR AREA	
AREA	EXTERIOR
DECK	415 SF
PATIO	233 SF
PORCH	120 SF
	768 SF



Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 So. Highpoint Parkway, Suite 300
Scary, Utah 84094
ph. 801.269.0555
fax 801.269.1425
www.thinkaec.com

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WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30

REVISIONS:

SHEET TITLE:
BUILDING AREA
ANALYSIS

SHEET NUMBER:
G003

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BUILDING KEYNOTES AND SPECIFICATIONS

DIVISION 1-GENERAL REQUIREMENTS

01-01 SUMMARY

PROJECT INFORMATION:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (I.R.C.). THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUB CONTRACTORS TO MEET THESE REQUIREMENTS.

IRC 104.4 ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE TO SUBMIT THE CHANGES TO THE BUILDING DEPARTMENT, OR WORK WITH THE ARCHITECT TO RESUBMIT THE PLANS TO THE BUILDING DEPARTMENT FOR APPROVAL.

THE CONSTRUCTION DOCUMENTS INCORPORATE BOTH THE PLANS AND SPECIFICATIONS FOR THE PROJECT. THE INCLUDED DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED A WHOLE SET OF DRAWINGS. ALL ITEMS REQUIRED FOR CONSTRUCTION MAY BE SHOWN EITHER IN DRAWINGS AND/OR SPECIFICATIONS. REQUIRED ITEMS MAY APPEAR IN WORKING DRAWINGS AND SPECIFICATIONS WHETHER GRAPHIC OR WRITTEN FORM, SO LONG AS THEY DO APPEAR SOMEWHERE AND ARE NOT CONTRADICTORY WITH OTHER PORTIONS OF THE DRAWINGS AND SPECIFICATIONS. NO FRAGMENT OF THE PLANS AND SPECIES TAKE PRECEDENCE OVER OTHER FRAGMENTS. THE DOCUMENTS MUST BE CONSIDERED AS A WHOLE. IF A CONFLICT OR CONTRADICTION DOES OCCUR, THE MOST STRINGENT APPLICATION OR SPECIFICATION APPLIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS, ETC.

THE CONTRACTOR SHALL COMPLY WITH ALL NATIONAL, STATE, LOCAL, AND RELATED CODES AND STANDARD CONSTRUCTION PRACTICES.

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH GENERAL ENERGY NOTES AND/OR MODEL ENERGY CODE.

CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED WORK.

AN APPROVE NUMBER OR ADDRESS SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SEE I.R.C. SECTION R319.

PROJECT IDENTIFICATION

NAME: THUNDER SPRING RESIDENCES; UNITS 1 A & 2
ADDRESS: 126 SADDLE ROAD, KETCHUM, IDAHO, 83340
OWNER: VP COMPANIES

THE PROJECT SHALL INCLUDE THE CONSTRUCTION OF NINE SINGLE FAMILY HOMES AND TWO-FAMILY DWELLINGS. THE CONSTRUCTION SHALL BE OF CONCRETE FOUNDATION WITH WOOD AND STEEL CONSTRUCTION.

PHASED CONSTRUCTION:

YES

ACCESS TO SITE:
NEW CONSTRUCTION: CONTRACTOR SHALL HAVE USE OF PROJECT SITE FOR CONSTRUCTION OPERATIONS DURING CONSTRUCTION PERIOD. ALL STORAGE MUST BE MAINTAINED ON SITE, AND SHALL NOT DISTURB PROPERTY OUTSIDE OF PROPERTY LINES, UNLESS APPROVED BY THE CITY AND OWNER.

01-02 ALLOWANCES

LUMP-SUM ALLOWANCES:

CONTRACTOR SHALL PROVIDE LUMP SUM ALLOWANCES FOR THOSE ITEMS INDICATED ON PLANS, SCHEDULES OR ITEMS REQUIRING ADDITIONAL DETAIL OR SELECTION. LUMP SUM SHALL BE INCLUDED WITHIN SCHEDULE OF VALUES.

CONTINGENCY ALLOWANCES:

USE OF THE CONTINGENCY ALLOWANCE SHALL ONLY BE AS DIRECTED BY ARCHITECT FOR OWNER'S PURPOSES AND NOT BY CHANGE ORDERS THAT INDICATE ACTIONS TO BE CHARGED TO THE ALLOWANCE.

CONTRACTORS OVERHEAD, PROFIT, AND RELATED COSTS FOR PRODUCTS AND EQUIPMENT ORDERED BY OWNER UNDER THE CONTINGENCY ALLOWANCE ARE INCLUDED IN THE ALLOWANCE AND ARE NOT PART OF THE CONTRACT SUM.

CHANGE ORDERS AUTHORIZING USE OF FUNDS FROM THE CONTINGENCY ALLOWANCE WILL INCLUDE CONTRACTORS RELATED COSTS, FOR WORK SPECIFIED WITHIN THE CHANGE ORDER. PROFIT AND OVERHEAD OF THE CONTRACTOR SHALL EQUAL PROJECT PROFIT AND OVERHEAD FOR PROJECT.

AT PROJECT CLOSEOUT, CREDIT ALL UNUSED AMOUNTS REMAINING IN THE CONTINGENCY ALLOWANCE TO OWNER BY CHANGE ORDER.

SCHEDULE OF ALLOWANCES:

CONTRACTOR SHALL PROVIDE SCHEDULE OF ALL ALLOWANCES AS A PART OF BIDDING FOR OWNER AND ARCHITECT REVIEW.

01-03 ALTERNATES

GENERAL SUMMARY:

ALTERNATES MAY BE INCLUDED ON THE DRAWINGS, AND SHOULD BE SEPARATED DURING THE BIDDING PROCESS. THE CONTRACTOR MAY ALSO SUBMIT REQUEST FOR ALTERNATES DURING BIDDING. ALL ALTERNATES MAY BE ACCEPTED AFTER REVIEW OF ALTERNATE WITH THE OWNER. AND THE CONTRACTOR WILL BE NOTIFIED IF AN ALTERNATE IS TO BE ACCEPTED OR NOT. THE CONTRACTOR SHALL NOT ASSUME THAT ALTERNATES ARE ACCEPTED, UNLESS NOTIFIED BY THE ARCHITECT THROUGH ADDENDUM, AS, OR PROPOSAL, REQUEST OF ACCEPTANCE OF THE ALTERNATE. ALL ALTERNATE WORK MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID BY CHANGE ORDER IN THE AMOUNT OF THE ADDITIONAL COSTS OR SAVINGS, IF OWNER DECIDES TO ACCEPT THE ALTERNATE BID.

- ALTERNATES DESCRIBED IN THIS SECTION ARE PART OF THE WORK ONLY IF ENUMERATED IN THE AGREEMENT.
- THE COST OR CREDIT FOR EACH ALTERNATE IS THE NET ADDITION TO OR DEDUCTION FROM THE CONTRACT SUM TO INCORPORATE ALTERNATE INTO THE WORK. NO OTHER ADJUSTMENTS ARE MADE TO THE CONTRACT SUM.
- ALTERNATES PROPOSED BY THE CONTRACTOR DURING BIDDING MUST NOT BE SHOWN AS THE BASE BID FOR THE PROJECT. ALL BASE BIDS MUST BE THOSE ITEMS SPECIFIED ON THE DRAWINGS, AND ALL ALTERNATES PROPOSED BY THE CONTRACTOR MUST BE OUTSIDE OF THE REQUIRED NUMBER OF BASE BIDS FOR EACH DISCIPLINE. THE ALTERNATE MAY BE THEN PRESENTED.

01-04 SUBSTITUTION PROCEDURES

GENERAL SUMMARY:

ALL CHANGES IN PRODUCTS, MATERIALS, EQUIPMENT, AND METHODS OF CONSTRUCTION FROM THOSE REQUIRED BY THE CONTRACT DOCUMENTS AND PROPOSED BY CONTRACTOR, SHALL BE APPROVED BY THE ARCHITECT, ENGINEER AND BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK.

SUBMITTALS
SUBMIT THREE COPIES OF EACH REQUEST FOR CONSIDERATION BY ARCHITECT AND OWNER. IDENTIFY PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED.

SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS INCLUDING THE FOLLOWING:

- STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION OR INSTALLATION CANNOT BE PROVIDED, IF APPLICABLE.
- PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION PROCEDURES.
- SAMPLES, WHERE APPLICABLE OR REQUESTED.
- DETAILED COMPARISON OF CONTRACTORS CONSTRUCTION SCHEDULE USING PROPOSED SUBSTITUTION WITH PRODUCTS SPECIFIED FOR THE WORK.
- COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.

ARCHITECT WILL REQUEST ADDITIONAL INFORMATION IF NEEDED TO QUALIFY DOCUMENTATION FOR EVALUATION. ARCHITECT WILL NOTIFY CONTRACTOR OF ACCEPTATION OR REJECTION OF PROPOSED SUBSTITUTION IN WRITING. THE CONTRACTOR SHALL NOT INCLUDE PROPOSED SUBSTITUTIONS IN BIDS OR COSTS UNLESS ACCEPTANCE OF SUBSTITUTION BY ARCHITECT AND OWNER.

01-05 PAYMENT PROCEDURES

SUBMITTALS

SUBMIT THE SCHEDULE OF VALUES WITH UPDATED CONSTRUCTION SCHEDULE TO ARCHITECT AT EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN DAYS BEFORE THE DATE SCHEDULED FOR PAYMENT APPLICATION.

INCLUDE THE FOLLOWING IDENTIFICATION ON THE SCHEDULE OF VALUES:

PROJECT NAME AND LOCATION,
NAME OF ARCHITECT,
CONTRACTOR'S NAME AND ADDRESS,
DATE OF SUBMITTAL.

ARRANGE SCHEDULE OF VALUES CONSISTENT WITH FORMAT OF AIA DOCUMENT G703. PROVIDE A SEPARATE LINE ITEM IN THE SCHEDULE OF VALUES FOR EACH PART OF THE WORK WHERE APPLICATIONS FOR PAYMENT MAY INCLUDE MATERIALS OR EQUIPMENT PURCHASED OR FABRICATED AND STORED, BUT NOT YET INSTALLED.
UPDATE AND RESUBMIT THE SCHEDULE OF VALUES BEFORE THE NEXT APPLICATIONS FOR PAYMENT WHEN CHANGE ORDERS OR CONSTRUCTION CHANGE DIRECTIVES RESULT IN A CHANGE IN THE CONTRACT SUM.

EACH APPLICATION FOR PAYMENT SHALL BE CONSISTENT WITH PREVIOUS APPLICATIONS AND PAYMENTS AS CERTIFIED BY ARCHITECT AND PAID FOR BY OWNER.

EACH APPLICATION FOR PAYMENT, SUBMIT WAIVERS OF MECHANICS LIEN FROM ENTITIES LAWFULLY ENTITLED TO FILE A MECHANIC'S LIEN ARISING OUT OF THE CONTRACT AND RELATED TO THE WORK COVERED BY THE PAYMENT. SUBMIT PARTIAL WAIVERS ON EACH ITEM FOR AMOUNT REQUESTED IN PREVIOUS APPLICATION. ON EACH ITEM, WHEN AN APPLICATION SHOWS COMPLETION OF AN ITEM, SUBMIT CONDITIONAL FINAL OR FULL WAIVERS. WAIVER FORMS, SUBMIT WAIVERS OF LIEN ON FORMS, EXECUTED IN A MANNER ACCEPTABLE TO OWNER.

01-06 TEMPORARY TREE AND PLANT PROTECTION

GENERAL
CONTRACTOR SHALL REVIEW PLANS WITH SITE AND MARK ALL TREES IDENTIFIED ON THE DRAWINGS TO BE PROTECTED AND REMAIN DURING CONSTRUCTION.

THE CONTRACTOR AND ARCHITECT SHALL REVIEW THE MITIGATION WITH THE CITY PRIOR TO COMMENCING CONSTRUCTION, AND SHALL RECEIVE APPROVAL FROM THE CITY.

SUBMITTALS

CONTRACTOR, ARCHITECT AND OWNER SHALL REVIEW ON SITE AFTER TREES HAVE BEEN MARKED AND PRIOR TO STAKING.

EXCLUSION
PROVIDE 6" HIGH FENCING AROUND TREE. FENCING SHALL BE INSTALLED TO PROVIDE PROTECTION TO TREE AND SHALL BE INSTALLED AT DIAMETER TO MATCH DRIP LINE OF TREE.

01-07 OPERATION AND MAINTENANCE STAFF

GENERAL

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL OPERATION MANUALS, WARRANTY INFORMATION, ETC. FOR ALL EQUIPMENT, APPLIANCES, ETC. AT THE COMPLETION OF THE PROJECT.

ALL INFORMATION SHALL BE COLLECTED AND PLACED IN BINDER AND OR DIGITAL DATA FOR THE OWNER TO REVIEW. CONTRACTOR SHALL PROVIDE START UP AND MAINTENANCE REVIEW WITH OWNER PRIOR TO FINAL PAYMENT.

THE CONTRACTOR SHALL SCHEDULE A TIME TO REVIEW AND TRAIN THE OWNER AND/OR OWNERS REPRESENTATIVES ON ALL ITEMS RELATED TO OPERATION OF ALL EQUIPMENT.

01-08 WARRANTY

SUBMITTALS

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN WARRANTY COVERING WORKMANSHIP, MATERIAL, ETC. ON THE PROJECT FOR A PERIOD OF (1) YEAR FROM COMPLETION. A WRITTEN WARRANTY SHALL BE PROVIDED (FROM VENDORS) ON ALL MATERIALS THAT HAVE EXTENDED WARRANTY PERIODS ABOVE THOSE STATED ABOVE. SUCH AS FLOORING MATERIALS WHICH SHALL PROVIDE A WARRANTY FOR MATERIALS FOR A MINIMUM OF 20 YEARS.

01-09 SUBMITTALS

GENERAL

REQUIREMENTS FOR THE SUBMITTAL PROCEDURAL REQUIREMENTS FOR SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER SUBMITTALS REQUIRED BY SPECIFICATIONS FOR ARCHITECT/OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION WITHIN PROJECT.

ELECTRONIC DIGITAL DATA FILES OF THE CONTRACT DRAWINGS WILL NOT BE PROVIDED BY ARCHITECT FOR CONTRACTORS USE IN PREPARING SUBMITTALS.

"CONTRACTOR (EACH SUBCONTRACTOR) SHALL BE SOLELY RESPONSIBLE AND ASSUMES FULL LIABILITY FOR ENSURING THAT SUBMITTALS ARE TIMELY PROVIDED TO THE ARCHITECT, AND THE CONTENT THEREOF COMPLIES IN FULL, AND IS PROVIDED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS FOR THE PROJECT. THE CONTRACTOR (SUBCONTRACTOR) HEREBY AGREES TO HOLD HARMLESS THE ARCHITECT, ITS OFFICERS, EMPLOYEES, AGENTS AND CONSULTANTS FROM FAILURE TO COMPLY WITH THIS PROVISION. CONTRACTOR FURTHER AGREES TO DEFEND AND INDEMNIFY ARCHITECT, ITS OFFICERS, EMPLOYEES, AGENTS AND CONSULTANTS FOR ANY AND ALL INJURIES, DAMAGES AND LIABILITY RESULTING FROM A BREACH HEREOF."

COORDINATE EACH SUBMITTAL WITH FABRICATION, PURCHASING, TESTING, DELIVERY, OTHER SUBMITTALS, AND RELATED ACTIVITIES THAT REQUIRE SEQUENTIAL ACTIVITY. SUBMITTALS THAT REQUIRE CONCURRENT REVIEW SHOULD BE SO INDICATED IN THOSE SECTIONS. ARCHITECT RESERVES THE RIGHT TO WITHHOLD ACTION ON A SUBMITTAL REQUIRING COORDINATION WITH OTHER SUBMITTALS UNTIL RELATED SUBMITTALS ARE RECEIVED.

ALLOW TIME FOR SUBMITTAL REVIEW, INCLUDING TIME FOR RESUBMITTALS. TIME FOR REVIEW SHALL COMMENCE ON ARCHITECTS RECEIPT OF SUBMITTAL. NO EXTENSION OF THE CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING REVISIONS.

INITIAL REVIEW: ALLOW 14 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL.

RESUBMITTAL REVIEW: ALLOW 14 DAYS FOR REVIEW OF EACH RESUBMITTAL.

SEQUENTIAL REVIEW: WHERE SEQUENTIAL REVIEW OF SUBMITTALS BY ARCHITECTS CONSULTANTS, OWNER, OR OTHER PARTIES IS REQUIRED.

ALLOW 14 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL.

PROVIDE: RIGID INSULATION AT INSIDE FACE OF FOUNDATION BELOW FLOOR SLAB WHERE EXPOSED TO EXTERIOR. COORDINATE WITH ARCHITECTURAL DETAILS AND INSULATION SPECIFICATIONS FOR THICKNESS REQUIRED PER ENERGY CALCULATIONS.

PROVIDE WATERPROOFING AT EXTERIOR OF FOUNDATION WALLS BELOW FINISH GRADE AT ALL HABITABLE SPACES. SEE DIVISION 7 OF SPECIFICATIONS.

PROVIDE PERIMETER FOUNDATION DRAIN - SEE DIVISION 7 OF SPECIFICATIONS.

PROVIDE RIGID INSULATION AT INSIDE FACE OF FOUNDATION BELOW FLOOR SLAB WHERE EXPOSED TO EXTERIOR. COORDINATE WITH ARCHITECTURAL DETAILS AND INSULATION SPECIFICATIONS FOR THICKNESS REQUIRED PER ENERGY CALCULATIONS.

CONCRETE FOUNDATION WALLS TO MEET THE REQUIREMENTS OF 2012 IRC 404.

CONSTRUCT FORM WORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF SIZE, SHAPE, ALIGNMENT, ELEVATION, AND POSITION INDICATED PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS, TEMPLATES, DIAGRAMS, INSTRUCTIONS, AND DIRECTIONS FURNISHED WITH ITEMS TO BE EMBEDDED.

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

FINISH: PROVIDE RUBBED SURFACES ON ALL EXPOSED SURFACES OF ALL EXPOSED CONCRETE FOUNDATION WALLS NO LATER THAN ONE DAY AFTER FORM REMOVAL.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. DEFECTIVE CONCRETE: REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECTS APPROVAL.

ARCHITECT WILL RETURN AN ANNOTATED FILE AND RETAIN ONE COPY OF FILE AS AN ELECTRONIC PROJECT RECORD DOCUMENT FILE.

A. ACTION SUBMITTALS:

SUBMIT TWO PAPER COPIES OF EACH SUBMITTAL UNLESS OTHERWISE INDICATED. ARCHITECT WILL RETURN TWO COPIES.

B. INFORMATIONAL SUBMITTALS:
SUBMIT TWO PAPER COPIES) OF EACH SUBMITTAL UNLESS OTHERWISE INDICATED.

C. CERTIFICATES AND CERTIFICATIONS SUBMITTALS:
PROVIDE A STATEMENT THAT INCLUDES SIGNATURE OF ENTITY RESPONSIBLE FOR PREPARING CERTIFICATION. CERTIFICATES AND CERTIFICATIONS SHALL BE SIGNED BY AN OFFICER OR OTHER INDIVIDUAL AUTHORIZED TO SIGN DOCUMENTS ON BEHALF OF THAT ENTITY.

D. SHOP DRAWINGS:
PREPARE PROJECT SPECIFIC INFORMATION, DRAWING ACCORDING TO SCALE. DO NOT BASE SHOP DRAWINGS ON REPRODUCTIONS OF THE CONTRACT DOCUMENTS OR STANDARD PRINTED DATA, UNLESS SUBMITTAL BASED ON ARCHITECTS DIGITAL DATA DRAWING FILES IS OTHERWISE PERMITTED.

SUBMIT SHOP DRAWINGS IN THE FOLLOWING FORMAT:

PDF ELECTRONIC FILE (OR)
TWO OPAQUE (BOND) COPIES OF EACH SUBMITTAL. ARCHITECT WILL RETURN ONE COPY.

6. SAMPLES:

SUBMIT SAMPLES FOR REVIEW OF KIND, COLOR, PATTERN, AND TEXTURE FOR A CHECK OF THESE CHARACTERISTICS WITH OTHER ELEMENTS AND FOR A COMPARISON OF THESE CHARACTERISTICS BETWEEN SUBMITTAL AND ACTUAL COMPONENT AS DELIVERED AND INSTALLED.

MAINTAIN SETS OF APPROVED SAMPLES AT PROJECT SITE. AVAILABLE FOR QUALITY CONTROL COMPARISONS THROUGHOUT THE COURSE OF CONSTRUCTION ACTIVITY. SAMPLE SETS MAY BE USED TO DETERMINE FINAL ACCEPTANCE OF CONSTRUCTION ASSOCIATED WITH EACH SET.

CONTRACTORS REVIEW:

THE CONTRACTOR SHALL REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK OF THE CONTRACT AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS; NOTE CORRECTIONS AND FIELD DIMENSIONS THAT VARY FROM CONSTRUCTION DOCUMENTS, AND MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ARCHITECT. SUBMITTALS NOT STAMPED APPROVED BY THE CONTRACTOR WILL NOT BE REVIEWED, AND RETURNED TO CONTRACTOR FOR APPROVAL BEFORE ARCHITECTURE/OWNER REVIEW.

ARCHITECTS ACTION:

THE ARCHITECT WILL REVIEW EACH SUBMITTAL, MAKE MARKS TO INDICATE CORRECTIONS OR REVISIONS REQUIRED, AND RETURN IT. ARCHITECT WILL STAMP EACH SUBMITTAL WITH AN ACTION STAMP AND WILL MARK STAMP APPROPRIATELY TO INDICATE ACTION. THE ARCHITECT WILL RETAIN ONE COPY FOR FILE RECORD DOCUMENTS, AND WILL RETURN ALL REMAINING COPIES TO CONTRACTOR.

INCOMPLETE SUBMITTALS ARE UNACCEPTABLE, WILL BE CONSIDERED NONRESPONSIVE AND WILL BE RETURNED FOR RESUBMITTAL WITHOUT REVIEW.

SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS MAY BE RETURNED BY THE ARCHITECT WITHOUT ACTION.

01-10 DEFERRED SUBMITTALS

GENERAL

DEFERRED SUBMITTALS ARE THOSE PORTIONS OF DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE PERMIT APPLICATION AND HAVE RECEIVED PRIOR APPROVAL FROM THE BUILDING OFFICIAL TO BE DEFERRED. THE DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND GENERAL CONTRACTOR WITHIN SIX WEEKS TO COMMENCEMENT OF CONSTRUCTION TO THIS PORTION OF WORK.

SEE DEFERRED SUBMITTAL LEGEND FOR ALL DEFERRED SUBMITTALS BY THE GENERAL CONTRACTOR, AND PROCESS PER IRC FOR REVIEW AND APPROVAL OF ALL DEFERRED SUBMITTALS. CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF THESE ITEMS. NO CONSTRUCTION OF ANY ITEM LISTED AS A DEFERRED SUBMITTAL SHALL COMMENCE PRIOR TO APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

SUBMITTALS

UNLESS NOTED ON DRAWINGS, THE FOLLOWING ARE REQUIRED FOR THE DEFERRED SUBMITTAL PROCESS.

- FIRE SPRINKLER DRAWINGS IF REQUIRED
- PRE-FABRICATED ROOF AND FLOOR TRUSSES
- HEATING AND COOLING MECHANICAL SYSTEMS
- LIGHT FIXTURES
- RADIANT HEAT SUBMITTALS, ENGINEERING, LAYOUT, ETC.
- FACTORY BUILT FIREPLACES.

DEFERRED SUBMITTAL PROCESS:

- THE DEFERRED SUBMITTAL SHALL FIRST BE REVIEWED BY THE GENERAL CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SUBMITTAL MUST BE REVIEWED, APPROVED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR BEFORE BEING SUBMITTED TO THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL SUBMIT FIVE SETS OF THE DEFERRED SUBMITTAL TO THE ARCHITECT.
- THE DEFERRED SUBMITTAL ITEMS WILL BE REVIEWED BY THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE. THE ENGINEER OR ARCHITECT WILL ATTACH A LETTER TO THE SUBMITTAL STATING THAT THE DEFERRED ITEM IS IN CONFORMANCE WITH THE DESIGN INTENT OF THE STRUCTURE.
- THE REVIEWED SUBMITTALS WILL BE RETURNED TO THE GENERAL CONTRACTOR. TWO SETS OF THE DEFERRED SUBMITTAL ARE THEN SUBMITTED TO THE CITY FOR REVIEW.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ONE SET OF THE REVIEWED SUBMITTAL ON SITE FOR REFERENCE BY THE CITY INSPECTOR.
- THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED BY THE BUILDING OFFICIAL.
- SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS FOR STRUCTURAL DEFERRED SUBMITTALS.

DIVISION 3-CONCRETE

03-05 CAST IN PLACE FOOTINGS

GENERAL PRODUCTS

CONCRETE FOOTINGS TO BE 4000 PSI MINIMUM COMPRESSIVE STRENGTH UNLESS SPECIFIED OTHERWISE ON STRUCTURAL DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE, UNLESS NOT SPECIFIED. ALL FOOTINGS SHALL HAVE NORMAL WEIGHT 1" AGGREGATE.

REINFORCING SHALL BE AS PER THE FOOTING SCHEDULE -SEE STRUCTURAL DRAWINGS.

SUBMITTALS
DESIGN MIXTURES FOR EACH CONCRETE MIX.

EXCLUSION

ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENGINEERED COMPACTED FILL. (CERTIFIED 95% COMPACTION). ANY QUESTIONABLE SOIL SHALL BE REVIEWED BY SOIL ENGINEER PRIOR TO PLACEMENT OF FOOTING. THE CONTRACTOR SHALL COORDINATE AND REQUEST A SITE OBSERVATION REPORT FROM GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF FOOTINGS

ALL TYPICAL FOOTINGS TO BE MINIMUM OF 48" FROM FINISH GRADE TO BOTTOM OF FOOTING.

FOOTING SIZE AND REINFORCEMENT MUST MEET REQUIREMENTS OF 2012 IRC R403. FOOTING SIZE ARE SPECIFIED ON STRUCTURAL DRAWINGS WHICH TAKE PRECEDENCE UNLESS SPECIFIED.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. COMPLY WITH ACI 306.1 FOR COLD-WEATHER PROTECTION AND ACI 301 FOR HOT-WEATHER PROTECTION DURING CURING.

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

CONSTRUCTION JOINTS: INSTALL SO STRENGTH AND APPEARANCE OF CONCRETE ARE NOT IMPAIRED

03-06 CAST IN PLACE FOUNDATION WALLS

GENERAL PRODUCTS

CONCRETE FOUNDATION TO BE 3000 PSI MINIMUM COMPRESSIVE STRENGTH, AND SHALL HAVE NORMAL WEIGHT 1" AGGREGATE.

REINFORCING SHALL BE AS PER THE FOUNDATION WALL SCHEDULE -SEE STRUCTURAL DRAWINGS.

SUBMITTALS

DESIGN MIXTURES FOR EACH CONCRETE MIX.

EXCLUSION

TYPICAL WALLS SHALL BE A MINIMUM OF 8" THICK U.N.O. ON PLANS. REFER TO BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR THICKNESS OF WALLS. REFER TO TOP OF WALL DETAILS ON ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR SPECIFIED DETAILS AND REQUIREMENTS.

COORDINATE WITH ARCHITECTURAL FOUNDATION PLANS FOR ALL TOP OF WALL ELEVATIONS. TOP OF FOUNDATION WALL TO BE A MINIMUM OF 4' ABOVE FINISH GRADE.

PROVIDE WATERPROOFING AT EXTERIOR OF FOUNDATION WALLS BELOW FINISH GRADE AT ALL HABITABLE SPACES. SEE DIVISION 7 OF SPECIFICATIONS.

PROVIDE PERIMETER FOUNDATION DRAIN - SEE DIVISION 7 OF SPECIFICATIONS.

PROVIDE RIGID INSULATION AT INSIDE FACE OF FOUNDATION BELOW FLOOR SLAB WHERE EXPOSED TO EXTERIOR. COORDINATE WITH ARCHITECTURAL DETAILS AND INSULATION SPECIFICATIONS FOR THICKNESS REQUIRED PER ENERGY CALCULATIONS.

CONCRETE FOUNDATION WALLS TO MEET THE REQUIREMENTS OF 2012 IRC 404.

CONSTRUCT FORM WORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF SIZE, SHAPE, ALIGNMENT, ELEVATION, AND POSITION INDICATED PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS, TEMPLATES, DIAGRAMS, INSTRUCTIONS, AND DIRECTIONS FURNISHED WITH ITEMS TO BE EMBEDDED.

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

FINISH: PROVIDE RUBBED SURFACES ON ALL EXPOSED SURFACES OF ALL EXPOSED CONCRETE FOUNDATION WALLS NO LATER THAN ONE DAY AFTER FORM REMOVAL.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. DEFECTIVE CONCRETE: REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECTS APPROVAL.

03-08 CAST IN PLACE INTERIOR CONCRETE SLABS

GENERAL PRODUCTS

INTERIOR CONCRETE SLABS TO BE 4000 PSI. AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE.

REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24" O.C. EACH WAY OR 6" X 6" W/ 4 X 1 W/ 4 W.M. IF NOT SPECIFIED ON DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR ALL REINFORCEMENT.

SUBMITTALS

DESIGN MIXTURES FOR EACH CONCRETE MIX.

EXCLUSION

ALL SLABS SHALL BE PLACED ON 2" RIGID INSULATION BOARD OVER 1/4" POLYETHYLENE (OR APPROVED EQUAL) VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" OVER 4" MINIMUM COMPACTED SUB BASE.

CONTRACTOR TO VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

COORDINATE WITH HV AC CONTRACTOR FOR IN FLOOR RADIANT HEATING SYSTEM OR BELOW GRADE DUCTWORK AS PER PLANS. PROVIDE BY DESIGN BUILD CONTRACTOR COORDINATED BY THE GENERAL CONTRACTOR. THE RADIANT TUBING MUST BE WITHIN THE TOP HALF OF THE SLAB.

TROWEL FINISH: SMOOTH

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECTS APPROVAL.

ALL JOINTS SHALL BE CUT.

SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LOCATION OF ALL CONTROL AND EXPANSION JOINTS AT CONCRETE SLABS.

03-09 EXTERIOR CAST IN PLACE CONCRETE SLABS

GENERAL PRODUCTS

EXTERIOR CONCRETE SLABS TO BE 4000 PSI. AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE.

REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24" O.C. EACH WAY OR 6" X 6" W/ 4 X 1 W/ 4 W.M. IF NOT SPECIFIED ON DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR ALL REINFORCEMENT.

SUBMITTALS

DESIGN MIXTURES FOR EACH CONCRETE MIX.

EXCLUSION

ALL SLABS SHALL BE PLACED ON 4" MINIMUM COMPACTED SUB BASE.

SLAB SHALL SLOPE 1/8" PER FOOT TO DRAIN AWAY FROM BUILDING.

PROVIDE TURNED DOWN GRADE BEAM AT EDGES. DOWEL SLAB INTO FOUNDATION WALLS WITH #4 BARS AT 24" O.C.

CONTRACTION JOINTS IN SLABS ON-GRADE AS INDICATED SHALL BE AT LEAST ONE-FOURTH OF CONCRETE THICKNESS AS SHOWN ON DRAWINGS.

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

TROWEL FINISH: AS SPECIFIED ON LANDSCAPE DRAWINGS

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECTS APPROVAL.

SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LOCATION OF ALL CONTROL AND EXPANSION JOINTS AT CONCRETE SLABS.

RADIANT HEATING TUBES ARE TO BE LOCATED IN SEVERAL CONCRETE PATIOS AT THE EXTERIOR AS NOTED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH DESIGN BUILD MECHANICAL CONTRACTOR FOR EXTENT OF TUBING LOCATIONS AND DESIGN OF TUBING LAYOUT. CONTRACTOR TO COORDINATE PLACEMENT OF TUBES IN TOP HALF OF CONCRETE SLAB.

ALL SLABS AT EXTERIOR FOR RADIANT HEATING SHALL 2" CLOSED-CELL SPRAY-FOAM INSULATION UNDER THE SLAB.

03-12 EXTERIOR CAST IN PLACE CONCRETE STEPS

GENERAL PRODUCTS

EXTERIOR CONCRETE STEPS TO BE 4000 PSI. AND SHALL HAVE NORMAL WEIGHT

BUILDING KEYNOTES AND SPECIFICATIONS

DIVISION 10- SPECIALTIES

10-99 BATH HARDWARE

GENERAL PRODUCTS

EXTENT OF BATHROOM HARDWARE INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL DRAWINGS.
OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS.

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL.

SUBMITTALS

PROVIDE HARDWARE SPECIFICATION CUT SHEETS FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO ORDERING.
INSTALL ACCESSORIES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE INDICATED AND RECOMMENDED BY UNIT MANUFACTURER. INSTALL UNITS LEVEL, PLUMB, AND FIRMLY ANCHORED IN LOCATIONS AND AT HEIGHTS INDICATED.

EXECUTION

INSTALL ACCESSORIES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE INDICATED AND RECOMMENDED BY UNIT MANUFACTURER. INSTALL UNITS LEVEL, PLUMB, AND FIRMLY ANCHORED IN LOCATIONS AND AT HEIGHTS INDICATED.

DIVISION 11- EQUIPMENT

11-32 FIREPLACES

GENERAL PRODUCTS

GAMER ROOM FIREPLACE TO BE: MONITGO 'P'-SERIES SEALED GAS -SEE ID DRAWINGS (TOP VENT TO EXTERIOR WALL)
GREAT ROOM FIREPLACE TO BE: MONITGO 'P'-SERIES SEALED GAS -SEE ID DRAWINGS (TOP VENT TO CHIMNEY CHASE)

MASTER BEDROOM FIREPLACE TO BE: MONITGO 'P'ANORAMA 3-SIDED GLASS CUSTOM SEALED GAS -SEE ID DRAWINGS (REAR-VENT TO EXTERIOR WALL)

SUBMITTALS

SUBMIT CUT SHEETS FOR EACH APPLIANCE SPECIFIED.
BEDROOM APPLICATIONS: PROVIDE SEALED GLASS DOORS.

ALL WOOD BURNING FIREPLACES (EXCEPT IN BEDROOM APPLICATIONS): TO BE PROVIDED WITH GAS STARTERS

GAS LOG FIREPLACES SHALL BE PROVIDED WITH A SHUT OFF VALVE LOCATED OUTSIDE OF THE FIREBOX AND WITHIN 6' OF THE APPLIANCE, UNLESS APPROVED BY THE FIREPLACE MANUFACTURER.

GAS LIGHTERS ARE USED. FLUES MUST BE PERMANENTLY HELD OPEN.

ALL GAS LOGS, LIGHTERS OR FIREPLACES REQUIRE OUTSIDE COMBUSTION AIR.

ALL FLUES MUST EQUAL 1 SQUARE INCH PER 1000 BTUS.

ALL ROOMS WHERE GAS LOGS, LIGHTERS, OR FIREPLACES ARE INSTALLED MUST EQUAL 50 CUBIC FEET OF VOLUME PER 1000 BTUS IN ADDITION TO THE REQUIREMENT FOR OUTSIDE AIR.

PROVIDE FLUES, COMBUSTION AIR SPARK ARRESTOR, CLEARANCES, AND ETC. AS PER MANUFACTURER'S RECOMMENDATIONS.

SET STONE TO COMPLY WITH REQUIREMENTS INDICATED ON DRAWINGS AND SHOP DRAWINGS. SHIM AND ADJUST STONE TO LOCATIONS INDICATED, WITH UNIFORM JOINTS OF WIDTHS INDICATED AND WITH EDGES AND FACES ALIGNED ACCORDING TO ESTABLISHED RELATIONSHIPS AND INDICATED TOLERANCES.

REMOVE AND REPLACE STONE COUNTERTOPS OF THE FOLLOWING DESCRIPTION: BROKEN, CHIPPED, STAINED, OR OTHERWISE DAMAGED STONE, DEFECTIVE COUNTERTOPS, DEFECTIVE JOINTS, INCLUDING MISALIGNED JOINTS, INTERIOR STONE COUNTERTOPS AND JOINTS NOT MATCHING APPROVED SAMPLES AND MOCKUPS.

CLEAN STONE COUNTERTOPS NOT LESS THAN TWO DAYS AFTER COMPLETION OF INSTALLATION, USING CLEAN WATER AND SOFT BRUSH. APPLY STONE SEALER TO COMPLY WITH STONE PRODUCERS AND SEALER MANUFACTURER'S WRITTEN INSTRUCTIONS.

11-34 RESIDENTIAL APPLIANCES

GENERAL PRODUCTS

RESIDENTIAL APPLIANCES AS SELECTED BY INTERIOR DESIGNER.

SUBMITTALS

PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED.
APPLIANCE SCHEDULE: USE SAME DESIGNATIONS INDICATED ON DRAWINGS

GAS-BURNING APPLIANCES: COMPLY WITH ANSI Z21 SERIES STANDARDS.

RESIDENTIAL APPLIANCES: COMPLY WITH NAECA STANDARDS.

EXECUTION

INSTALLER QUALIFICATIONS: AN EMPLOYER OF WORKERS TRAINED AND APPROVED BY MANUFACTURER FOR INSTALLATION AND MAINTENANCE OF UNITS REQUIRED FOR THIS PROJECT

PROVIDE CLEARANCE FROM APPLIANCES TO COMBUSTIBLE MATERIALS AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS. PROVIDE MINIMUM CLEARANCE OF 30" ABOVE COOKING TOP TO COMBUSTIBLE MATERIALS. (I.R.C. M1306 & M1901)

INSTALL ACCESSORIES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE INDICATED AND RECOMMENDED BY UNIT MANUFACTURER. INSTALL UNITS LEVEL, PLUMB, AND FIRMLY ANCHORED IN LOCATIONS AND AT HEIGHTS INDICATED.

BUILT-IN EQUIPMENT: SECURELY ANCHOR UNITS TO SUPPORTING CABINETS OR COUNTERTOPS WITH CONCEALED FASTENERS. VERIFY THAT CLEARANCES ARE ADEQUATE FOR PROPER FUNCTIONING AND ROUGH OPENINGS ARE COMPLETELY CONCEALED.

FREESTANDING EQUIPMENT: PLACE UNITS IN FINAL LOCATIONS AFTER FINISHES HAVE BEEN COMPLETED IN EACH AREA. VERIFY THAT CLEARANCES ARE ADEQUATE TO PROPERLY OPERATE EQUIPMENT.

11-42 PROJECTION SCREENS

GENERAL PRODUCTS

EXTENT OF PROJECTION SCREENS ARE INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL DRAWINGS

OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS.

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL.

DIVISION 12- FURNISHINGS

12-27 WOOD KITCHEN CABINETS

GENERAL PRODUCTS

EXTENT OF CABINETS AS SHOWN ON INTERIOR FINISH PLANS AND DRAWINGS.

SEE INTERIOR ELEVATIONS FOR DESIGN OF CABINETS

COORDINATE WITH CABINET FINISH SCHEDULE FOR FINISH OF ALL CABINETS.

SUBMITTALS

CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS FOR EACH CABINET FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER/OWNER PRIOR TO FABRICATION OF CABINET.

PROVIDE 12 X 12 SAMPLE OF EACH CABINET FINISH SPECIFIED FOR APPROVAL.

PROVIDE 1 DOOR SAMPLE FOR EACH DOOR TYPE SPECIFIED FOR APPROVAL.

12-40 STONE COUNTERTOPS

GENERAL PRODUCTS

EXTENT OF STONE COUNTERTOPS AS SHOWN ON INTERIOR FINISH PLANS AND DRAWINGS.

SAMPLES FOR EACH STONE TYPE INDICATED. IN SETS OF SAMPLES NOT LESS THAN 12 INCHES SQUARE. INCLUDE TWO OR MORE SAMPLES IN EACH SET AND SHOW THE FULL RANGE OF VARIATIONS IN APPEARANCE CHARACTERISTICS EXPECTED IN COMPLETED WORK.

SUBMITTALS

USE ONLY ADHESIVES FORMULATED FOR STONE AND CERAMIC TILE AND RECOMMENDED BY THEIR MANUFACTURER FOR THE APPLICATION INDICATED. EXAMINE SUBSTRATES INDICATED TO RECEIVE STONE COUNTERTOPS AND CONDITIONS UNDER WHICH STONE COUNTERTOPS WILL BE INSTALLED, WITH INSTALLER PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE.

SET STONE TO COMPLY WITH REQUIREMENTS INDICATED ON DRAWINGS AND SHOP DRAWINGS. SHIM AND ADJUST STONE TO LOCATIONS INDICATED, WITH UNIFORM JOINTS OF WIDTHS INDICATED AND WITH EDGES AND FACES ALIGNED ACCORDING TO ESTABLISHED RELATIONSHIPS AND INDICATED TOLERANCES.

REMOVE AND REPLACE STONE COUNTERTOPS OF THE FOLLOWING DESCRIPTION: BROKEN, CHIPPED, STAINED, OR OTHERWISE DAMAGED STONE, DEFECTIVE COUNTERTOPS, DEFECTIVE JOINTS, INCLUDING MISALIGNED JOINTS, INTERIOR STONE COUNTERTOPS AND JOINTS NOT MATCHING APPROVED SAMPLES AND MOCKUPS.

CLEAN STONE COUNTERTOPS NOT LESS THAN TWO DAYS AFTER COMPLETION OF INSTALLATION, USING CLEAN WATER AND SOFT BRUSH. APPLY STONE SEALER TO COMPLY WITH STONE PRODUCERS AND SEALER MANUFACTURER'S WRITTEN INSTRUCTIONS.

DIVISION 21 - FIRE SUPPRESSION

21-01 FIRE SPRINKLERS

GENERAL PRODUCTS

DESCRIPTION
THE PROJECT SHALL HAVE FULL NFPA 13D SPRINKLER SYSTEM INSTALLED THROUGH OUT AS REQUIRED.

CPVC FIRE SPRINKLER PIPE AND FITTINGS ARE EXTRUDED/MOLDED FROM CPVC COMPOUNDS MANUFACTURED BY ULTRON/ ADVANCED MATERIALS OR EQUAL. THE PIPE AND FITTING COMPOUNDS SHALL MEET CELL CLASS 23547 AND 24447 RESPECTIVELY, AS DEFINED BY ASTM D1784, AND SHALL BE CERTIFIED BY NSF INTERNATIONAL FOR USE WITH POTABLE WATER. BOTH PIPE AND FITTING COMPOUNDS SHALL BE PRESSURE RATED BY PLASTICS PIPE INSTITUTE (PPI).

PIPE AND FITTINGS

PIPE SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM F442 IN STANDARD DIMENSION RATIO (SDR) 13.5.

FITTINGS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM F437 (SCHEDULE 80 THREADED), ASTM F438 (SCHEDULE 40 SOCKET) AND ASTM F439 (SCHEDULE 160 SOCKET).

BOTH PIPE AND FITTINGS SHALL BE LISTED BY UNDERWRITERS LABORATORIES FOR USE IN WET AUTOMATIC FIRE SPRINKLER SYSTEMS AND SHALL

BEAR THE LOGO OF THE LISTING AGENCY. SEE UL FIRE PROTECTION EQUIPMENT DIRECTORY, CATEGORIES V1MT AND HP1H.

ANCILLARY PRODUCTS COMING INTO CONTACT WITH PIPE AND FITTINGS MUST BE CHEMICALLY COMPATIBLE AS DETERMINED BY CPVC PIPE AND FITTINGS MANUFACTURER OR COMPOUND MANUFACTURER, AND LISTED ON PIPE, FITTING OR COMPOUND MANUFACTURER'S CHEMICAL COMPATIBILITY PROGRAM (I.E. FGG/8M/CTM) SYSTEM COMPATIBLE PROGRAM).

SOLVENT CEMENT

ALL SOCKET TYPE JOINTS SHALL BE MADE UP EMPLOYING SOLVENT CEMENTS THAT MEET OR EXCEED THE REQUIREMENTS OF ASTM F493. THE STANDARD PRACTICE FOR SAFE HANDLING OF SOLVENT CEMENTS SHALL BE IN ACCORDANCE WITH ASTM F492. SOLVENT CEMENT SHALL BE LISTED BY NSF INTERNATIONAL FOR USE WITH POTABLE WATER, AND APPROVED BY THE MANUFACTURERS. THE SOLVENT CEMENTS SHALL BE COMPATIBLE WITH THEIR CPVC PIPE AND FITTINGS.

FOLLOW MANUFACTURER'S INSTRUCTIONS FOR SET AND CURE TIMES FOR SOLVENT CEMENT JOINTS. AVOID SIGNIFICANT STRESSES DURING SET AND CURE TIMES. DO NOT APPLY ANY STRESS THAT WILL DISTURB AN UNCURED JOINT. SPRINKLER FITTINGS SHALL BE ALLOWED TO CURE IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES AND THE CONTRACTOR SHALL ASSURE THE OUTLETS ARE CLEAR OF ANY EXCESS CEMENT PRIOR TO INSTALLING SPRINKLERS.

BASIC USE

CPVC PIPE AND FITTINGS SHALL BE LISTED BY UL AND ALSO EITHER UL-C OR UL-F FOR USE IN:

ONE AND TWO FAMILY DWELLINGS AND MANUFACTURED HOMES AS DEFINED BY NFPA 13D.

AIR HANDLING (PLENUM) SPACES AS DEFINED BY NFPA 90A.

UNDERGROUND WATER PRESSURE SERVICE AS DEFINED BY NFPA 24.

MAXIMUM DESIGN TEMPERATURE/PRESSURE RATINGS SHALL NOT BE LESS THAN 175 PSI AT 150°F. REFER TO CPVC PIPE AND FITTING MANUFACTURER'S INSTALLATION INSTRUCTIONS.

QUALITY ASSURANCE
CONTRACTOR INSTALLING THE PRODUCT MUST HAVE A MINIMUM OF 2 YEARS OF INSTALLATION OF SYSTEM.

MANUFACTURERS
TYCO FIRE SUPPRESSION & BUILDING PRODUCTS 451 N. CANNON AVENUE LANSDALE, PA 19446 (215) 362-0700 FAX (215) 362-5385

SUBMITTALS
COMPLETE FIRE SPRINKLER SHOP DRAWINGS, INCLUDING PIPING LAYOUT, HEAD LAYOUT, HEAD OPTIONS FOR SELECTION, AND PRODUCT LITERATURE. FIRE SPRINKLER DRAWINGS WILL BE CONSIDERED DEFERRED SUBMITTAL AND MUST FOLLOW DEFERRED SUBMITTAL PROCEDURES.

EXECUTION
SYSTEM DESIGN SHALL BE IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE FOR FIRE SPRINKLER SYSTEMS AND THE MANUFACTURER'S INSTRUCTIONS. THE DESIGN SHALL TAKE INTO CONSIDERATION SUCH FACTORS AS PRESSURE AND FLOW REQUIREMENTS, FRICTION LOSS, OPERATING

TEMPERATURES, SUPPORT SPACING, JOINING METHODS, AND THERMAL EXPANSION AND CONTRACTION.

THE FIRE SPRINKLER PIPING SYSTEM SHALL BE HYDRAULICALLY CALCULATED USING A HAZEN-WILLIAMS C FACTOR OF 150, AND DESIGNED IN ACCORDANCE WITH THE STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS, NFPA 13.

THE MAXIMUM DESIGN TEMPERATURE/PRESSURE RATING SHALL NOT EXCEED 175 PSI AT 150°F.

INSTALLATION PROCEDURES:
INSTALLATION PRACTICES SUCH AS PIPE SUPPORT SPACING, BRACING, ALLOWANCE FOR THERMAL EXPANSION/CONTRACTION, SOLVENT CEMENTING AND HANDLING AND STORAGE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE UL LISTING WHICH INCLUDES INSTALLATION LIMITATIONS.

CPVC PIPE AND FITTINGS ARE INTENDED FOR USE AT A MAXIMUM WORKING PRESSURE OF 175 PSI AT 150°F IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND APPROPRIATE LISTED AGENCIES.

ALL APPLICABLE CODES AS PER THE NFPA SHALL BE IDENTIFIED.

AFTER THE SYSTEM IS INSTALLED AND ANY SOLVENT CEMENT IS CURED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, THE SYSTEMS SHALL BE HYDROSTATICALLY TESTED PER THE REQUIREMENTS OF THE APPLICABLE NFPA STANDARD (NFPA 13D).

MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARD FOR INSPECTION, TESTING AND MAINTENANCE OF WATER BASED EXTINGUISHING SYSTEMS AS DEFINED BY NFPA 25.

DIVISION 22- PLUMBING

22-00 GENERAL PLUMBING

THE PLUMBING SYSTEM SHALL COMPLY WITH THE 2012 I.R.C. AND BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ITEMS RELATED TO THE PROJECT AS PER INDUSTRY STANDARDS.

THE PLUMBING CONTRACTOR TO BE RESPONSIBLE FOR THE COMPLETE PLUMBING INSTALLATION AND PROVIDE A (1) YEAR WARRANTY AFTER OWNER'S ACCEPTANCE.

VISIT THE JOB SITE PRIOR TO BIDDING THE PROJECT TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND ANY INTERFERENCE.

NO PLUMBING SHALL RUN ON AN OUTSIDE WALL.

ALL VENTS SHALL BE GANGED TO THE FEWEST NUMBER POSSIBLE TO PENETRATE ROOF AND SHOULD BE A MINIMUM OF 10' TO FOUR WAVES. ALL VENTS TO BE SIZED AS PER I.R.C. REQUIREMENTS AND /OR NOT LESS THAN 3" DIAMETER PIPE. SHOWER FLASHING AS REQUIRED.

SHOWER HEADS SHALL HAVE A FLOW RATE OF 2.5 GPM AT 80 PSI OR LESS.

LAVATORY AND SINK FAUCETS SHALL HAVE A FLOW RATE OF 2.2 GPM AT 60 PSI.

WATER CLOSET TO HAVE ECONO-PUSH TANK 1.6 GAL. MAX. FLUSHING CYCLE.

ALL HOSE BIBS SHALL BE NON FREEZE TYPE WITH BACK FLOW PREVENTER.

WATER STORAGE TANKS TO HAVE SEMI-STRAPPING TIE DOWNS. SIZE OF WATER HEATER / WATER STORAGE TANK AS PER CODE. (I.R.C. M13017.2 & G2404.8)

PROVIDE FLOOR DRAIN AND /OR DRIP PAN UNDER WATER HEATER, SPA, HOT TUB, WASHING MACHINE, STEAM SHOWER EQUIPMENT, ETC. IF LOCATED ON WOOD FLOOR STRUCTURE. (I.R.C. P2801)

THE CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S ROUGHED IN INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPER FIXTURE SUPPORT AND THAT TRENCH IN PIPING IS CLEAR AND PROTECTED FROM MOVEMENT OR DAMAGE.

THE CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL GAS PIPING, ETC. TEST IN ACCORDANCE WITH INSURE PLUMBING CODE AND LOCAL CODES AND AUTHORITIES. WATER LINES TO BE DISINFECTED IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REGULATIONS.

CAULK AROUND ALL PLUMBING FIXTURES AT FLOORS AND WALLS WITH FLEXIBLE CAULKING COMPOUND. COLOR TO MATCH FIXTURE.

AFTER FIXTURES HAVE BEEN SET THE CONTRACTOR SHALL CAREFULLY PROTECT THEM FROM DAMAGE UNTIL THE BUILDING IS OCCUPIED BY THE OWNER. JUST PRIOR TO ACCEPTANCE OF THE JOB BY THE OWNER, THE CONTRACTOR SHALL CLEAN ALL PLUMBING FIXTURES AND REMOVE LABELS.

PROVIDE ANTI-SCALD LIMITING DEVICES SET AT 120 DEGREES FOR BATHUBS AND SHOWERS.

ALL SUPPLY, WASTE, & GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY STANDARDS. ALL WATER LINES TO BE TYPE 1" HARD DRAWN COPPER OR POLYETHYLENE CROSS-LINK PIPING FOR ABOVE GROUND APPLICATIONS OR APPROVED EQUAL. PROVIDE TYPE "X" COPPER OR POLYETHYLENE CROSS-LINK PIPING FOR UNDERGROUND. PROVIDE CONTINUOUS LINE WITH NO JOINTS FOR UNDERGROUND APPLICATIONS, UNLESS APPROVED. ALL FITTINGS TO BE COPPER WITH SWEAT SOLDER JOINTS FOR COPPER PIPING OR BRASS FITTINGS WITH COMPRESSION BUSH FITTINGS FOR POLY PIPE. ALL WASTE LINES TO BE PVC OR ABS PLASTIC PIPE.

WASTE LINES SHALL BE PROVIDED WITH A CLEAN OUT AS REQUIRED. EXTEND CLEAN OUTS TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOOR UNLESS APPROVED.

PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY. ALL FIXTURES SHALL BE ABLE TO DRAIN AT THIS POINT. PROVIDE FLOOR DRAIN AT LOCATION OF PLUMBING SYSTEM DRAIN.

PROVIDE CULINARY WATER SOFTENERS SYSTEM THROUGH OUT RESIDENCE AS REQUIRED. SYSTEM TO BE INTERMOUNTAIN WATER INC.'S MODEL "PARROT" SYSTEM. INSTALLATION AS PER MANUFACTURER. O.A.E.

PROVIDE FIRE SPRINKLER SYSTEM AS REQUIRED BY BUILDING DEPARTMENT. SYSTEM TO BE BUILT TO NFPA 13D ACOFFED. PROVIDE ENGINEERING LAYOUT, SPECIFICATIONS, ETC. FOR APPROVAL PRIOR TO INSTALLATION. PROVIDE CONCEALED HEADS.

STEAM SHOWER UNITS TO BE "COLUMBIA" STEAM GENERATOR K-1734 OR EQUAL. INSTALL AS PER MANUFACTURE REQUIREMENTS. MEETS OR EXCEEDS UL-499/CSA C22.2 NO. 88.

BATHUBS AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABRASIVE SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" INCHES ABOVE THE FLOOR. SHOWER PAN LINERS AND SITE BUILT PAN LINERS SHALL EXTEND A MINIMUM OF 3" ABOVE SHOWER DOOR THRESHOLD. PROVIDE SOLID BLOCKING BEHIND LINER. ALL SHOWER PAN LINERS SHALL BE INSTALLED ON SLOPED BUILT UP FLOOR AND MUST BE INSPECTED.

PLUMBING CONTRACTOR TO ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE. FOR MULTIPLE FIXTURE USE SIMULTANEOUSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION.

PROVIDE FIRE SPRINKLER SYSTEM AS REQUIRED BY BUILDING DEPARTMENT. SYSTEM TO BE BUILT TO NFPA 13D ACOFFED. PROVIDE ENGINEERING LAYOUT, SPECIFICATIONS, ETC. FOR APPROVAL PRIOR TO INSTALLATION. PROVIDE CONCEALED HEADS.

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PLUMBING CONTRACTOR TO ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE. FOR MULTIPLE FIXTURE USE SIMULTANEOUSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION.

PROVIDE FIRE SPRINKLER SYSTEM AS REQUIRED BY BUILDING DEPARTMENT. SYSTEM TO BE BUILT TO NFPA 13D ACOFFED. PROVIDE ENGINEERING LAYOUT, SPECIFICATIONS, ETC. FOR APPROVAL PRIOR TO INSTALLATION. PROVIDE CONCEALED HEADS.

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BATHUBS AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABRASIVE SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" INCHES ABOVE THE FLOOR. SHOWER PAN LINERS AND SITE BUILT PAN LINERS SHALL EXTEND A MINIMUM OF 3" ABOVE SHOWER DOOR THRESHOLD. PROVIDE SOLID BLOCKING BEHIND LINER. ALL SHOWER PAN LINERS SHALL BE INSTALLED ON SLOPED BUILT UP FLOOR AND MUST BE INSPECTED.

22-01 PLUMBING FIXTURES

GENERAL PRODUCT

SEE PLUMBING FIXTURE SCHEDULE AND PLANS FOR LOCATIONS AND SELECTION OF SPECIFIED FIXTURES.

SUBMITTALS

SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, COLORS AND MANUFACTURER SPECIFICATIONS FOR EACH FIXTURE SPECIFIED FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

EXECUTION

INSTALL FIXTURES LEVEL AND PLUMB ACCORDING TO ROUGHING-IN DRAWINGS.

INSTALL WATER SUPPLY PIPING WITH STOP ON EACH SUPPLY TO EACH FIXTURE TO BE CONNECTED TO WATER DISTRIBUTION PIPING. SEAL JOINTS BETWEEN FIXTURES AND WALLS, FLOORS, AND COUNTERTOPS USING SANITARY-TYPE, ONE-PART, MILDEW-RESISTANT SILICONE SEALANT.

CONNECT FIXTURES WITH WATER SUPPLIES, STOPS, AND RISERS, AND WITH TRAPS, SOIL, WASTE AND VENT PIPING. USE SITE FITTINGS REQUIRED TO MATCH FIXTURES.

CHECK THAT PLUMBING FIXTURES ARE COMPLETE WITH TRIM, FAUCETS, FITTINGS, AND OTHER SPECIFIED COMPONENTS.

INSPECT INSTALLED PLUMBING FIXTURES FOR DAMAGE. REPLACE DAMAGED FIXTURES AND COMPONENTS.

TEST INSTALLED FIXTURES AFTER WATER SYSTEMS ARE PRESSURIZED FOR PROPER OPERATION. REPLACE MALFUNCTIONING FIXTURES AND COMPONENTS, THEN RETEST. REPEAT PROCEDURE UNTIL UNITS OPERATE PROPERLY.

EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH (15" MINIMUM FROM CENTER TO ANY OBSTRUCTION) AND HAVE A CLEAR SPACE IN FRONT OF NOT LESS THAN 21" CLEAR. (I.R.C. R307)

22-02 TANK TYPE WATER HEATER

GENERAL PRODUCTS

COORDINATE WITH PLANS FOR LOCATION OF WATER HEATERS.

WATER HEATERS TO BE: A.D. SMITH OR EQUAL.
CAPACITY SHALL BE: 50 GALLONS

SUBMITTALS

SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, MANUFACTURER SPECIFICATIONS FOR EACH WATER HEATER FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

EXECUTION

CONNECT FIXTURES WITH WATER SUPPLIES, STOPS, AND RISERS, AND WITH TRAPS, SOIL, WASTE AND VENT PIPING. PROVIDE EXPANSION TANK AS REQUIRED BY LOCAL BUILDING CODE.

PROVIDE VENTING AS REQUIRED BY WATER HEATER MANUFACTURER SPECIFICATIONS.

FOR HOT WATER SUPPLIED TO BATHUBS AND WHIRLPOOL TUBS SHALL BE LIMITED TO 120 DEGREES MAX BY A WATER TEMPERATURE LIMITING DEVICE (ASSE 1070) OR BY AN APPROVED COMBINATION TUB SHOWER VALVE.

22-04 WATER SOFTENER

GENERAL PRODUCTS

COORDINATE WITH PLANS FOR LOCATION OF WATER HEATERS.

WATER SOFTENER TO BE:

SUBMITTALS

SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, MANUFACTURER SPECIFICATIONS FOR EACH WATER HEATER FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

EXECUTION

CONNECT FIXTURES WITH WATER SUPPLIES, STOPS, AND RISERS, AND WITH TRAPS, SOIL, WASTE AND VENT PIPING. PROVIDE EXPANSION TANK AS REQUIRED BY LOCAL BUILDING CODE.

PROVIDE VENTING AS REQUIRED BY WATER HEATER MANUFACTURER SPECIFICATIONS.

FOR HOT WATER SUPPLIED TO BATHUBS AND WHIRLPOOL TUBS SHALL BE LIMITED TO 120 DEGREES MAX BY A WATER TEMPERATURE LIMITING DEVICE (ASSE 1070) OR BY AN APPROVED COMBINATION TUB SHOWER VALVE.

22-04 WATER SOFTENER

GENERAL PRODUCTS

COORDINATE WITH PLANS FOR LOCATION OF WATER HEATERS.

WATER SOFTENER TO BE:

SUBMITTALS

SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, MANUFACTURER SPECIFICATIONS FOR EACH WATER HEATER FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

EXECUTION

CONNECT PER MANUFACTURER SPECIFICATIONS.

22-04 WATER SOFTENER

GENERAL PRODUCTS

THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND COMPLY WITH ALL APPLICABLE BUILDING CODES, ASTM STANDARDS, TECHNICAL REPORTS FOR THE INSTALLATION OF PLUMBING COMPONENTS.

PROVIDE A PEX TUBING HOT AND COLD POTABLE WATER DISTRIBUTION SYSTEM, WHICH IS MANUFACTURED, FABRICATED AND INSTALLED TO COMPLY WITH REGULATORY AGENCIES AND TO MAINTAIN PERFORMANCE CRITERIA STATED BY THE PEX TUBING MANUFACTURER WITHOUT DEFECTS, DAMAGE OR FAILURE.

UTILIZE AN INSTALLER HAVING DEMONSTRATED EXPERIENCE ON PROJECTS OF SIMILAR SIZE AND COMPLEXITY AND POSSESSES THE SKILLS AND KNOWLEDGE TO INSTALL A PEX POTABLE WATER DISTRIBUTION SYSTEM.

DELIVER MATERIALS IN MANUFACTURER'S ORIGINAL, UNOPENED, UNDAMAGED CONTAINERS WITH IDENTIFICATION LABELS INTACT UNTIL READY FOR INSTALLATION.

STORE MATERIALS PROTECTED FROM EXPOSURE TO HARMFUL ENVIRONMENTAL CONDITIONS AND AT TEMPERATURE AND HUMIDITY CONDITIONS RECOMMENDED BY THE MANUFACTURER AND STORE PEX TUBING INDOORS, IN CARTONS OR UNDER COVER TO AVOID DIRT OR FOREIGN MATERIAL FROM ENTERING THE TUBING.

DO NOT EXPOSE PEX TUBING TO DIRECT SUNLIGHT FOR MORE THAN SIX MONTHS, IF CONSTRUCTION DELAYS ARE ENCOUNTERED. COVER THE TUBING THAT IS EXPOSED TO DIRECT SUNLIGHT.

WARRANTY
MANUFACTURER'S WARRANTY SHALL COVER THE REPAIR OR REPLACEMENT OF PROPERLY INSTALLED TUBING AND FITTINGS PROVEN DEFECTIVE AS WELL AS INCIDENTAL DAMAGE TO A WARRANTY FIXTURES FOR TUBING AND SUBSEQUENT

BUILDING KEYNOTES AND SPECIFICATIONS

DIVISION 32- EXTERIOR IMPROVEMENTS/LANDSCAPING

32-04 UNIT PAVERS/ RETAINING WALLS/ STAIRS

GENERAL PRODUCTS
PAVERS SHALL BE THE FOLLOWING: AS PER LANDSCAPE DRAWINGS
PAVERS SHALL BE INSTALLED IN FOLLOWING PATTERN: AS PER LANDSCAPE DRAWINGS
PAVER COLOR SHALL BE SELECTED BY ARCHITECT. AS PER LANDSCAPE DRAWINGS

SUBMITTALS
SAMPLES FOR UNIT PAVERS, JOINT MATERIALS, AND EDGE RESTRAINTS

EXECUTION
DO NOT USE FROZEN MATERIALS OR BUILD ON FROZEN SUBGRADE OR SETTING BEDS. PROTECT UNIT PAVES WORK AGAINST FREEZING FOR 24 HOURS AFTER INSTALLATION.

MIX PAVERS FROM SEVERAL PALLETS OR CUBES, AS THEY ARE PLACED, TO PRODUCE UNIFORM BLEND OF COLORS AND TEXTURES.

CUT UNIT PAVERS WITH MOTOR-DRIVEN MASONRY SAW EQUIPMENT TO PROVIDE PATTERN INDICATED AND TO FIT ADJOINING WORK NEATLY. USE FULL UNITS WITHOUT CUTTING WHERE POSSIBLE. INSTALL EDGE RESTRAINTS BEFORE PLACING UNIT PAVERS.

TOLERANCES: DO NOT EXCEED 1/16-INCH UNIT-TO-UNIT OFFSET FROM FLUSH (LIPPAGE) NOR 1/8 INCH IN 24 INCHES AND 1/4 INCH IN 10 FEET FROM LEVEL OR INDICATED SLOPE, FOR FINISHED SURFACE OF PAVING.

COMPACT SOIL SUBGRADE UNIFORMLY AND PLACE AGGREGATE BASE. COMPACT BY TAMPING WITH PLATE VIBRATOR, AND SCREED TO DEPTH AS INDICATED

PLACE LEVELING COURSE AND SCREED TO A THICKNESS OF 1 TO 1-1/2 INCHES, TAKING CARE THAT MOISTURE CONTENT REMAINS CONSTANT AND DENSITY IS LOOSE AND CONSTANT UNTIL PAVERS ARE SET AND COMPACTED. TREAT LEVELING COURSE WITH HERBICIDE TO INHIBIT GROWTH OF GRASS AND WEEDS.

SET PAVERS WITH A MINIMUM JOINT WIDTH OF 1/16-INCH AND A MAXIMUM OF 1/8 INCH. BEING CAREFUL NOT TO DISTURB LEVELING BASE. IF PAVERS HAVE SPACER BARS, PLACE PAVERS HAND TIGHT AGAINST SPACER BARS.

VIBRATE PAVERS INTO LEVELING COURSE AND SPREAD DRY SAND AND FILL JOINTS IMMEDIATELY AFTER VIBRATING PAVERS INTO LEVELING COURSE. VIBRATE PAVERS AND ADD SAND UNTIL JOINTS ARE COMPLETELY FILLED, THEN REMOVE EXCESS SAND. LEAVE A SLIGHT SURPLUS OF SAND ON THE SURFACE FOR JOINT FILLING.

32-10 IRRIGATION SYSTEMS
GENERAL PRODUCTS
SEE LANDSCAPE DRAWINGS

ALL IRRIGATION SHALL MEET ALL CITY LANDSCAPE REQUIREMENTS.

32-11 PLANTING
GENERAL PRODUCTS
SEE LANDSCAPE DRAWINGS.

ALL PLANTING SHALL MEET ALL CITY LANDSCAPE REQUIREMENTS.



Architecture

Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 So. Highpoint Parkway, Suite 300
Sandwich, Utah 84094
ph. 801.269.0055
fax 801.269.1425
www.thinkaec.com

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WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32

DATE: 2023.06.30

REVISIONS:

SHEET TITLE:
SPECIFICATIONS

SHEET NUMBER:
G009

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PERMIT SET

NO.	REVISIONS	DESCRIPTION	DATE	BY
1				

BENCHMARK ASSOCIATES

PREPARED BY:
 BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 (208) 726-9512
 FAX 726-9514
 WEB: WWW.BMASB.COM
 MAIL: WWW.BMASB.COM

GRADING & DRAINAGE PLAN

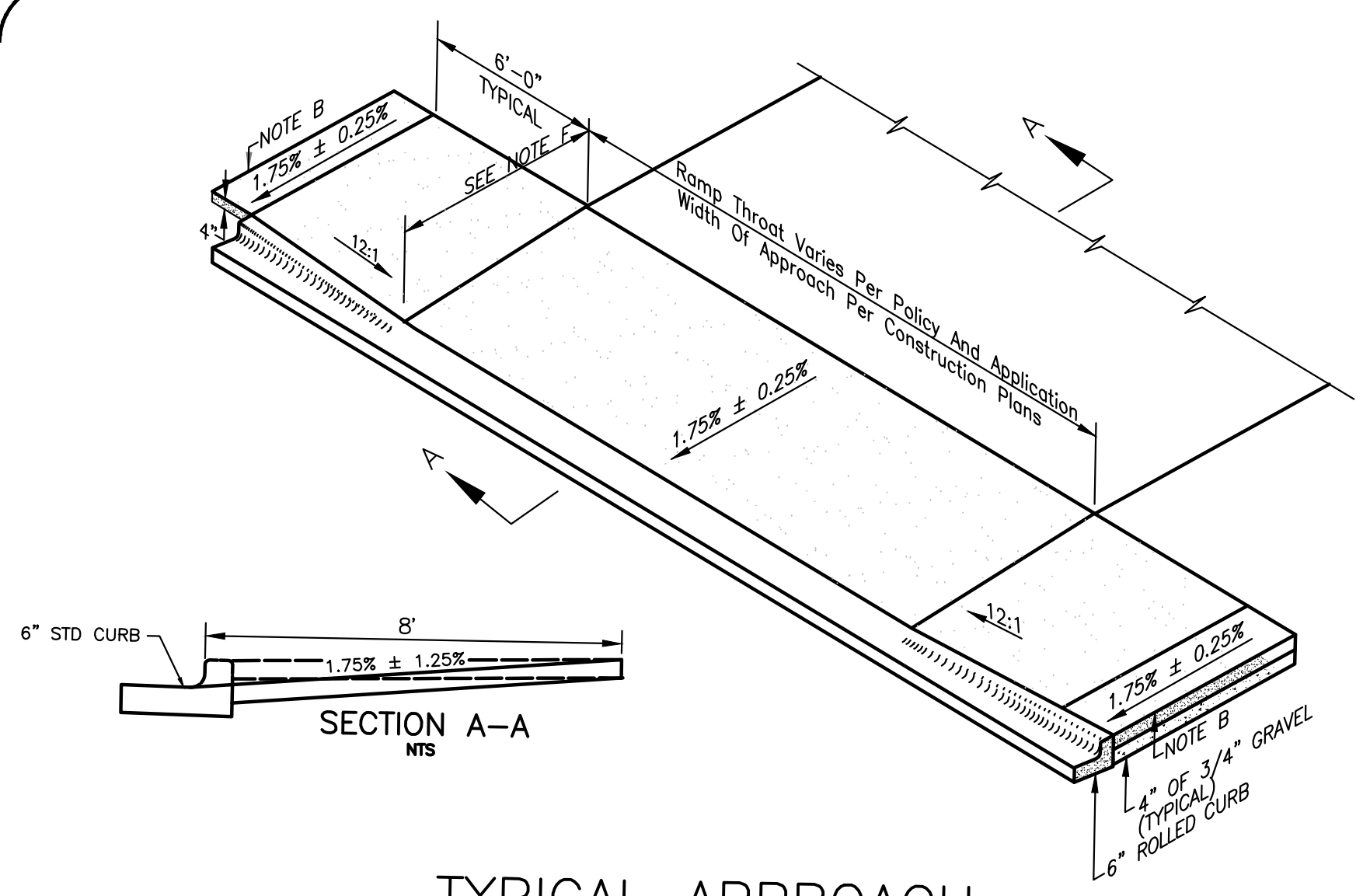
WARM SPRINGS RANCH LOT 32

T4N, R17E, SEC 12, B.M., BLAINE COUNTY, IDAHO

PREPARED FOR: MAGLEBY CONSTRUCTION

DRAWN BY: SLS
 DESIGNED BY: SLS
 CHECKED BY: PLJ
 DATE: 03/13/2023
 PROJECT NO.: 22073

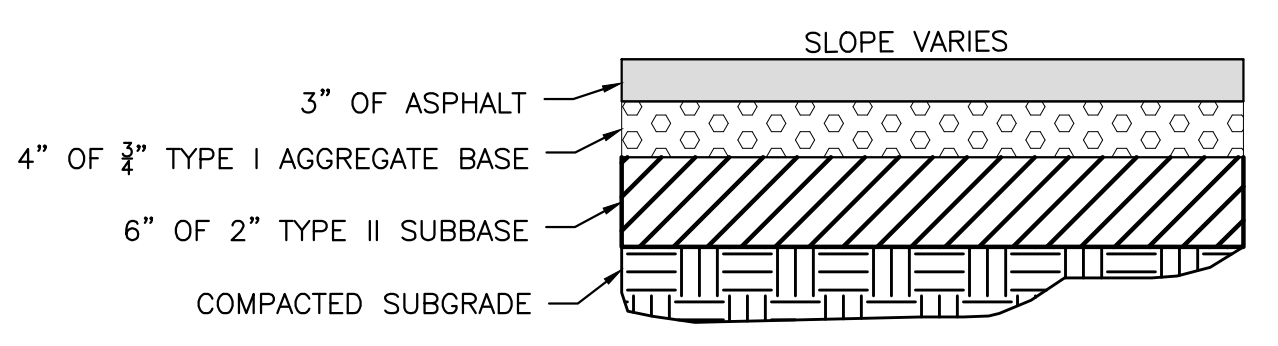
DRAWING NO. **C-1**



TYPICAL APPROACH

- NOTES:**
- APPROACH TO CONFORM TO THE LATEST ADA STANDARDS.
 - INSTALL EXPANSION JOINT AT TIP OF APPROACH WINGS WHERE SIDEWALK CHANGES THICKNESS.
 - BASE TO BE A 4" THICKNESS OF 3/4" MINUS CRUSHED AGGREGATE PER SECTION-802.
 - APPROACH THROAT WIDTHS SET BY POLICY AND APPLICATION. ALL CONCRETE TO BE 6" THICK FROM TIP OF WING TO TIP OF WING UP TO THE EXPANSION JOINT. WHEN SIDEWALK IS SEPARATE FROM CURB THE SIDEWALK IMMEDIATELY BEHIND THE APPROACH THROAT SHALL BE 6" THICK ALSO.
 - ALL CONCRETE SHALL BE CLASS 3000 PER SECTION-703. SEE GENERAL NOTES 7 & 8.
 - SIDEWALK WIDTH IS 8 FEET.

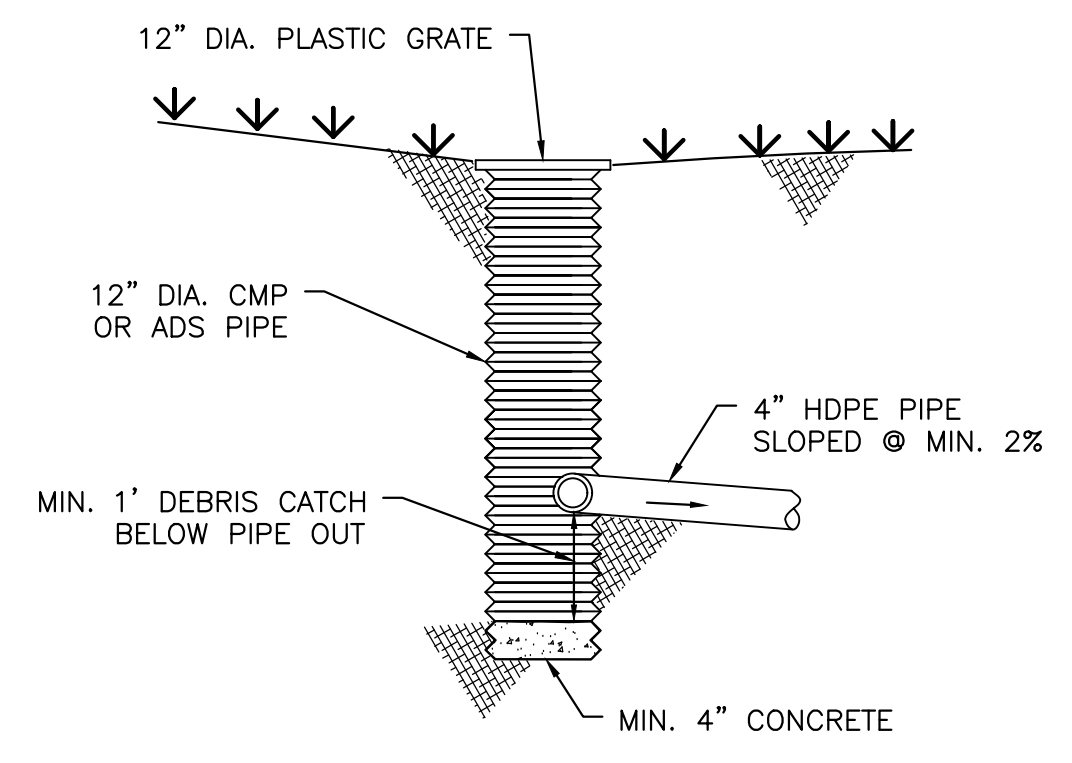
1 CONCRETE DRIVEWAY WITH RAMPED SIDEWALK
 SCALE: NONE



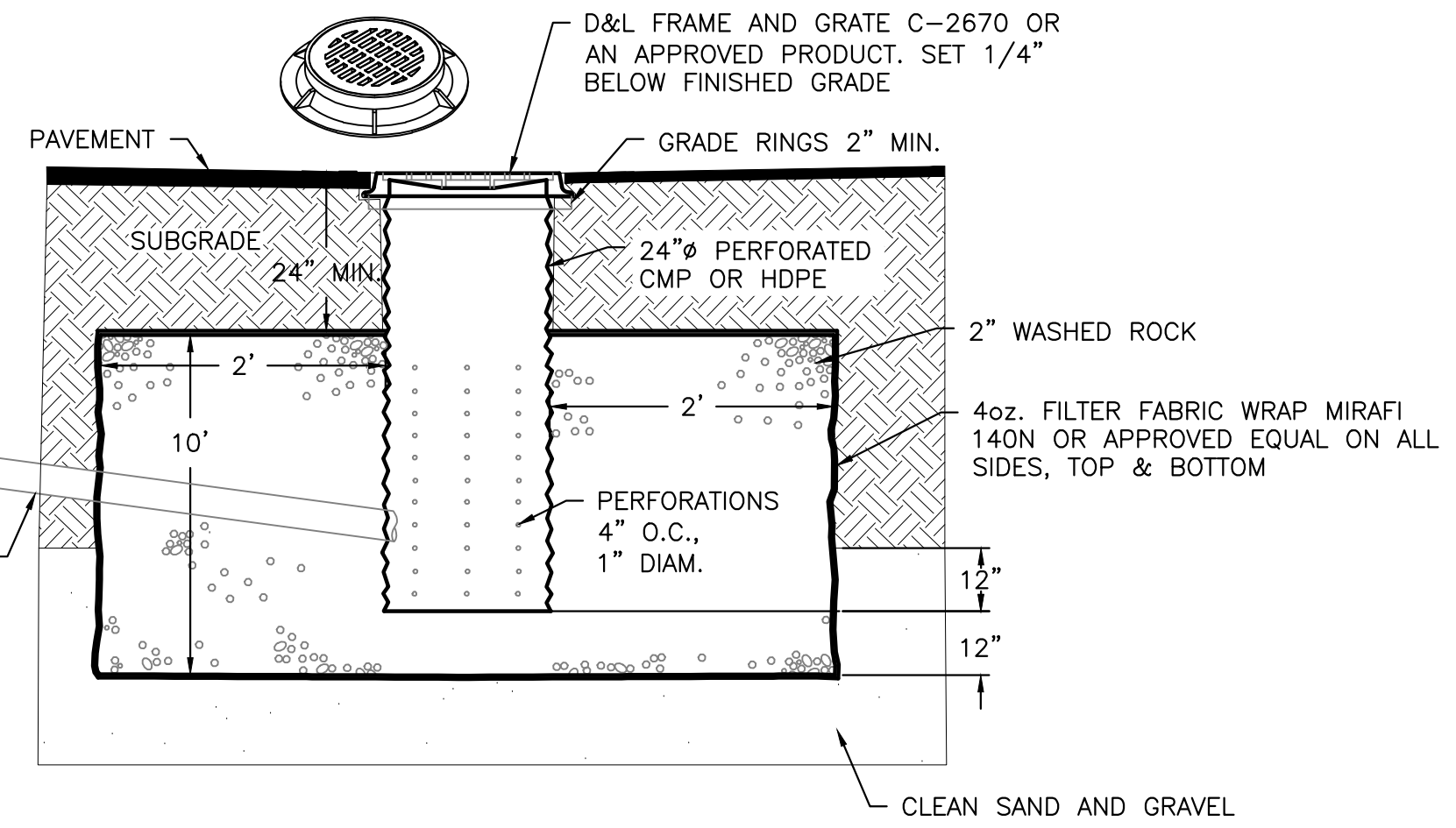
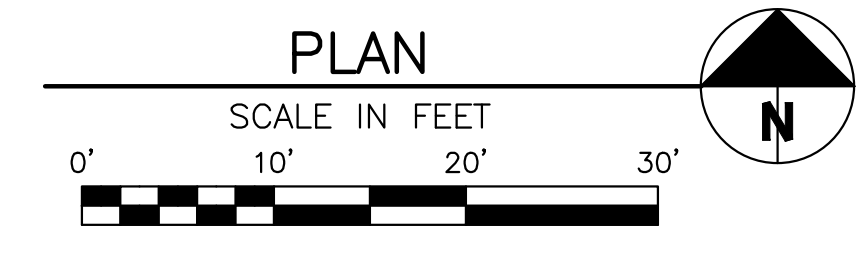
2 TYPICAL STREET ASPHALT SECTION
 SCALE: NONE

LEGEND

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
EASEMENT	---
FENCE	X
EDGE OF PAVEMENT	---
SEWER	S
SEWER MANHOLE (MH)	⊙
WATER	W
WATER GATE VALVE	⊙
HYDRANT	⊙
CURB STOP	⊙
TELEPHONE	T
UTILITY TRENCH	UT
ELEVATION CONTOUR	-5775
PROPOSED ELEV CONTOUR	59
SAWCUT LINE	---
CURB TRANSITION	---
FLOW LINE	---
FOOTING DRAIN	FD
STORM DRAIN PIPE	---
DOWN SPOUT	---
CATCH BASIN-CITY	---
CATCH BASIN	---
DRYWELL	---
LANDSCAPE DRYWELL	---
ASPHALT PAVEMENT	---
ASPHALT PAVEMENT (SNOW MELTED)	---
PAVERS	---
CONCRETE	---
FG	---
EG	---
GB	---
ME	---
FINISHED GRADE	---
EXISTING GROUND	---
GRADE BREAK	---
MATCH EXISTING	---

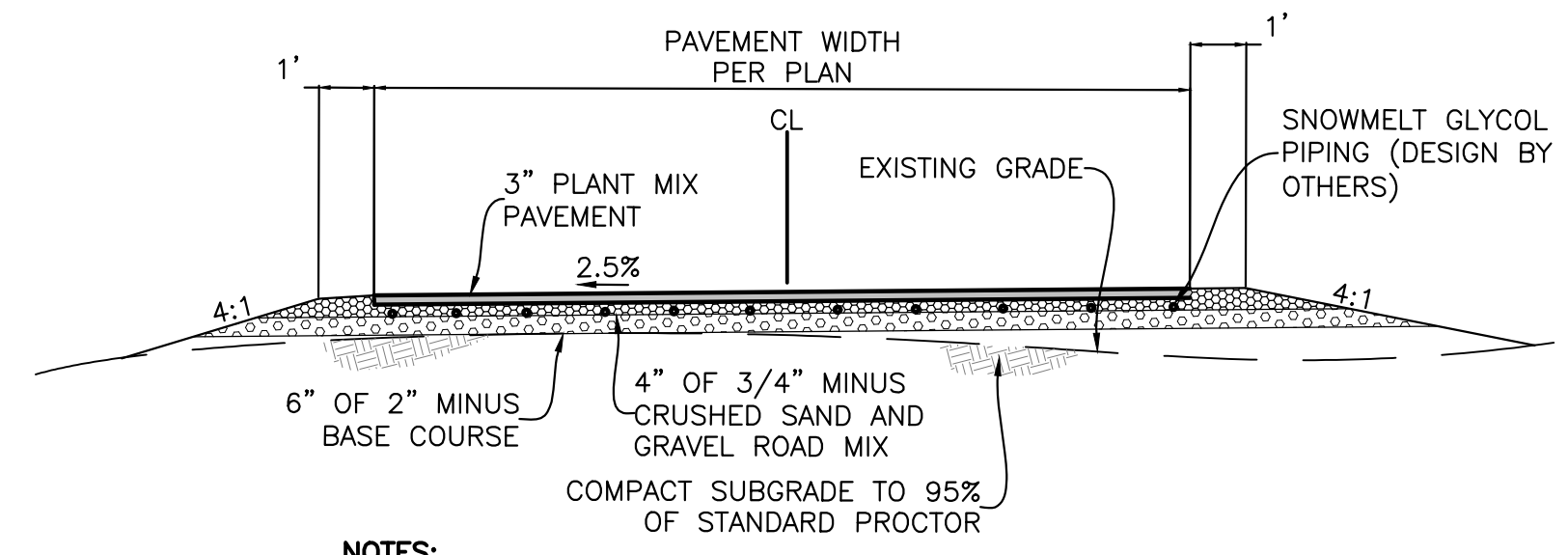


3 12" CATCH BASIN PROFILE
 NOT TO SCALE



- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

4 TYPICAL DRYWELL DETAIL
 SCALE: NONE



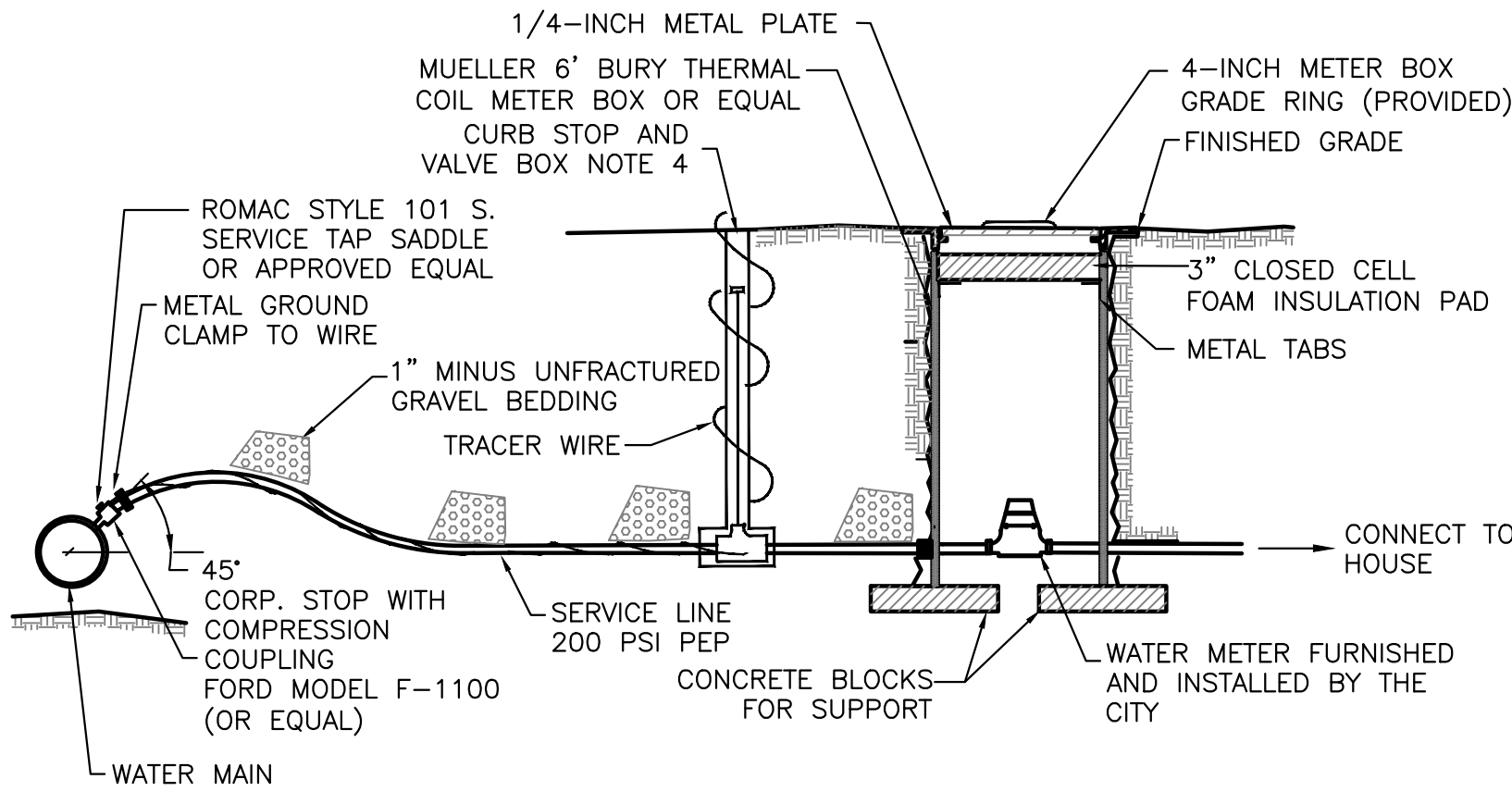
A DRIVEWAY SECTION WITH SNOW-MELTED PAVEMENT
 SCALE: NTS

- NOTES:**
- COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

- GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
 - TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75 BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6" WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H2O LOADING.
 - ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.
 - CONCRETE WITHIN CITY RIGHT-OF-WAY SHALL BE TITAN MIX OR EQUAL. ALTERNATE COLD WEATHER MIX WILL NEED TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
 - CONCRETE SHALL BE SEALED WITH AN OPAQUE SEALER.
 - 6" ROLLED CURB & GUTTER SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #4.
 - CONCRETE SIDEWALK SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #7.

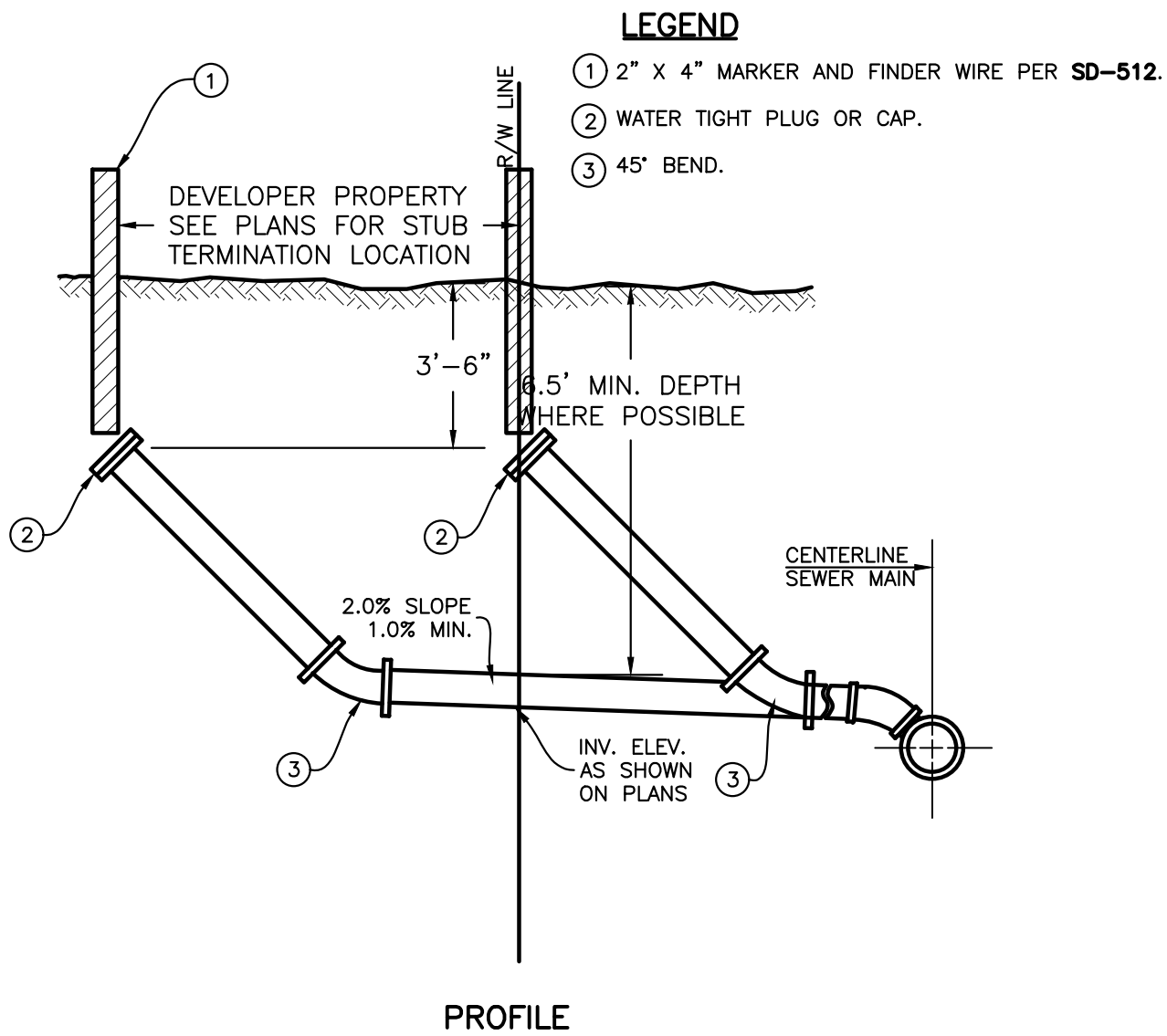
UTILITY LEGEND

SEWER PROPOSED	
SEWER CLEANOUT	
WATER PROPOSED	
WATER METER PROPOSED	



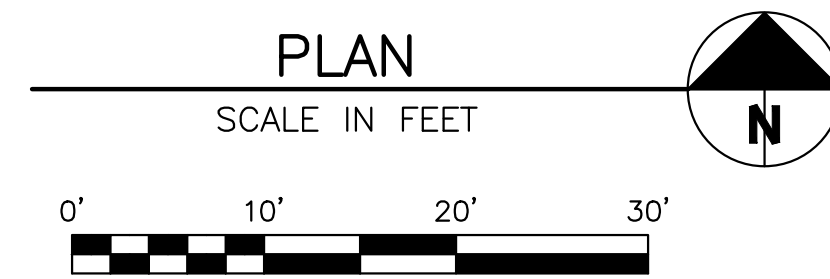
- NOTES**
1. WATER SERVICE LINE SHALL HAVE A 6" MIN. BURY DEPTH
 2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
 3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
 4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL), FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

1 WATER SERVICE AND METER CONNECTION
SCALE: N.T.S.



- NOTES**
1. INSULATION REQUIRED WHERE SEWER LINE BURY DEPTH IS LESS THAN 5'.

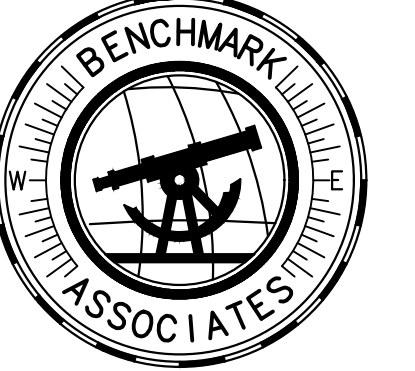
2 STANDARD SEWER SERVICE CONNECTION DETAIL
SCALE: NONE



PROFESSIONAL ENGINEER
LICENSED
STATE OF IDAHO
PROBIE JOHANNESSEN
17661
3/13/2023

REVISIONS

No.	DESCRIPTION	DATE	BY
1			



PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
FAX: 726-9514
WEB: WWW.BMA5B.COM
MAIL: WWW.BMA5B.COM

UTILITY PLAN
WARM SPINGS RANCH LOT 32
T4N, R17E, SEC 12, B.M., BLAINE COUNTY, IDAHO
PREPARED FOR: MAGLEBY CONSTRUCTION

DRAWN BY: SLS
DESIGNED BY: SLS
CHECKED BY: PLW
DATE: 03/13/2023
PROJECT NO.: 22073

DRAWING NO.

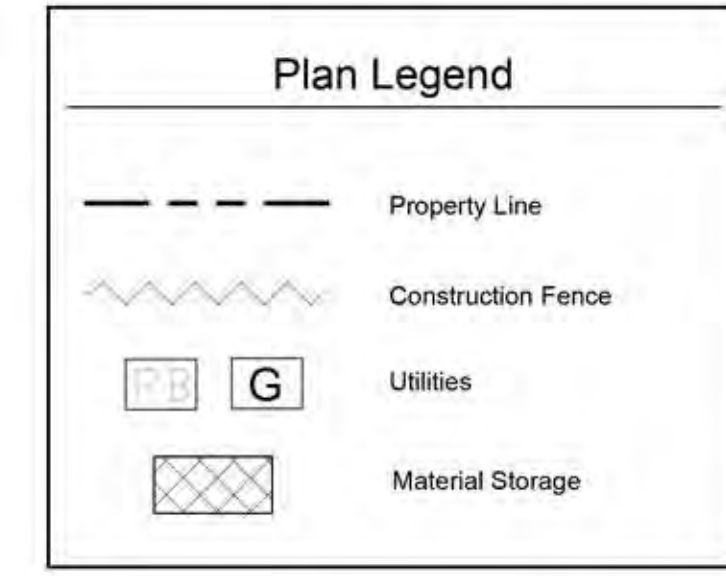
C-2

General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/22/22. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Cut And Fill:

Total Cut = 780 Cubic Yards
Total Fill = 80 Cubic Yards
Total Export = 700 Cubic Yards

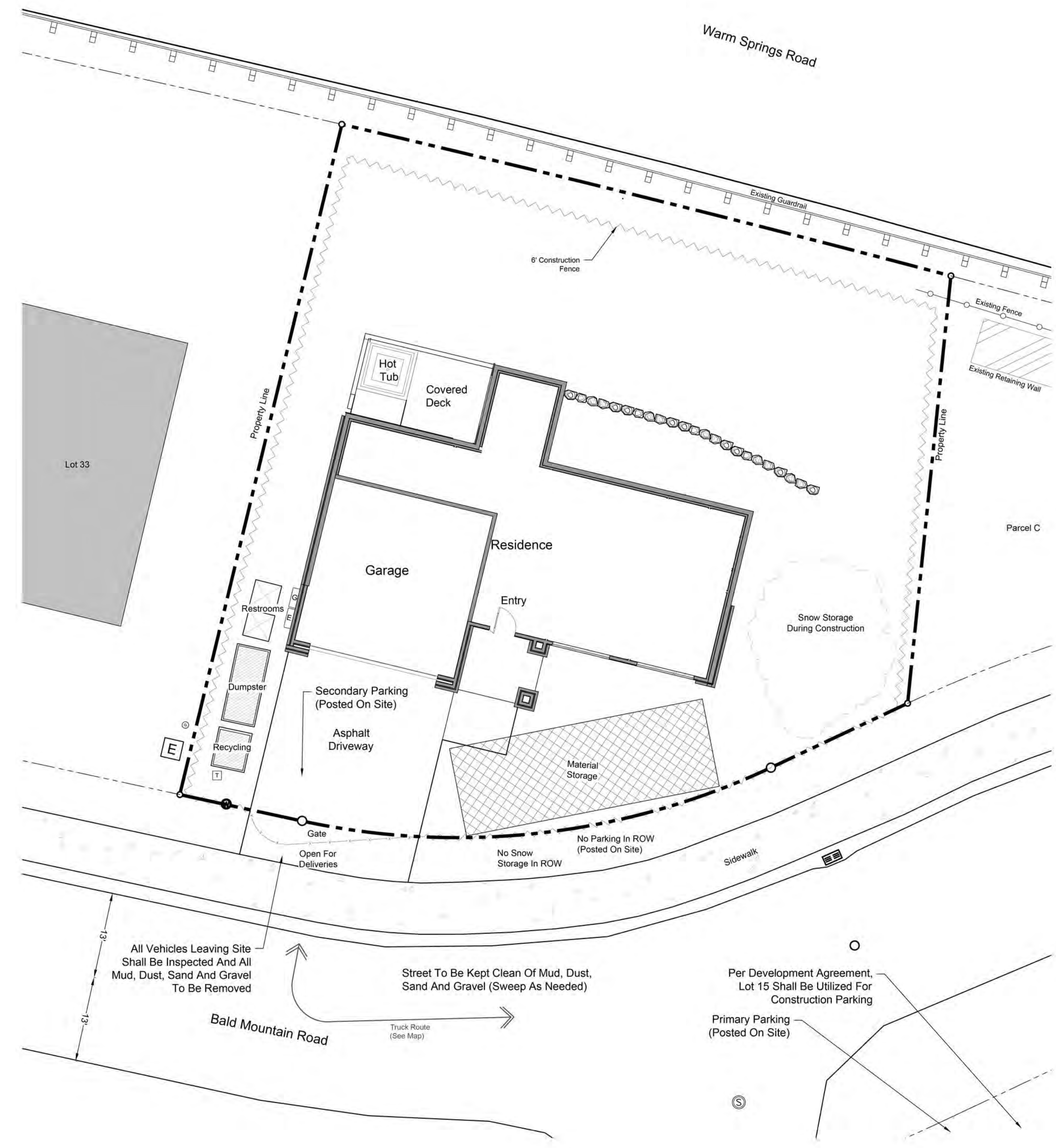


NOTES:

(1) See Civil Plans for All Work in Right of Way.

CONSTRUCTION ACTIVITY NOTES:

- (1) Dust Control Using Water Truck as Needed.
- (2) All Construction Traffic Shall Have Tires Inspected for Mud, Sand, and Gravel Prior to Leaving Site. Any Material Shall be Removed Prior to Entering City Streets.
- (3) Contractor is Responsible for Snow Removal of Site and Construction Parking.
- (4) Any Temporary Use Of The Public Right-Of-Way Will Require A Temporary Use Right-Of-Way (TURP) Permit From The City.
- (5) All Neighbors In The Project Vicinity Shall Be Provided Notice Of The Project, Schedule And The General Contractor's Contact Information In Advance Of Construction.
- (6) The Job Site Shall Be Kept In A Clean And Orderly Condition, Trash Shall Be Picked Up On The Site And Surrounding Areas On A Daily Basis, And Materials Shall be Stored In Neat, Tidy Piles.
- (7) The Condition Of The Right-Of-Way Shall Be Documented With Photographs And A Site Visit With Street Department Personnel. Repair Of Damage To The Right-Of-Way Shall Be The Responsibility Of The General Contractor.
- (8) Manholes May Not Be Obstructed At Any Time. In Addition, Minimum Three Feet Clear Shall be Maintained On Back And Sides Of Fire Hydrants, And Minimum 15 Feet Clear Shall be Maintained On The Front, Street Side Of Fire Hydrants.
- (9) Speed Limits For Construction Vehicles Shall Be Limited To 15 MPH Within One Block Of The Construction Site, Unless Otherwise Determined Be The Ketchum Police Department.



All Vehicles Leaving Site Shall Be Inspected And All Mud, Dust, Sand And Gravel To Be Removed

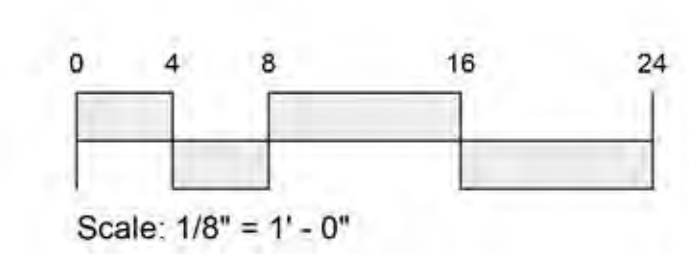
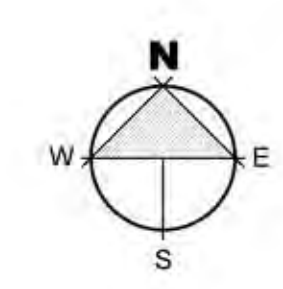
Street To Be Kept Clean Of Mud, Dust, Sand And Gravel (Sweep As Needed)

Bald Mountain Road

Truck Route (See Map)

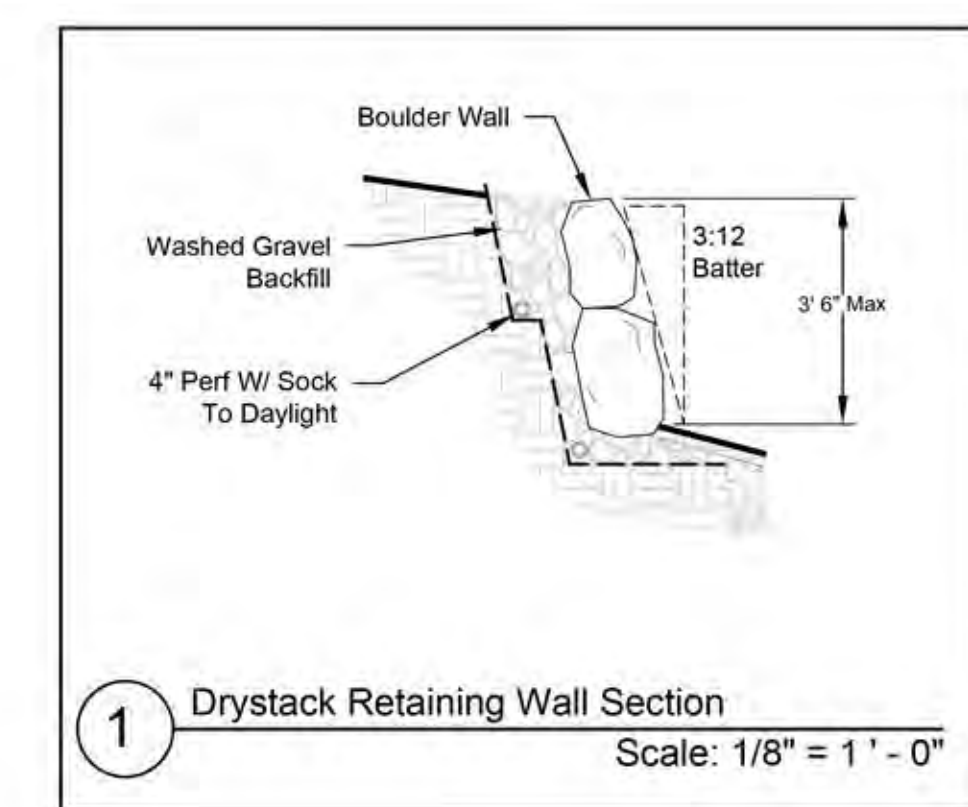
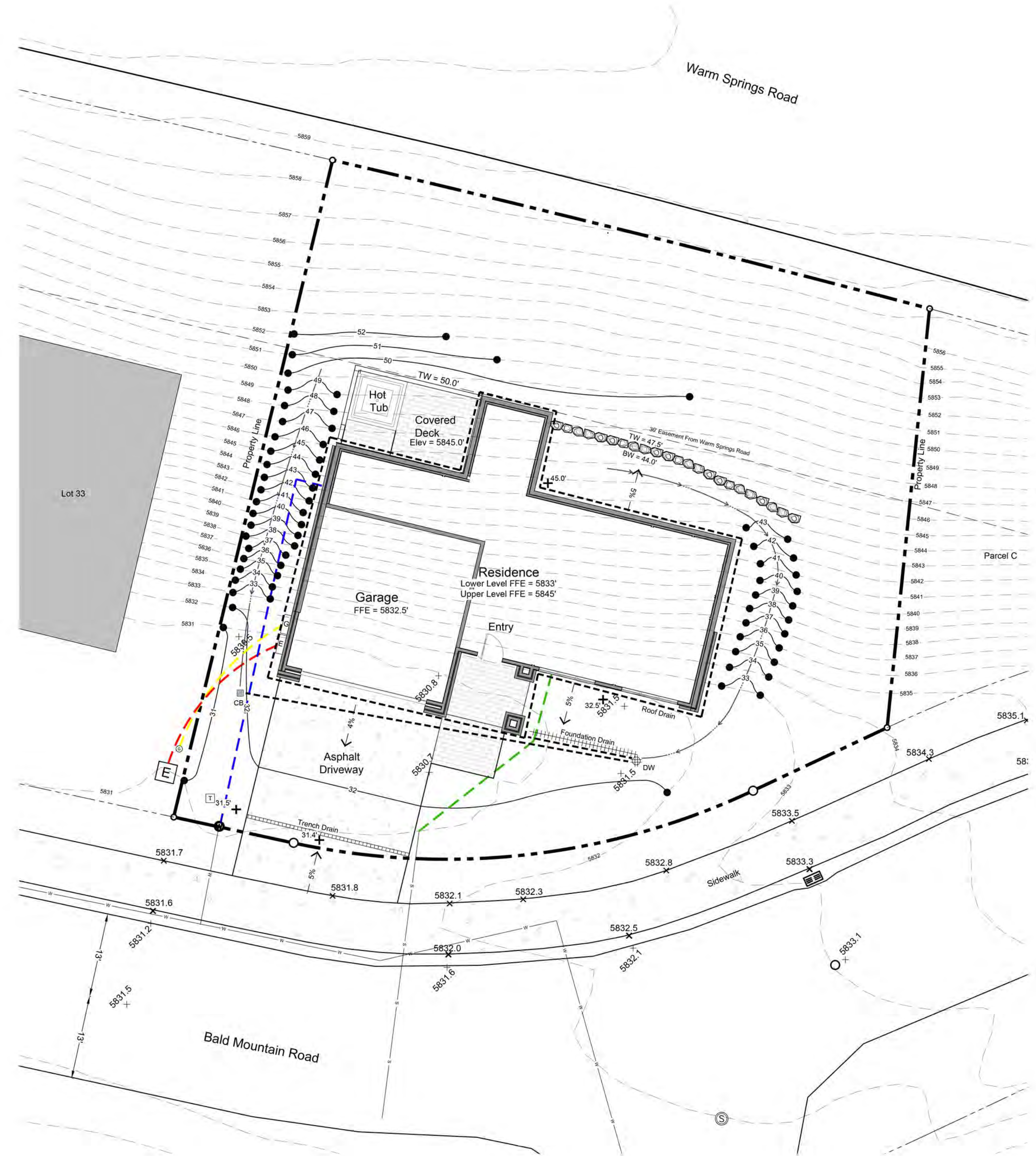
Per Development Agreement, Lot 15 Shall Be Utilized For Construction Parking

Primary Parking (Posted On Site)



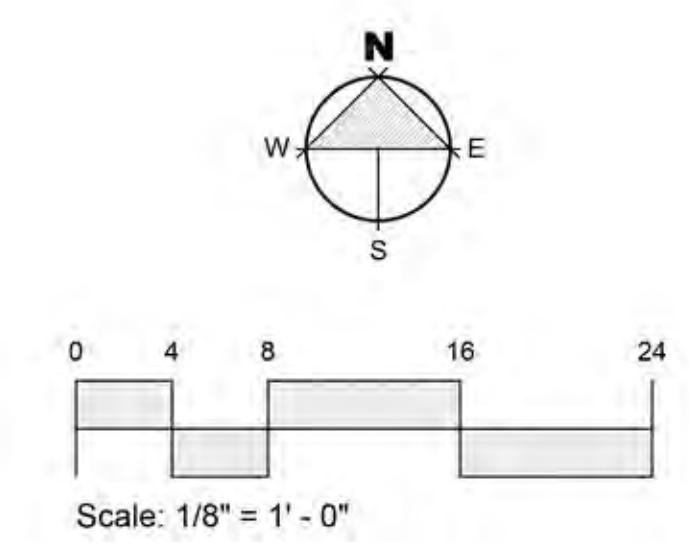
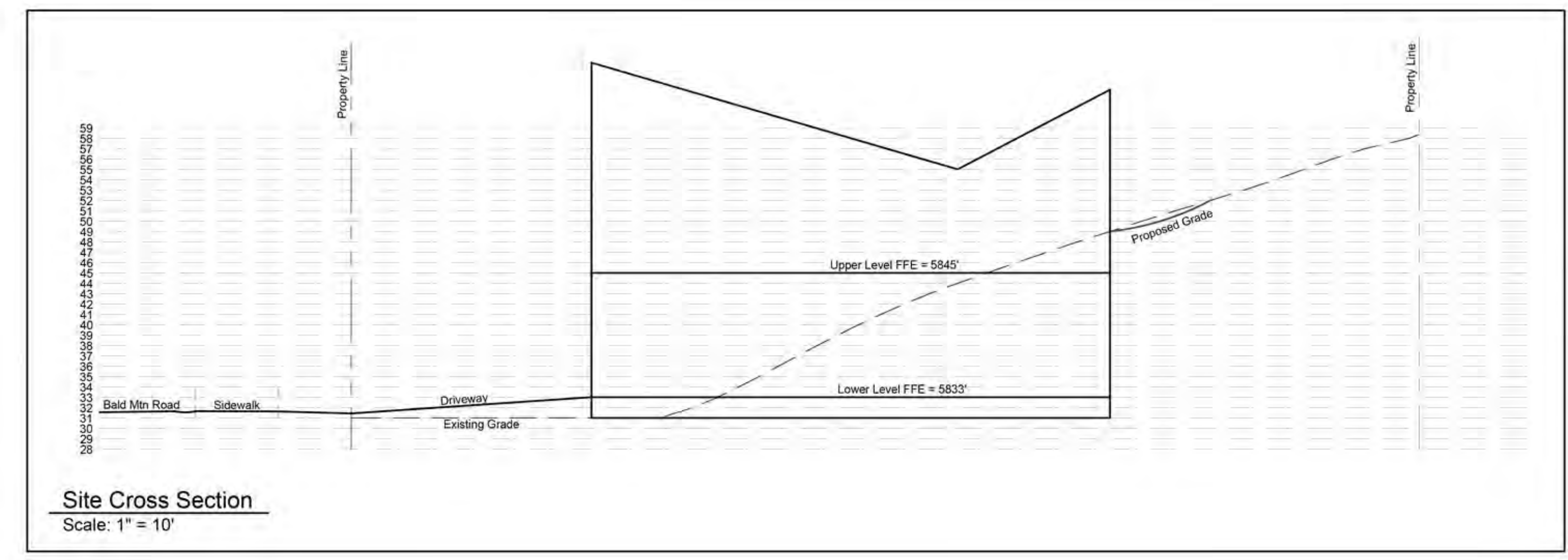
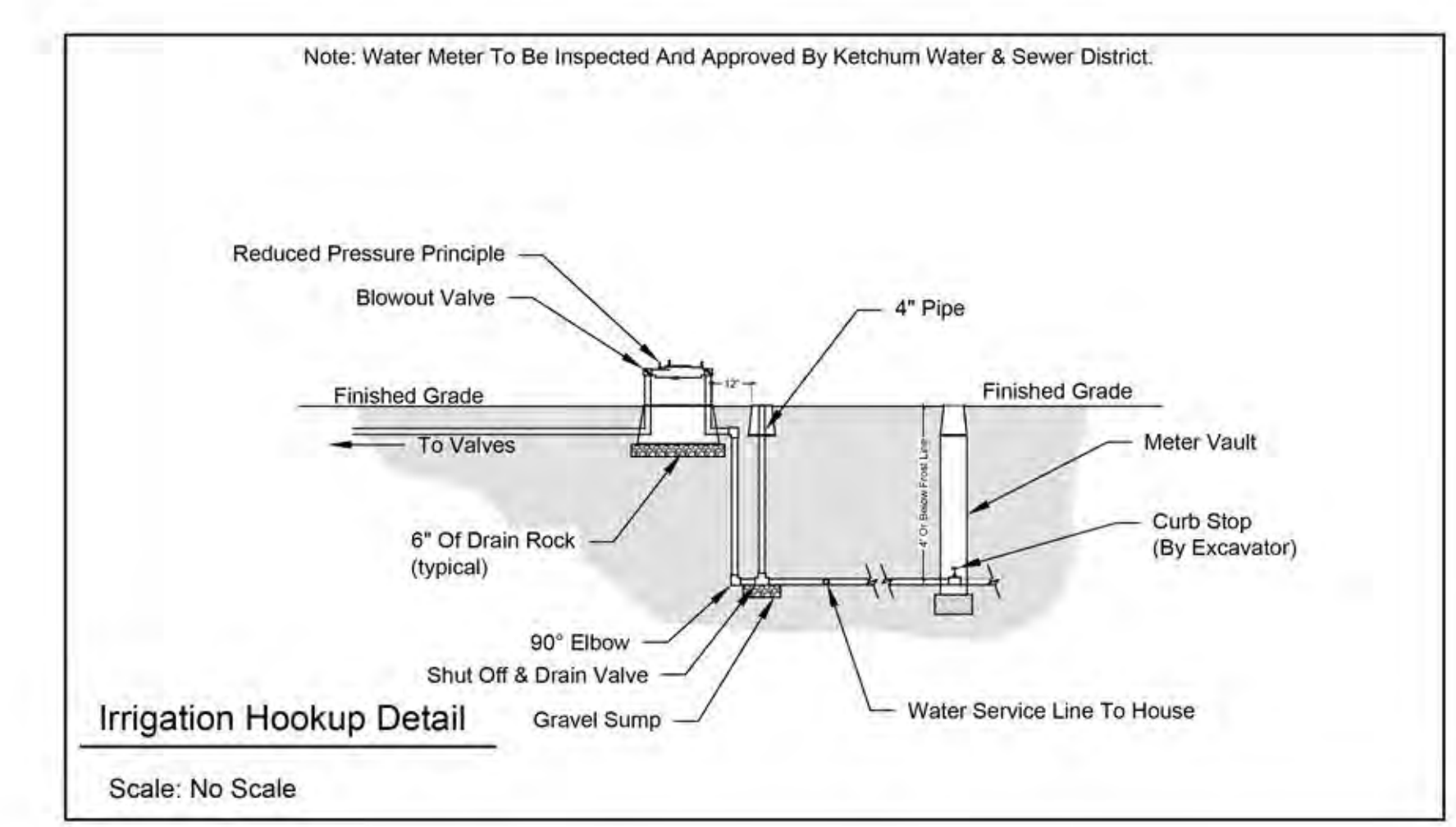
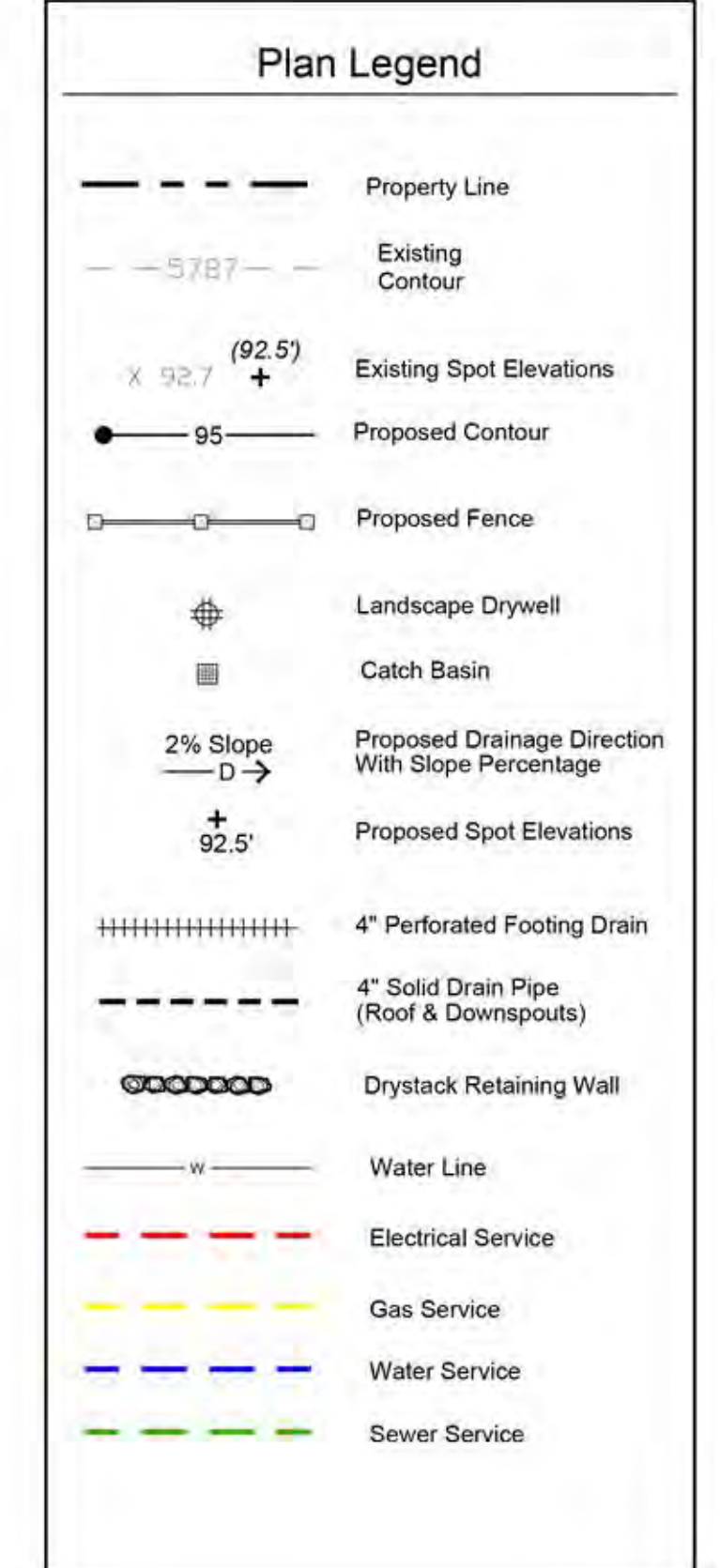
*** See Civil Plan For Site Grading And Drainage**

- General Notes**
1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/22/22. Contractor shall verify conditions in the field prior to construction.
 2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
 3. All existing utilities are underground. All new utilities shall be underground.
 4. Site serviced by City of Ketchum.

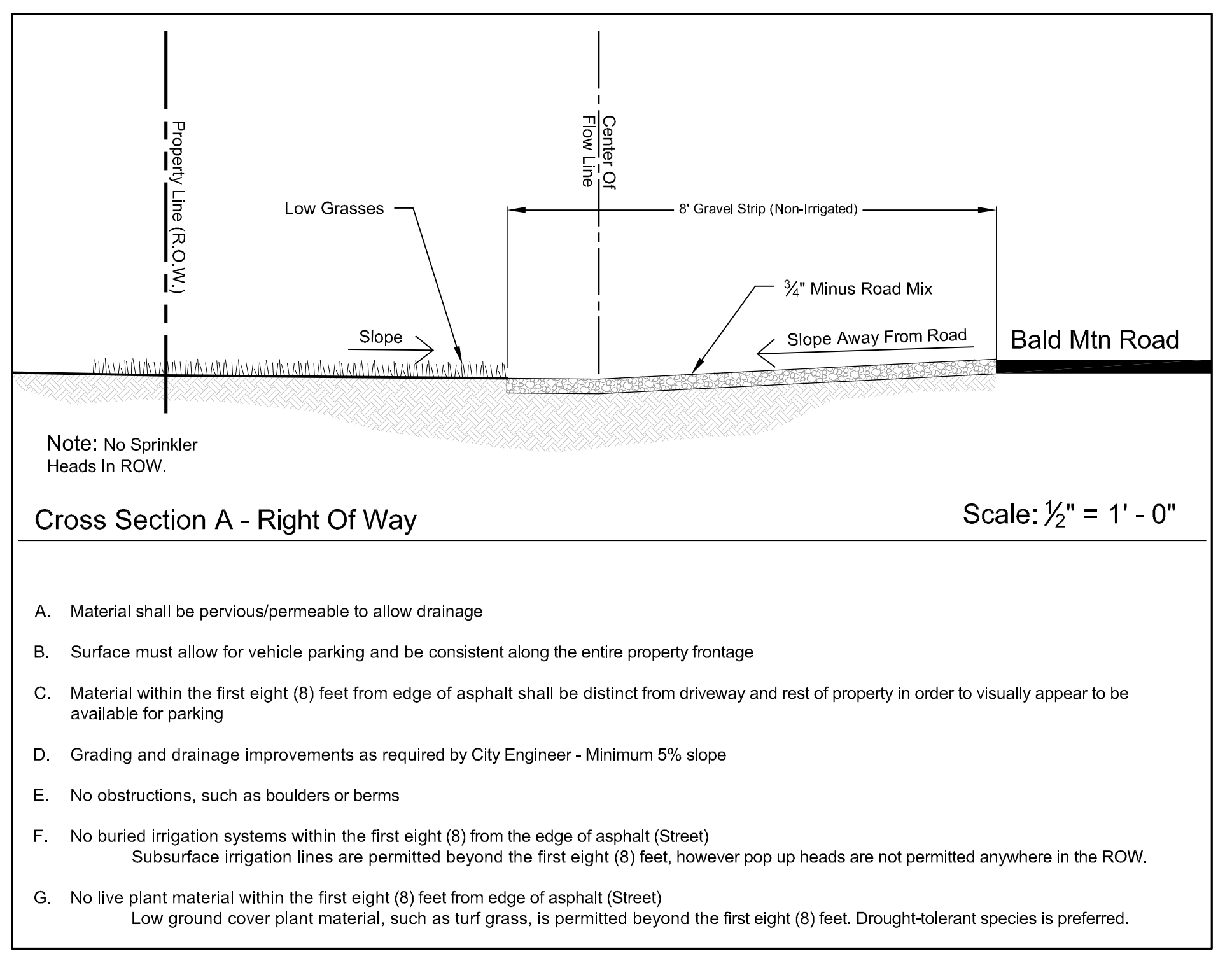
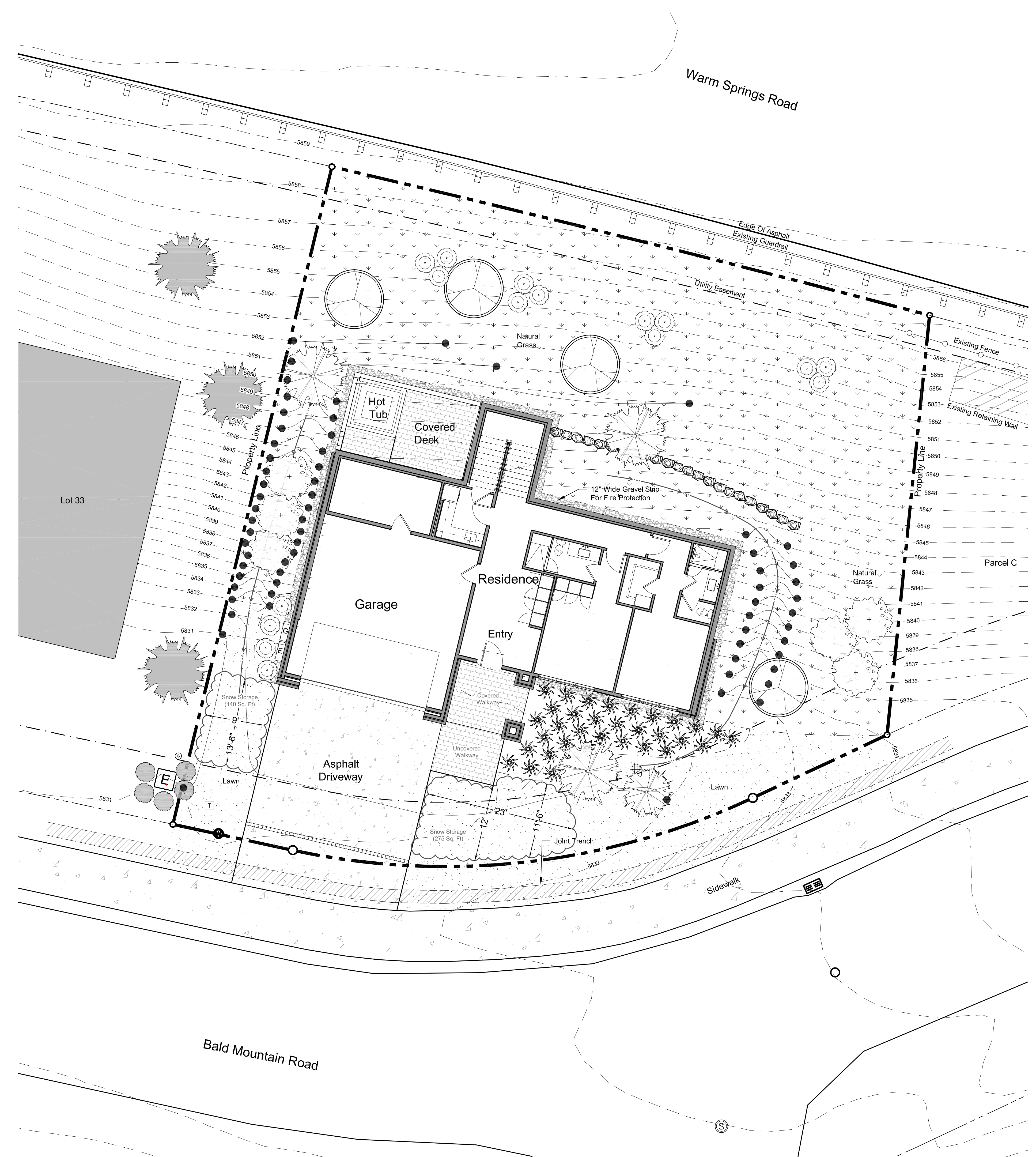


Cut & Fill

Excavation:	
Building/Garage:	750 Cu/Yds
Site:	30 Cu/Yds
Total Cut:	780 Cu/Yds
Fill:	
Site Landscape Fill:	30 Cu/Yds
Driveway:	50 Cu/Yds
Total Fill:	80 Cu/Yds
Total Export:	700 Cu/Yds



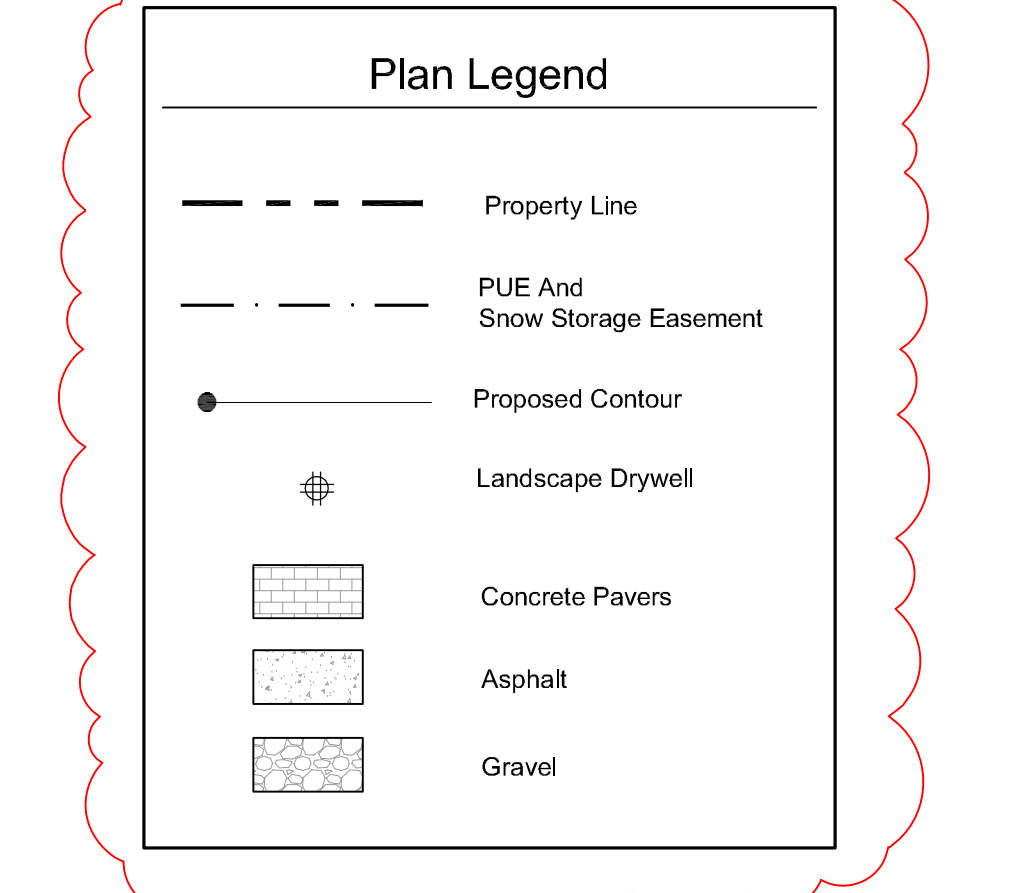
*See Civil Plan For Site Grading And Drainage



- A. Material shall be pervious/permeable to allow drainage
- B. Surface must allow for vehicle parking and be consistent along the entire property frontage
- C. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking
- D. Grading and drainage improvements as required by City Engineer - Minimum 5% slope
- E. No obstructions, such as boulders or berms
- F. No buried irrigation systems within the first eight (8) feet from the edge of asphalt (Street). Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in the ROW.
- G. No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.

General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/22/22. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.



Plant Legend

Qty.	Common Name	Botanical Name	Size
4	Conifer Trees		12' - 16'
	Pine	<i>Pinus spp.</i>	
6	Deciduous Trees		12' - 16'
	Aspen	<i>Populus tremuloides</i>	
4	Crabapple	<i>Malus spp.</i>	
16	Deciduous Shrubs		5 gal.
	Alpine Currant	<i>Ribes alpinum</i>	
	Burning Bush	<i>Euconymus alatus</i>	
	Cotoneaster	<i>Cotoneaster spp.</i>	
	Dogwood	<i>Cornus spp.</i>	
	Lilac	<i>Syringa spp.</i>	
	Maple	<i>Acer spp.</i>	
	Mockorange	<i>Philadelphus spp.</i>	
	Ninebark	<i>Physocarpus spp.</i>	
	Snowberry	<i>Symphoricarpos spp.</i>	
	Spiraea	<i>Spiraea spp.</i>	
30	Ornamental Grasses		Flats
	Blue Fescue	<i>Festuca ovina glauca</i>	
	Ribbon Grass	<i>Phalaris arundinacea 'Picata'</i>	
	Karl Foerster Feather Reed	<i>C. arundinacea 'Karl Foerster'</i>	
3,380 Sq.Ft.	Grasses & Wildflowers		Sod or Seed
(20%)	Hard Fescue	<i>Festuca trachyphylla</i>	
(20%)	Chewing Fescue	<i>Festuca rubra var. commutata</i>	
(20%)	Sheep Fescue	<i>Festuca ovina</i>	
(20%)	Creeping Red Fescue	<i>Festuca rubra</i>	
(20%)	Wildflowers	Various	
1,500 Sq.Ft.	Grasses - Lawn Mix		Sod or Seed
(33%)	Tall Fescue	<i>Festuca arundinacea</i>	
(33%)	Hard Fescue	<i>Festuca trachyphylla</i>	
(33%)	Chewing Fescue	<i>Festuca rubra var. commutata</i>	

Irrigation Calculation
(Lot = ± .22 Acres)

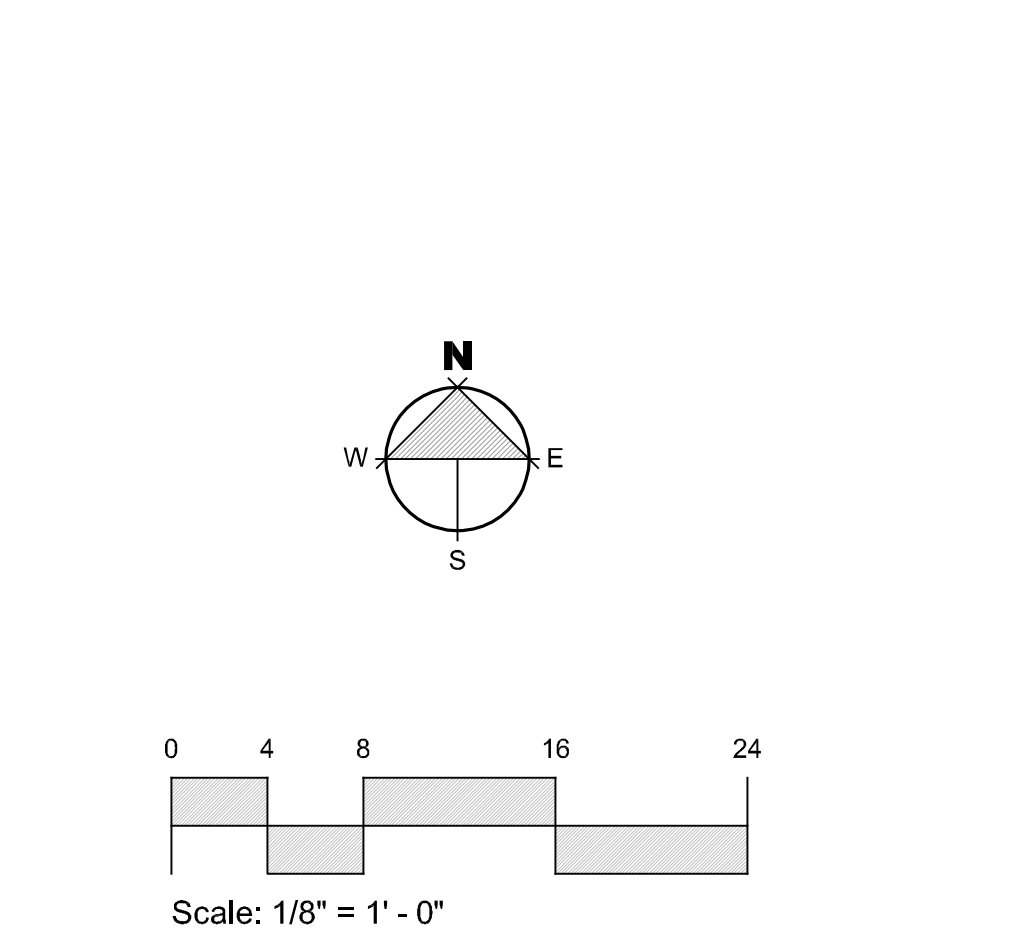
Description	Square Footage
Lawn	4,480 sq.ft.
Planter Beds	50 sq.ft.
Total Irrigated Area	4,530 sq.ft.
	+/- .11 Acres

Snow Storage

Driveway Area:	1000 sq ft
Uncovered Walkway Area:	80 sq ft
	x .30%
Required Area:	324 sq ft
Snow Storage Provided:	415 sq ft

- Per Development Agreement:**
- 1) Landscaping Shall Be Drought Tolerant
 - 2) Irrigation System Shall Be Equipped With Shut Off Valve Not Impacting Water Service To Residence
 - 3) Irrigation System Shall Be Water Efficient In Ground Components, Controller With Rain/Freeze Sensor.
 - 4) Isolate Zones Per Plant Type And Exposure.

- Landscape Notes:**
- 1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.
 - 2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.
 - 3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.



WSR Residences Lot 32

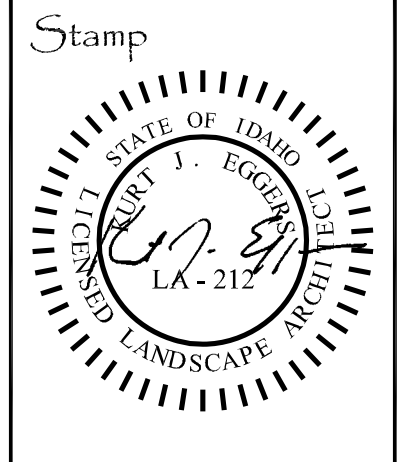
EGGERS ASSOCIATES, P.A.
landscape architecture

T (208) 725-0988
F (208) 725-0972
P.O. Box 975
Ketchum, ID 83340

Warm Springs Ranch Residences
Block 1, Lot 32
Ketchum, Idaho

Job No: 22.25
Scale: 1/8" = 1'-0"

Issue/Revisions: Date:
Design/Review 05/17/23
DR RVSD 05/01/23
DR RVSD 06/23/23

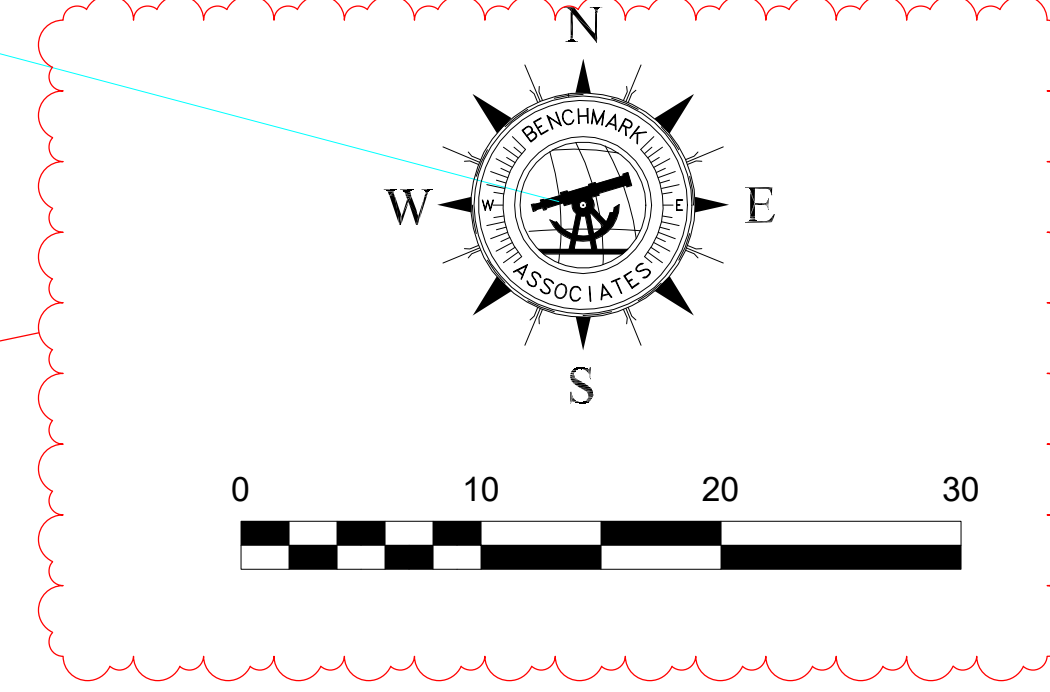


Sheet Title:
Landscape Plan

Sheet No:
L3

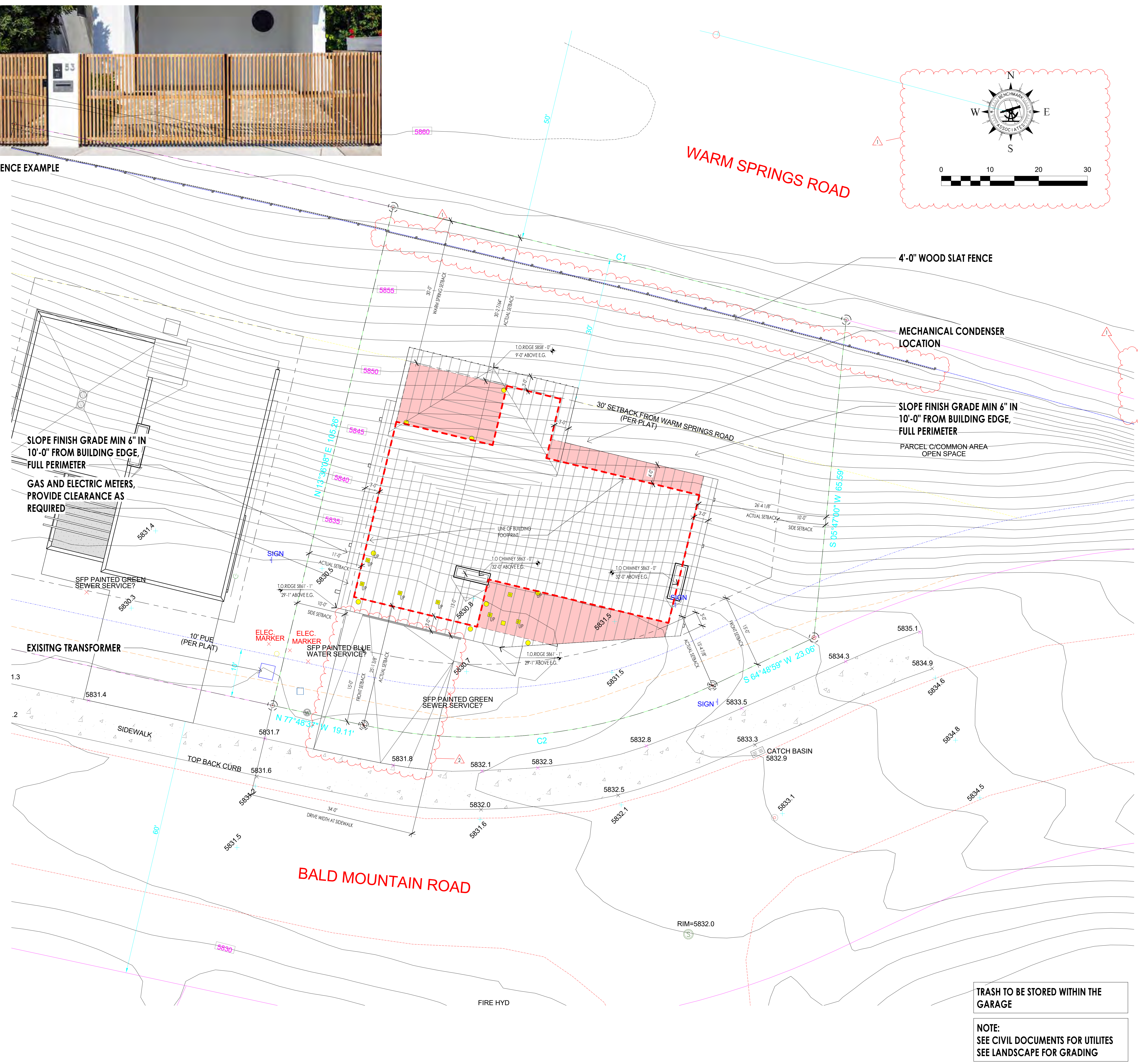


REAR FENCE EXAMPLE



WARM SPRINGS ROAD

BALD MOUNTAIN ROAD



SITE PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND LOCATIONS. PROTECT AS REQUIRED.
2. CONTRACTOR TO PROTECT EXISTING TREES TO BE PRESERVED.
3. UTILITY TRENCHING TO BE CONDUCTED IN A WAY TO NOT DISTURB EXISTING TREES.
4. ANY TREES LOCATED WITHIN 10'-0" HORIZONTAL OF THE STRUCTURE MUST BE MIN. 10'-0" HIGHER THAN THE ADJACENT STRUCTURE OR WILL NEED TO BE REMOVED IN ACCORDANCE TO THE FIRE CODE AS DEFENSIBLE SPACE.
5. ALL DEAD WOOD AND COMBUSTIBLE MATERIALS WITHIN 30'-0" OF THE STRUCTURE TO BE REMOVED BY CONTRACTOR AS PER THE FIRE CODE DEFENSIBLE SPACES.
6. INSTALL EROSION CONTROL MAT ON ALL SLOPES 3:1 AND GREATER.

DATUM:

LEVEL 1 100'-0" = 5,833.00 USGS
 LEVEL 2 112'-0" = 5,845.00 USGS

VERIFY FINISHED FLOOR HEIGHT WITH FINAL CIVIL ENGINEER'S DRAWINGS.

SITE PLAN KEY NOTES

LOT SIZE:
 AREA = .22 ACRES OR 9,552.41 SQ. FT.
 ZONE: GR-1
 HEIGHT LIMIT: 35' MAX

BUILDING PAD:
 AREA = 4,074 SQ. FT.

PROPOSED BUILDING FOOTPRINT:
 AREA = 2,813.67 SQ. FT. - EQUALS 29.45 %
 LOT COVERAGE ALLOWED: 35%, 3,343 SQ. FT.

- RECESSED LIGHT LOCATIONS
- WALL SCONCE LOCATIONS

TRASH TO BE STORED WITHIN THE GARAGE

NOTE:
 SEE CIVIL DOCUMENTS FOR UTILITIES
 SEE LANDSCAPE FOR GRADING

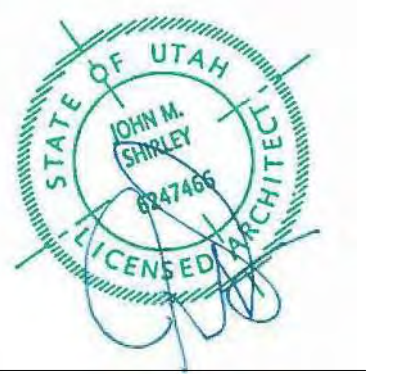


Architecture
 Interior Design
 Landscape Architecture
 Land Planning
 Construction Management

7927 So. Highpoint Parkway, Suite 300
 Sandy, Utah 84094
 ph. 801.269.0565
 fax. 801.269.1425
 www.thinkaoc.com

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WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
 KETCHUM, IDAHO 83340

PROJECT NC22023.32
 DATE: 2023.06.30

REVISIONS:

1	04-27-2023	PER CITY COMMENTS
2	06-14-2023	PER CITY COMMENTS

LEGAL DESCRIPTION:
 LOT 32 BALD MOUNTAIN ROAD

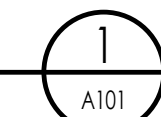
SITE NOTES:

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO TOWN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY PROPER DRAINAGE AWAY FROM HOUSE.
4. PROVIDE DRAINAGE SWALE FROM HIGH TO LOW SIDE OF HOUSE.
5. ZONING: GR-1
6. CONTRACTOR TO VERIFY EXISTING GRADES/TOPOGRAPHY PRIOR TO EXCAVATION AND/OR CONSTRUCTION. VERIFY DRIVEWAY DOES NOT EXCEED 10% GRADE.
7. EXISTING TOPOGRAPHY SHOWN IS BASED ON ROAD DESIGN GRADES & SITE OBSERVATIONS. CONTRACTORS/OWNER TO VERIFY.
8. HEIGHT LIMIT OF 35'-0" OVER EXISTING GRADE. 5'-0" ALLOWANCE FOR CHIMNEYS AND MECHANICAL.

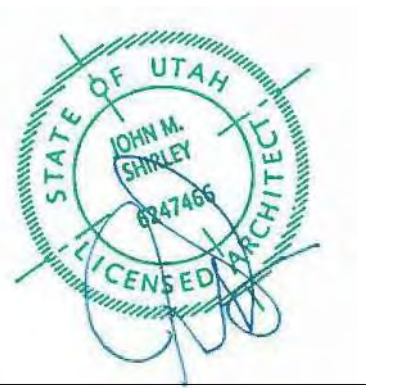
SHEET TITLE:
 SITE PLAN

SHEET NUMBER:
A101

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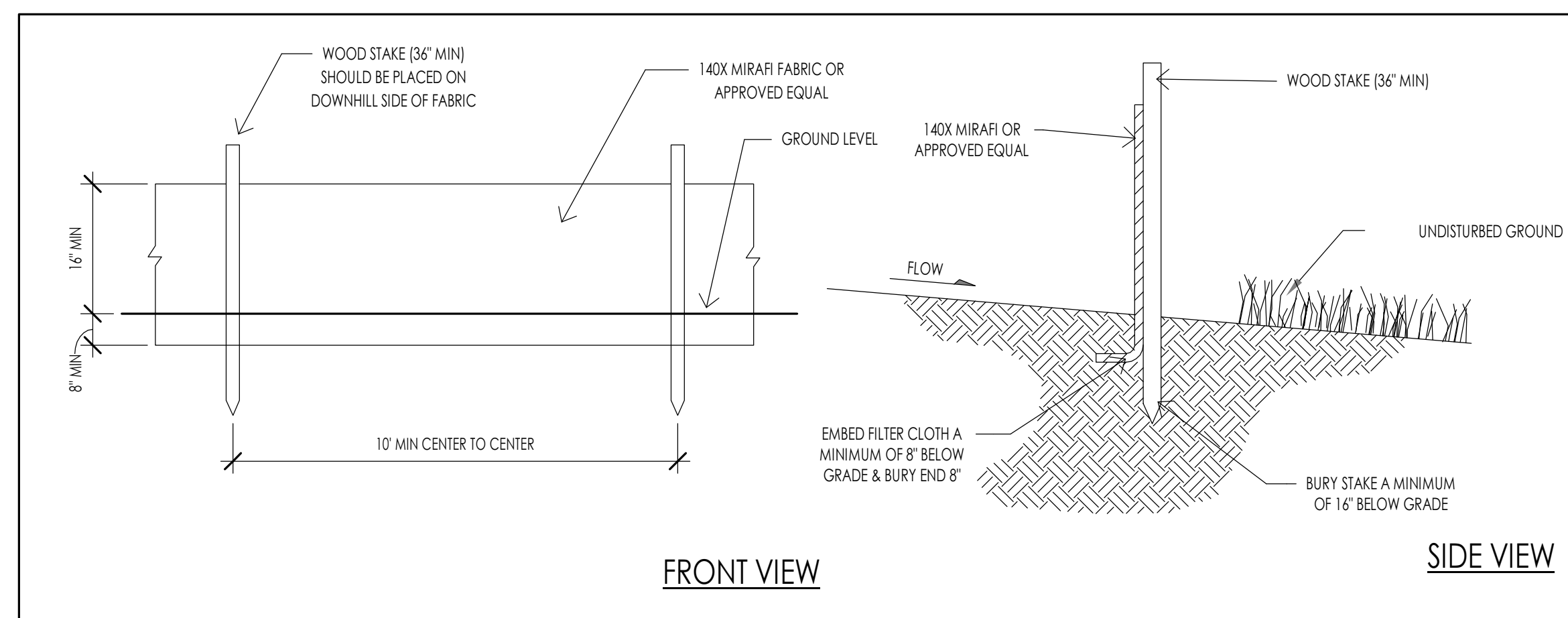


EROSION CONTROL NOTES

- EROSION CONTROL - SPDES PLAN SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR TO THE STATE OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCUR, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY.
- ALL COSTS ASSOCIATED WITH THE PREPARATION, MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES WHICH COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED THROUGH THE SCHEDULED COMPLETION OF WORK.
- PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS WHICH RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION, SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPE.
- CUT AND FILL SLOPES SHALL BE 2:1 MAXIMUM UNLESS ROCK IS ENCOUNTERED. CUT SLOPES IN ROCK MAY BE STEEPER, DEPENDING UPON GEOTECHNICAL CONSIDERATIONS. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE ROUNDED FOR A HORIZONTAL DISTANCE OF THREE FEET BEYOND THE CATCH POINT. SLOPE ROUNDED SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN.
- THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH THE EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN.
- DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO ALL UNSURFACED AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHED AREAS INCLUDING RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES. ROCK CUTS STEEPER THAN 1:1 WILL NOT BE REVEGETATED.
- CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES OR STRAW BALES.
- SEED SHALL BE APPLIED AT A RATE SO THAT GERMINATION AND SUBSEQUENT COVERAGE REACHES 80 PERCENT IN A REPRESENTATIVE 10X10' AREA. IF COVERAGE DOES NOT REACH 80 PERCENT, RESEEDING MUST OCCUR BEFORE REVEGETATION.
- ALL DITCHES AND SWALES BETWEEN 5PERCENT AND 8PERCENT SHALL BE ARMORED WITH A STRAW TYPE EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTED REVEGETATION.
- RIP RAP OF APPROPRIATE SIZE WILL BE CONSTRUCTED INTO ROADSIDE RUNOFF SWALES EXCEEDING 6 PERCENT.
- RIP RAP SHALL BE LOCATED FOR WATER DISPERSAL AT CULVERT OUTLETS.
- THE TIMING FOR STABILIZATION PRACTICES MUST READ PER SECTION 38(4) OF APPENDIX A OF ORDINANCE 391. IDEALS WITH TEMPORARY SEEDING, MULCHING, PERMANENT SEEDING, ETC. WITHIN 5 DAYS OF OPERATIONS TEMPORARILY OR PERMANENTLY CEASING OPERATIONS ON ANY AREA OF THE PROJECT.
- SLOPES OVER 3:1 REQUIRE THE PLACEMENT OF EROSION CONTROL/REVEGETATION MATTING. SLOPES LESS THAN 3:1 MAY BE SPRAYED WITH TACKIFIER.
- PROVIDE PERMANENT RE-SEEDING OF NON-IRRIGATED AREAS ON OR AFTER OCTOBER 15, BUT BEFORE SNOW ACCUMULATES WHEN THE PROBABILITY OF PREMATURE GERMINATION IS MINIMAL.
- STABILIZED CONSTRUCTION ENTRANCES MUST BE UTILIZED IF THE EXISTING PAVEMENT IS REMOVED DURING THE SITE GRADING WHERE CONSTRUCTION TRAFFIC ACCESSES PUBLIC AND PRIVATE ROADWAYS.
- PROTECT ALL EXISTING STORM DRAIN BOX INLETS.
- SEED MIX AND RATE OF APPLICATION SHALL BE AS FOLLOWS:

SEED TYPES	PERCENT OF MIX
PERENNIAL RYEGRASS (LULIUM PERENNIE)	20PERCENT
SLENDER WHEATGRASS (AGROPPRON TRACHYCAULUM)	15PERCENT
20 PERCENT BLUEBUNCH WHEATGRASS (AGROPPRON SPICATUM)	15PERCENT
WESTERN WHEATGRASS (AGROPPRON SMITHII)	10PERCENT
SHEEP FESCUE (FESTUCA OVINA)	8PERCENT
BLUE FLAX (LINUM LEWISSI)	7PERCENT
CALIFORNIA POPPY (ESCHSCHOLZIA CALIFORNICA)	10PERCENT

21 SEEDING RATE TO BE 35 POUNDS PER ACRE OF THE ABOVE LISTED SEED MIX.



SILT FENCE DETAIL

MATERIALS

- STRAW BALES BOUND WITH WIRE OR TWINE.
- WOOD OR STEEL STAKES 4' LONG MIN. SIDE OF THE BARRIER. 2 STAKES PER BALE.

4. WEDGE LOOSE STRAW BETWEEN BALES. BACK FILL AND COMPACT THE EXCAVATED SOIL AGAINST THE UP HILL SIDE OF THE BARRIER.

1. DIG A 6X2' TRENCH. ALIGN TRENCH ALONG CONTOUR BUT CURVED SLIGHTLY UP HILL SO RUNOFF CANNOT ESCAPE AROUND THE END BALES. (SEE (2) BELOW)

2. PLACE BALES IN TRENCH WITH ENDS TIGHTLY ADJUTED.

3. ANCHOR EACH BALE WITH 2 STAKES HAMMERED 1 1/2" TO 2" INTO GROUND. ANGLE THE FIRST STAKE IN EACH BALE TOWARDS THE END BALES. (SEE (2) BELOW)

6. INSPECT PERIODICALLY AND AFTER EACH STORM. REPLACE DAMAGED BALES; RE-ANCHOR DISPLACED ONES.

7. CLEAN OUT SEDIMENT BEFORE IT REACHES THE TOP OF THE BALES.

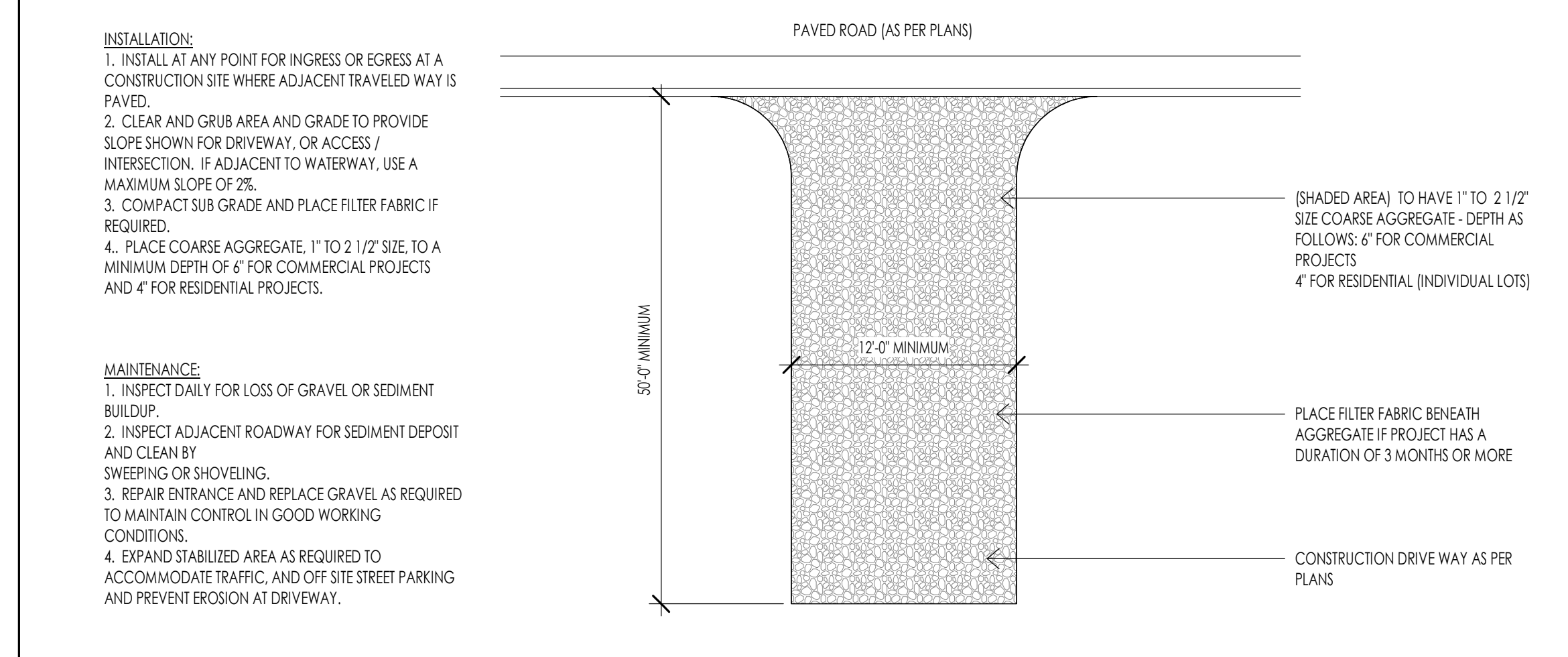
8. DEPOSIT THE REMOVED SEDIMENT WHERE IT WILL NOT ENTER A DRAINAGE WAY.

SEED MIX AND RATE OF APPLICATION SHALL BE AS FOLLOWS:

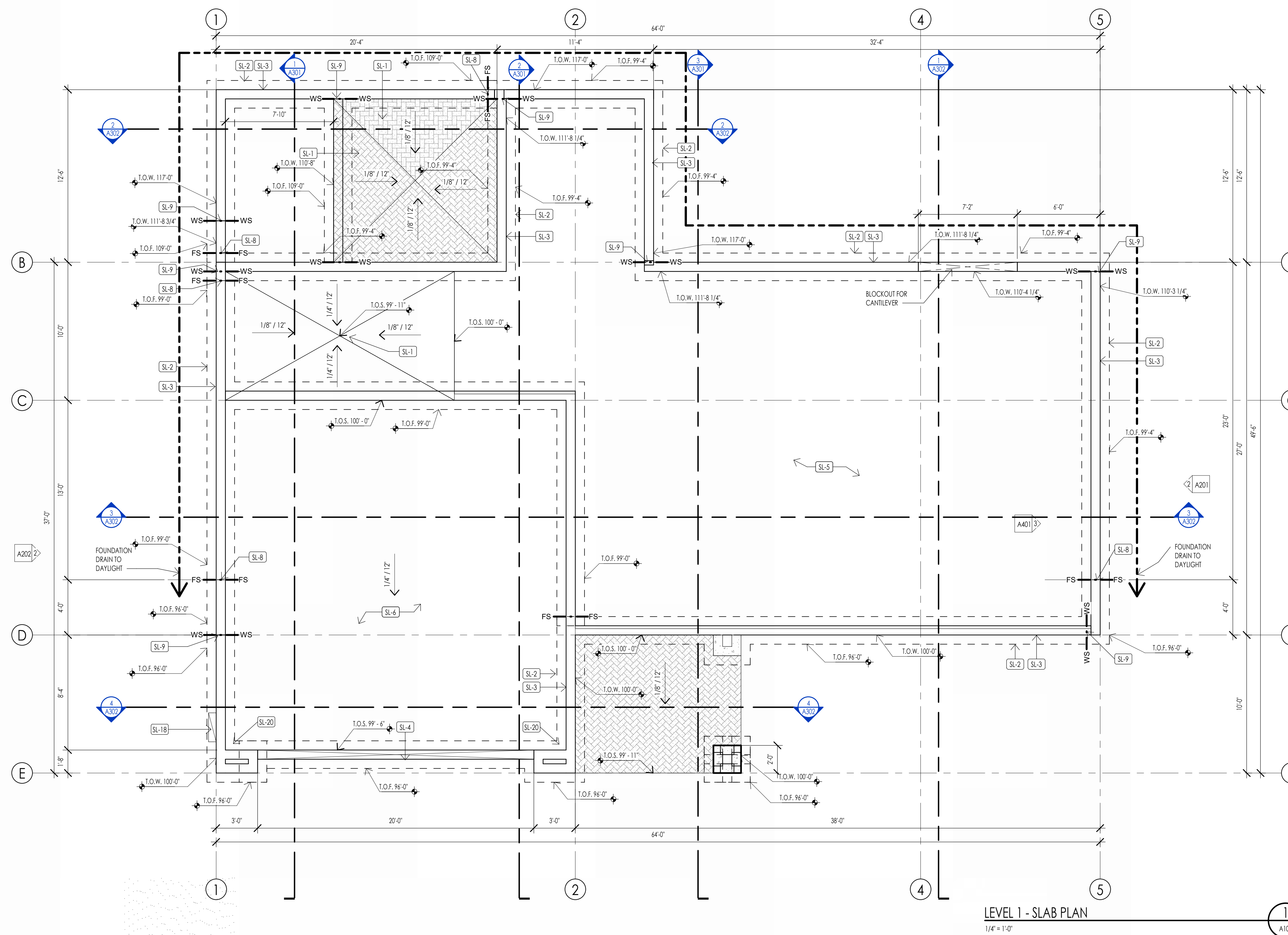
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CALIFORNIA POPPY (ESCHSCHOLZIA CALIFORNICA)	10PERCENT

21 SEEDING RATE TO BE 35 POUNDS PER ACRE OF THE ABOVE LISTED SEED MIX.

STRAW BALE EROSION CONTROL



CONSTRUCTION ENTRANCE



FOUNDATION PLAN LEGEND

HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE
[Hatch Pattern]	2" RIGID FOAM INSULATION TO EXTEND FROM BOTTOM OF SLAB DOWN TO FOOTING AND HORIZONTALLY UNDER SLAB 4'-0" MIN. AT PERIMETER OF FOUNDATION.

FOUNDATION PLAN SYMBOLS LEGEND

SYMBOL	DESCRIPTION
FS	FOOTING STEP
WS	WALL STEP
T.O.F.	TOP OF FOOTING ELEVATION
T.O.W.	TOP OF WALL ELEVATION
T.O.S.	TOP OF SLAB ELEVATION
T.O.P.	TOP OF PIER ELEVATION

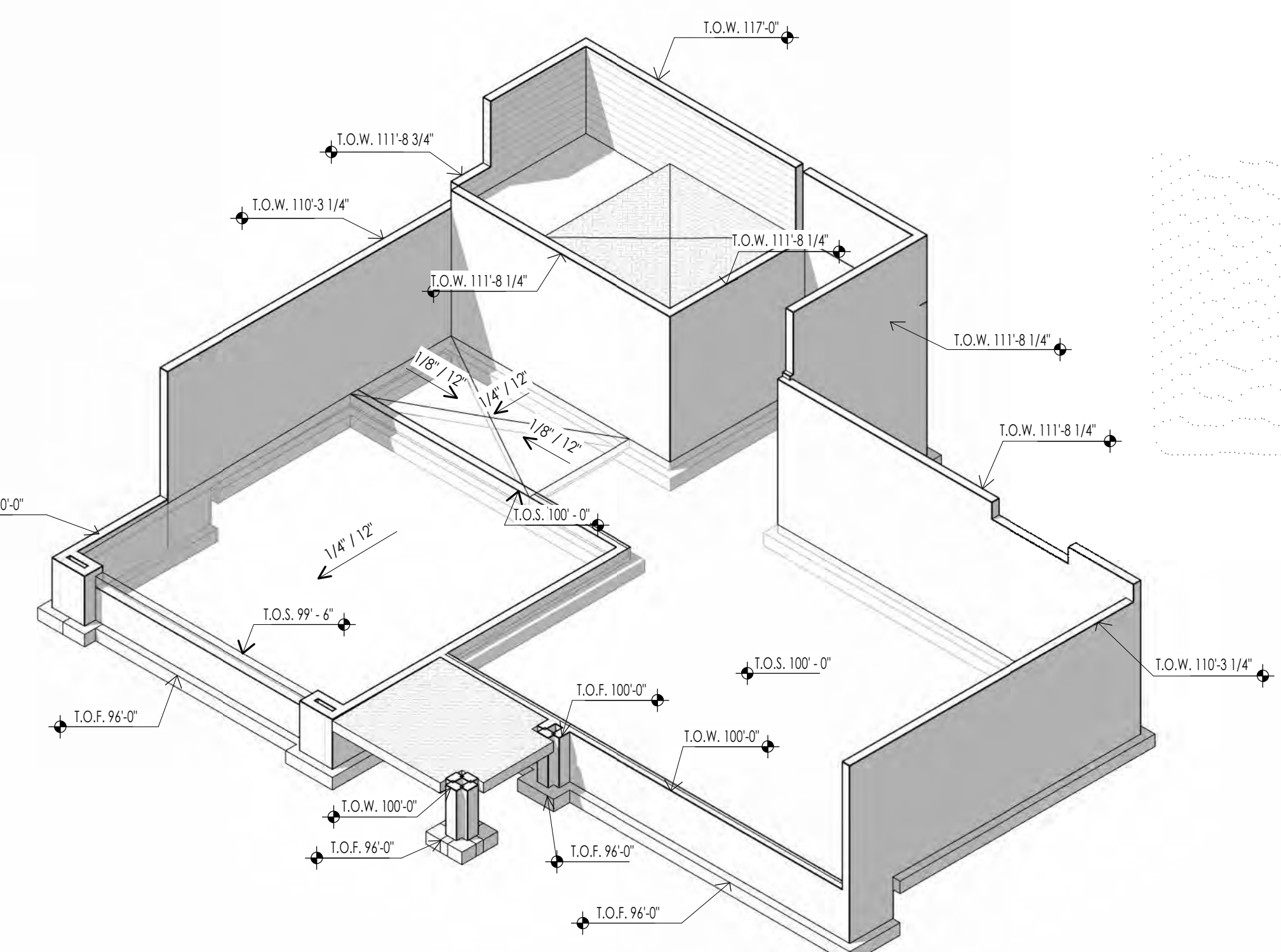
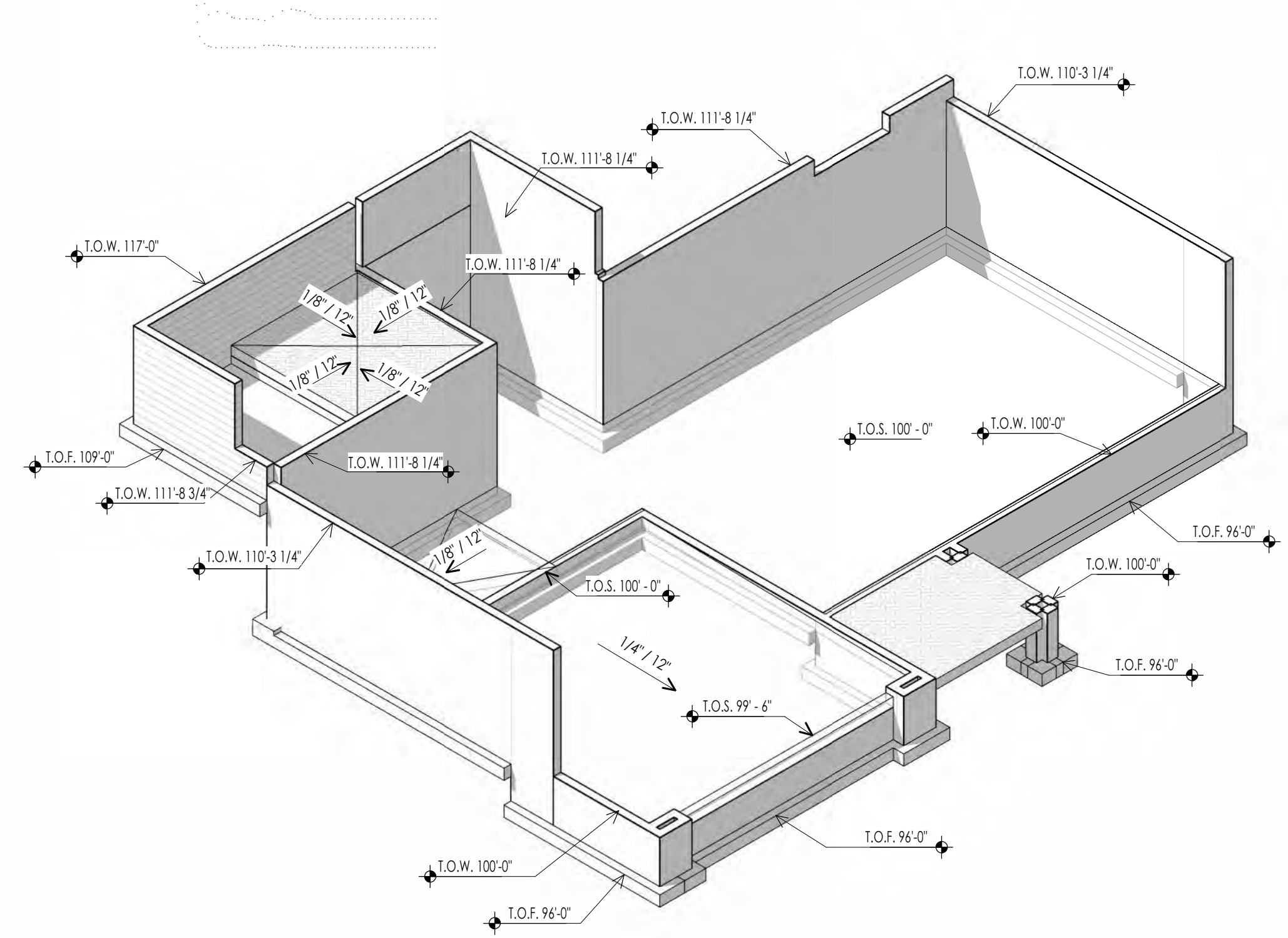
- ### FOUNDATION GENERAL NOTES
- COORDINATE ARCHITECTURAL FOUNDATION PLAN WITH STRUCTURAL FOUNDATION PLAN. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED WORK.
 - COORDINATE MECHANICAL, ELECTRICAL, & PLUMBING PRIOR TO CONSTRUCTION OF FOOTINGS & FOUNDATION.
 - VERIFY ELEVATIONS OF FOUNDATION WALLS & FOOTINGS. COORDINATE WITH SITE PLAN & PROPOSED CONTOURS.
 - CONCRETE FLOOR SLABS, EXCEPT THOSE IN UNHEATED ACCESSORY STRUCTURES, SHALL HAVE A VAPOR RETARDER CONSISTING OF 6 MIL POLYETHYLENE (OR APPROVED EQUAL) VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES PLACED BETWEEN THE CONCRETE FLOOR SLAB & THE BASE COURSE OF THE PREPARED SUB-GRADE WHERE NO BASE COURSE EXISTS.
 - FOUNDATION REBAR INSPECTIONS ARE REQUIRED FOR FOUNDATION WALLS OVER 8 FEET HIGH. FORMS ARE NOT TO BE INSTALLED ON ONE SIDE UNTIL AFTER THE REBAR HAS BEEN INSPECTED.

DATUM ELEVATIONS

ARCHITECTURE	CIVIL	LEVEL
87'-6"	-	LEVEL 00 - TOP OF SLAB
88'-6"	-	LEVEL 0 - TOP OF SLAB
99'-0"	-	TOP OF SLAB AT FRONT OF GARAGE
100'-0"	-	LEVEL 1 - TOP OF PLYWOOD

FOUNDATION PLAN KEYNOTES

KEYNOTES
SL-1 CONTRACTOR TO COORDINATE LOCATION OF FLOOR DRAIN - SLOPE SLAB TOWARDS DRAIN AS REQUIRED
SL-2 CAST IN PLACE FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENG COMPACTED FILL - SEE STRUCTURAL GENERAL NOTES & PROJECT MANUAL
SL-3 CAST IN PLACE FOUNDATION WALLS WITH WATER PROOFING AS NOTED - SEE STRUCTURAL NOTES AND DETAILS
SL-4 PROVIDE BLOCKOUT AT FOUNDATION WALL AT DOOR OPENINGS AND POUR SLAB OVER TOP OF WALL - SEE DETAILS
SL-5 CAST IN PLACE INTERIOR CONCRETE SLABS TO BE 4" CONCRETE SLAB REINFORCED WITH FIBER MESH OVER 4" GRAVEL BASE - SEE STRUCTURAL NOTES
SL-6 CAST IN PLACE GARAGE CONCRETE SLABS TO BE 5" CONCRETE SLAB OVER 4" GRAVEL BASE AND FINISH AS NOTED - SEE STRUCTURAL NOTES
SL-8 CONTRACTOR TO COORDINATE FOOTING STEPS TO ASSURE REQUIRED FROST PROTECTION AT EACH FOOTING - NOTIFY ARCHITECT IF FOOTING ELEVATIONS NEED TO CHANGE
SL-9 CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION
SL-18 PROVIDE A LAYER GROUND. AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. 250B.12 AND N.E.C. 250.50)
SL-20 WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING



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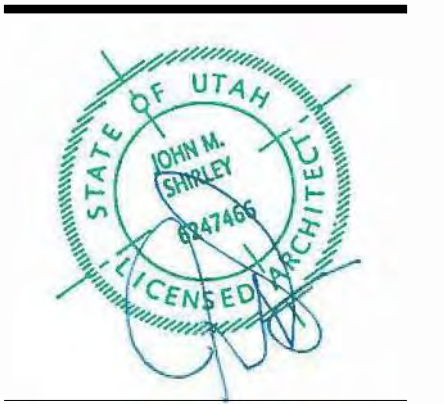


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Interior Design
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7927 So. Highpoint Parkway, Suite 300
Scary, Utah 84094
ph: 801.269.0555
fax: 801.269.1425
www.thinkaec.com

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WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

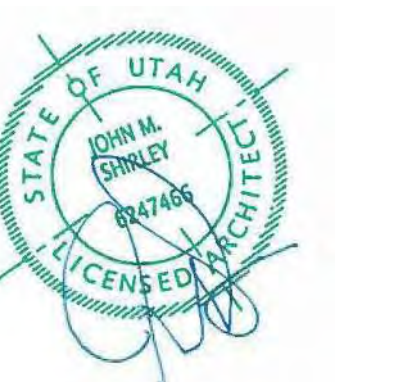
PROJECT NC22023.32
DATE: 2023.06.30

SHEET TITLE:
FOUNDATION PLAN

SHEET NUMBER:
A103

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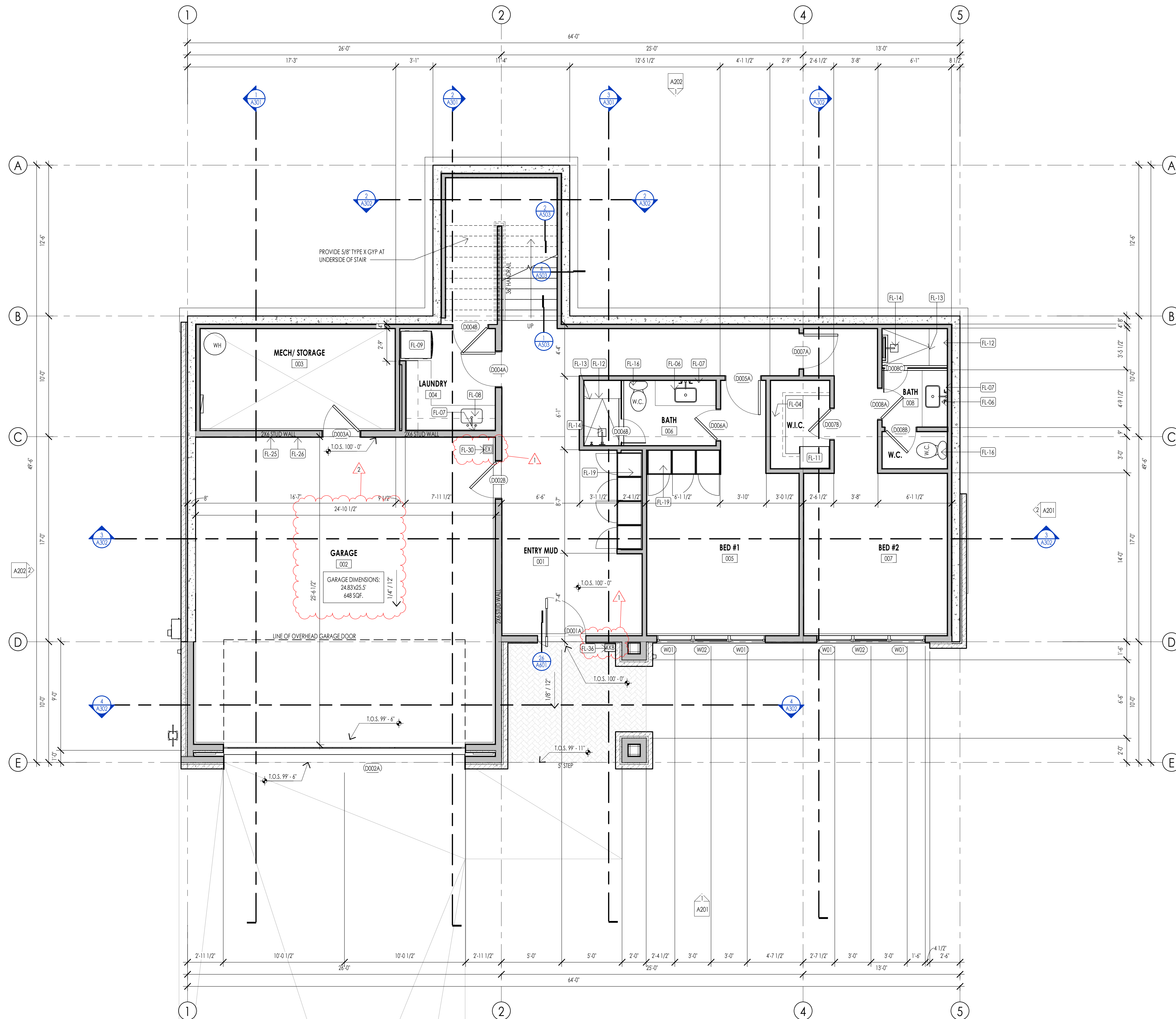
FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL		CARPET FINISH
	CMU BLOCK WALL		TILE FINISH
	STONE VENEER		EXTERIOR CONCRETE SLABS
	METAL STUD WALL		
	WOOD STUD WALL		

- ### FLOOR PLAN GENERAL NOTES
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
 - CEILING HEIGHTS MEASURED FROM FLYWOOD OR CONCRETE - SEE SECTIONS.
 - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
 - REFER TO ENLARGED PLANS FOR ALL DECK/PATIO'S.
 - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
 - SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
 - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
 - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES.
 - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
 - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
 - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
 - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

- ### STAIR PLAN GENERAL NOTES
- STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.5.
 - THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAN 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. I.R.C. 11.7.1 FOR ADDITIONAL WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.10.1
 - THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 7.3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. (UTAH STATE AMENDMENT REPLACES R311.7.5 AND ALLOWS FOR 8" MAX RISERS AND 9" MIN TREADS)
 - LANDINGS: EVERY LANDING SHALL HAVE A WIDTH DIMENSION OF NOT LESS THAN THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DEPTH DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. FOR LANDINGS WITH ADJOINING DOORS SEE I.R.C. SECTION R311.7.6 FOR SOME EXCEPTIONS/OPTIONS.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (I.R.C. R302.7)
 - HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
 - HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
 - HANDRAILS SHALL BE MOUNTED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON A LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWER RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. TOLLUTS, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
 - THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4 INCHES MINIMUM TO 2 5/8 INCHES MAXIMUM. OTHER HANDRAIL SHAPES THAT HAVE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE. SEE BUILDING CODE. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. R311.7.8.3.
 - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
 - GUARD RAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R312.
 - GUARDRAILS ARE REQUIRED AT ALL PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD.
 - REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES, ETC. SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - THE TRIANGLE OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH.
 - THE GUARDS AT SIDES OF STAIRS SHALL HAVE GUARD SUCH THAT A 4-3/8" SPHERE CANNOT PASS THROUGH.

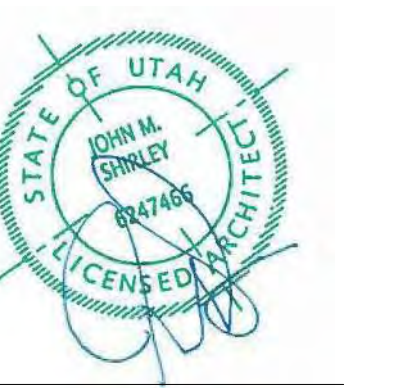
FLOOR PLAN KEYNOTES

KEYNOTES	
FL-04	CLOSET SHELVING/ ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-07	MIRROR SINK AS PER INTERIOR DESIGNER
FL-08	LAUNDRY SINK/ FAUCET PER INTERIOR DESIGNER
FL-09	STACKED WASHER AND DRYER. CONTRACTOR TO COORDINATE WITH MECHANICAL AND ELECTRICAL
FL-11	CABINET SYSTEMS/SHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGNER
FL-13	PROVIDE 'SCHEER' BRONZE LINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGNER
FL-16	W.C. TO BE 'XOHLER' PERIGUARD CURV COMFORT
FL-19	BUILT IN MIDGEAR CABINETS AS PER INTERIOR DESIGNER
FL-25	PROVIDE HOT/COLD HOOR UP
FL-26	PROVIDE 50 AMP EV CONNECTION POINT
FL-30	FIRE EXTINGUISHERS SHALL BE INSTALLED AND MAINTAINED PER 2018 IFC SECTION 904 BOTH DURING CONSTRUCTION AND UPON OCCUPANCY OF THE BUILDING. DURING CONSTRUCTION FIRE EXTINGUISHERS SHALL BE PLACED IN A CONSPICUOUS, EASY TO ACCESS, UNOBSTRUCTED LOCATION THAT IS LESS THAN 75' TRAVEL DISTANCE TO ANY COMBUSTIBLES ON SITE. 30' TO ANY HOT WORK. EXTINGUISHERS SHALL BE MOUNTED IN A CONSPICUOUS, EASY TO ACCESS, UNOBSTRUCTED LOCATION. UPON COMPLETION OF PROJECT EVERY SINGLE-FAMILY RESIDENCE SHALL HAVE A MINIMUM OF ONE EXTINGUISHER PER GARAGE AND ONE EXTINGUISHER PER KITCHEN AREA.
FL-36	AN APPROVED KEY BOX SHALL BE INSTALLED. WITH THE APPROPRIATE KEYS FOR EMERGENCY FIRE DEPARTMENT ACCESS IN A LOCATION APPROVED BY THE FIRE DEPARTMENT. THE KEY BOX SHALL BE A THICK BOX BRAND AND SEED TO ACCOMMODATE KEYS TO EVERY DOOR OF THE PROJECT LOCATION. NO MORE THAN 3FT HOR. FROM MAIN DOOR AND NO MORE THAN 5.5FT VERTICAL. VERIFY LOCAL CODE.



LEVEL 1 - FLOOR PLAN
1/8" = 1'-0"





WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30

REVISIONS:
1 04-27-2023 PER CITY COUNCIL

SHEET TITLE:
LEVEL 2 FLOOR PLAN

SHEET NUMBER:
A105

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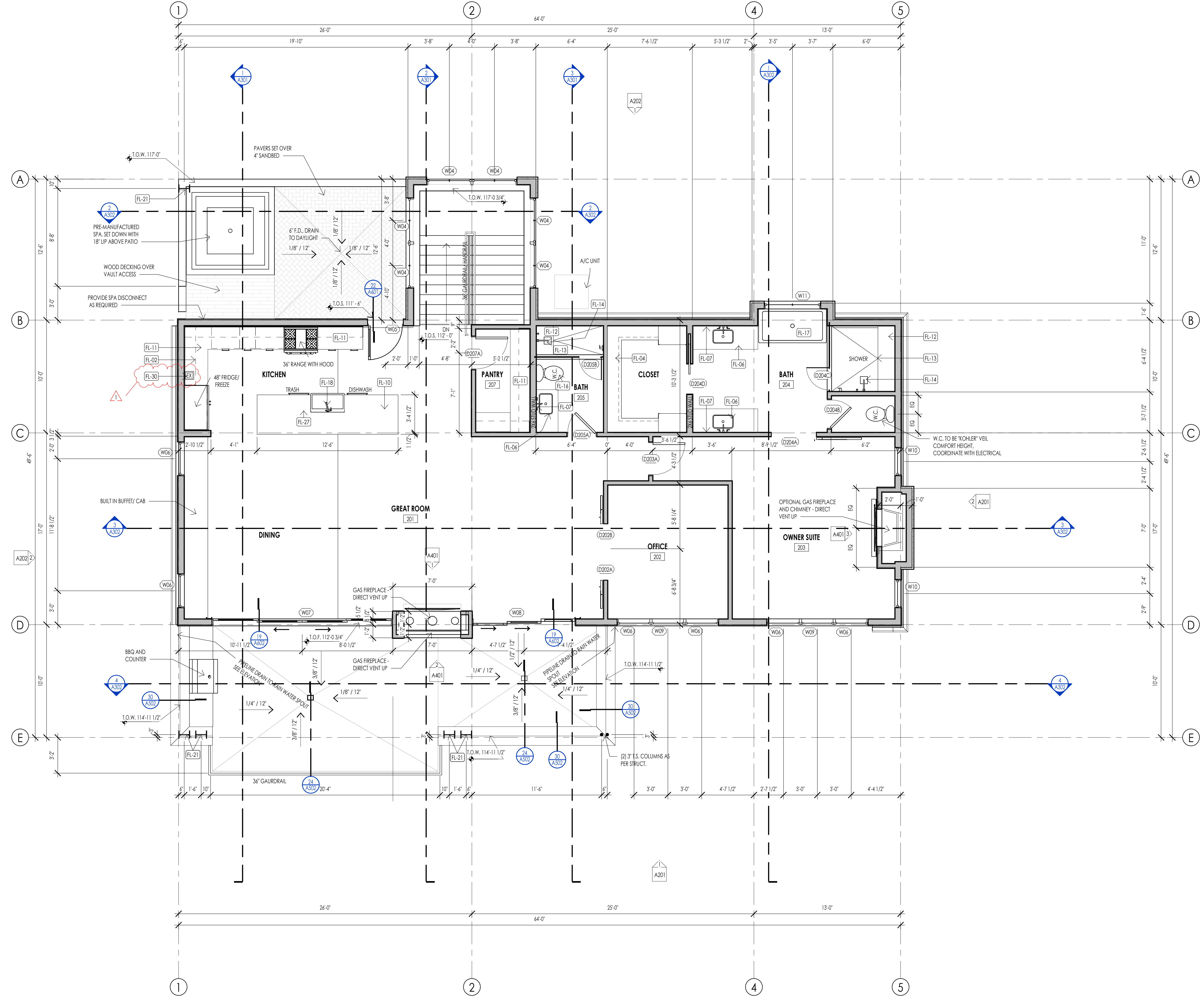
FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL		CARPET FINISH
	CMU BLOCK WALL		TILE FINISH
	STONE VENEER		EXTERIOR CONCRETE SLABS
	METAL STUD WALL		
	WOOD STUD WALL		

- ### FLOOR PLAN GENERAL NOTES
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
 - CEILING HEIGHTS MEASURED FROM FLYWOOD OR CONCRETE - SEE SECTIONS.
 - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
 - REFER TO ENLARGED PLANS FOR ALL DECK/PATIO.
 - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
 - SEE SHEET A202 FOR PROJECT GENERAL NOTES AND SHEET A203 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
 - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
 - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES.
 - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
 - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
 - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
 - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

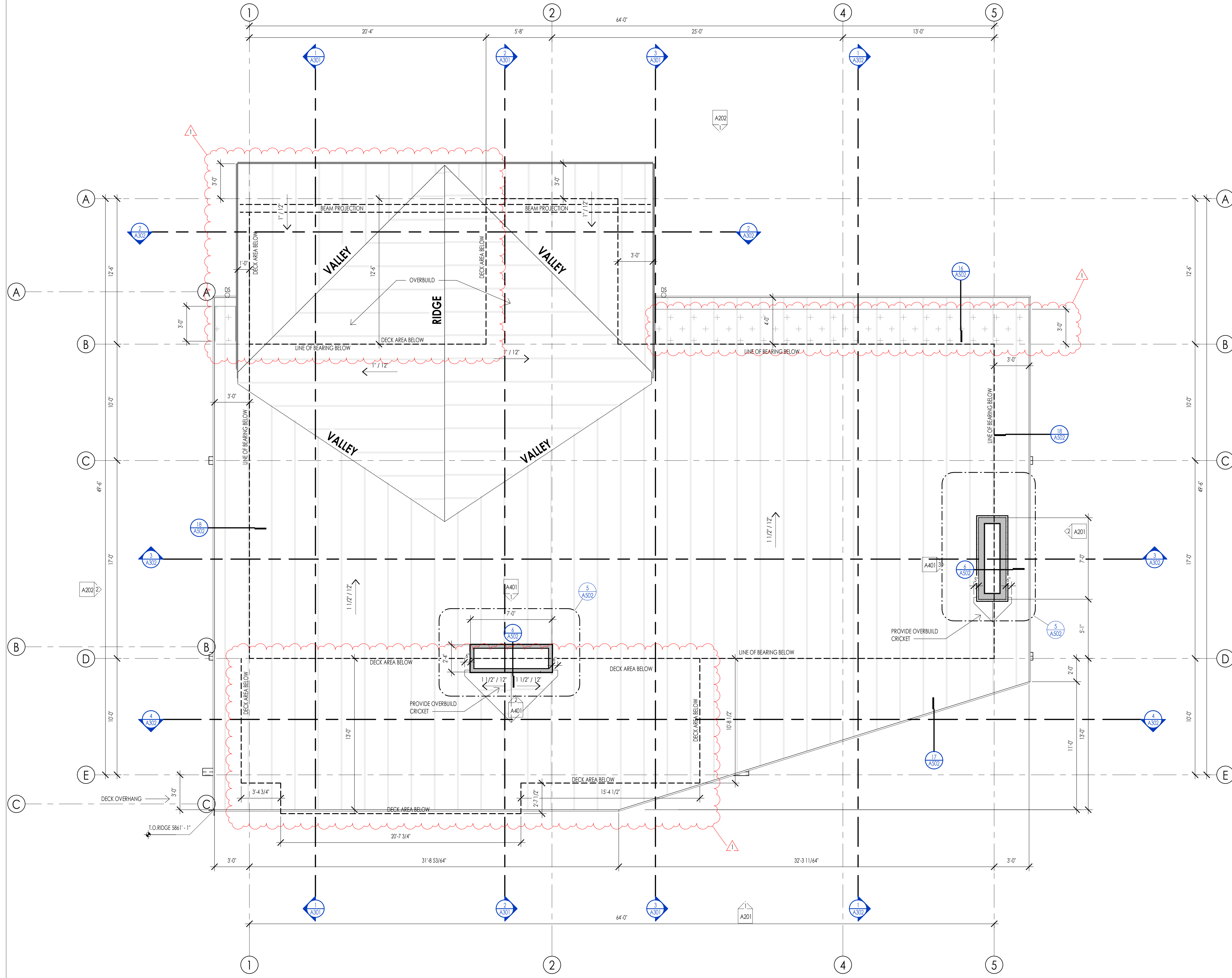
- ### STAIR PLAN GENERAL NOTES
- STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.5.
 - THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAN 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. IRC 311.7.1 FOR ADDITIONAL WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.10.1
 - THE MAXIMUM STAIR RISEER SHALL NOT EXCEED 7.3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLER BY MORE THAN 3/8 INCH. (UTAH STATE AMENDMENT REPLACES R311.7.5 AND ALLOWS FOR 8" MAX RISERS AND 9" MIN TREADS)
 - LANDINGS: EVERY LANDING SHALL HAVE A MINIMUM DEPTH DIMENSION OF NOT LESS THAN THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DEPTH DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. FOR LANDINGS WITH ADJOINING DOORS SEE I.R.C. SECTION R311.7.6 FOR SOME EXCEPTIONS/OPTIONS.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (I.R.C. R302.7)
 - HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
 - HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
 - HANDRAILS SHALL BE INSTALLED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON A LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUED THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN REVEL POSTS, VOLLIES, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
 - THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4 INCHES MINIMUM TO 2 5/8 INCHES MAXIMUM. OTHER HANDRAIL SHAPES THAT HAVE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE. SEE BUILDING CODE. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. R311.7.8.3.
 - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
 - GUARD RAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R312.
 - GUARDRAILS ARE REQUIRED AT ALL PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD.
 - REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES, ETC. SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - THE TRIANGLE OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH.
 - THE GUARDS AT SIDES OF STAIRS SHALL HAVE GUARD SUCH THAT A 4-3/8" SPHERE CANNOT PASS THROUGH.

FLOOR PLAN KEYNOTES

KEYNOTES	
FL-02	OVERHEAD CABINETS PROJECTION
FL-04	CLOSET SHELVING/ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-07	MIRROR SINK AS PER INTERIOR DESIGNER
FL-10	36" COUNTERTOP PER INTERIOR DESIGNER
FL-11	CABINET SYSTEM SHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGNER
FL-13	PROVIDE "SCHLITZ" KEROLINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGNER
FL-16	W.C. TO BE "KOHLER" PERIPLAC CURBY COMFORT
FL-17	TUB/ SOAKER TUB AS PER INTERIOR DESIGNER
FL-18	KITCHEN SINK W/DISPOSAL - COUNTERTOP - CABINETS PER INTERIOR DESIGNER
FL-21	WIDE FLANGE COLUMNS AS PER STRUCTURAL
FL-27	PROVIDE COUNTER BUTTON SWITCH FOR DISPOSAL UNIT
FL-30	FIRE EXTINGUISHERS SHALL BE INSTALLED AND MAINTAINED PER 2018 IBC SECTION 904 BOTH DURING CONSTRUCTION AND UPON OCCUPANCY OF THE BUILDING. DURING CONSTRUCTION FIRE EXTINGUISHERS SHALL BE PLACED IN A CONSPICUOUS, EASY TO ACCESS, UNOBSTRUCTED LOCATION THAT IS LESS THAN 75' TRAVEL DISTANCE TO ANY COMBUSTIBLE ON SITE. 30' TO ANY HOV WORK. EXTINGUISHERS SHALL BE INSTALLED IN A CONSPICUOUS, EASY TO ACCESS, UNOBSTRUCTED LOCATION. UPON COMPLETION OF PROJECT EVERY SINGLE-FAMILY RESIDENCE SHALL HAVE A MINIMUM OF ONE EXTINGUISHER PER GARAGE AND ONE EXTINGUISHER PER KITCHEN AREA.



LEVEL 2 - FLOOR PLAN
1/4" = 1'-0"



ROOF PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	KEEP RIB ROOFING MEMBRANE	[Hatch Pattern]	
[Hatch Pattern]	LOCATION OF SNOW RETENTION SYSTEM - TO BE DESIGNED AND ENGINEERED BY OTHERS - SEE DETAILS BELOW	[Hatch Pattern]	
[Hatch Pattern]	RAIN GUTTER WITH DOWN SPOUT	[Hatch Pattern]	

TRA SNOW & SUN
SNOW RETENTION SYSTEMS

07 72 53
1657 South 550 East
American Fork, UT 84003
801-606-8980 | www.tra-snow.com

SNOW DIAMOND CLAMP-ON - 1 RAIL

DESCRIPTION

- Designed for standing seam metal roofs.
- Available for rib types including: Double Lock, Single Lock, Snap Lock, Skyline, etc.
- Designed for aluminum square tubes (see square clamp-on tube product data sheet).
- Allows for full installation without penetration of the roof surface.
- Powder coated to match roofing material color.
- Overall dimensions: 2.87" L x 1.64" W x 1.64" H.
- Height (HT) of clamp varies based on rib type and height.
- Carriage bolt (2) 3/8" Dia. X 1-3/4" or 2"

MATERIALS

- zinc Coated Steel: 316" (ASTM A336)
- Stainless Steel: 165" (ASTM A666-03)

COLORS/FINISHES

- zinc Primer Steel
- Hot Dipped Galvanized Steel
- Mill Finish Stainless Steel
- Powder coating available in many colors visit: www.tra-snow.com/color-chart

NOTE: Due to specific job conditions, TRA Snow and Sun will only warranty a snow retention system layout that has been designed by TRA Snow and Sun.

1 RAIL CLAMP-ON SNOW FENCE SYSTEM

USED ON: STANDING SEAM METAL

INSTALLATION: CLAMP THE SNOW FENCE TO THE RIB BY USING A TORQUE WRENCH WITH 30 FT.-LBS. OF PRESSURE APPLIED TO EACH BOLT FOR SPECIFIC ENGINEERING & PLACEMENT CALL TRA SNOW & SUN AT 801-756-8966.

SNOW RETENTION SYSTEMS

- ### ROOF PLAN GENERAL NOTES
- SEE SHEET 0002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
 - FLASH ALL ROOF PENETRATIONS WHETHER SHOWN OR NOT.
 - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS.
 - PROVIDE HEAT TRACE IN ALL RAIN GUTTERS, DOWN SPOUTS AND RAIN CHAINS.
 - ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.
 - ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.
 - CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT WILL PREVENT DRAINAGE.
 - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESPECIALLY).
 - DIMENSIONS SHOWN ON THE ROOF PLAN ARE FROM THE EXTERIOR SIDE OF THE STUD FRAMING BELOW.

- ### ROOF PLAN KEYNOTES
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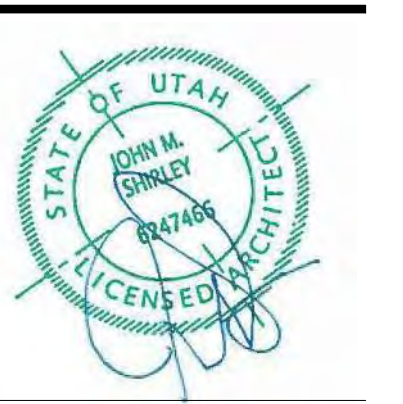


THINK
Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 So. Highpoint Parkway, Suite 300
Scary, Utah 84094
ph. 801.269.0555
fax 801.269.1425
www.thinkaoc.com

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WARM SPRINGS RESIDENCE #32

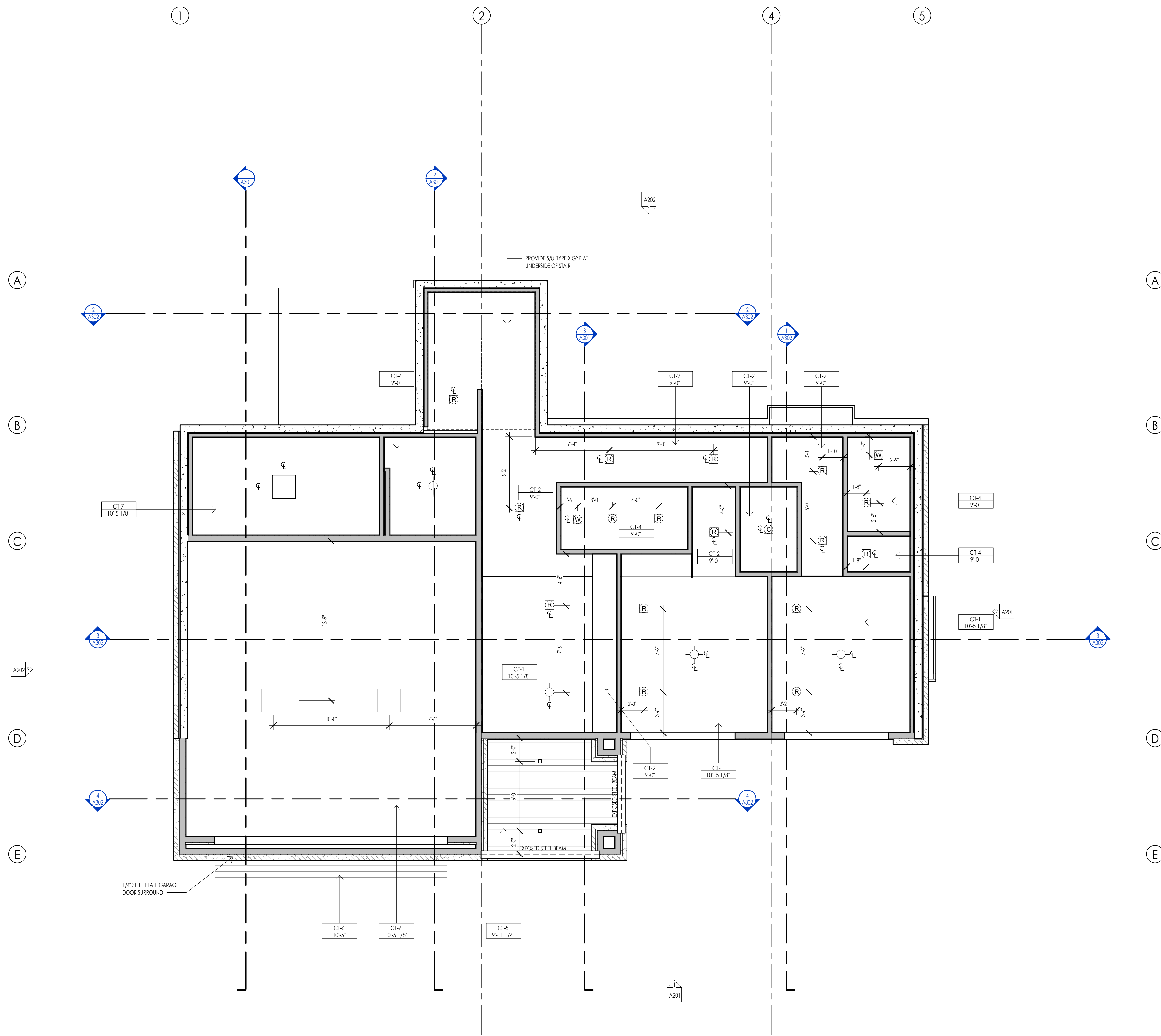
160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30
REVISIONS:
1 04-27-2023 PER CITY COMMENTS

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
A106

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REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FLOOR FRAMING	[Hatch Pattern]	CT-7	5/8" GYPSUM BOARD TYPE X FIRE RESISTANT
[Hatch Pattern]	CT-2	5/8" GYPSUM BOARD 2x4			
[Hatch Pattern]	CT-3	5/8" WATER RESISTANT GYPSUM BOARD AT ROOF FRAMING			
[Hatch Pattern]	CT-4	5/8" WATER RESISTANT GYPSUM BOARD 2x4			
[Hatch Pattern]	CT-5	3/4" - 2x4 T+G			
[Hatch Pattern]	CT-6	3/4" - 1+G ROOF SOFFIT			

- REFLECTED CEILING PLAN GENERAL NOTES**
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
 2. ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.
 3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
 4. REFER TO ENLARGED PLANS FOR ALL DECKS.
 5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 6. SEE SHEET G022 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
 7. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
 8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.

CEILING TAG SYMBOL	DESCRIPTION
CT-1	CEILING TYPE
1'-0"	HEIGHT

REFLECTED CEILING PLAN KEYNOTES

KEYNOTES

PROJECT NC22023.32
 DATE: 2023.06.30
 REVISIONS:

SHEET TITLE:
 LEVEL 1 CEILING PLAN

SHEET NUMBER:
 A110

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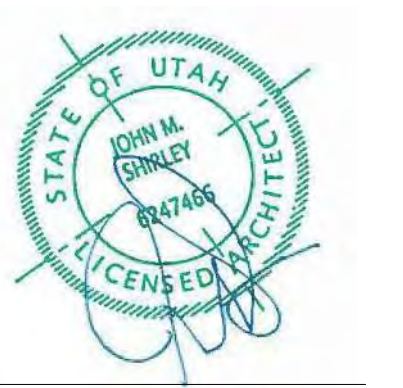


Architecture
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7927 So. Highpoint Parkway, Suite 300
 Sandy, Utah 84094
 ph. 801.269.0555
 fax 801.269.1425
 www.thinkaec.com

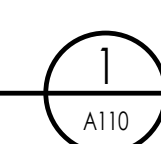
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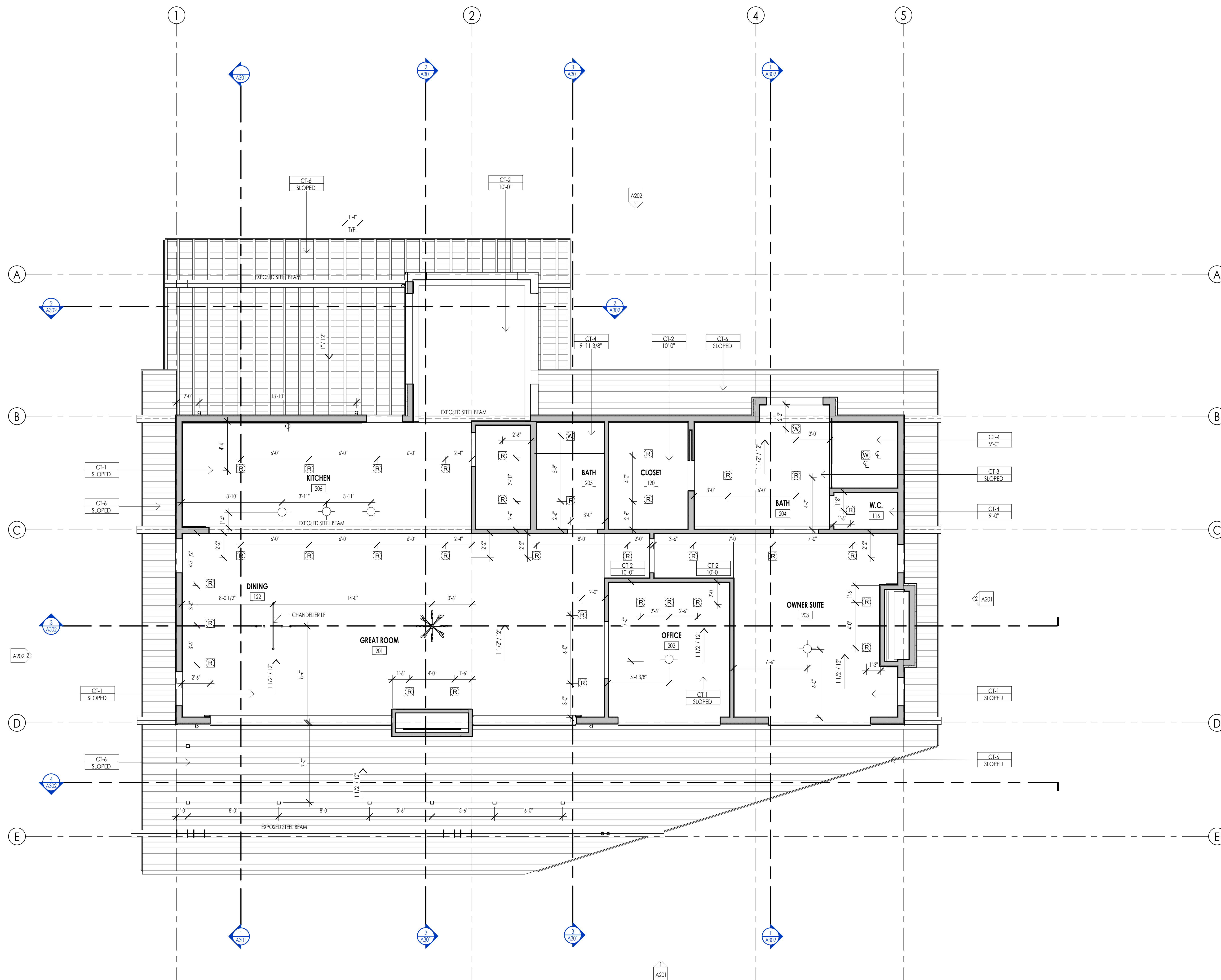
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WARM SPRINGS RESIDENCE #32
 160 BALD MOUNTAIN ROAD
 KETCHUM, IDAHO 83340

LEVEL 1 - REFLECTED CEILING PLAN
 1/4" = 1'-0"





REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FLOOR FRAMING.	[Hatch Pattern]	CT-7	5/8" GYPSUM BOARD TYPE X FIRE RESISTANT
[Hatch Pattern]	CT-2	5/8" GYPSUM BOARD 2x4			
[Hatch Pattern]	CT-3	5/8" WATER RESISTANT GYPSUM BOARD AT ROOF FRAMING			
[Hatch Pattern]	CT-4	5/8" WATER RESISTANT GYPSUM BOARD 2x4			
[Hatch Pattern]	CT-5	3/4" - 2x4 T+G			
[Hatch Pattern]	CT-6	3/4" - 1+G ROOF SOFFIT			

- REFLECTED CEILING PLAN GENERAL NOTES**
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
 2. ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.
 3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
 4. REFER TO ENLARGED PLANS FOR ALL DECKS.
 5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 6. SEE SHEET G022 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
 7. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
 8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.

CEILING TAG SYMBOL	DESCRIPTION
CT-1	CEILING TYPE
1'-0"	HEIGHT

REFLECTED CEILING PLAN KEYNOTES

PERMIT SET

PROJECT NC22023.32
DATE: 2023.06.30
REVISIONS:

SHEET TITLE:
LEVEL 2 CEILING PLAN

SHEET NUMBER:
A111

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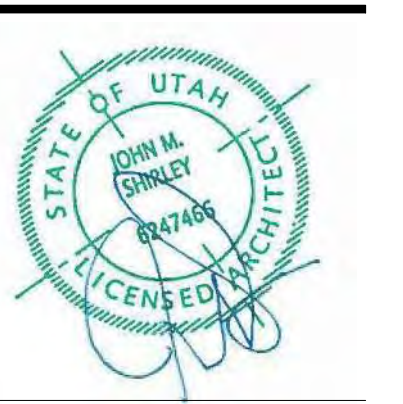


Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 So. Highpoint Parkway, Suite 300
Sandwich, Utah 84094
ph. 801.269.0555
fax 801.269.1425
www.thinkaec.com

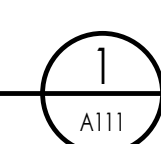
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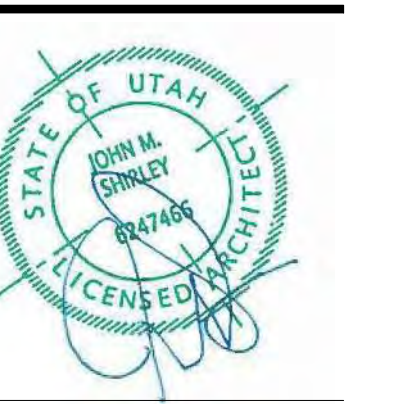
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #32
160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

LEVEL 2 - REFLECTED CEILING PLAN
1/8" = 1'-0"

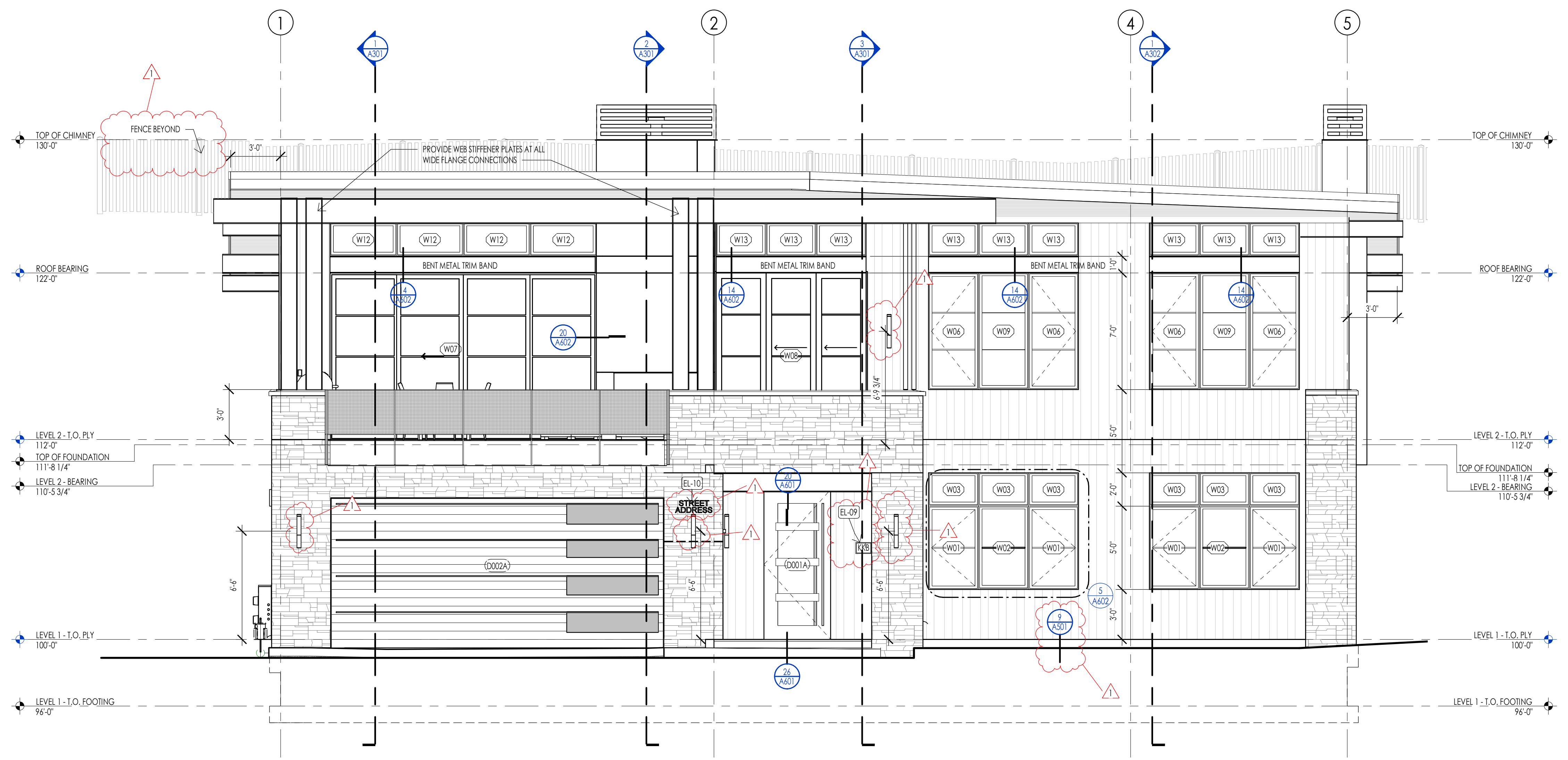




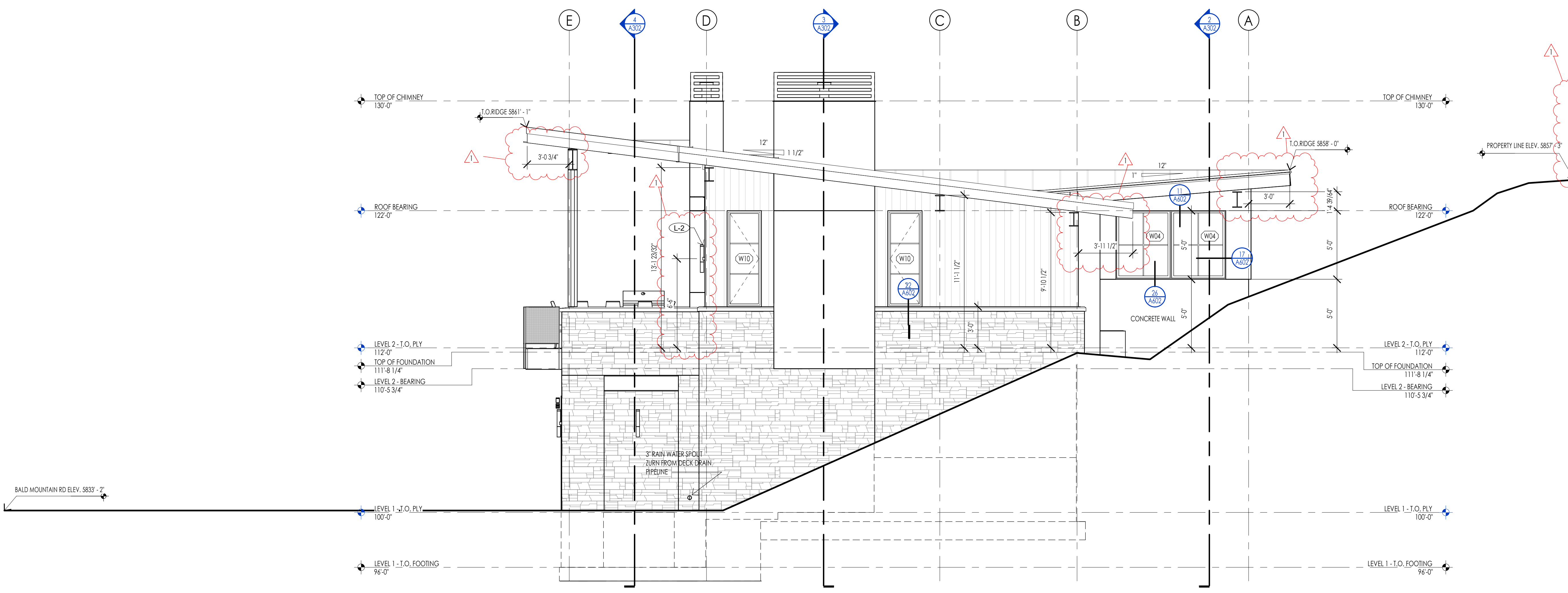
HATCH PATTERN	DESCRIPTION
	KEEP RIB MEMBRANE ROOFING SYSTEM
	1X4, 1/4" CEDAR CHANNEL LAP VERTICAL SIDING SYSTEM WITH SQUARE EDGES, RANDOM WIDTHS
	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL

KEYNOTES	
EL-09	AN APPROVED KEY BOX SHALL BE INSTALLED, WITH THE APPROPRIATE KEYS FOR EMERGENCY FIRE DEPARTMENT ACCESS IN A LOCATION APPROVED BY THE FIRE DEPARTMENT. THE KEY BOX SHALL BE A KNOX BOX BRAND AND SIZED TO ACCOMMODATE KEYS TO EVERY DOOR OF THE PROJECT. LOCATION NO MORE THAN 3FT HOR. FROM MAIN DOOR AND NO MORE THAN 5.5FT VERTICAL-VERIFY LOCAL CODE.
EL-10	APPROVED ADDRESS NUMBERS SHALL BE PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROAD FRONTING THE PROPERTY. NUMBERS AND LETTERS SHALL BE A MINIMUM OF FOUR (4) INCHES TALL, HAVE A MINIMUM 1/8" BRUSH STROKE, CONTRAST WITH THEIR BACKGROUND, AND BE POSITIONED A MINIMUM OF FORTY-EIGHT (48) INCHES ABOVE FINAL GRADE.



SOUTH ELEVATION
1/4" = 1'-0" (A201)



EAST ELEVATION
1/4" = 1'-0" (A201)

WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

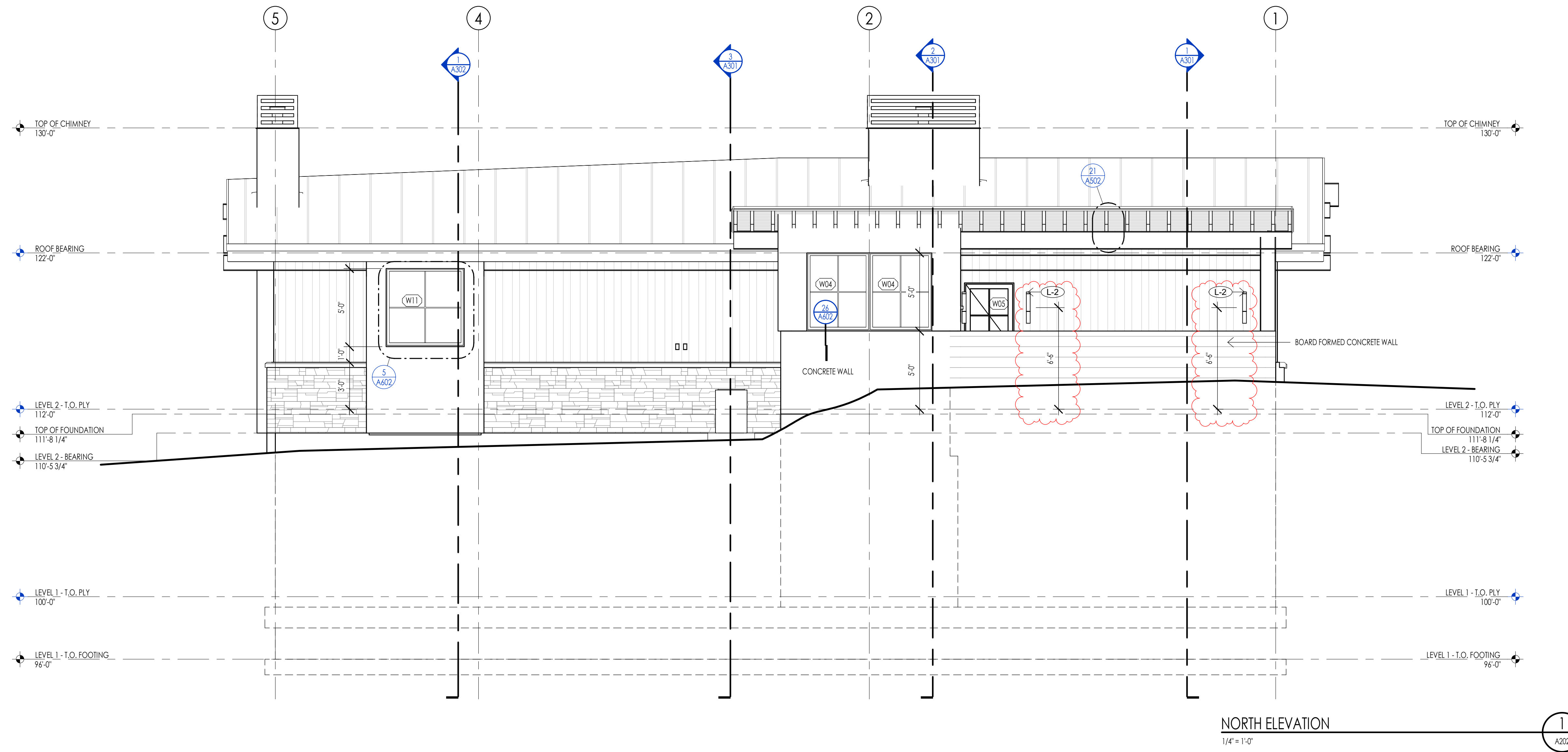
PROJECT NC22023.32
DATE: 2023.06.30

REVISIONS:
1 04-27-2023 PER CITY COMMENTS

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A201

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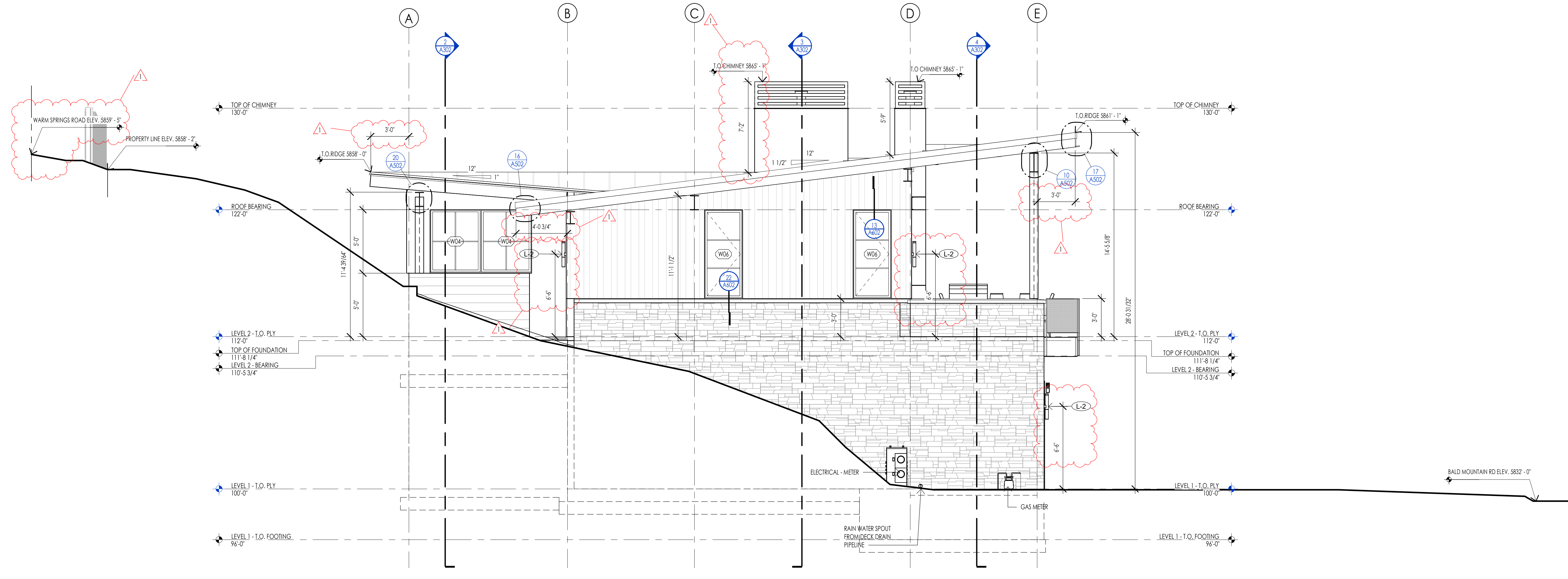


NORTH ELEVATION
1/4" = 1'-0" A202

HATCH PATTERN	DESCRIPTION
	KEE RIB MEMBRANE ROOFING SYSTEM
	1X4, 1/4" CEDAR CHANNEL LAP VERTICAL SIDING SYSTEM WITH SQUARE EDGES, RANDOM WIDTHS
	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL

KEYNOTES

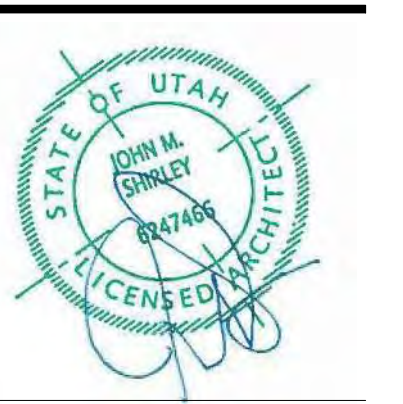


WEST ELEVATION
1/4" = 1'-0" A202



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7927 So. Highpoint Parkway, Suite 300
Sandy, Utah 84094
ph. 801.269.0555
fax 801.269.1425
www.thinkaec.com



WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

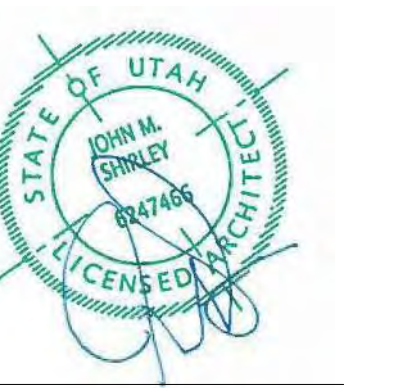
PROJECT NC22032.32
DATE: 2023.06.30
REVISIONS:
1 04-27-2023 PER CITY COMMENTS

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A202

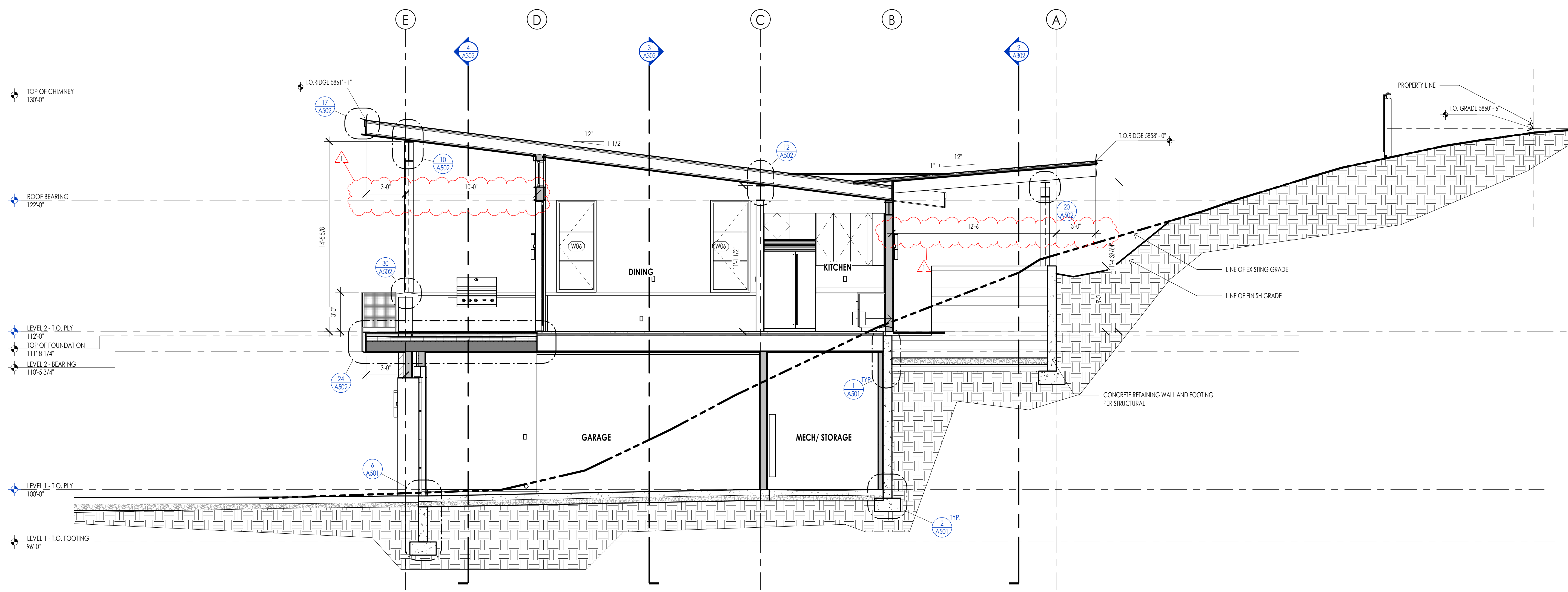
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PERMIT SET

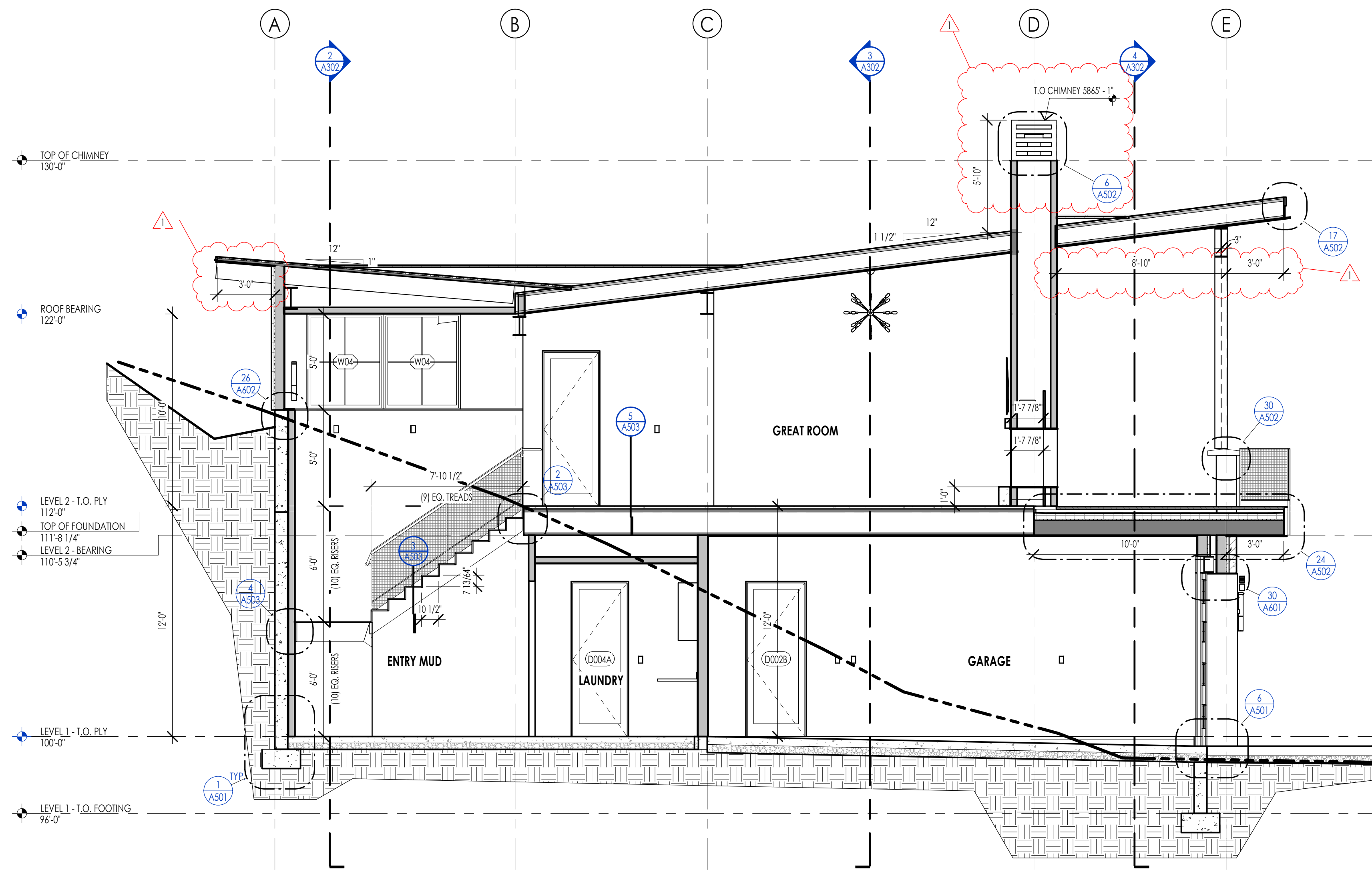


HATCH PATTERN	DESCRIPTION
	KEE RIB MEMBRANE ROOFING SYSTEM
	1X4, 1/4" CEDAR CHANNEL LAP VERTICAL SIDING SYSTEM WITH SQUARE EDGES, RANDOM WIDTHS
	EXTERIOR STONE VENEER

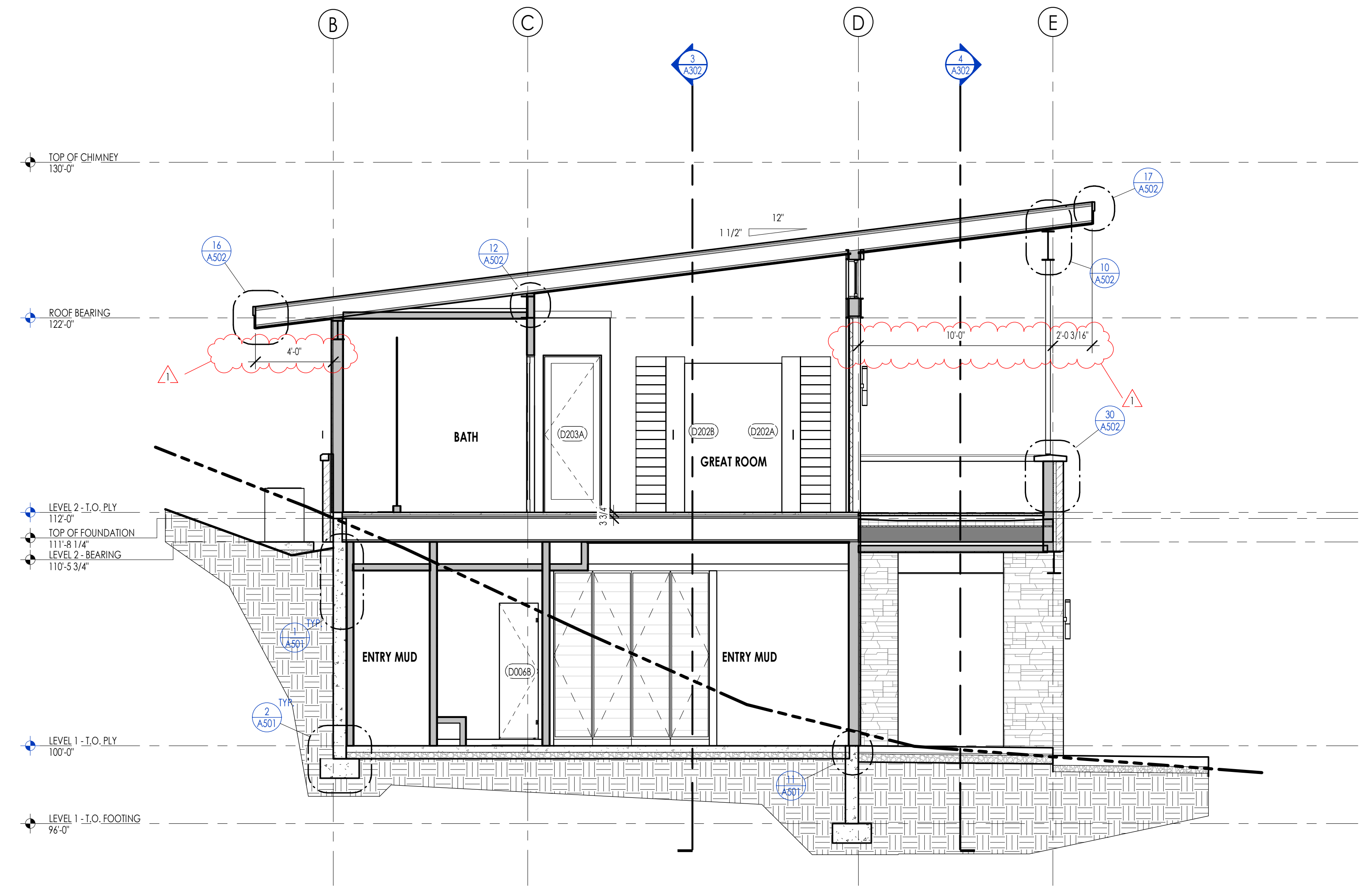
NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL



SECTION 01
1/4" = 1'-0" 1
A301



SECTION 02
1/4" = 1'-0" 2
A301



SECTION 03
1/4" = 1'-0" 3
A301

WARM SPRINGS RESIDENCE #32

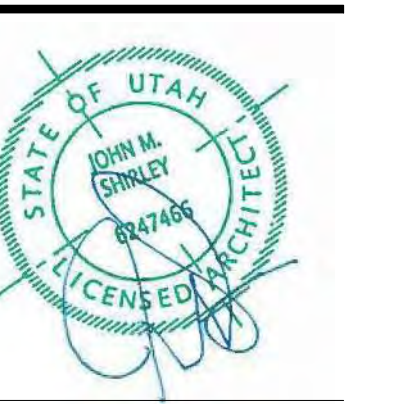
160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30
REVISIONS:
1 04-27-2023 PER CITY COMMENTS

SHEET TITLE:
BUILDING SECTIONS

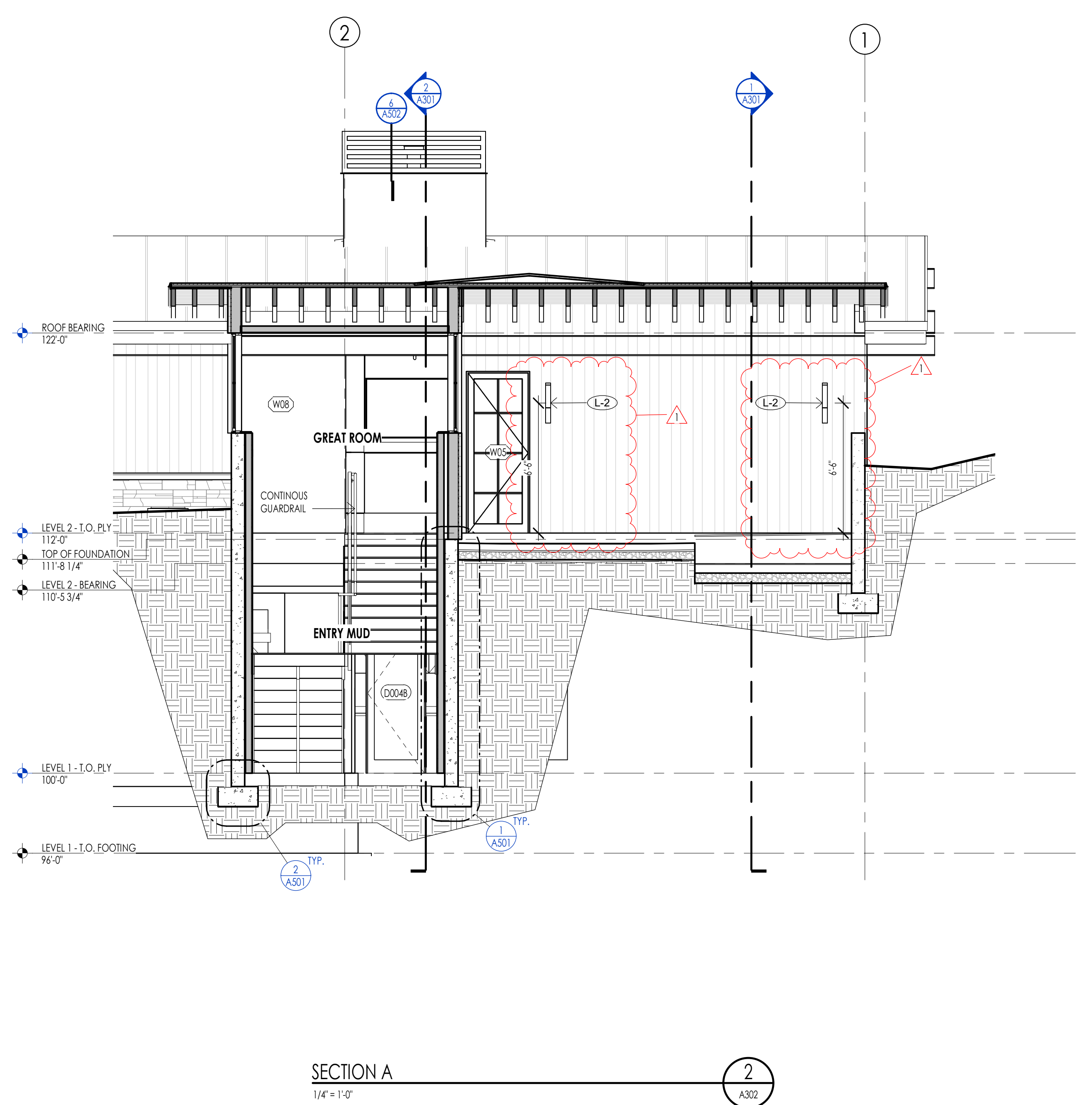
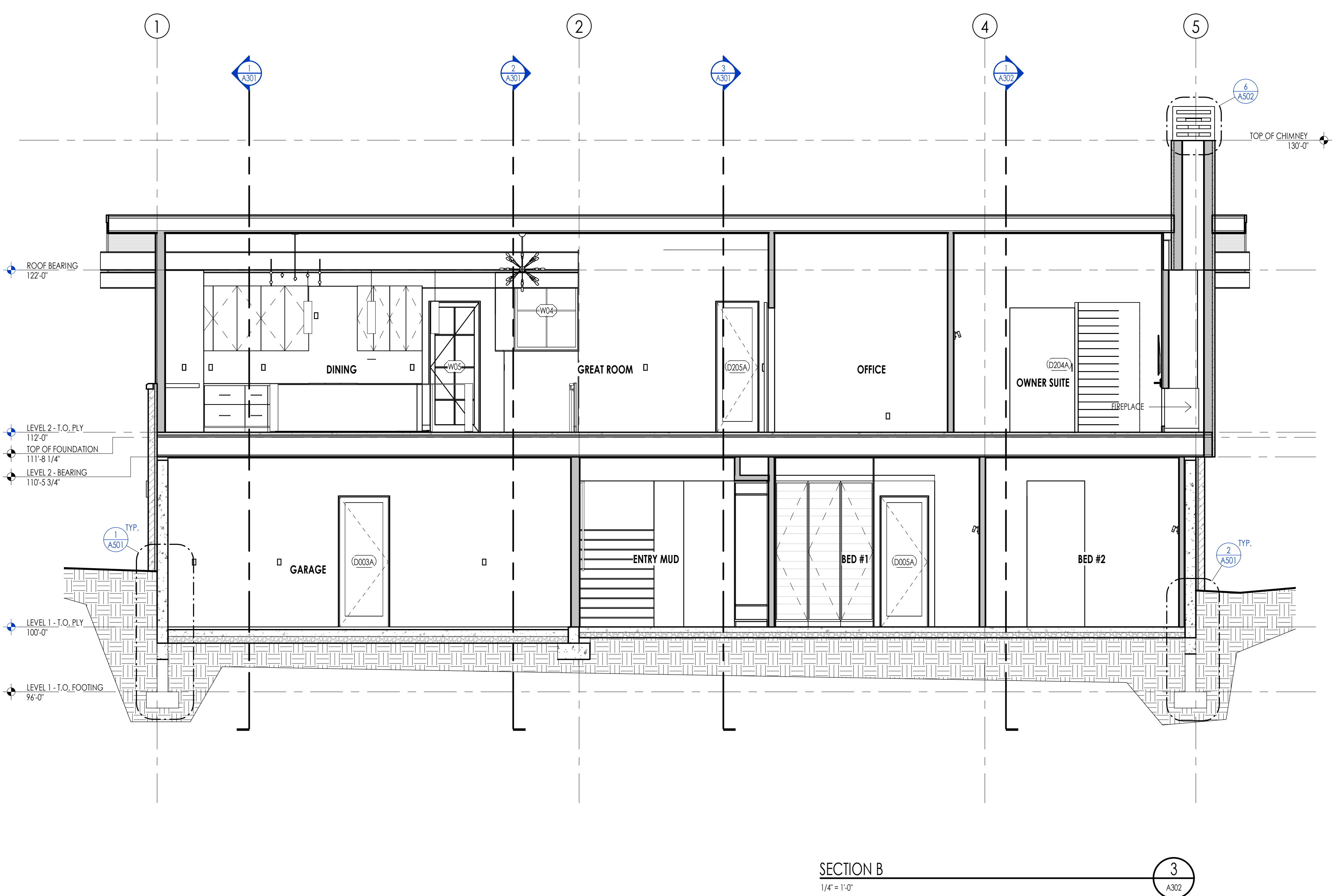
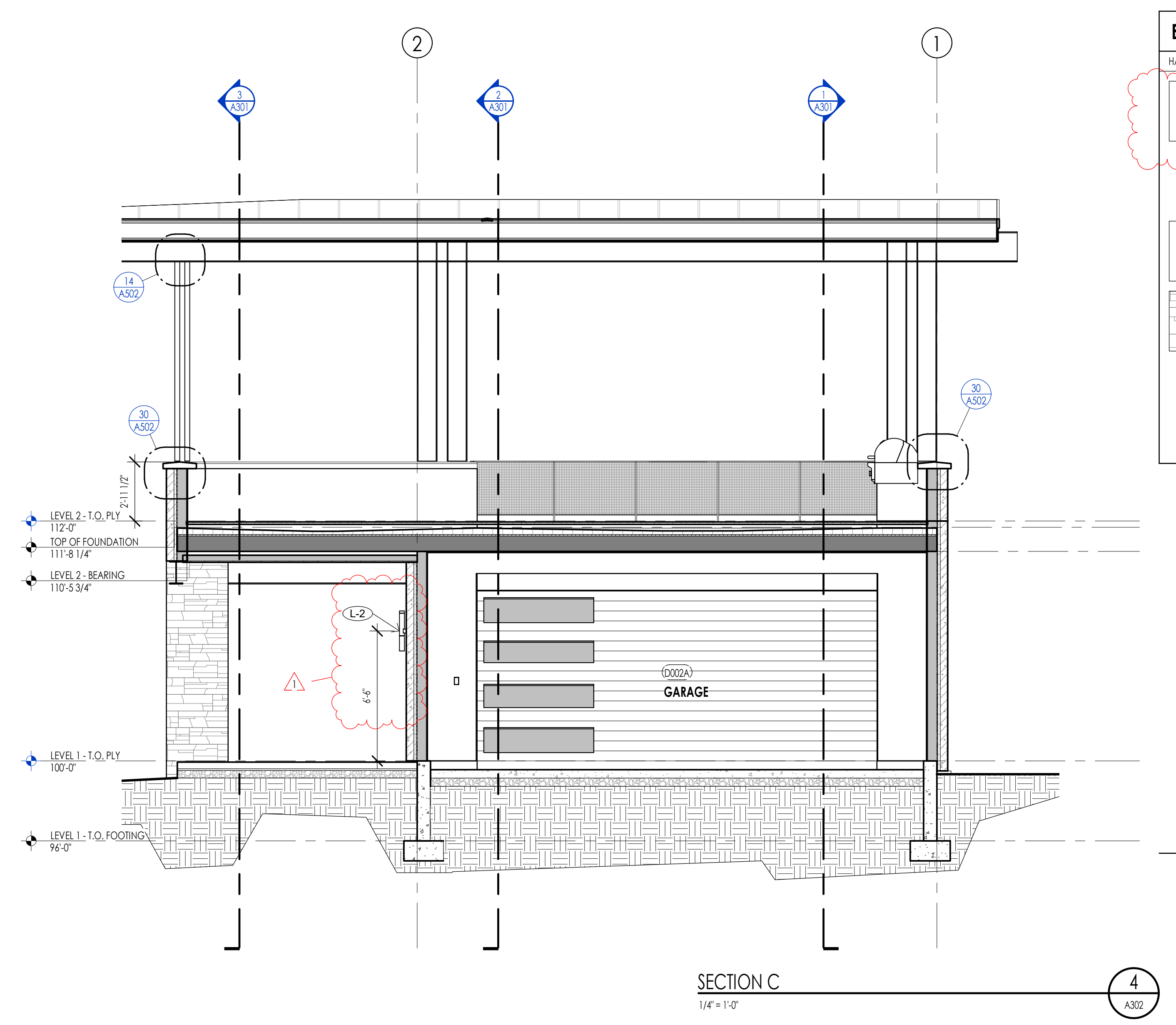
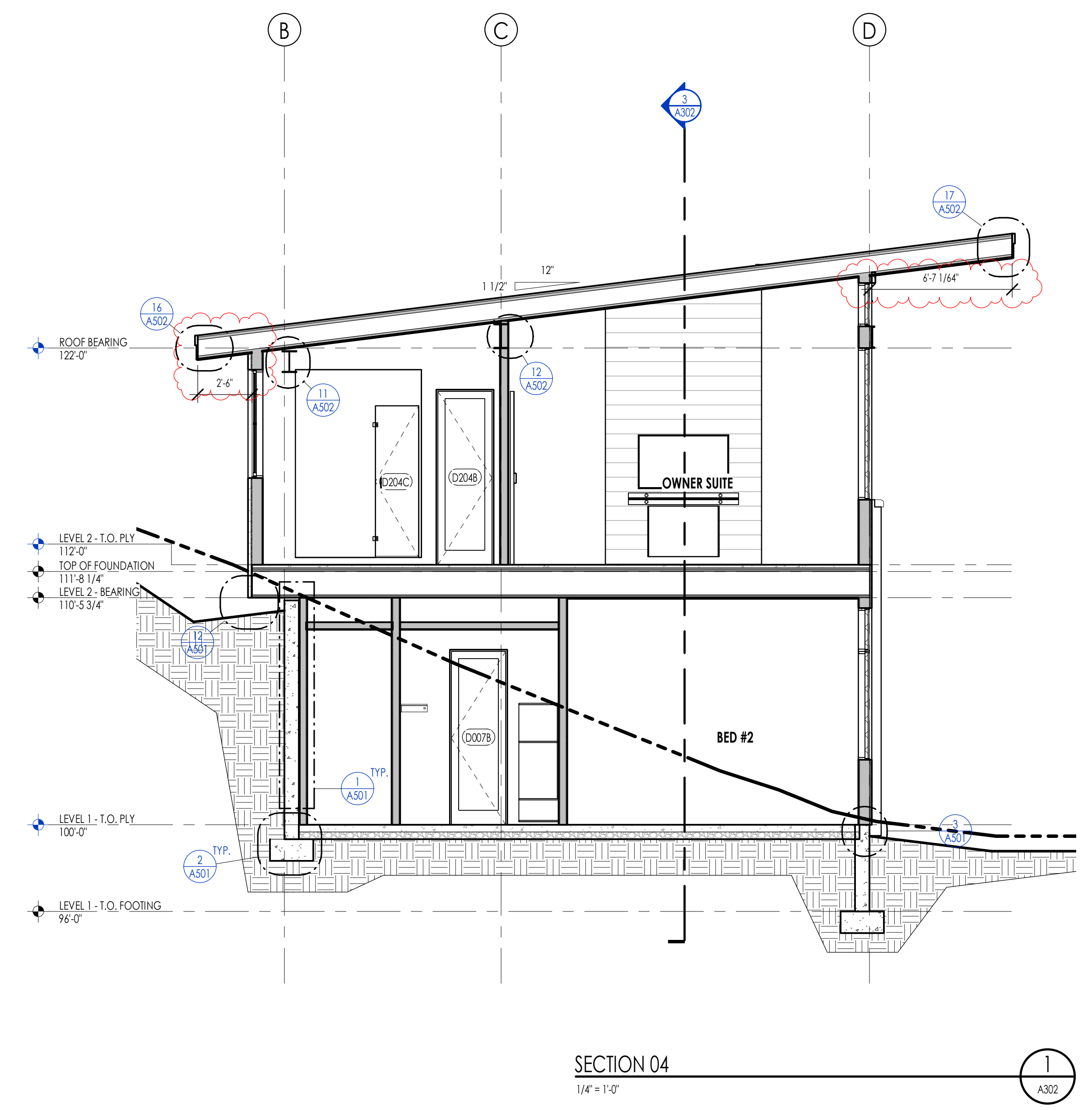
SHEET NUMBER:
A301

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HATCH PATTERN	DESCRIPTION
	KEEP RIB MEMBRANE ROOFING SYSTEM
	1X4, 1/8" CEDAR CHANNEL LAP VERTICAL SIDING SYSTEM WITH SQUARE EDGES, RANDOM WIDTHS
	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL



WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30

REVISIONS:
1 04-27-2023 PER CITY COMMENTS

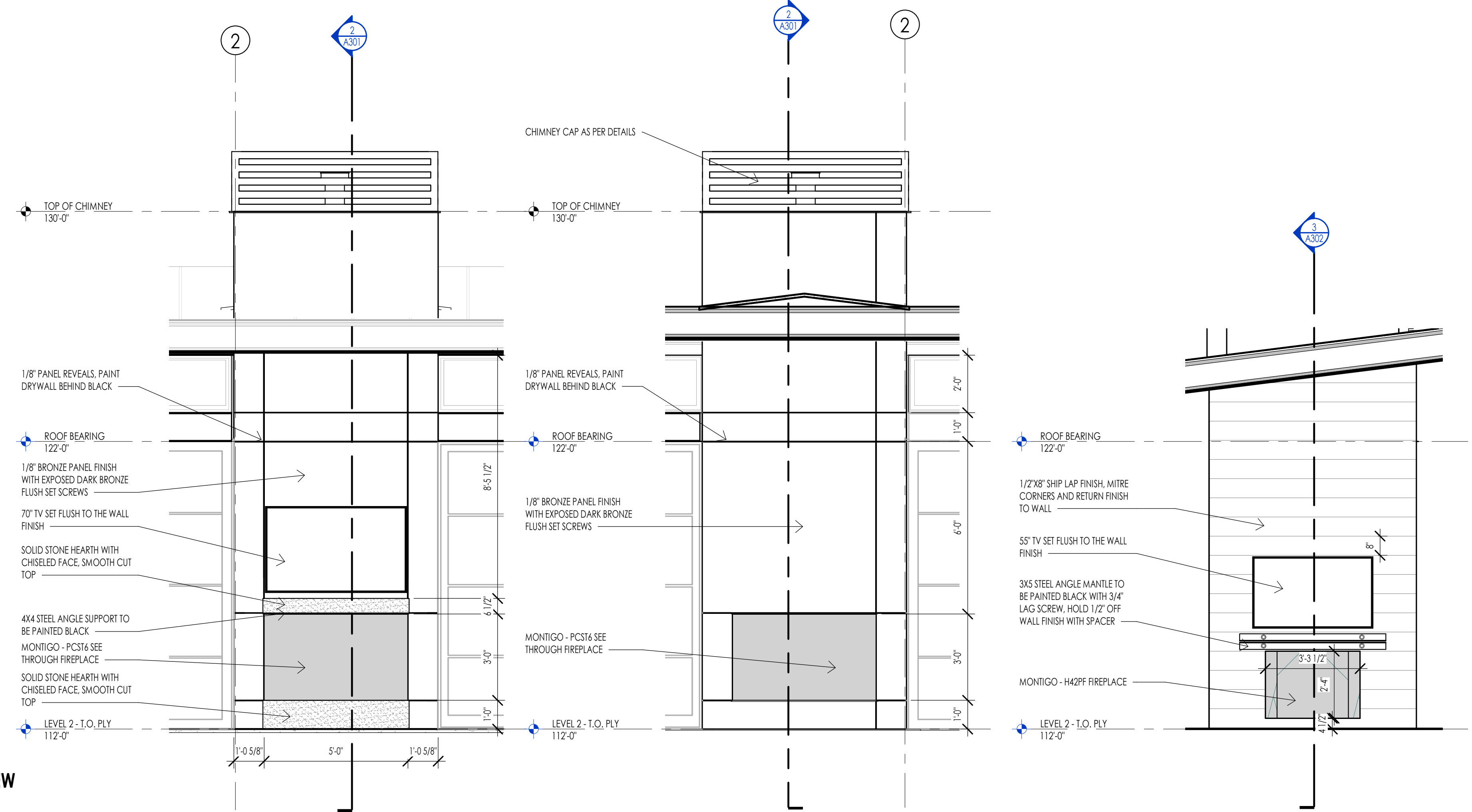
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BUILDING SECTIONS

SHEET NUMBER:
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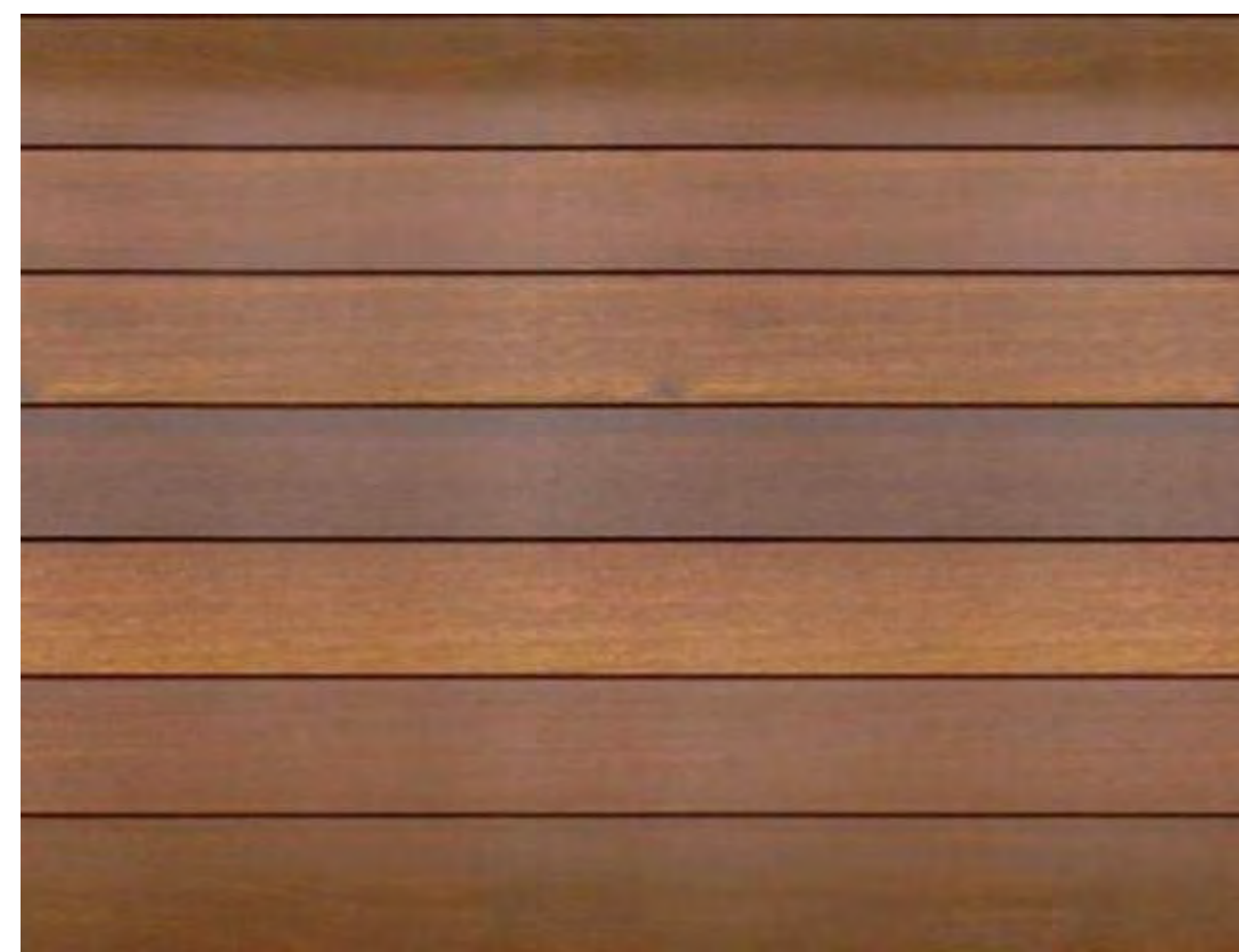
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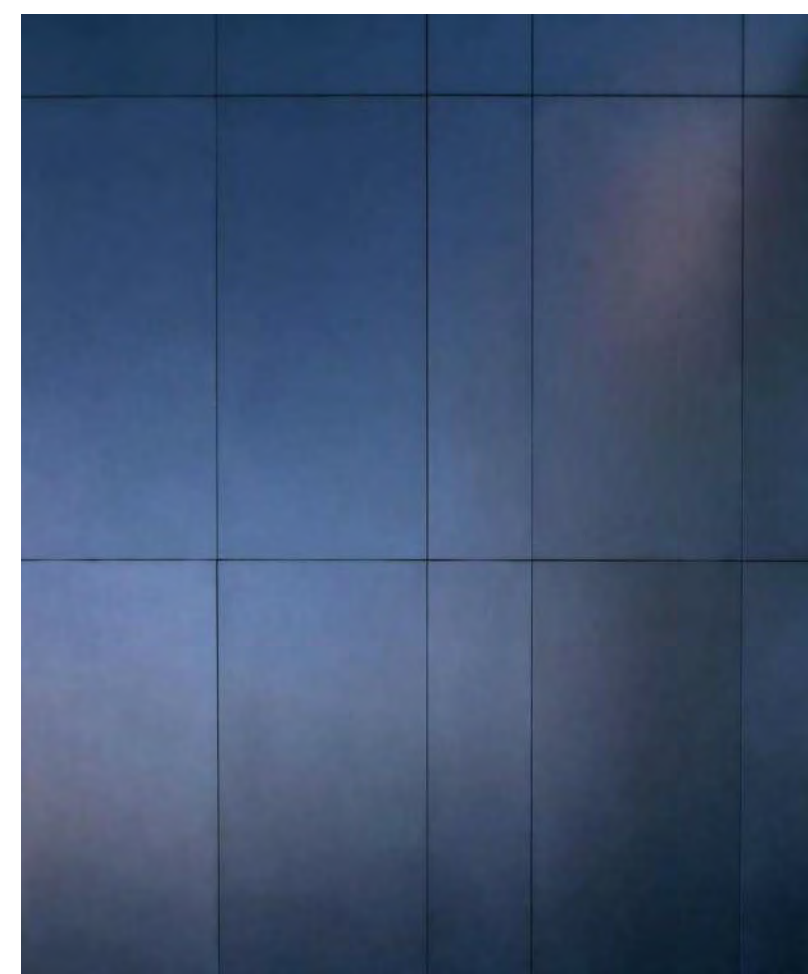
GREAT ROOM INTERIOR VIEW



GREAT ROOM FIREPLACE ELEVATION 1 DECK FIREPLACE ELEVATION 2 OWNER SUITE FIREPLACE ELEVATION 3



INTERIOR WOOD SLAT FINISH



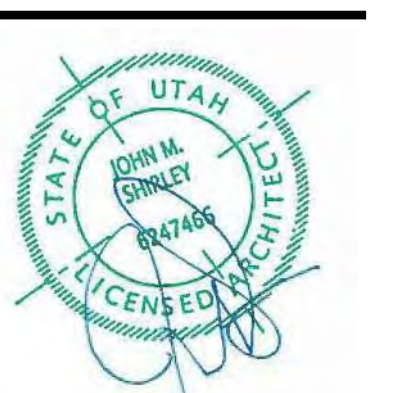
STEEL FIREPLACE SURROUND

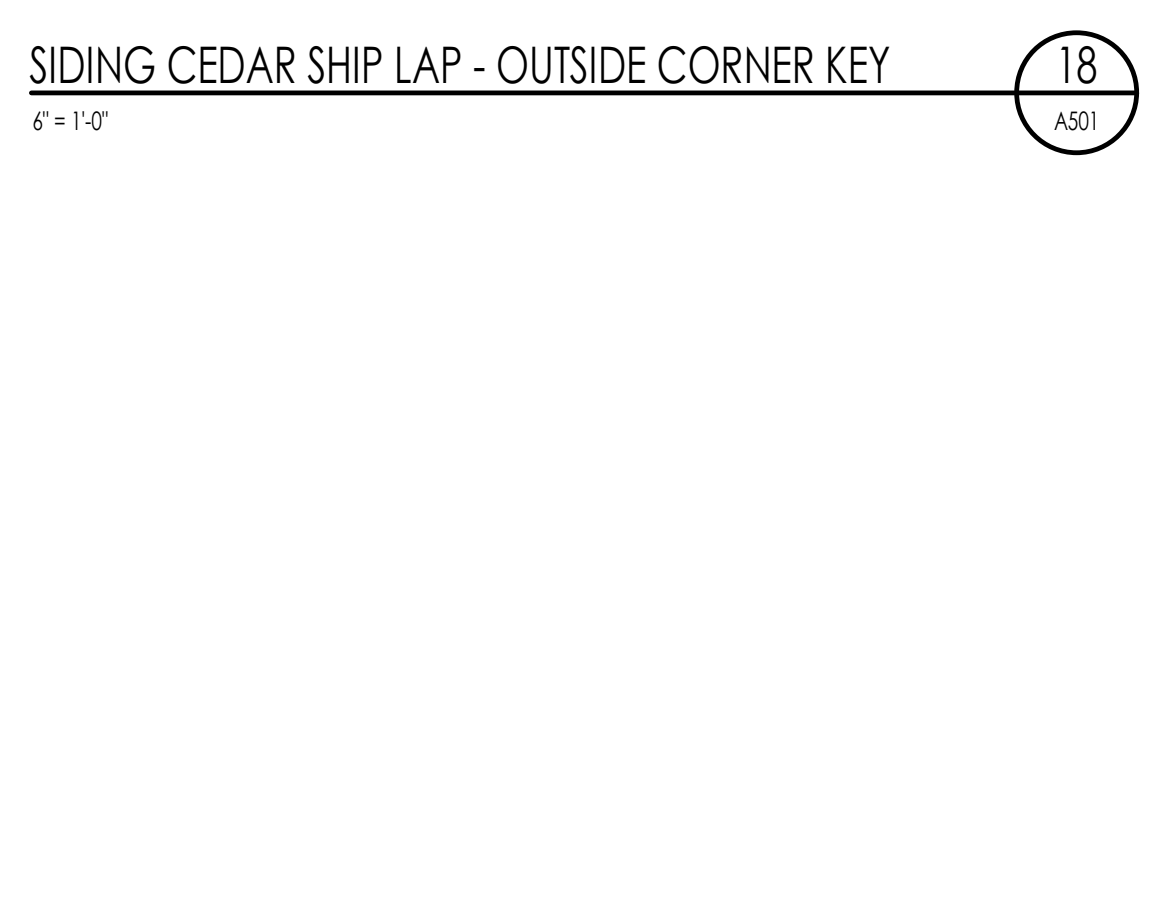
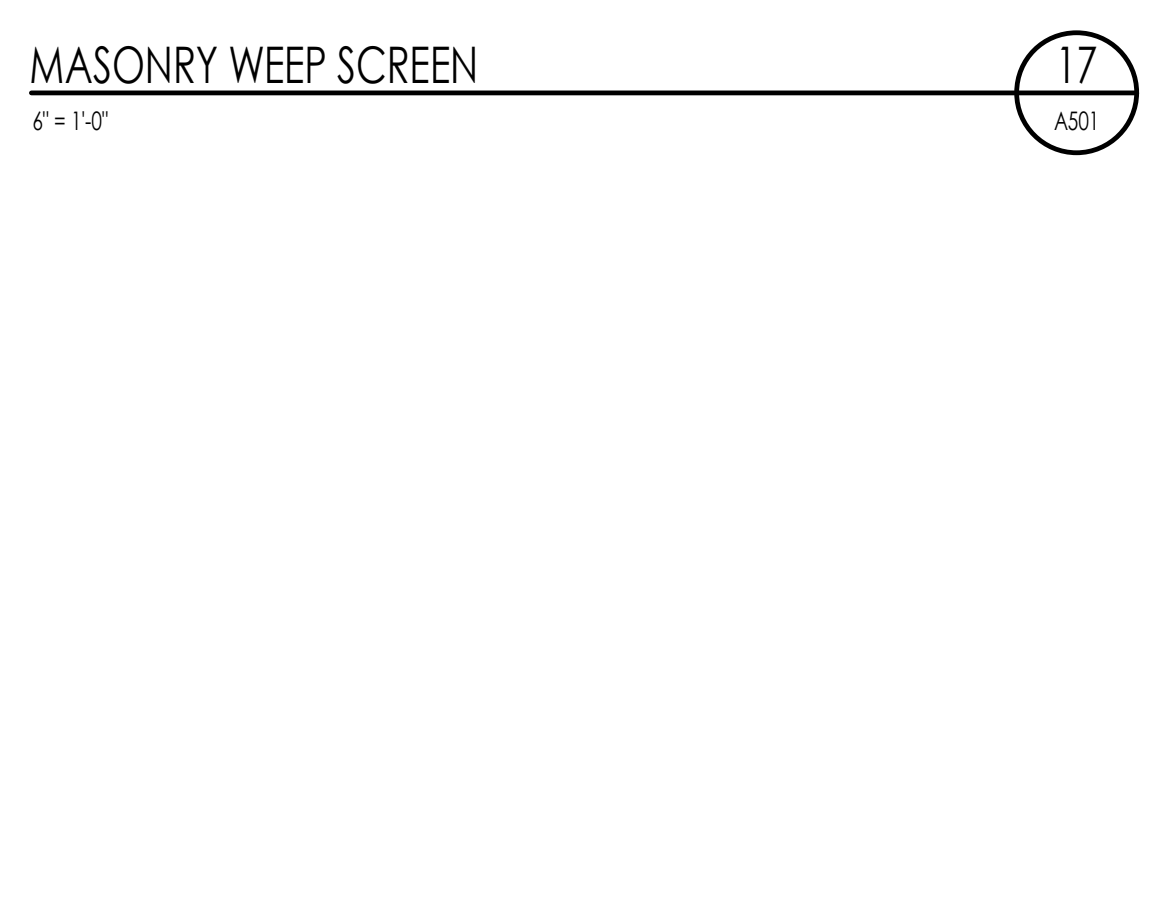
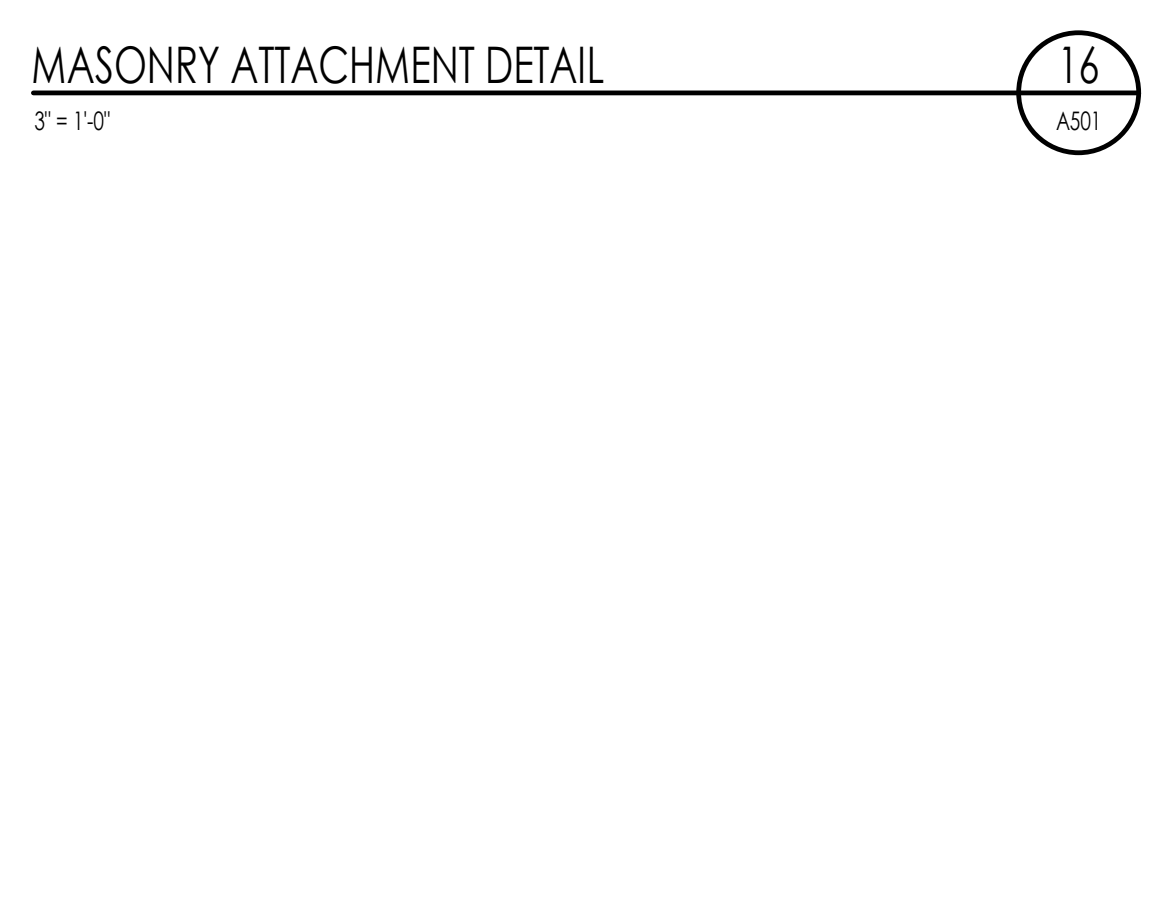
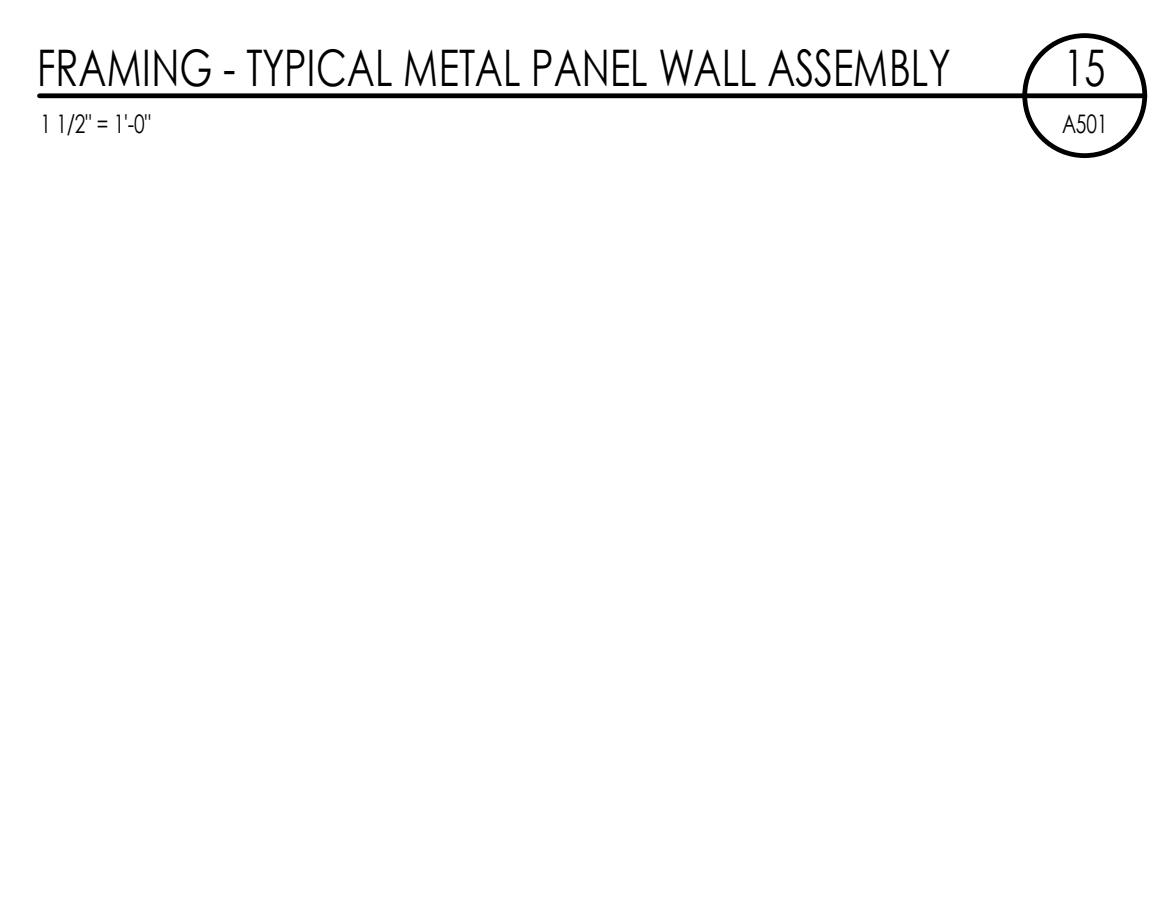
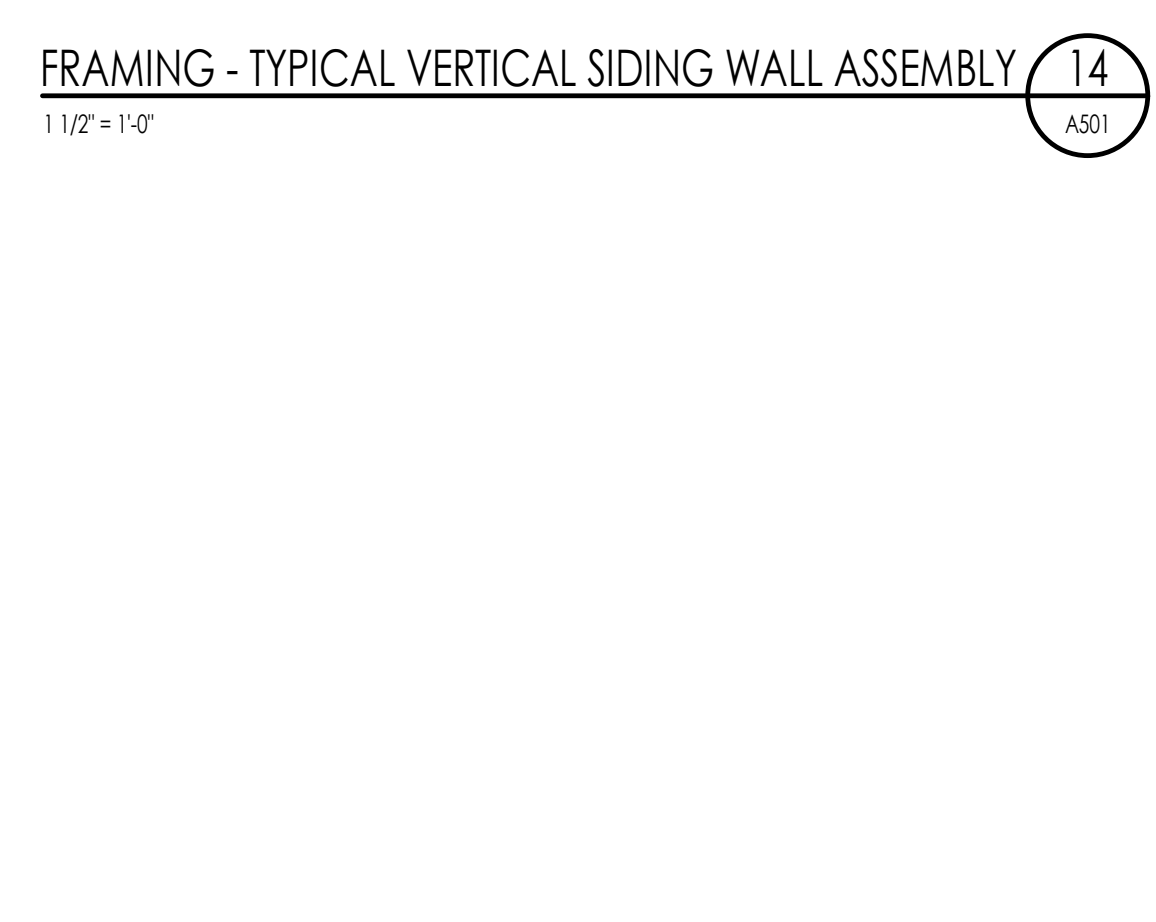
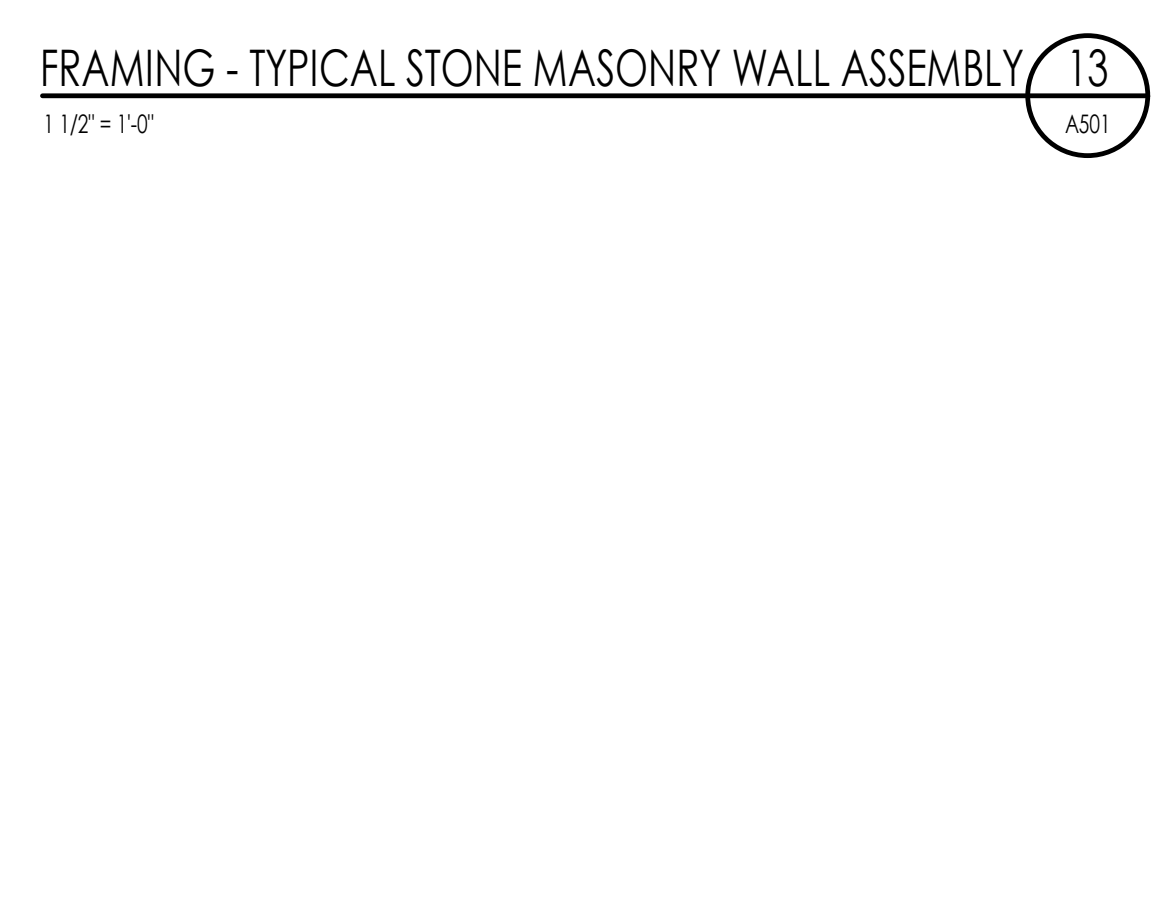
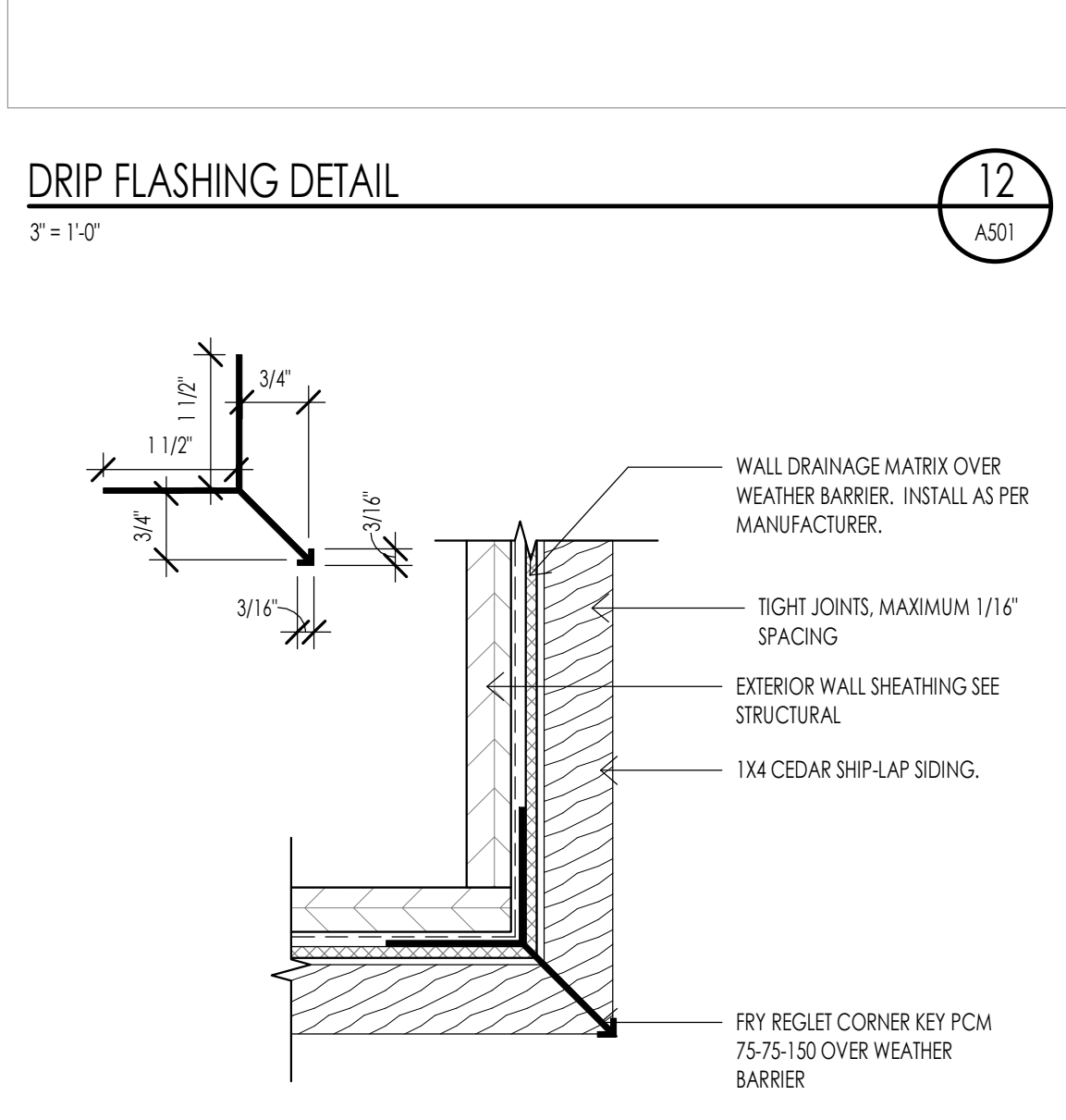
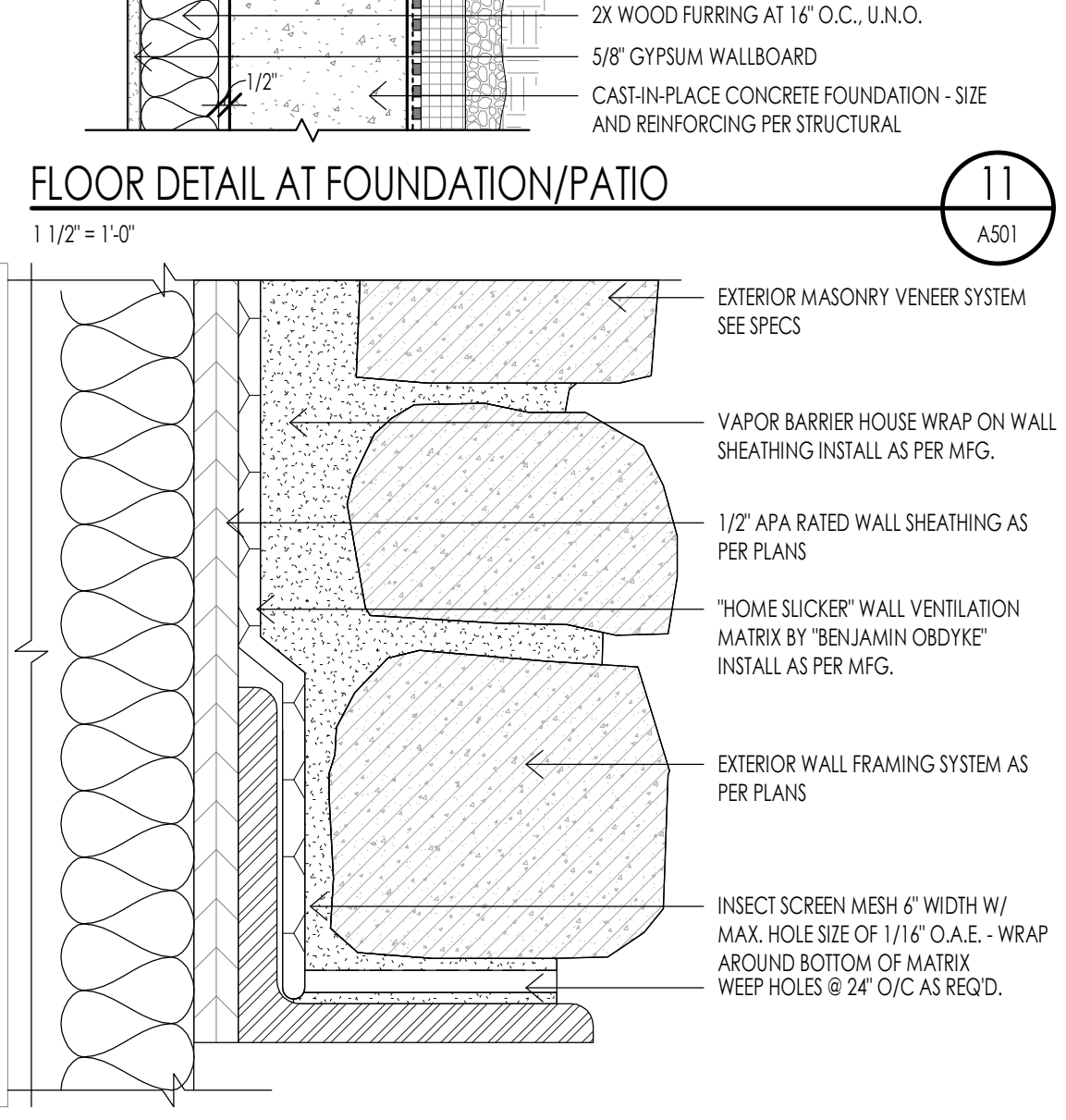
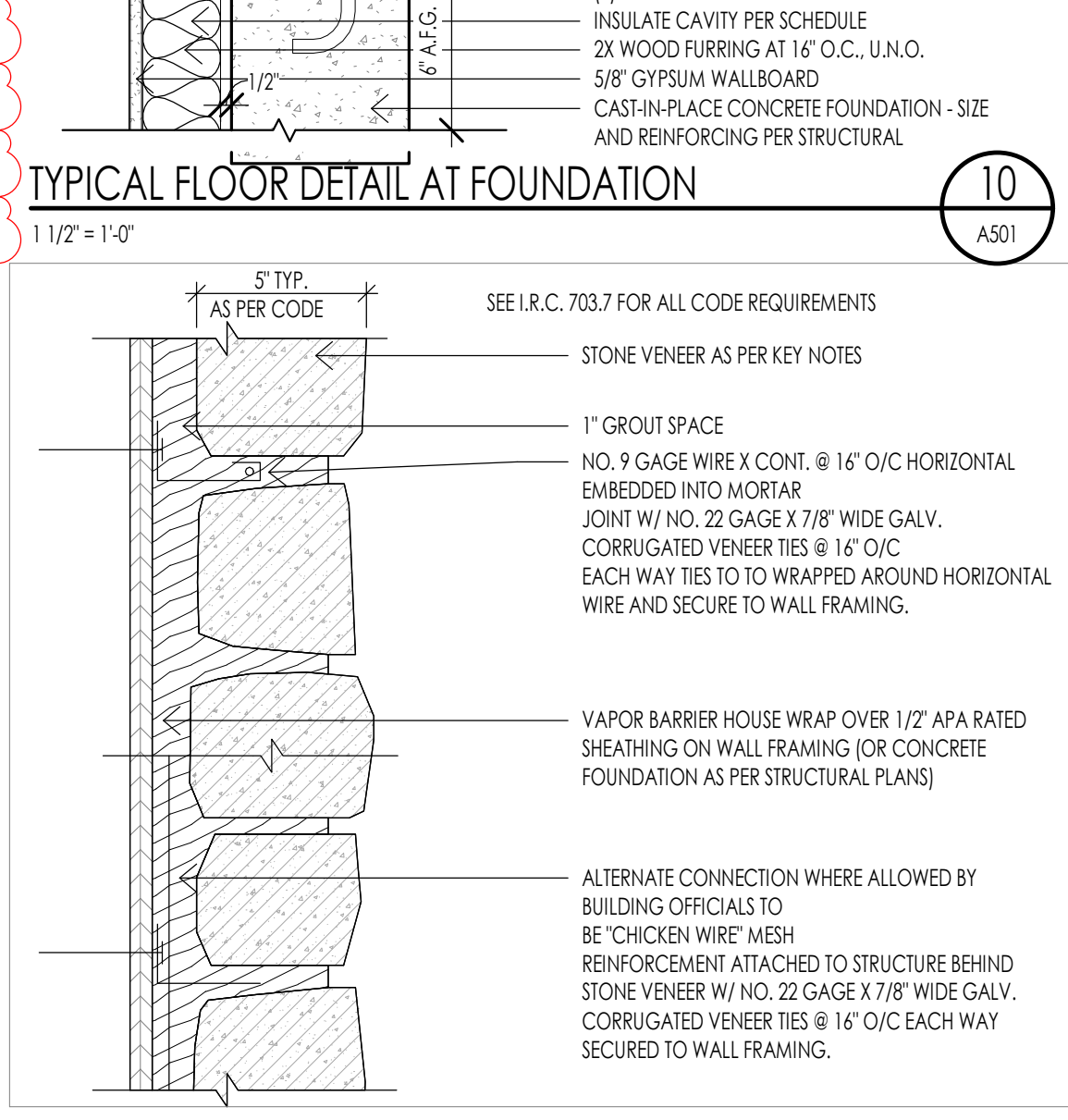
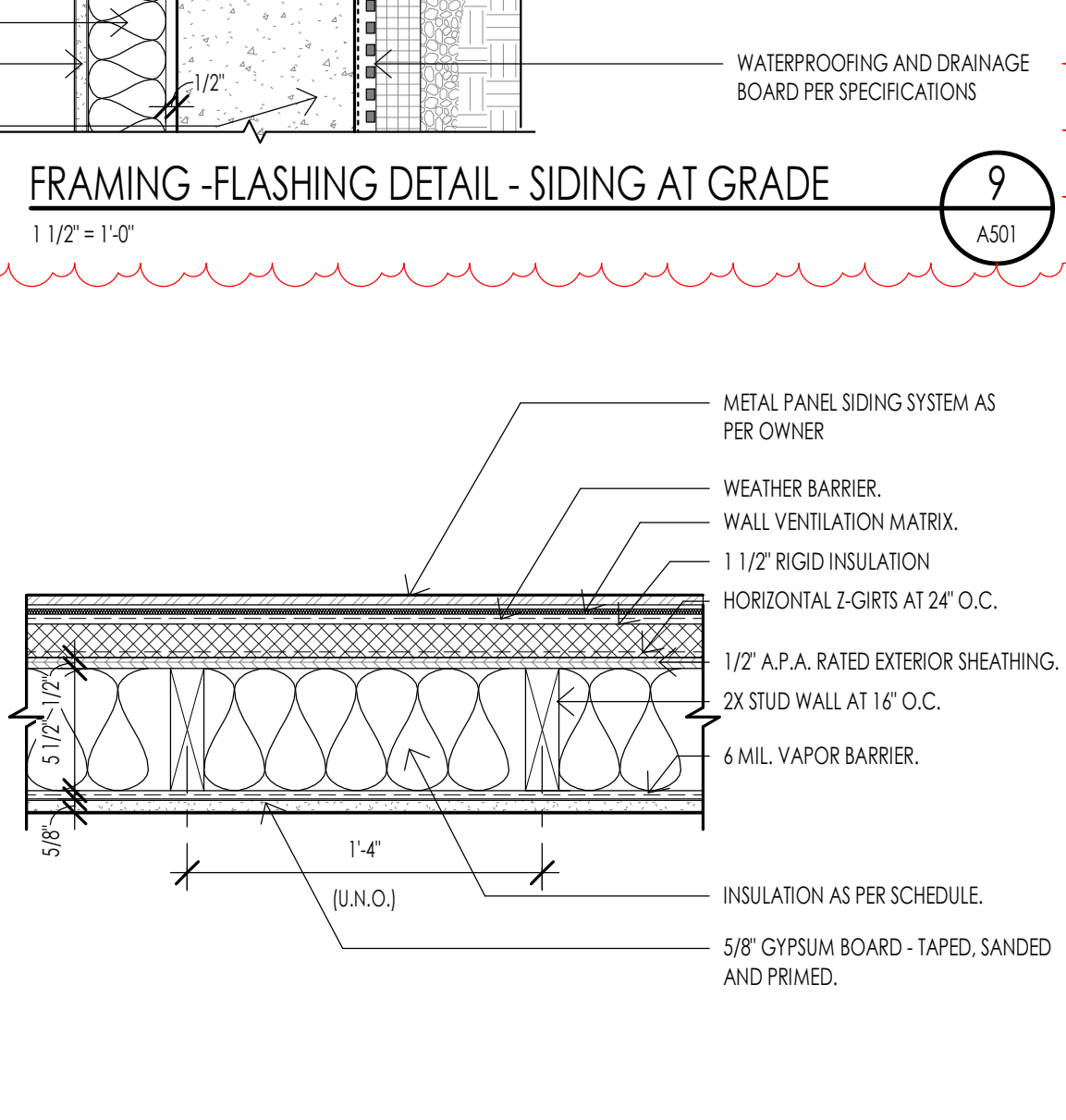
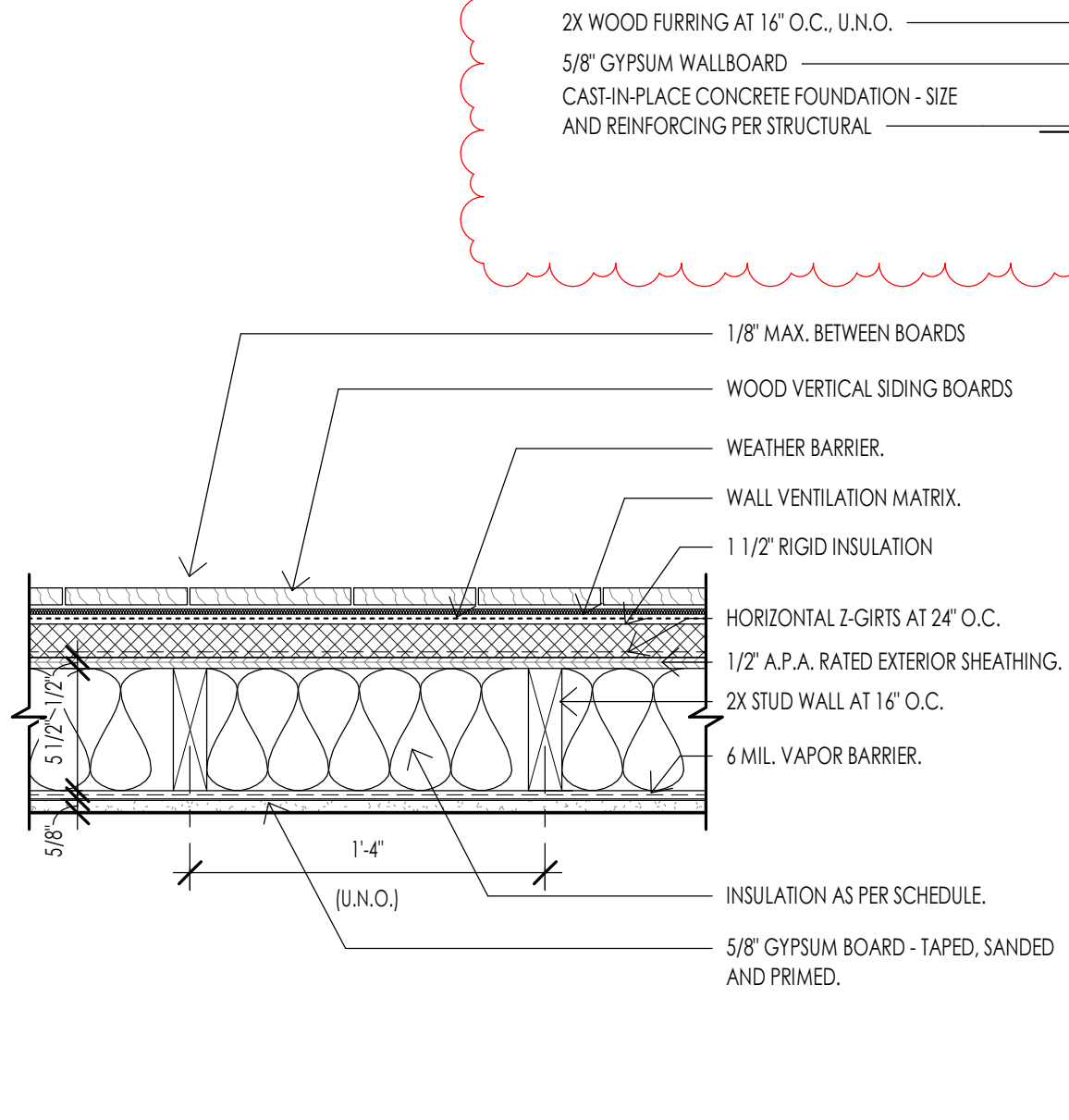
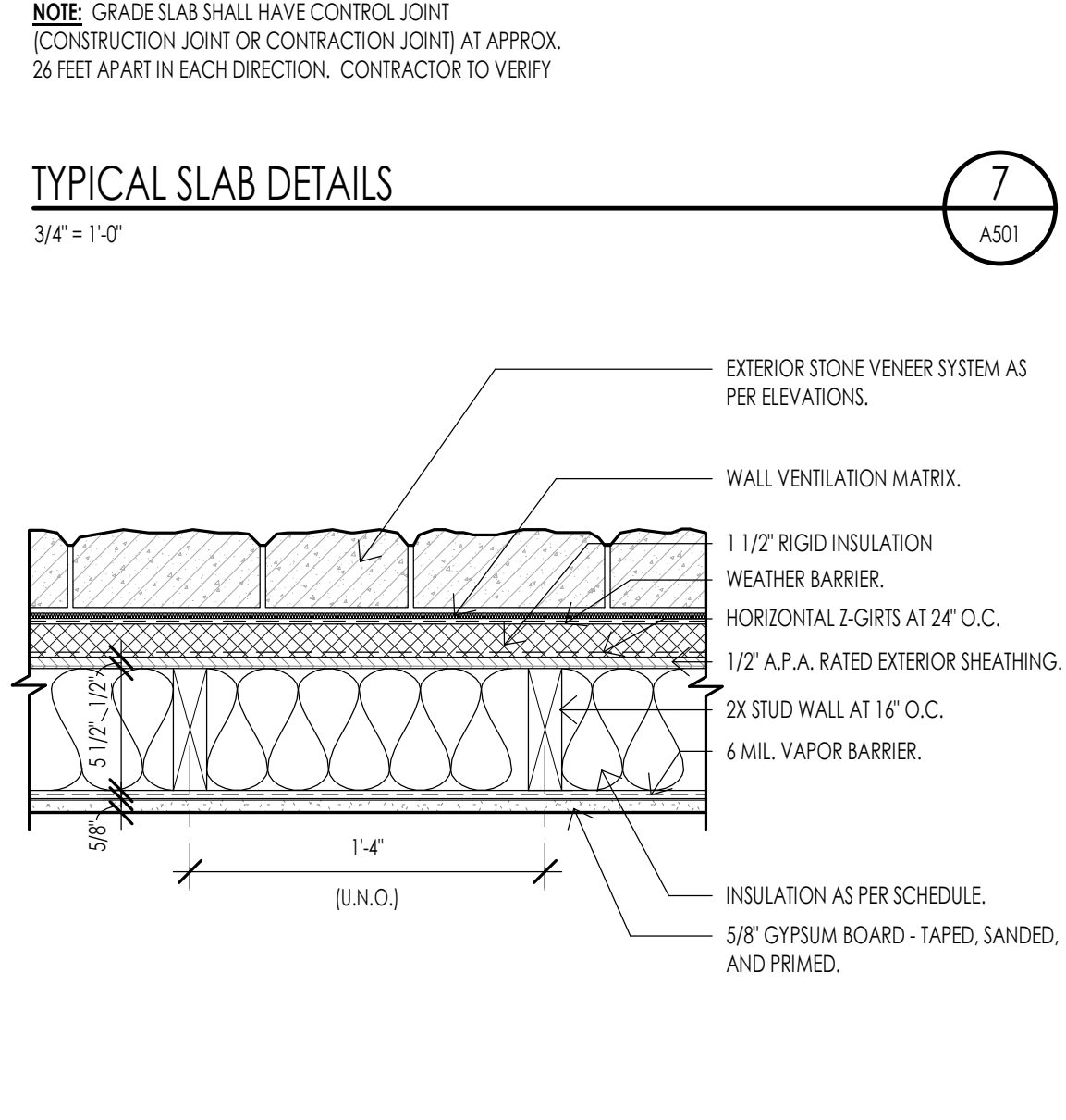
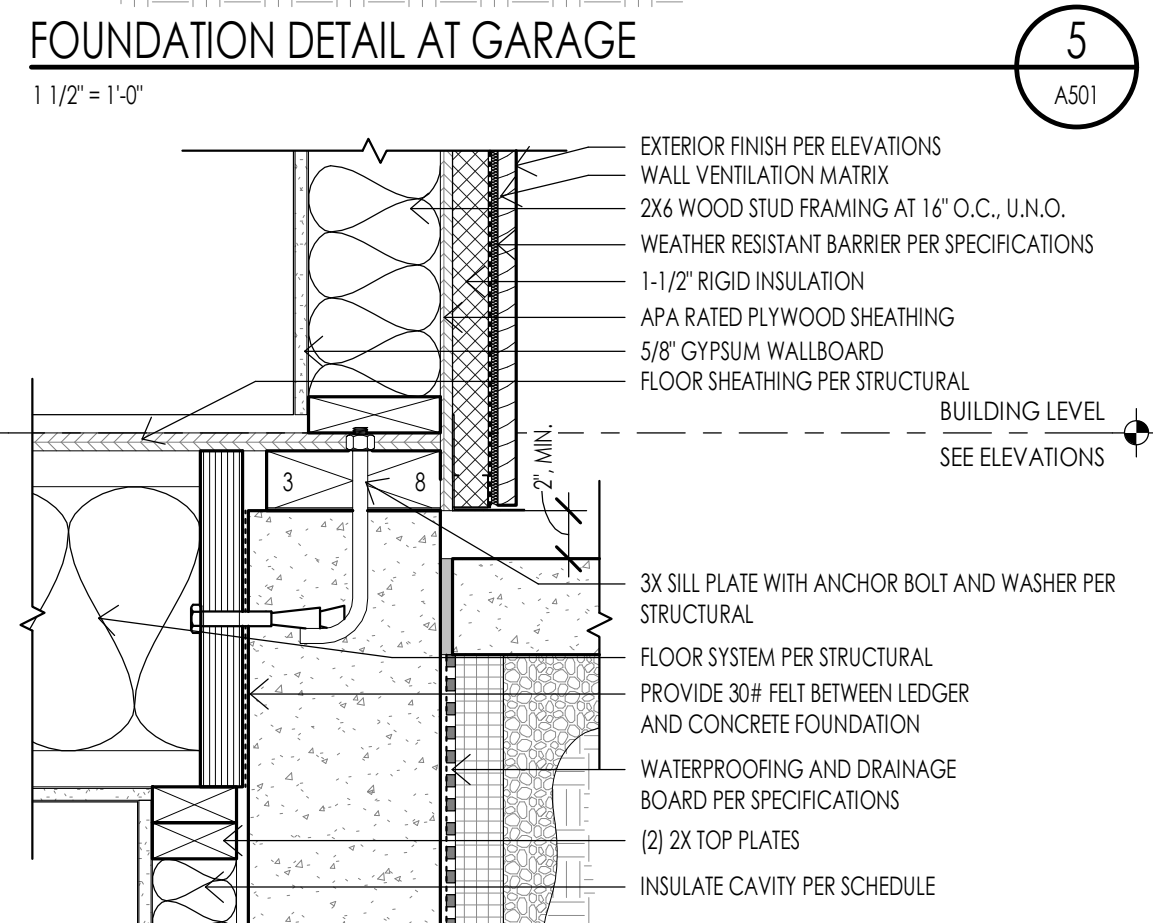
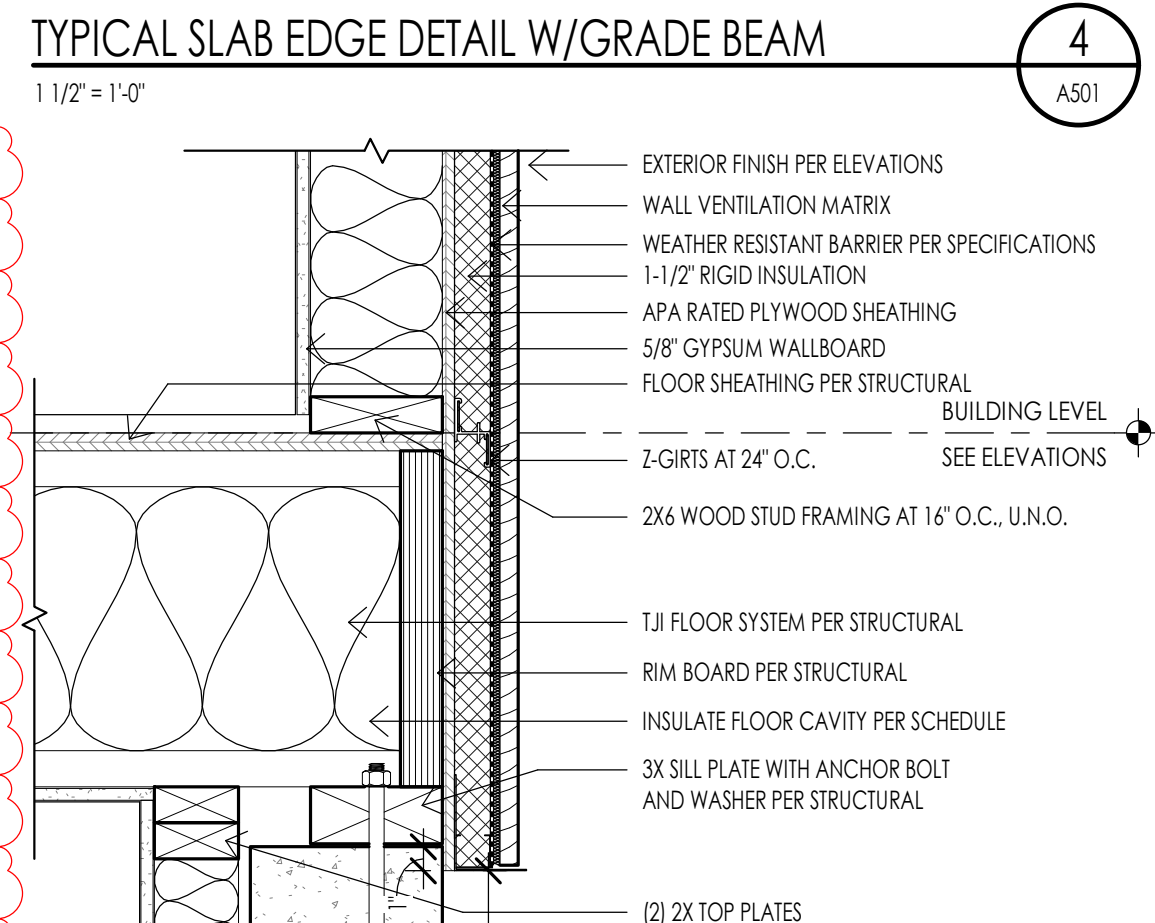
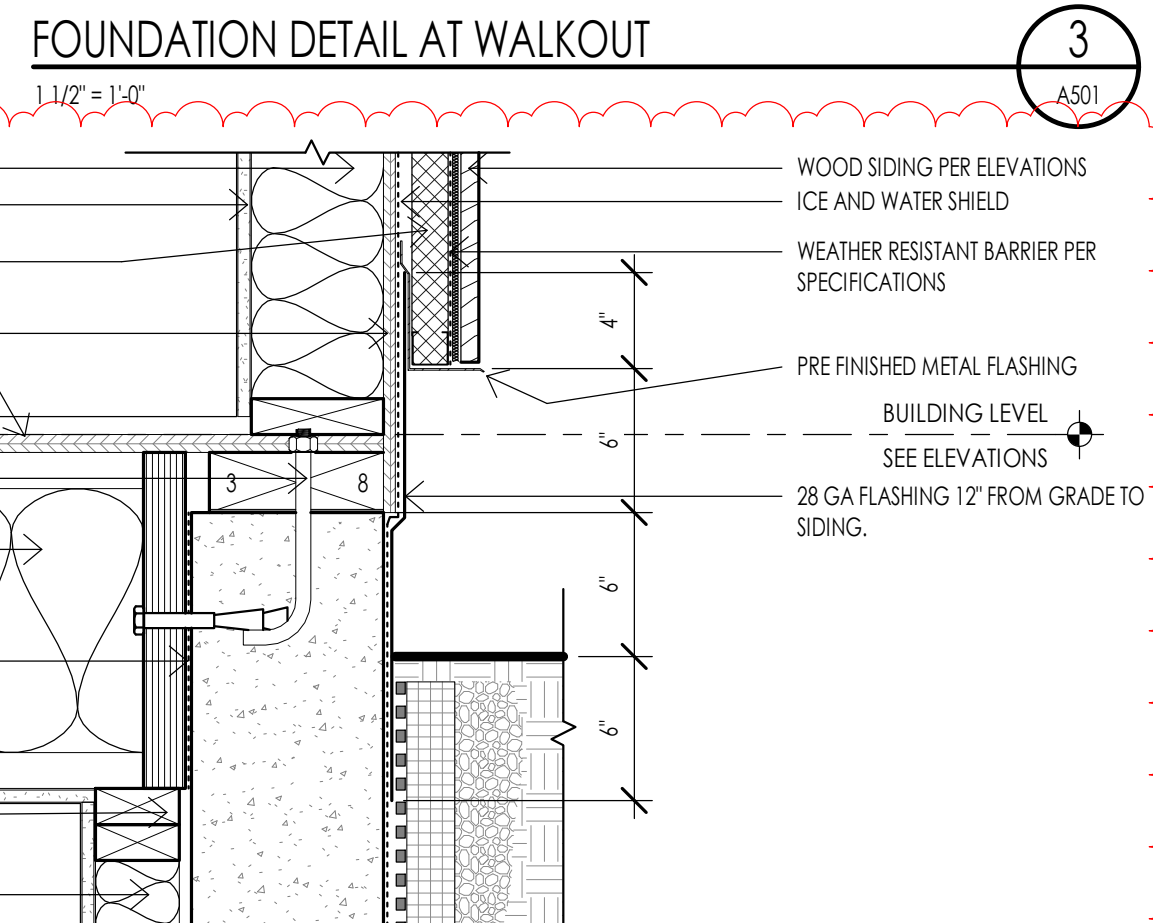
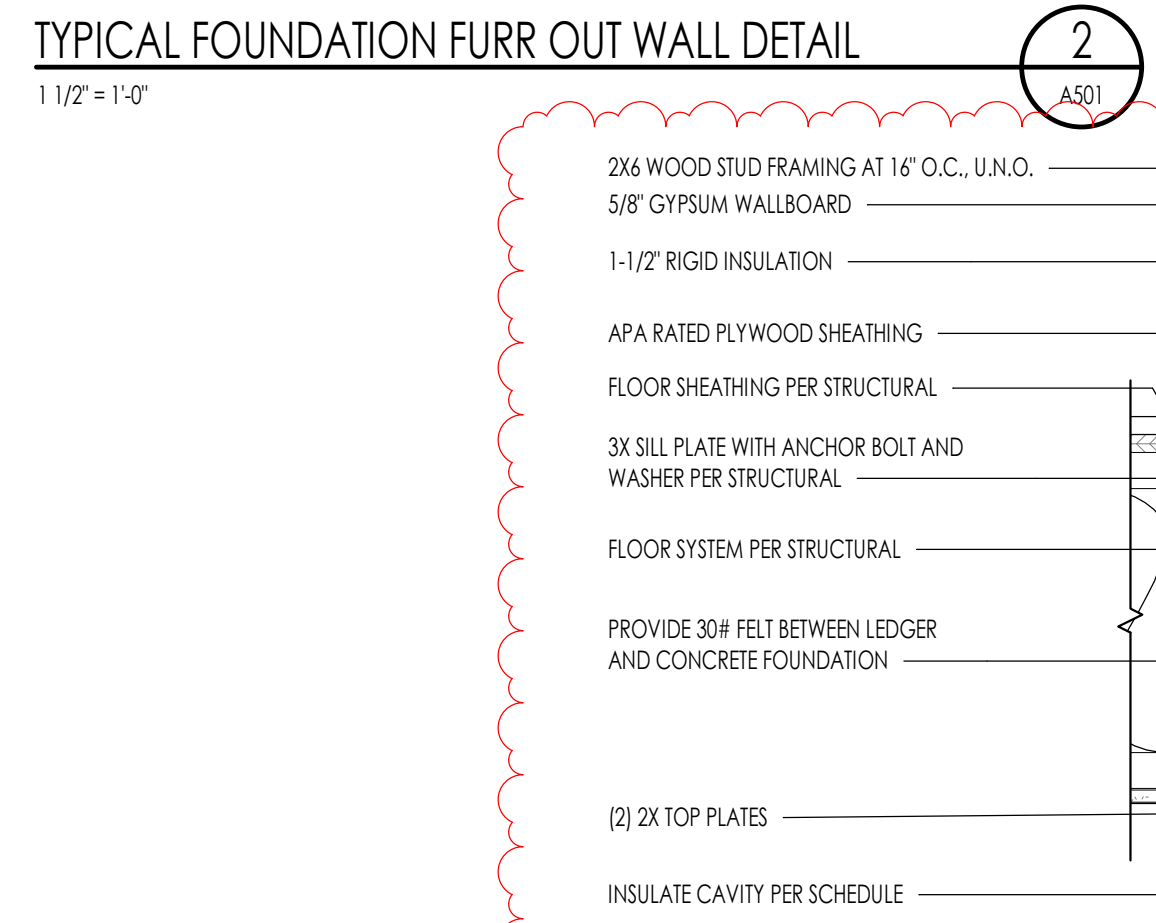
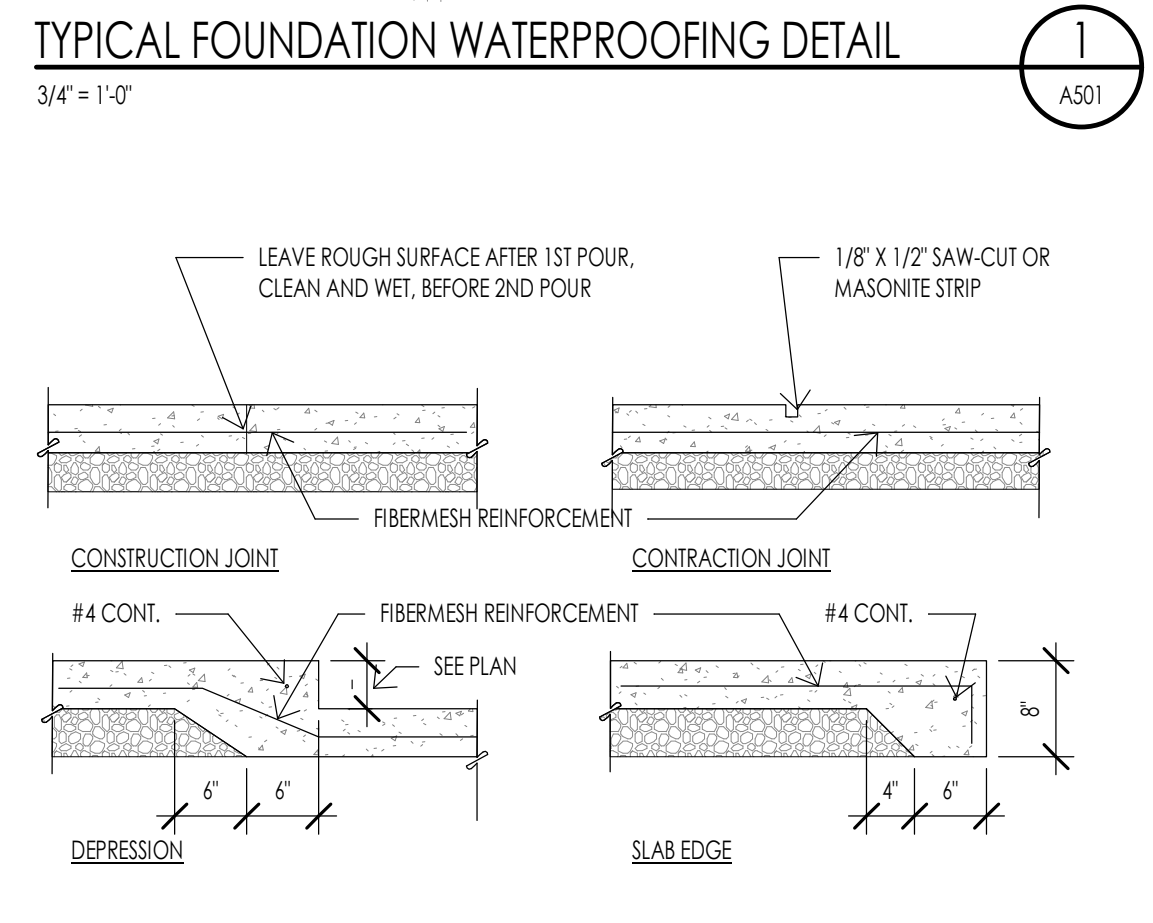
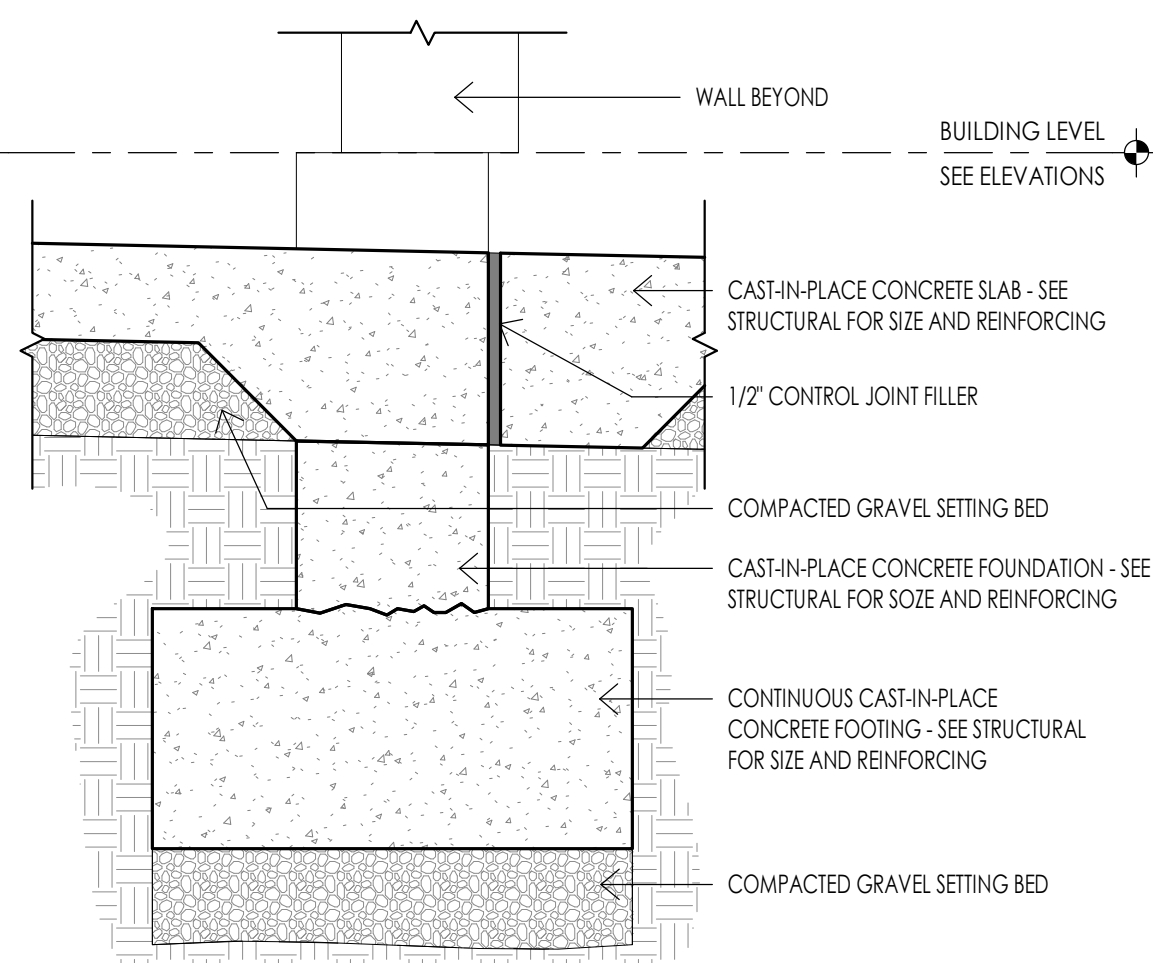
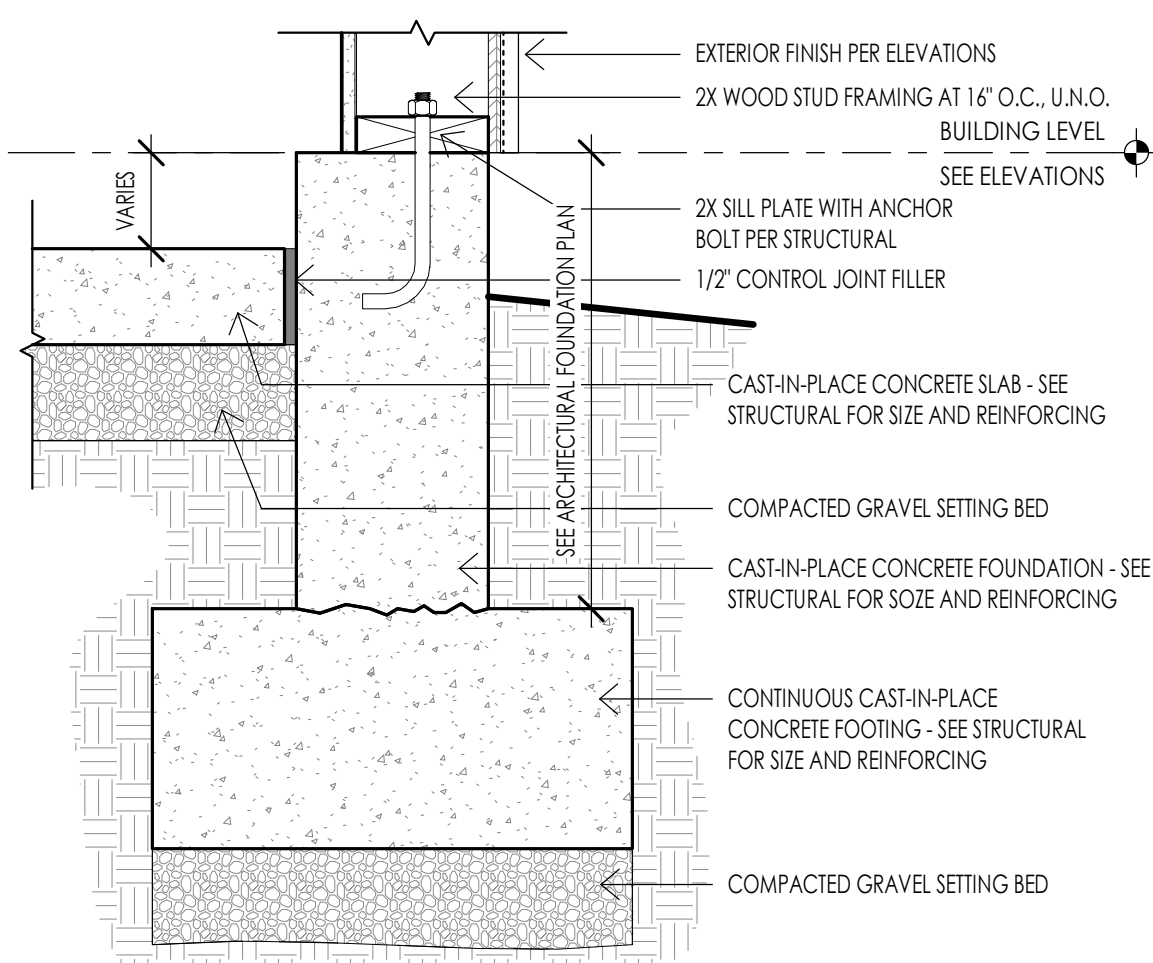
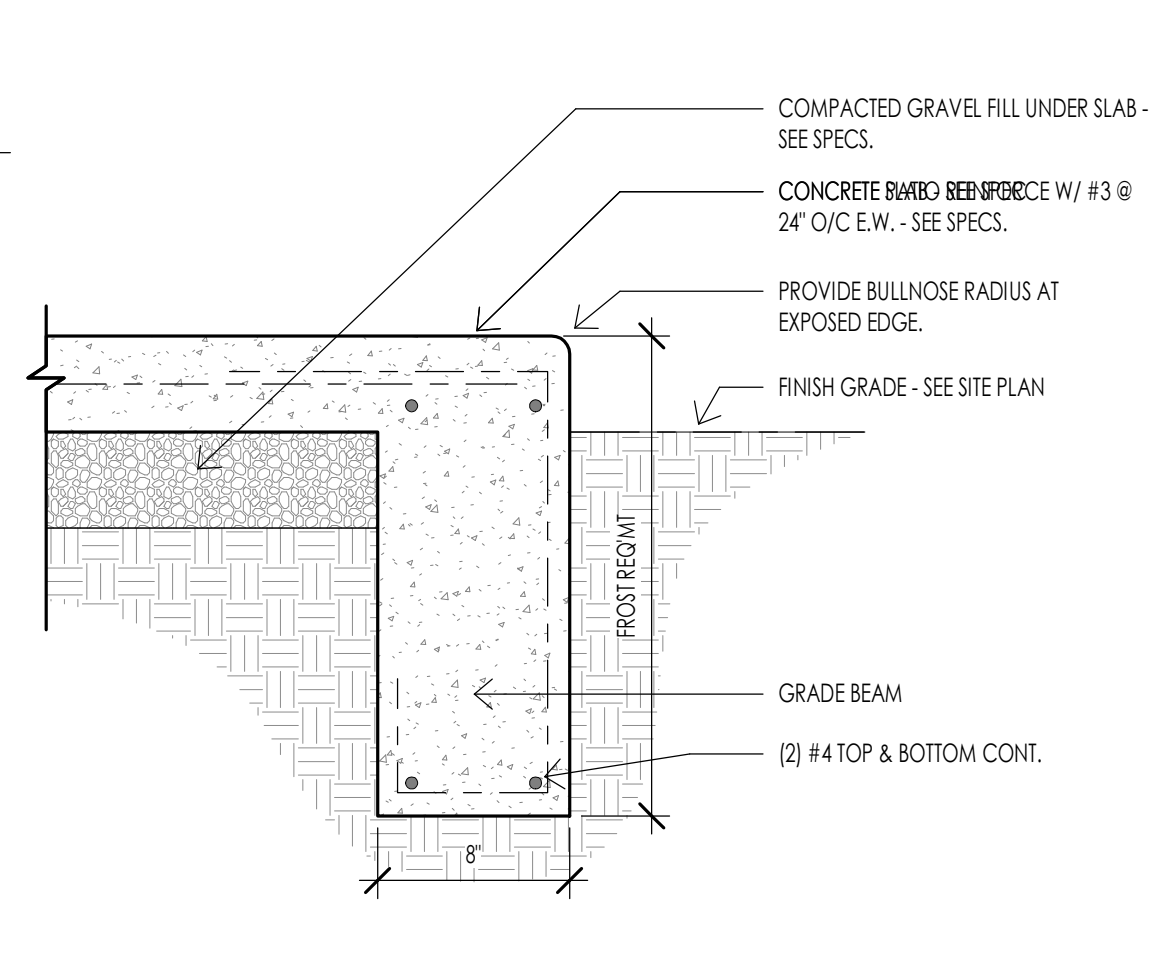
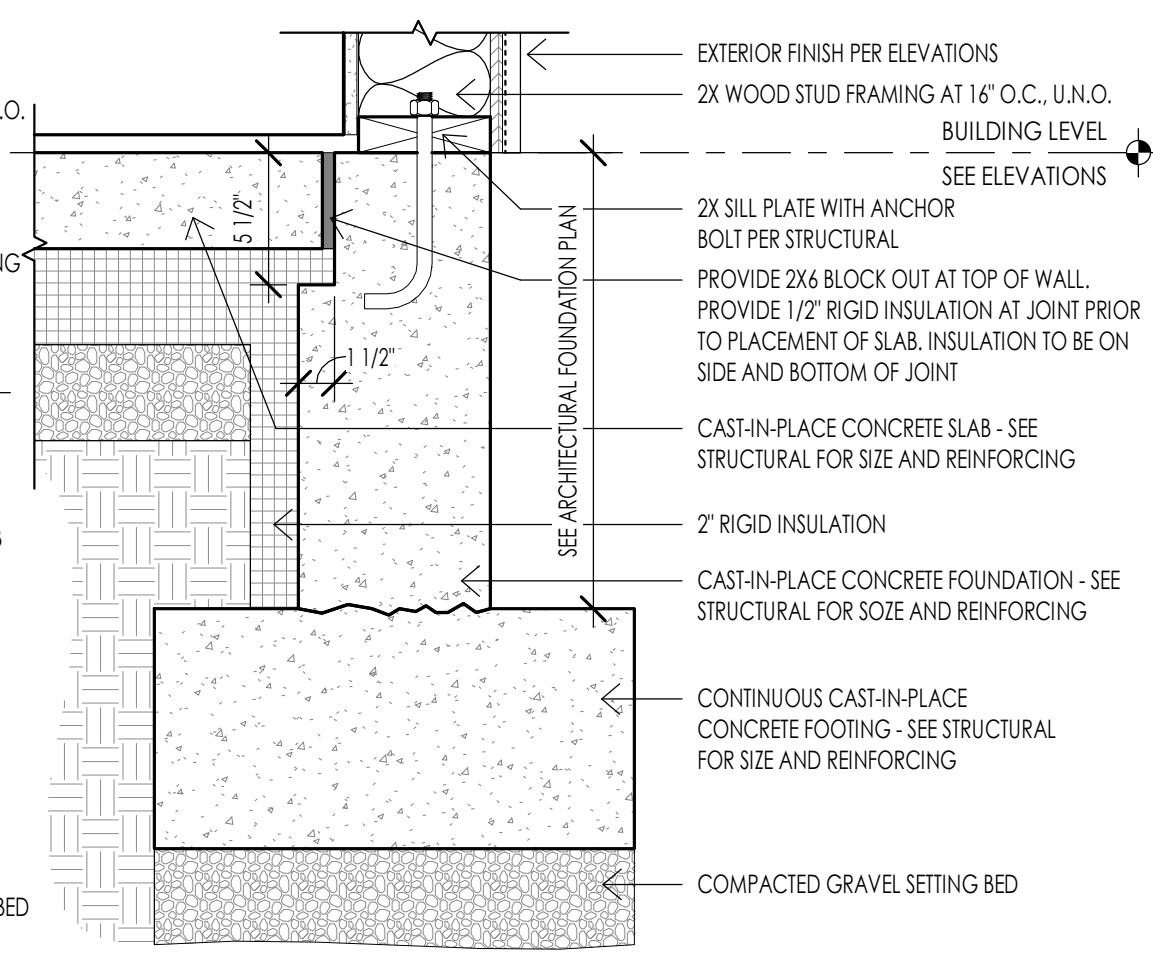
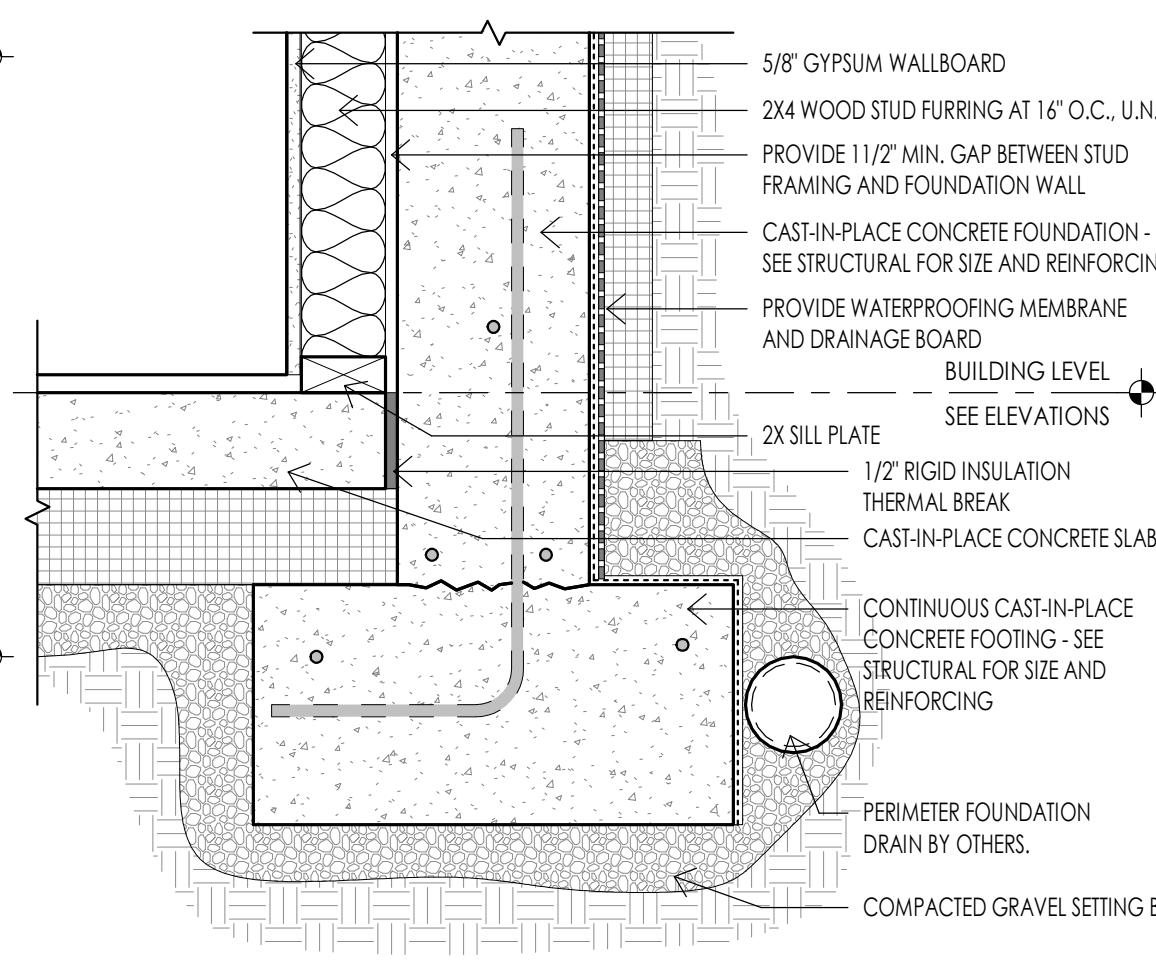
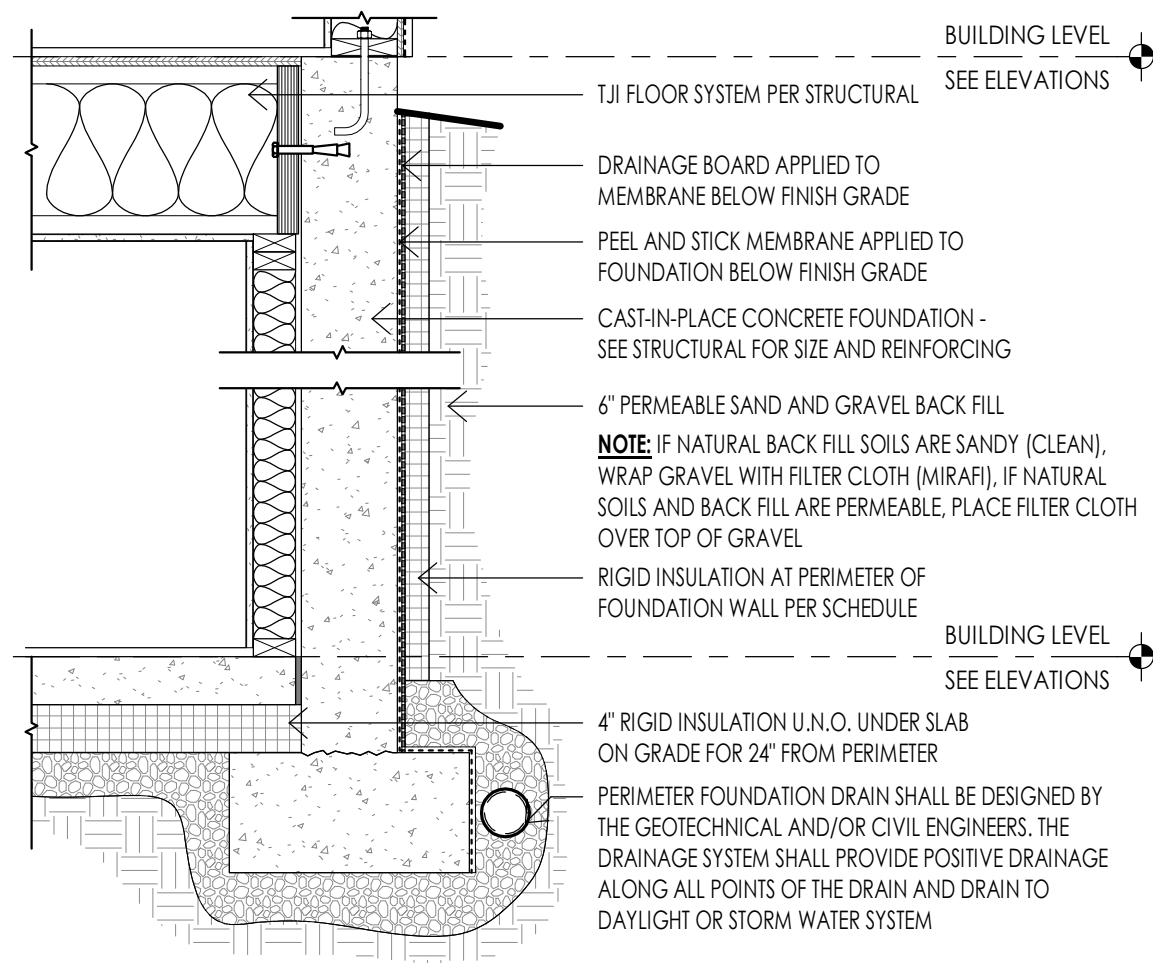
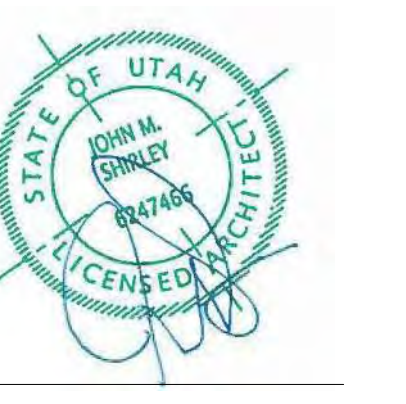


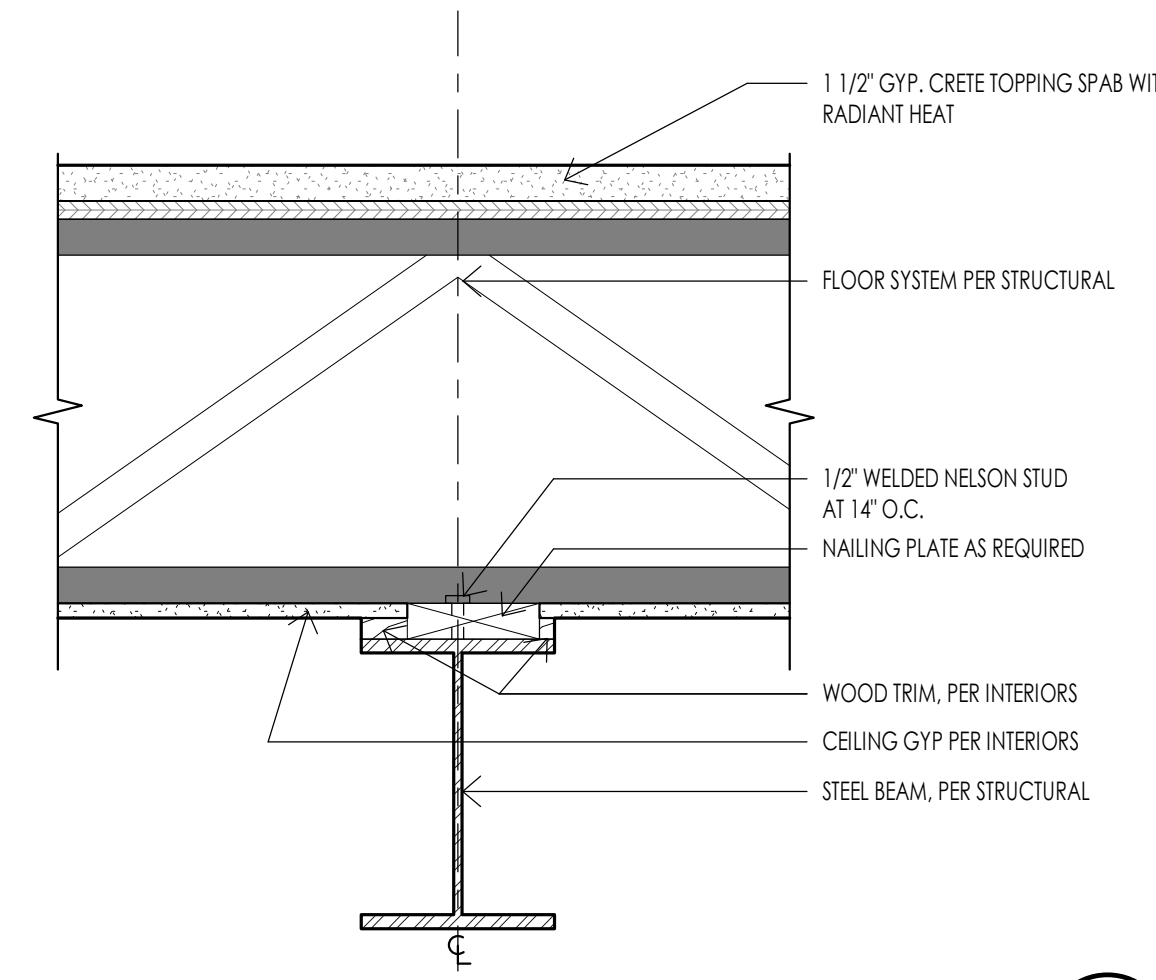
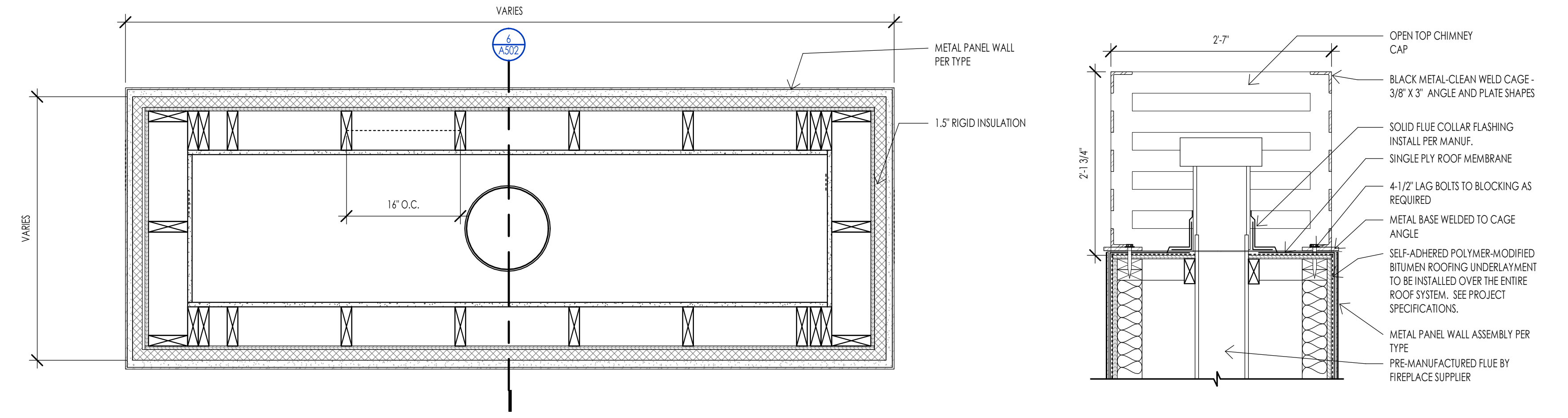
OUTDOOR LIVING VIEW



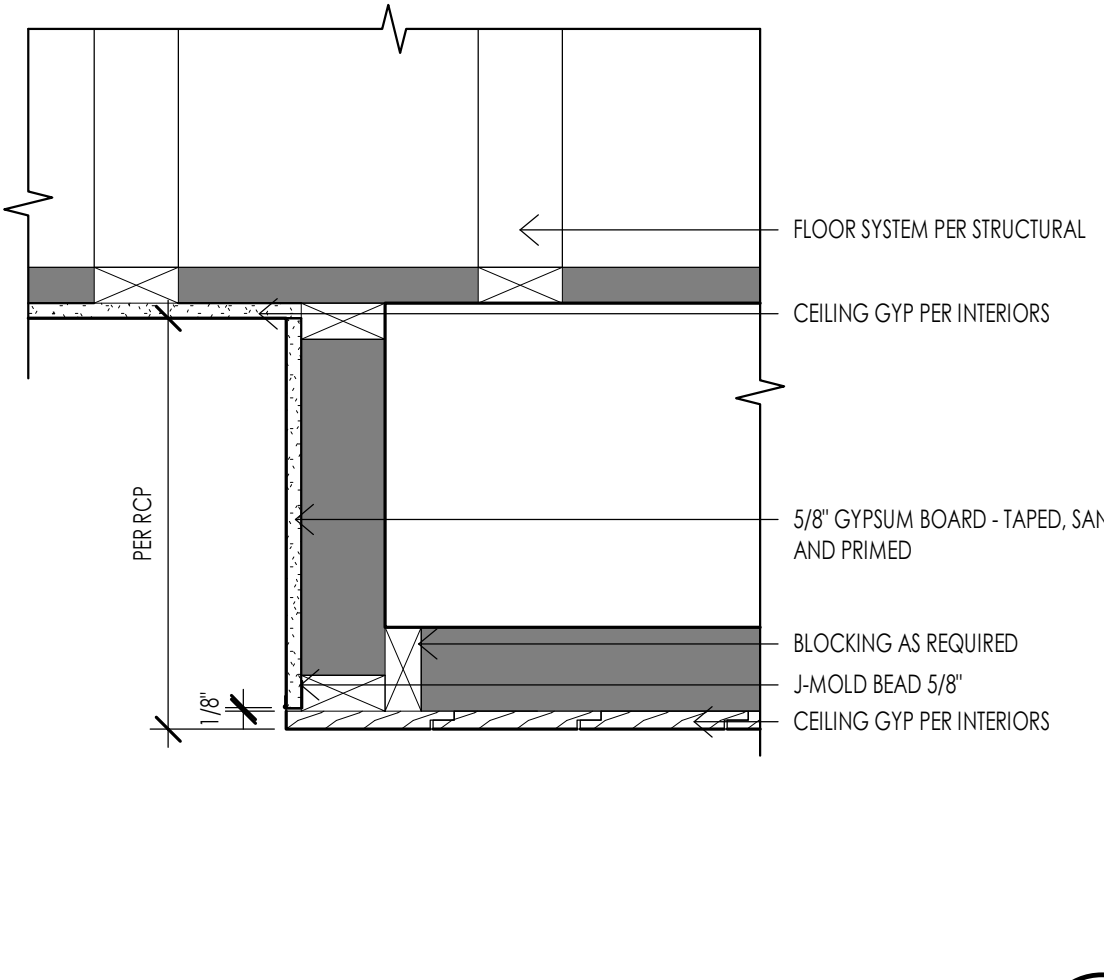
OWNER SUITE INTERIOR VIEW



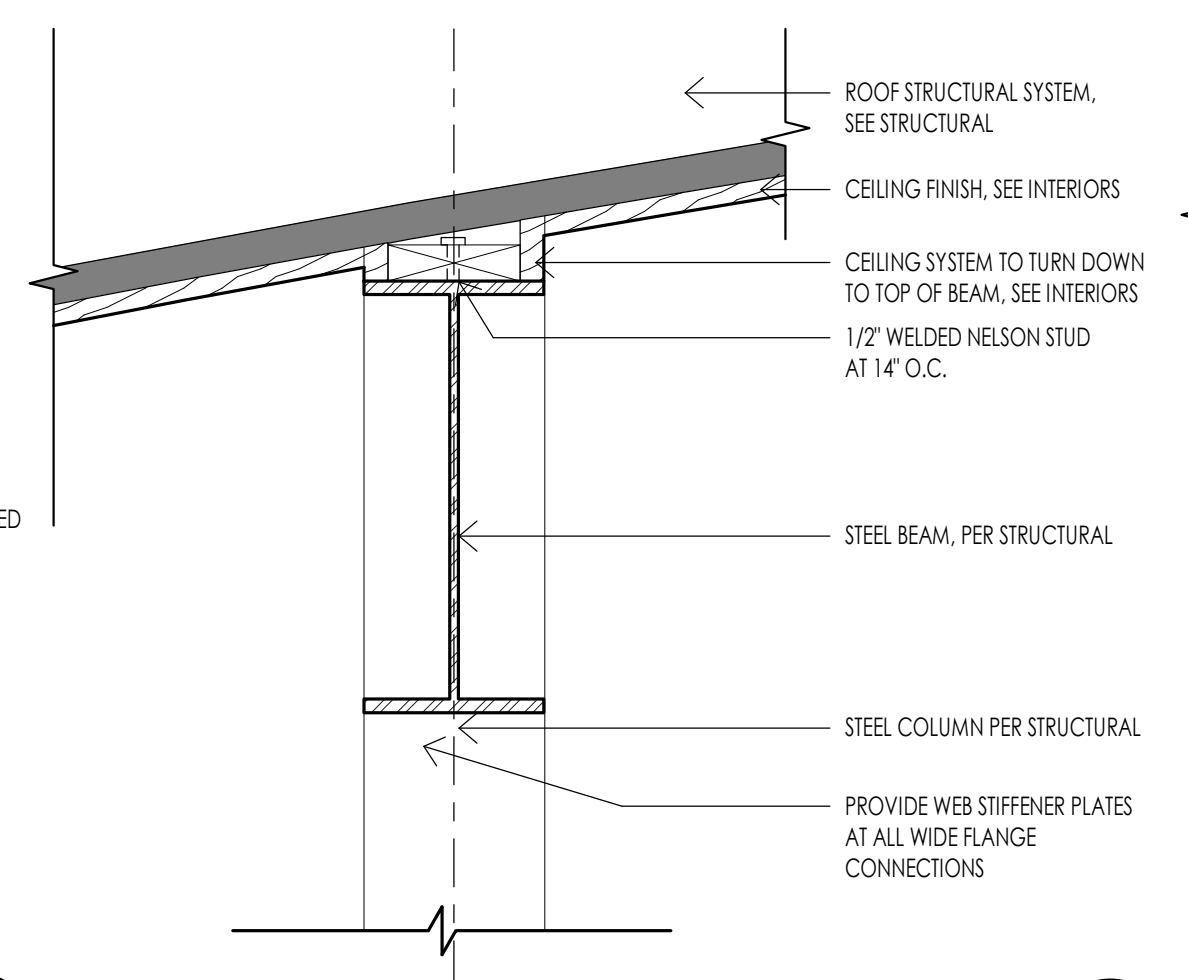




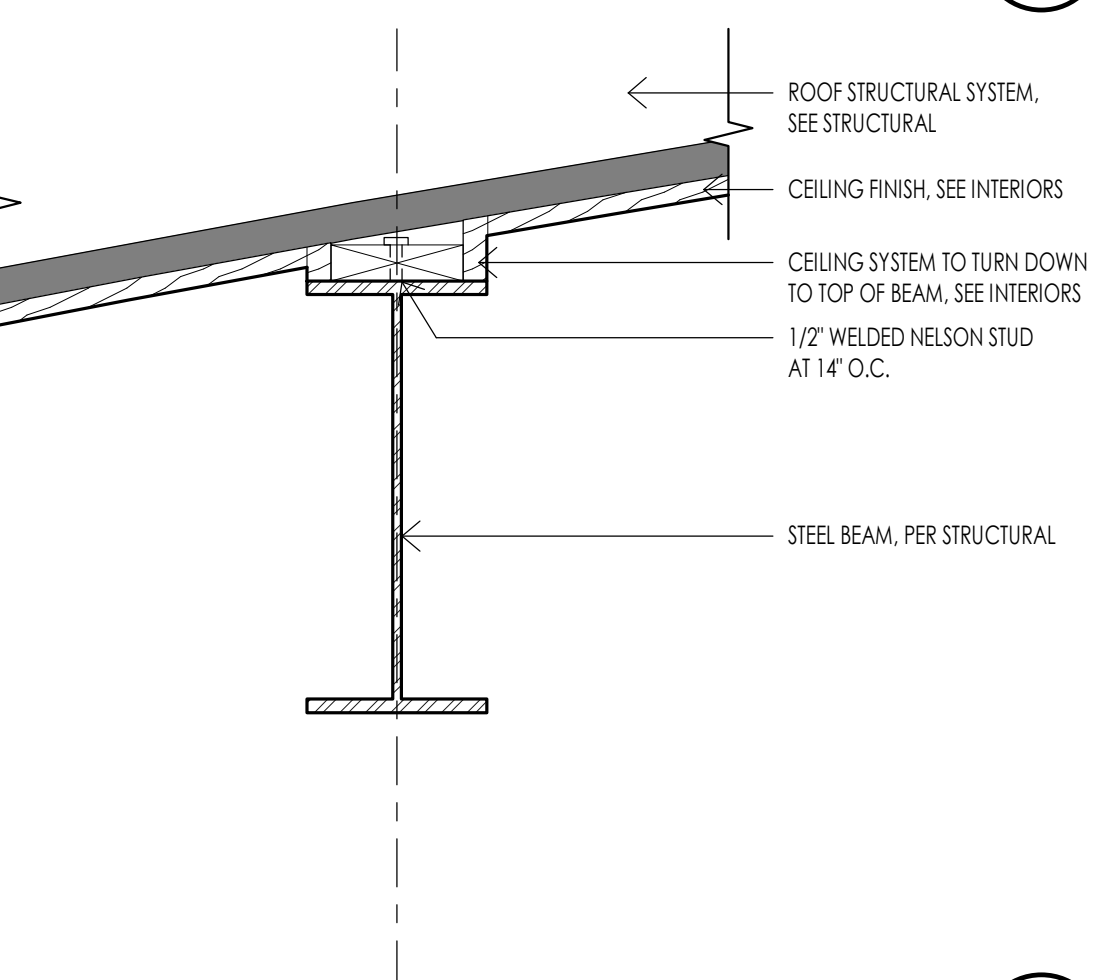
CEILING - EXPOSED INTERIOR BEAM
1 1/2" = 1'-0"



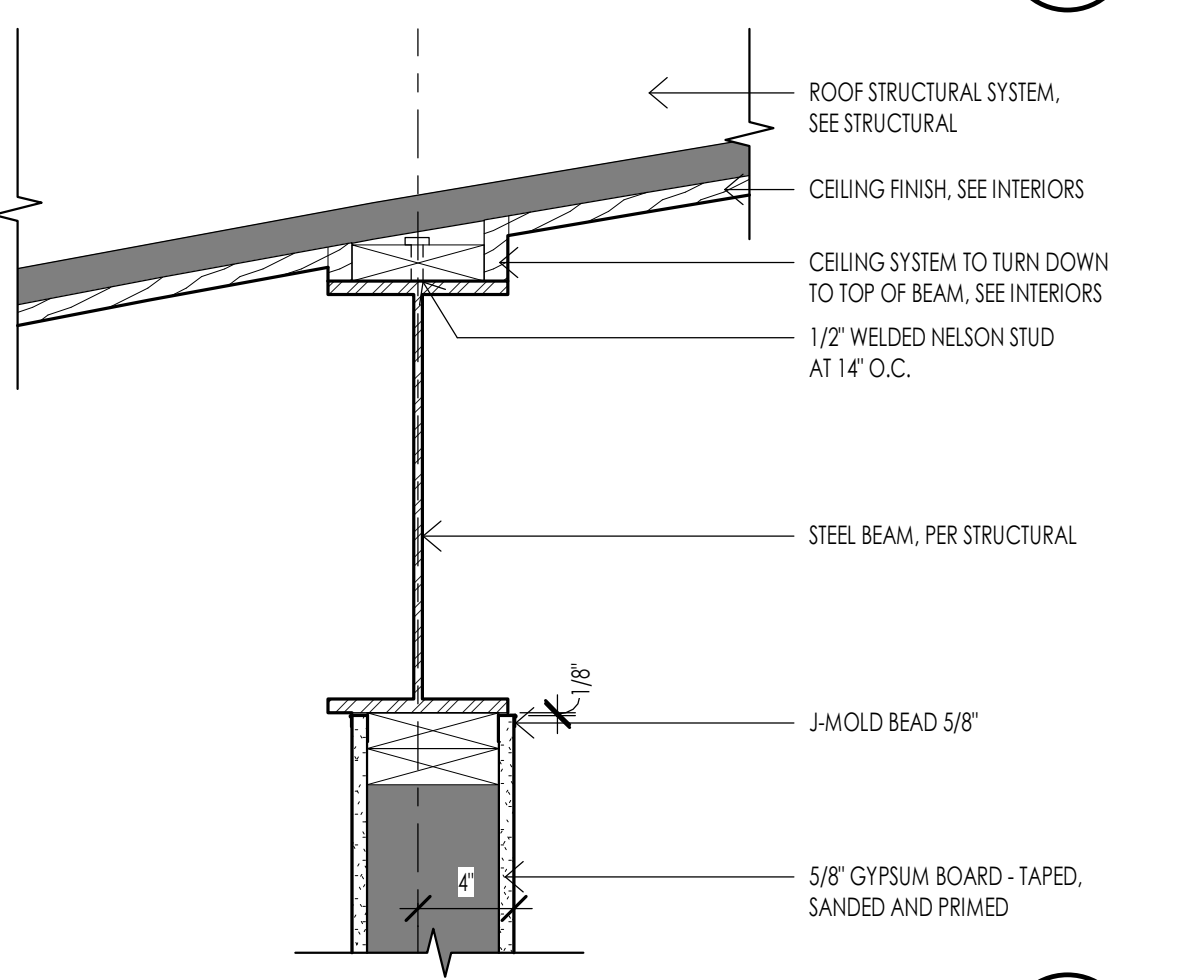
CEILING - DROP SOFFIT
1 1/2" = 1'-0"



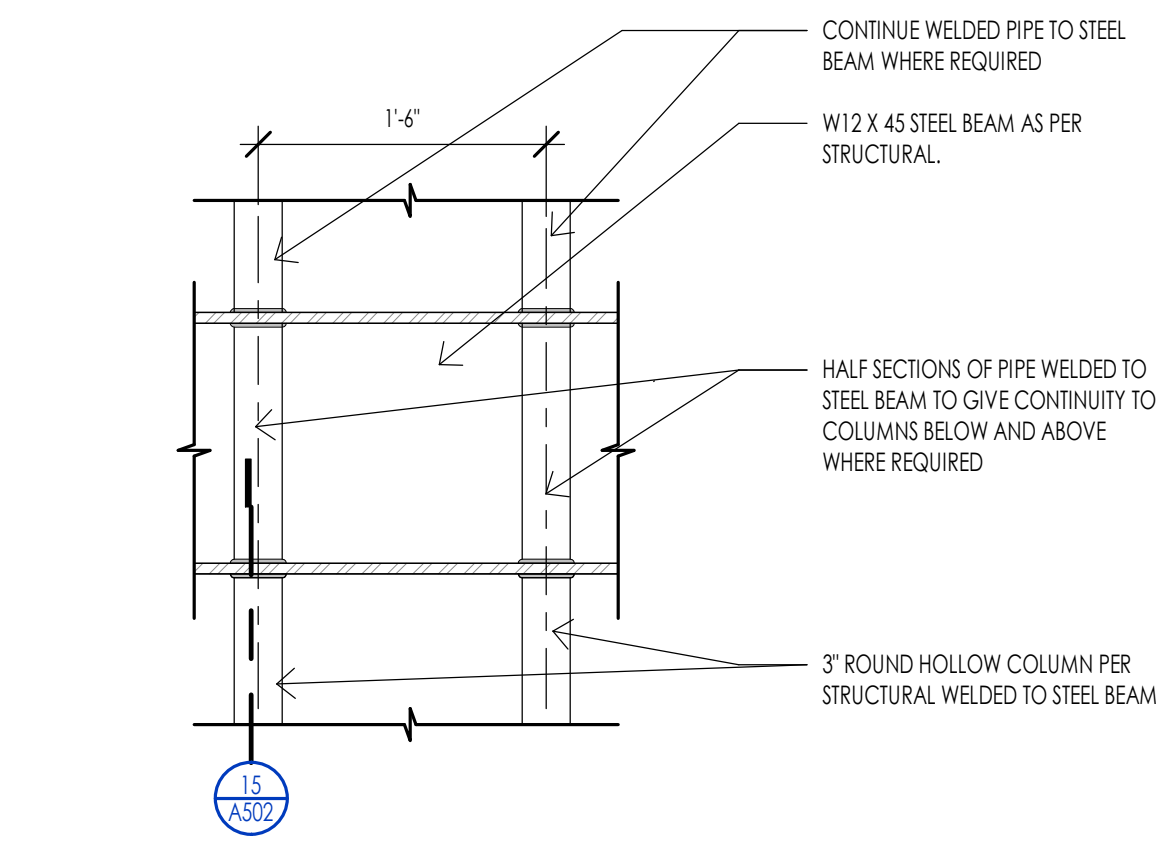
SOFFIT - EXTERIOR BEAM @ CURVED SOFFIT
1 1/2" = 1'-0"



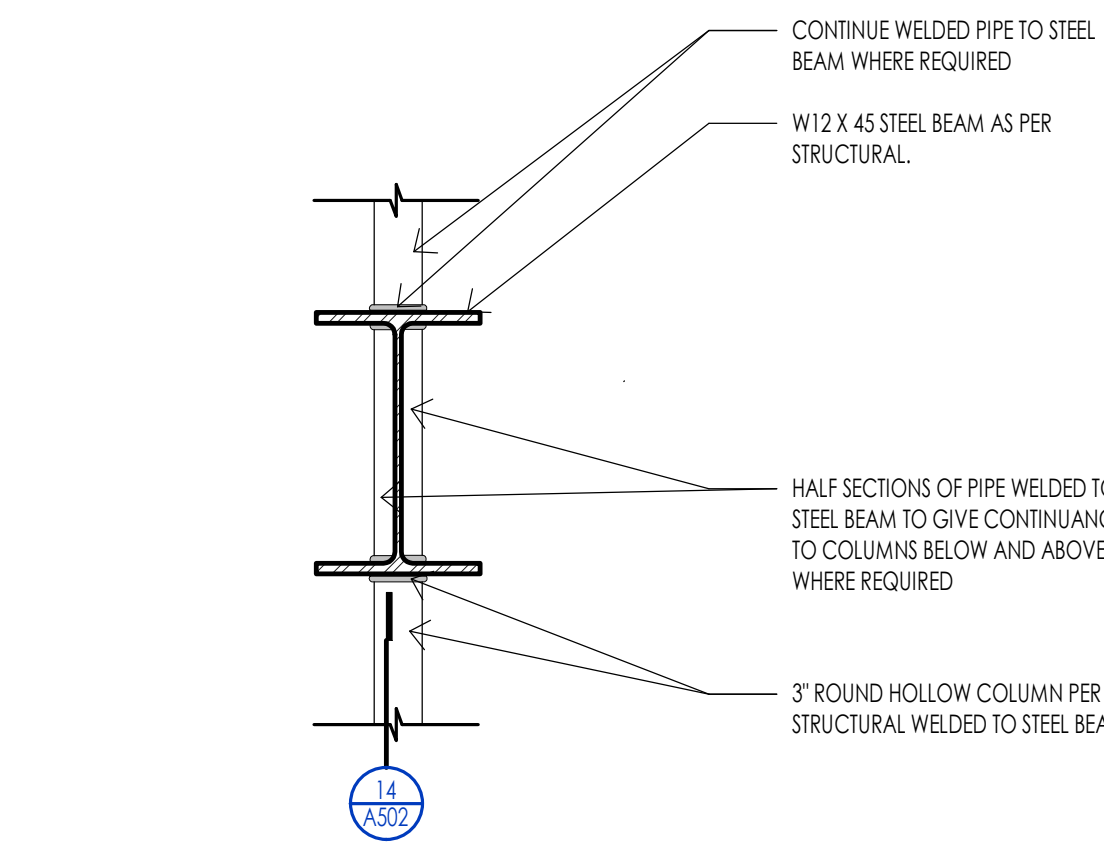
CEILING - INTERIOR BEAM @ CURVED CEILING
1 1/2" = 1'-0"



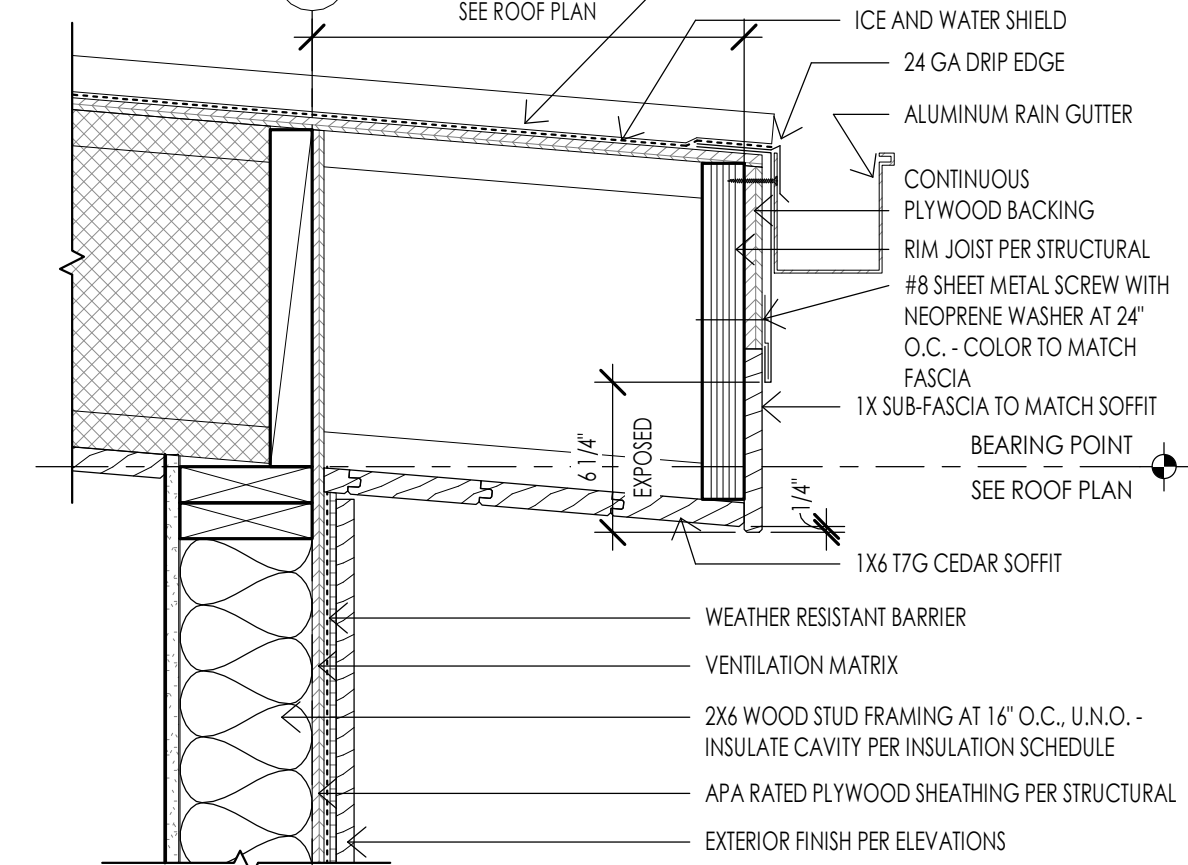
CEILING - INTERIOR BEAM @ CURVED CEILING W/ WALL
1 1/2" = 1'-0"



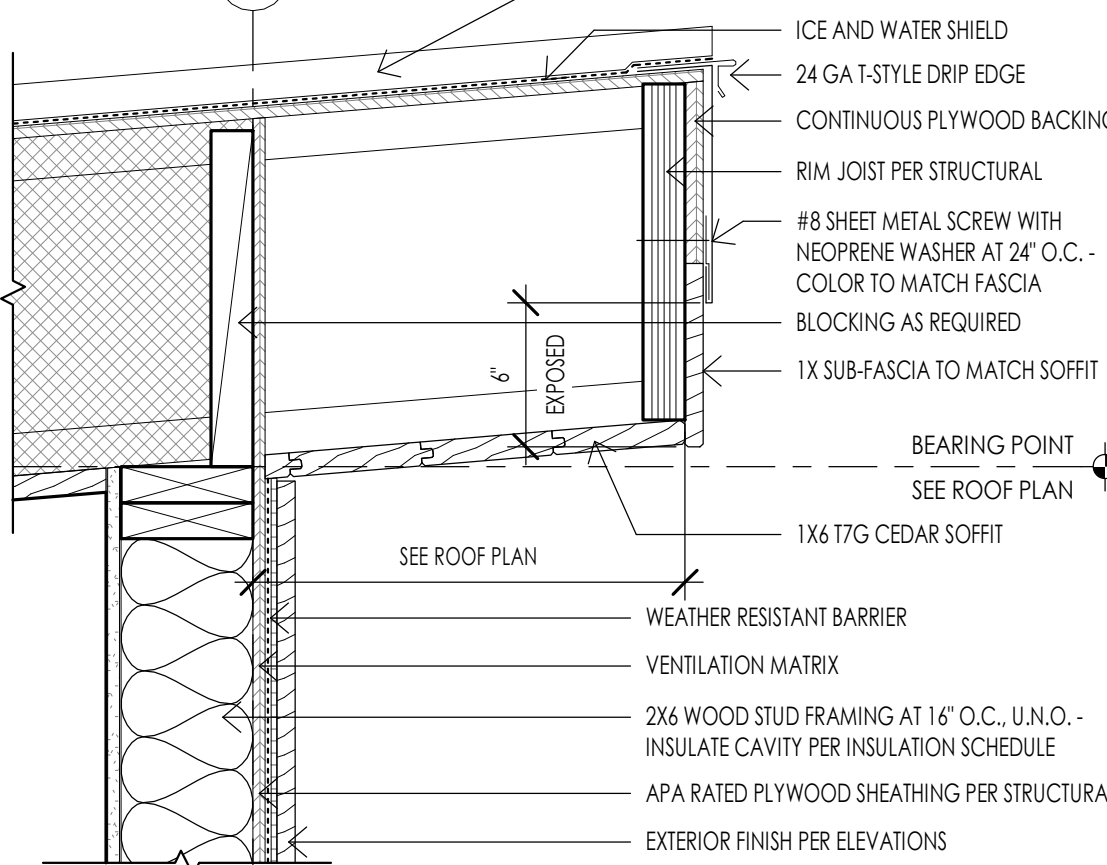
DECK - PIPE COLUMN TO STEEL BEAM DETAIL
1" = 1'-0"



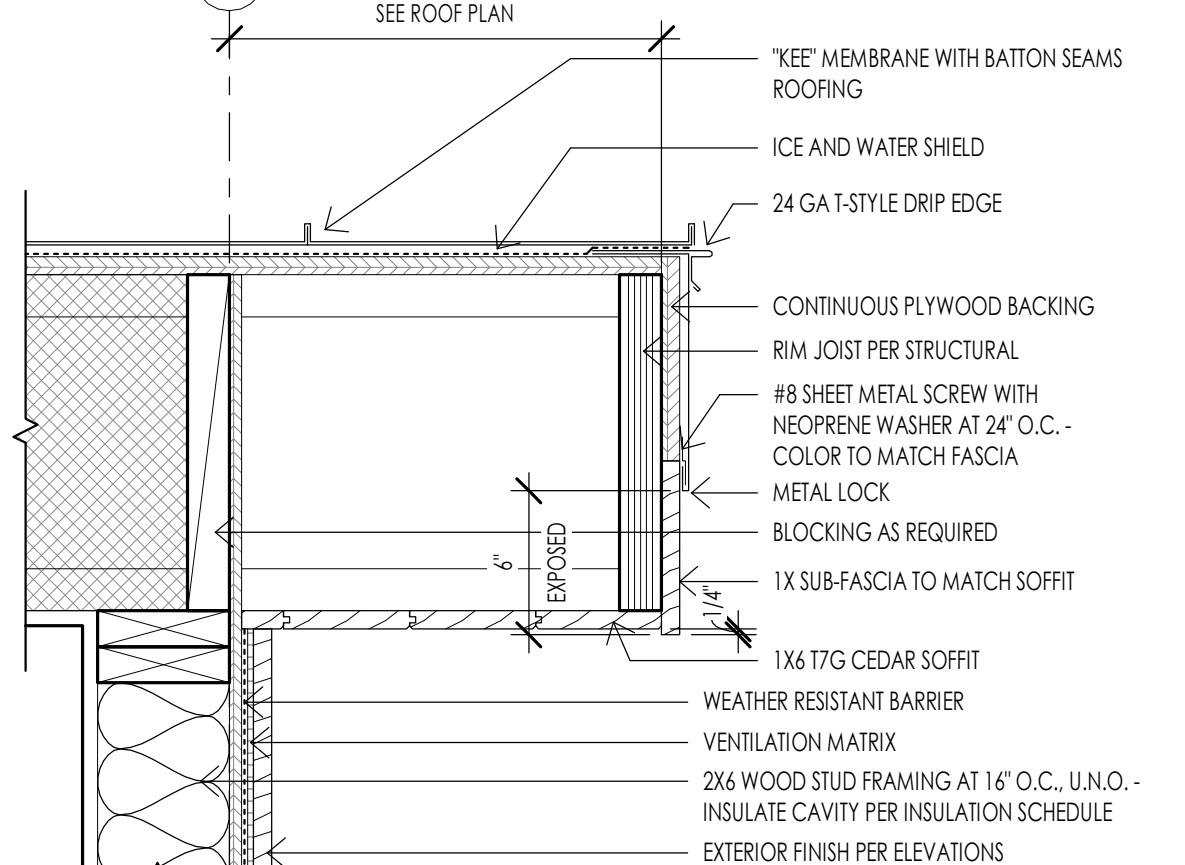
DECK - PIPE COLUMN TO STEEL BEAM SECTION
1" = 1'-0"



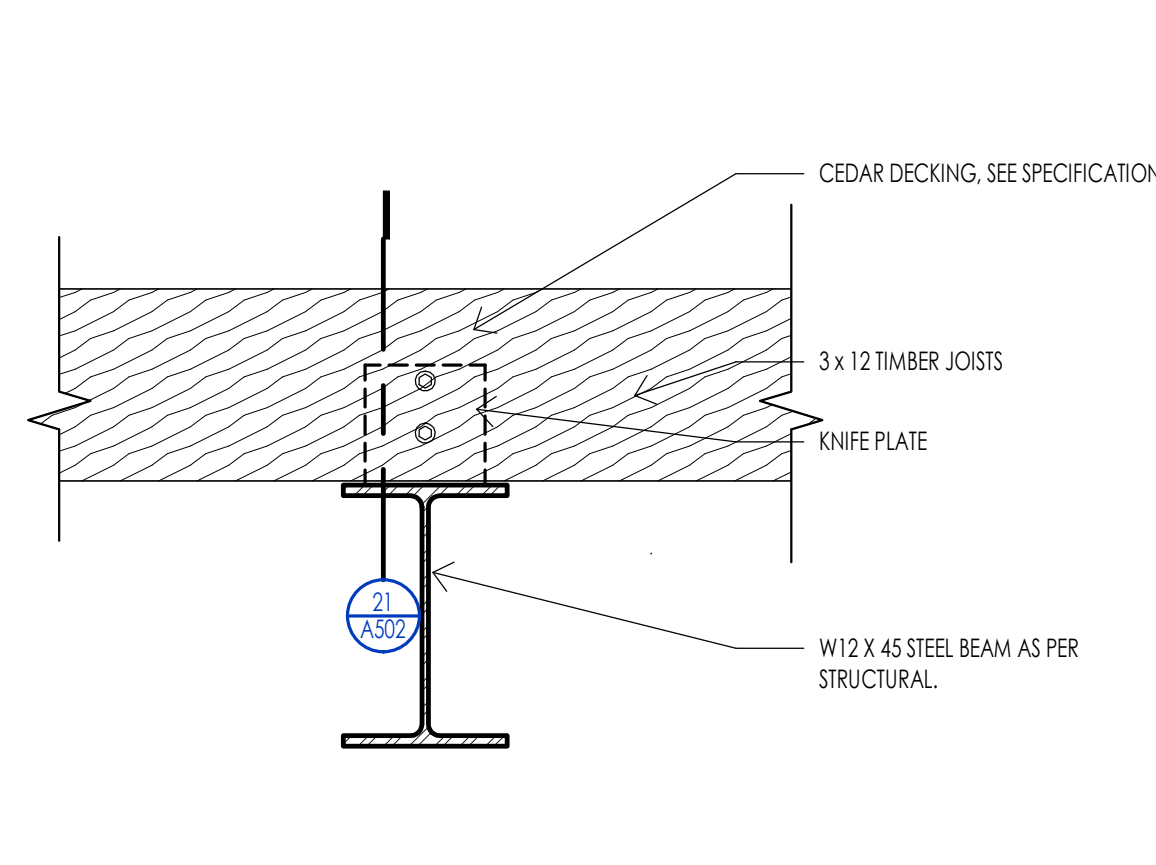
PITCHED EAVE DETAIL AT LOW SIDE
1 1/2" = 1'-0"



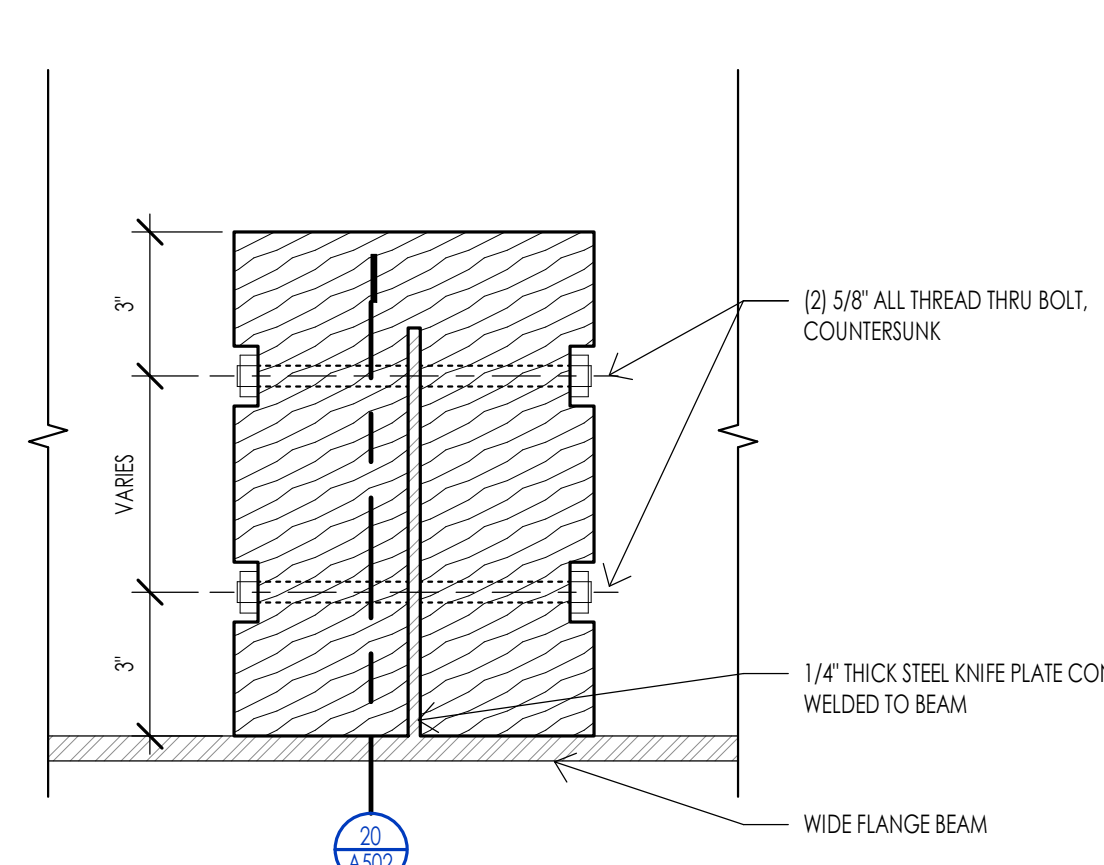
PITCHED EAVE DETAIL AT HIGH SIDE
1 1/2" = 1'-0"



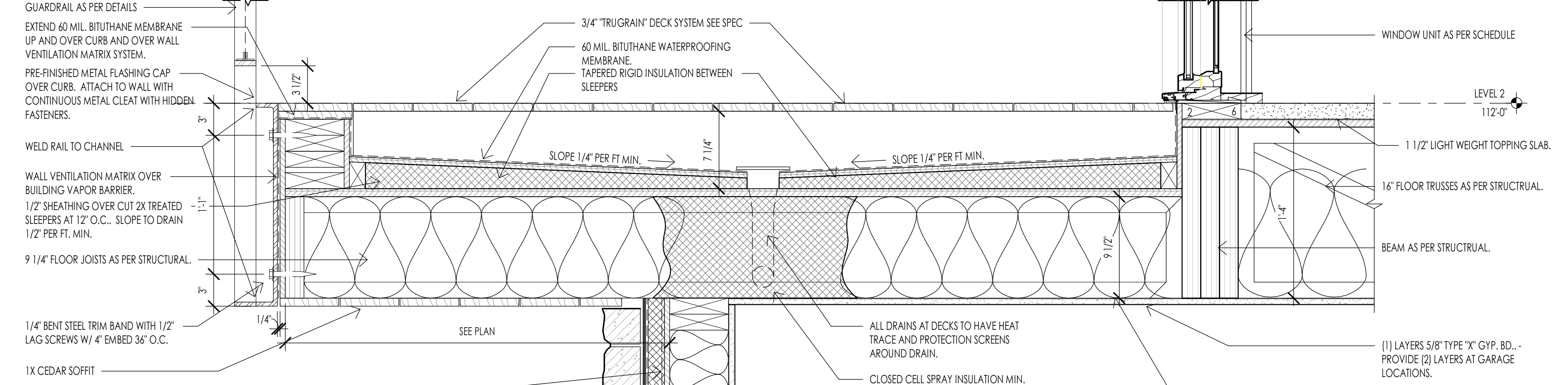
TYPICAL RAKE DETAIL
1 1/2" = 1'-0"



DECK - STEEL BEAM TO JOIST DETAIL
1" = 1'-0"



DECK - TYPICAL TIMBER CONNECTION
3" = 1'-0"



DECK - DRAINAGE DETAIL
1 1/2" = 1'-0"



DECK - EXTERIOR DECK WALL STONE CAP
1 1/2" = 1'-0"

WARM SPRINGS RESIDENCE #32

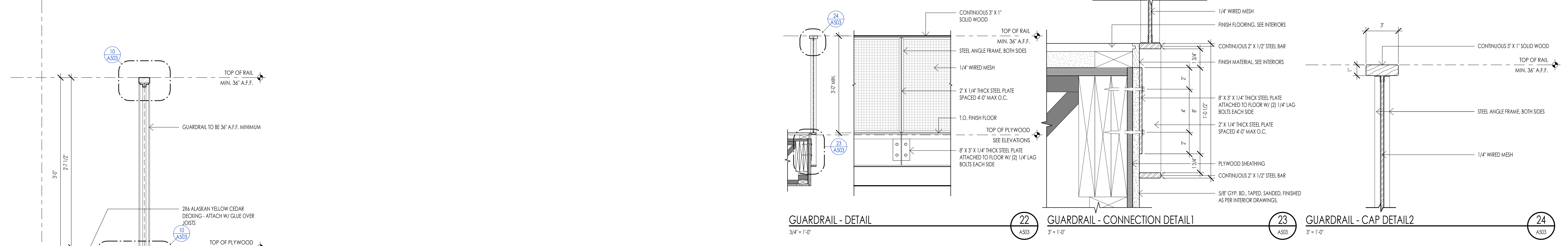
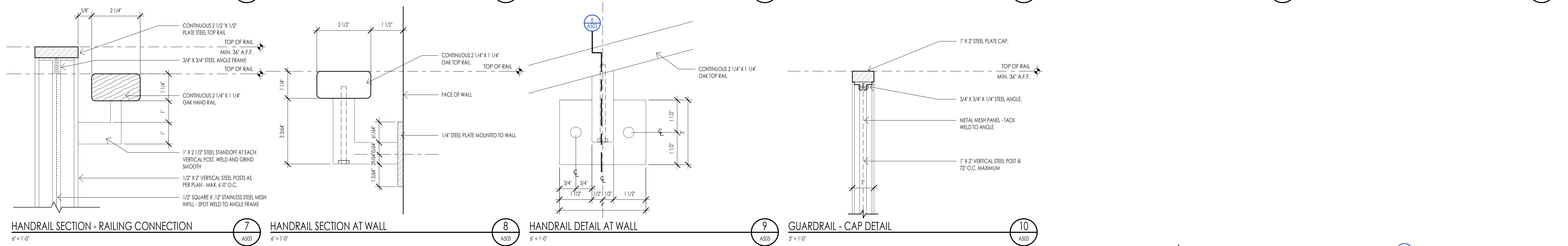
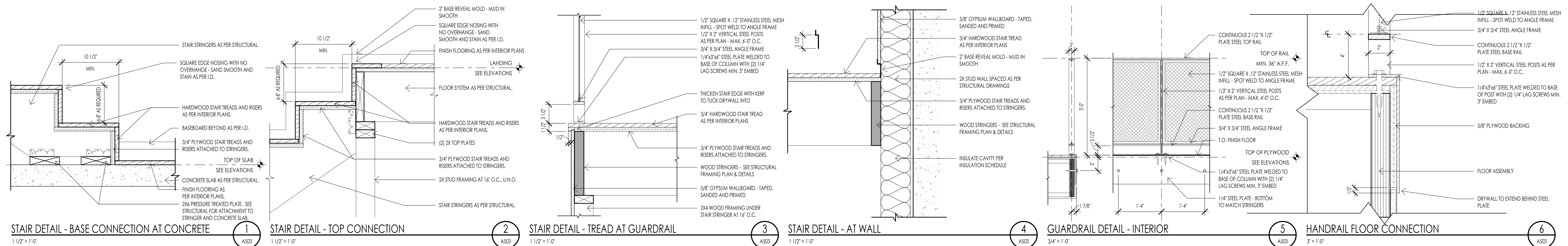
160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30
REVISIONS:

SHEET TITLE:
ARCHITECTURAL
DETAILS

SHEET NUMBER:
A502

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WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30
REVISIONS:

SHEET TITLE:
STAIR/ RAIL DETAILS

SHEET NUMBER:
A503

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DOOR SCHEDULE

MARK	DOOR					FRAME					FIRE RATING	HARDWARE	REMARKS		
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	FINISH	DETAILS			MATERIAL				TYPE	FINISH
							HEAD	JAMB	SILL						
D001A	4'-0"	9'-0"	2"	METAL-GLASS	D7		20/A601			26/A601					PIVOT DOOR - METAL - GLASS - WOOD
D002A	2'-0"	9'-0"	2"		D8		30/A601	30/A601							GARAGE DOOR - METAL - GLASS - WOOD
D002B	3'-0"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F3	PER I.D.			NON-RATED
D003A	3'-0"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D004A	2'-10"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D004B	2'-10"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D005A	2'-10"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D005A	2'-4"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D006B	2'-0"	7'-0"	1/4"	GLASS	D6										
D007A	2'-10"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D007B	2'-4"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D008A	2'-4"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D008B	2'-4"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D009C	2'-0"	7'-0"	1/4"	GLASS	D6										
D022A	2'-4"	8'-0"	1 3/4"	WOOD	D2					WOOD	FRAMELESS	PER I.D.			BARN DOOR WOOD PANEL
D022B	2'-4"	8'-0"	1 3/4"	WOOD	D2					WOOD	FRAMELESS	PER I.D.			BARN DOOR WOOD PANEL
D023A	2'-10"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D034A	4'-0"	8'-0"	1 3/4"	WOOD	D2					WOOD	FRAMELESS	PER I.D.			NON-RATED
D04B	2'-4"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D04C	2'-0"	7'-0"	1/4"	GLASS	D6										
D04D	2'-8"	8'-0"	1 1/2"	WOOD	D5	PER I.D.				WOOD	FRAMELESS	PER I.D.			NON-RATED
D05A	2'-4"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED
D05B	2'-0"	7'-0"	1/4"	GLASS	D6										
D07A	2'-10"	8'-0"	2"	WOOD	D4	PER I.D.	26/A601	27/A601		WOOD	F1	PER I.D.			NON-RATED

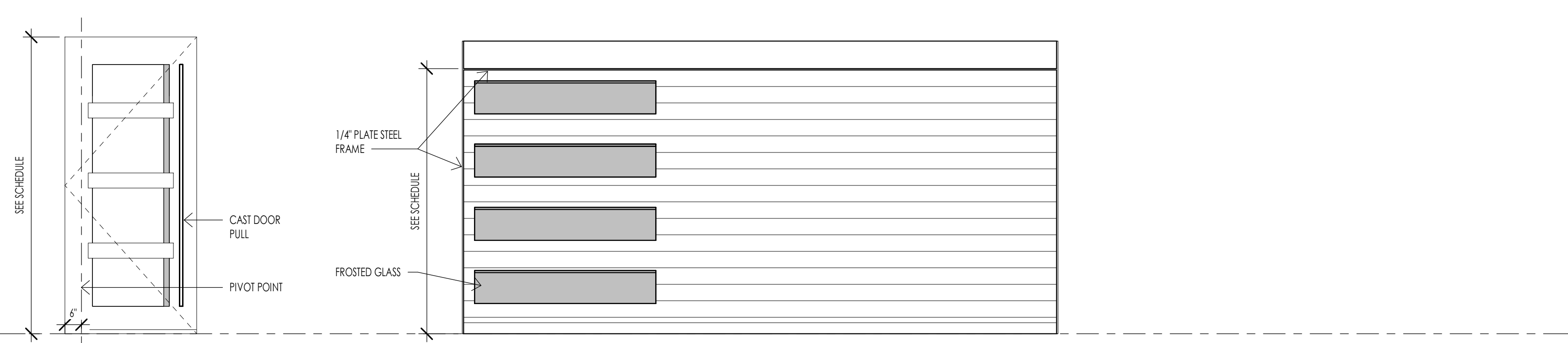
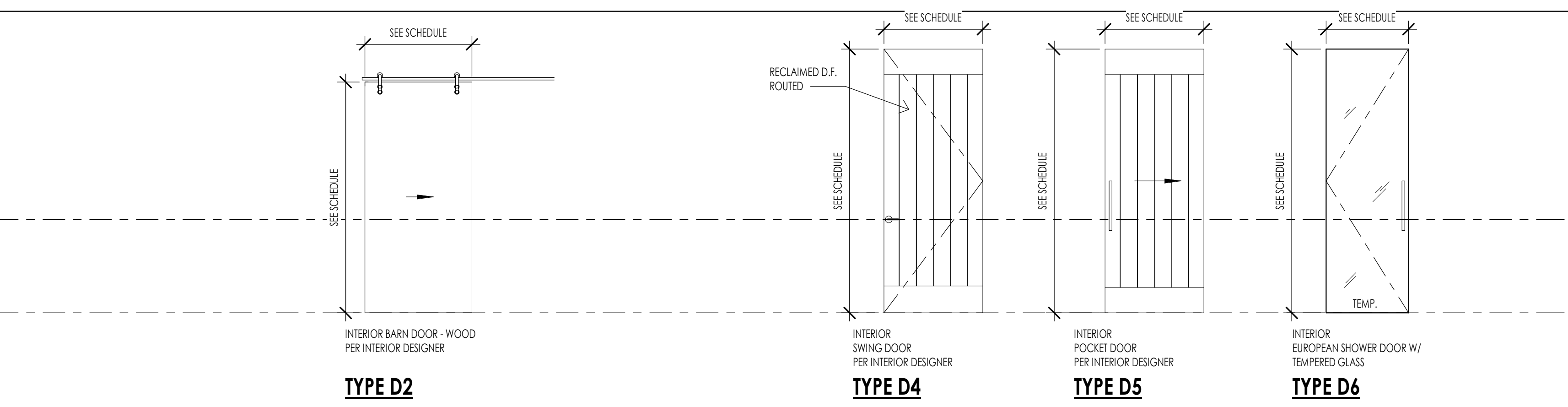
DOOR SCHEDULE GENERAL NOTES

- SEE SHEET A601 FOR DOOR AND FRAME TYPES.
- CONTRACTOR SHALL FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING ALL DOORS.
- CONTRACTOR SHALL SUBMIT COMPLETE DOOR AND HARDWARE SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL FOR EACH BUILDING PRIOR TO ORDERING AND TAKING RECEIPT OF DOOR ORDER. ARCHITECT SHALL REVIEW ALL DOORS FOR COMPLIANCE SPECIFICATIONS AND BUILDING CODE.
- ALL DOORS REQUIRED TO BE RATED SHALL HAVE APPROPRIATE U.L. RATING AS INDICATED IN DOOR SCHEDULE AND SPECIFICATION. ALL DOORS SHALL HAVE LABEL ON DOOR AND FRAME FOR INSPECTION ON SITE, AND SHALL NOT BE REMOVED.
- ALL DOORS SHALL BE INSTALLED SO AS NOT TO HAVE MORE THAN 1/2" THRESHOLD AT EACH DOOR.
- REFER TO INTERIOR DESIGNER FOR CORRECT DOOR STYLES, SPECIES, AND FINISHES.
- OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8" INCHES THICK, SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" INCHES THICK, OR 20 MINUTE FIRE RATED DOORS. SEE I.R.C. SECTION R202.3.1.

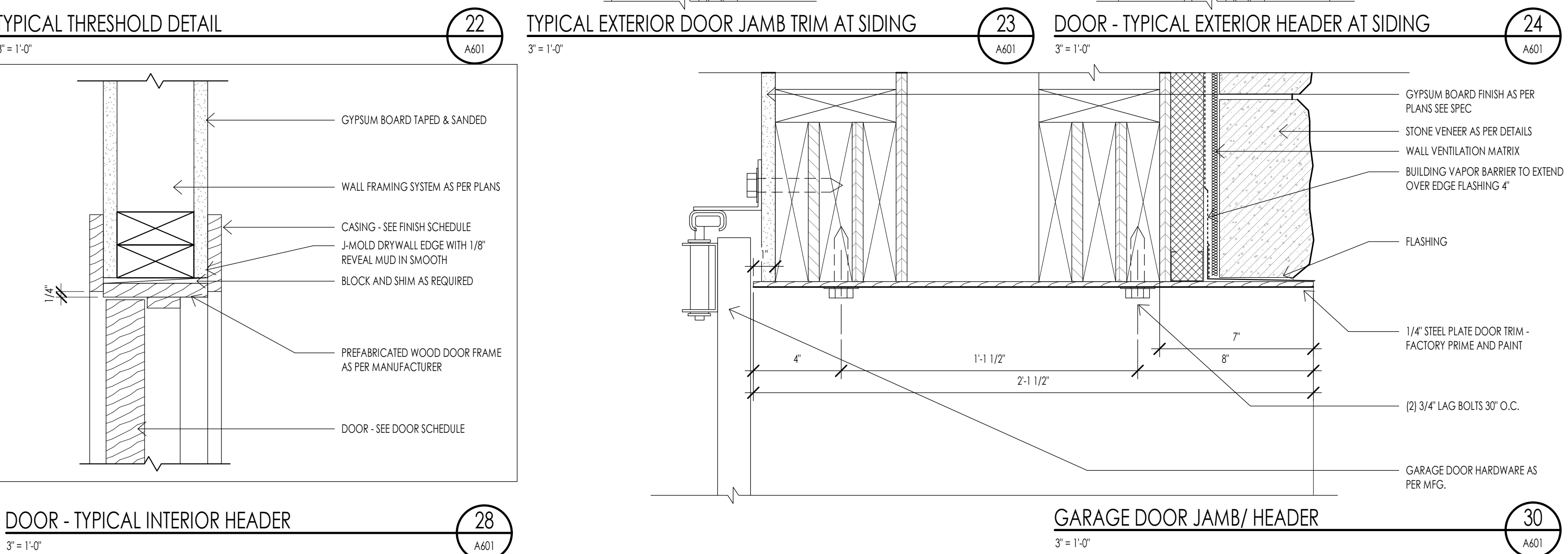
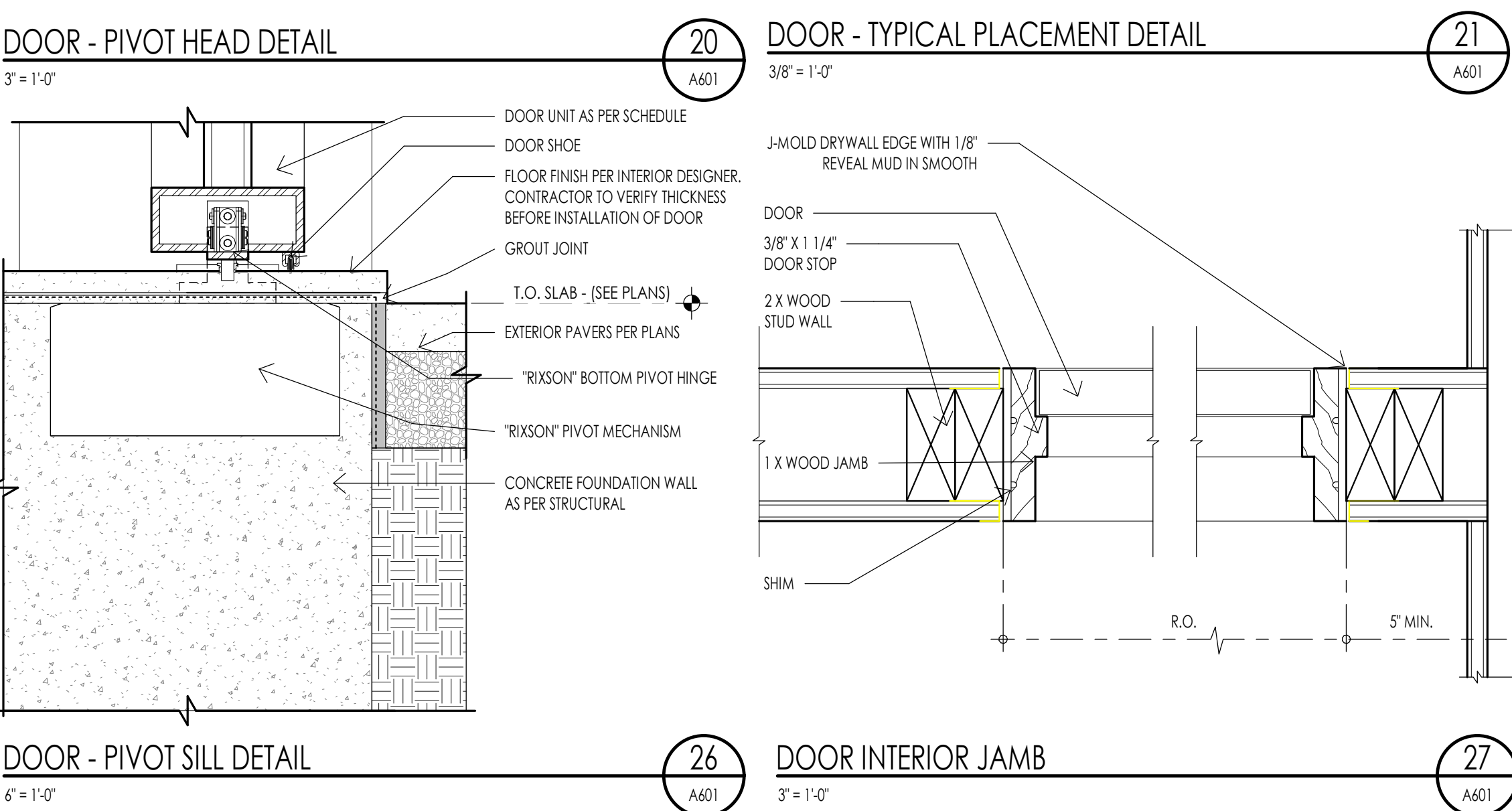
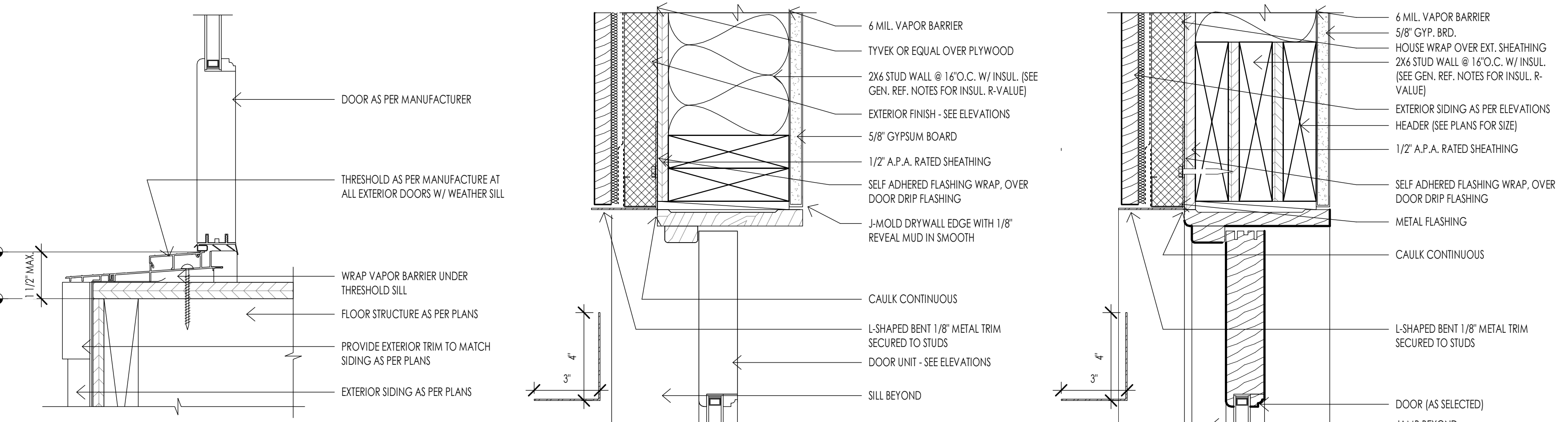
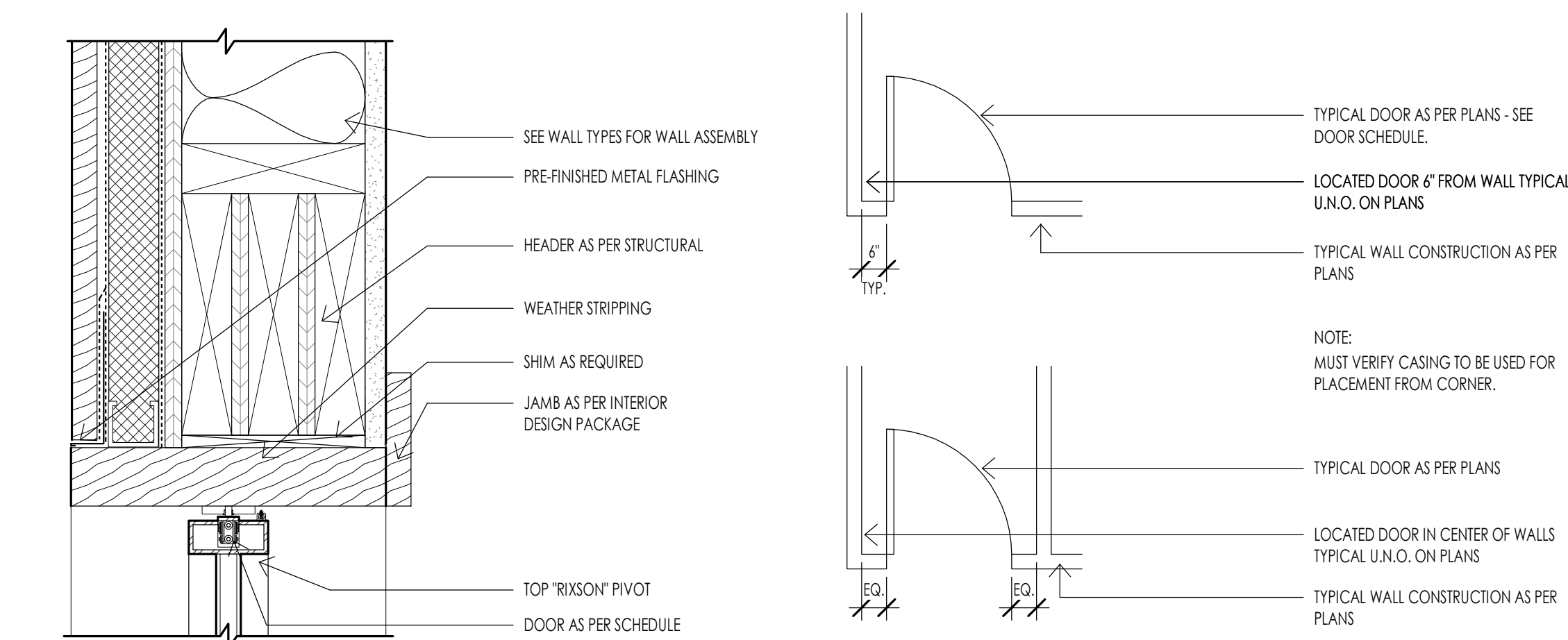
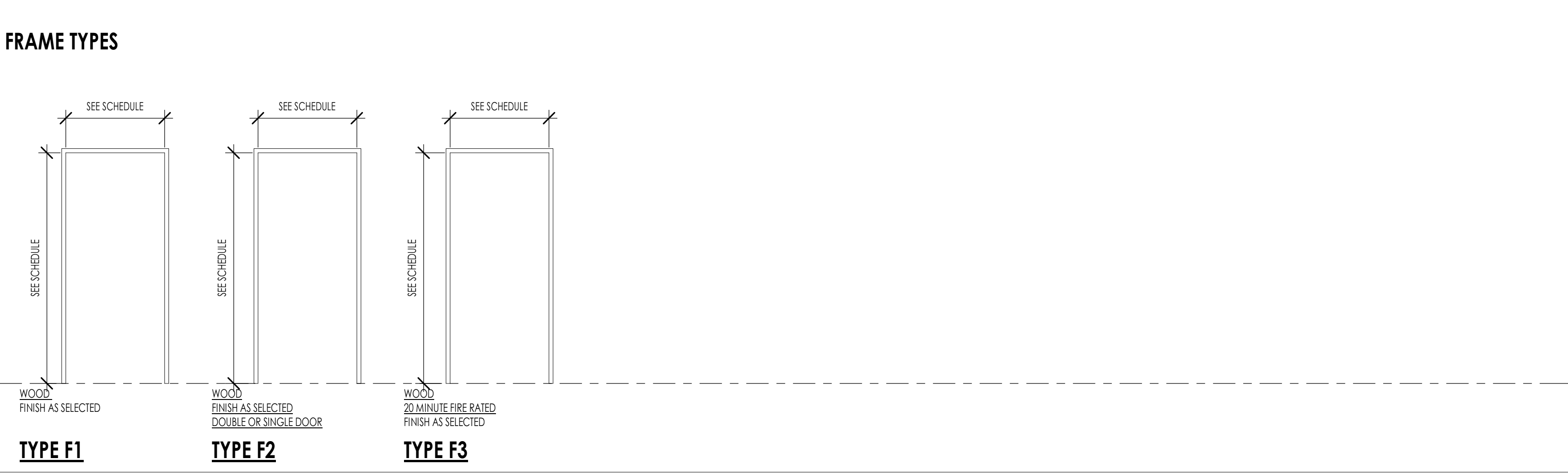
HARDWARE GROUPS

- H1 MECHANICAL ROOM**
 - 2 FAIR SPRING HINGES
 - SMOKE SEAL
 - 1 PASSAGE SET
- H2 OVERHEAD GARAGE DOORS**
 - GARAGE ENTRY PROVIDED BY OVERHEAD DOOR MANUFACTURER
- H3 SECONDARY ENTRY DOOR**
 - 3 FAIR SPRING HINGES
 - 1 SMOKE SEAL
 - 1 LOCKSET
 - 1 DEADBOLT
 - 1 THRESHOLD
- H4 GARAGE HOUSE**
 - 3 FAIR HINGES
 - 1 WEATHER STRIP
 - 1 LOCKSET
 - 1 DEADBOLT
- H5 INTERIOR DOOR**
 - 3 FAIR HINGES
 - 1 PASSAGE SET
- H6 INTERIOR BARN DOOR**
- H7 INTERIOR DOUBLE BARN DOOR**
- H8 INTERIOR DOOR**
 - 3 FAIR HINGES
 - 1 PRIVACY SET
- H9 INTERIOR DOUBLE DOOR**
 - 4 FAIR HINGES
 - 2 KNOBS (SINGLE SIDE ONLY)
- H10 ENTRY DOOR**
 - WEATHER STRIP
 - 1 THRESHOLD
 - 1 LOCKSET
 - 1 DEADBOLT
 - 1 PIVOT HINGE (TOP AND BOTTOM)
- H11 INTERIOR DOUBLE DOOR**
 - 4 FAIR HINGES
 - 2 PASSAGE SET
- H12 POCKET DOOR**

DOOR TYPES



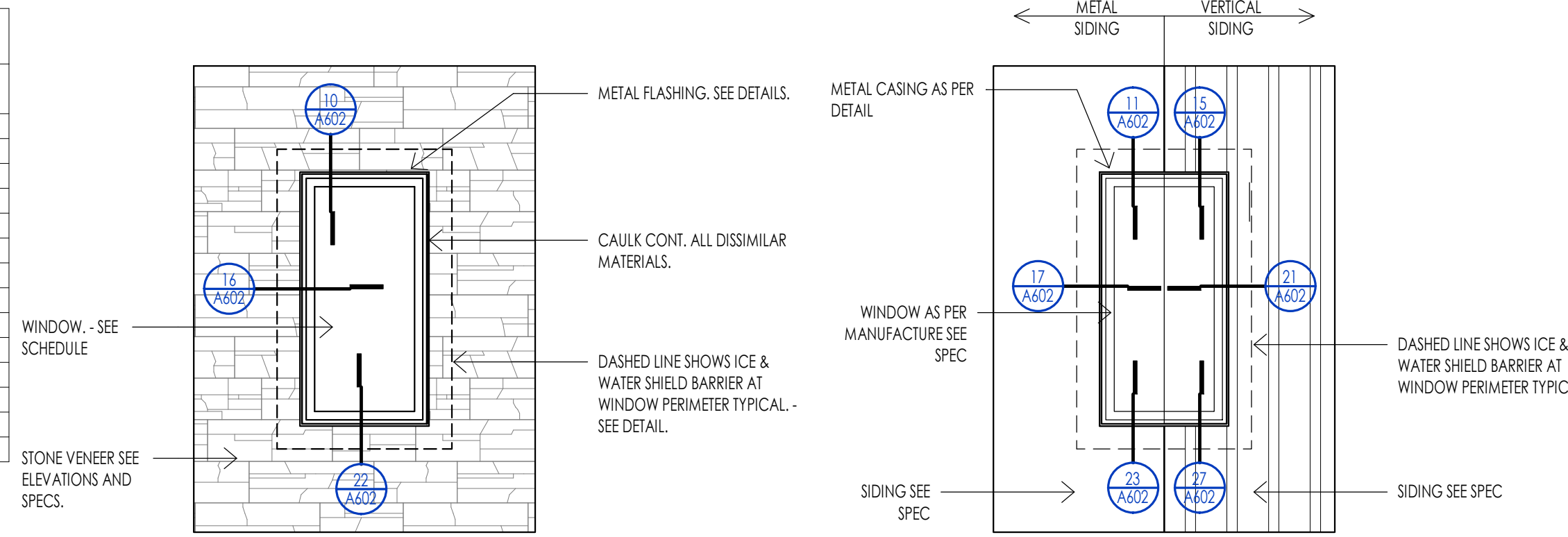
FRAME TYPES



WINDOW SCHEDULE

MARK	UNIT SIZE			OPERATION	MATERIAL	FINISH	DETAIL		THICKNESS	GLAZING	TYPE	COMMENTS
	WIDTH	HEIGHT	HEAD HEIGHT				JAMB	SILL				
W01	3'-0"	5'-0"	8'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	21/A602	27/A602				
W02	3'-0"	3'-0"	8'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	VARIES	27/A602				
W03	3'-0"	2'-0"	10'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	15/A602	21/A602	VARIES			
W04	4'-0"	5'-0"	10'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	11/A602	17/A602	24/A602			
W05	3'-0"	8'-0"	8'-0"	EXTERIOR PATIO SINGLE DOOR	ALUMINUM CLAD	AS PER I.D.	15/A602	VARIES	PER MANUF.			
W06	3'-0"	7'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	15/A602	22/A602				
W07	14'-0"	10'-0"	10'-0"	DOOR SLIDER GLAZED OPEN TO SIDE	ALUMINUM CLAD	AS PER I.D.	14/A602	VARIES	19/A602			
W08	9'-0"	10'-0"	10'-0"	DOOR SLIDER TRIPLE	ALUMINUM CLAD	AS PER I.D.	14/A602	VARIES	19/A602			
W09	3'-0"	7'-0"	10'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	21/A602	27/A602				
W10	2'-6"	7'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	15/A602	22/A602				
W11	5'-0"	5'-0"	9'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	11/A602	17/A602	23/A602			
W12	4'-0"	2'-0"	3'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	13/A602	VARIES	14/A602			
W13	3'-0"	2'-0"	3'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	13/A602	VARIES	14/A602			

NOTE: COORDINATE WITH DETAILS FOR ADDITIONAL INSTALLATION REQUIREMENT.



WINDOW LEGEND	
SYMBOL	DESCRIPTION
(T)	TEMPERED GLAZING LOCATIONS.
→	DIRECTION OF OPERABLE WINDOW/DOOR.
(E)	WINDOW IS REQUIRED TO MEET EMERGENCY EGRESS.

WINDOW SPECIFICATIONS	
APPROVED MANUFACTURERS:	MINIMUM U-VALUE: _____
	SCREENS REQUIRED: _____
BASIS OF DESIGN:	SCREEN COLOR: _____
WINDOW TYPE:	TYPICAL JAMB WIDTH: _____
WINDOW COLOR:	SDL WIDTH: _____
WINDOW GLAZING:	SDL TYPE: _____

WINDOW GENERAL NOTES

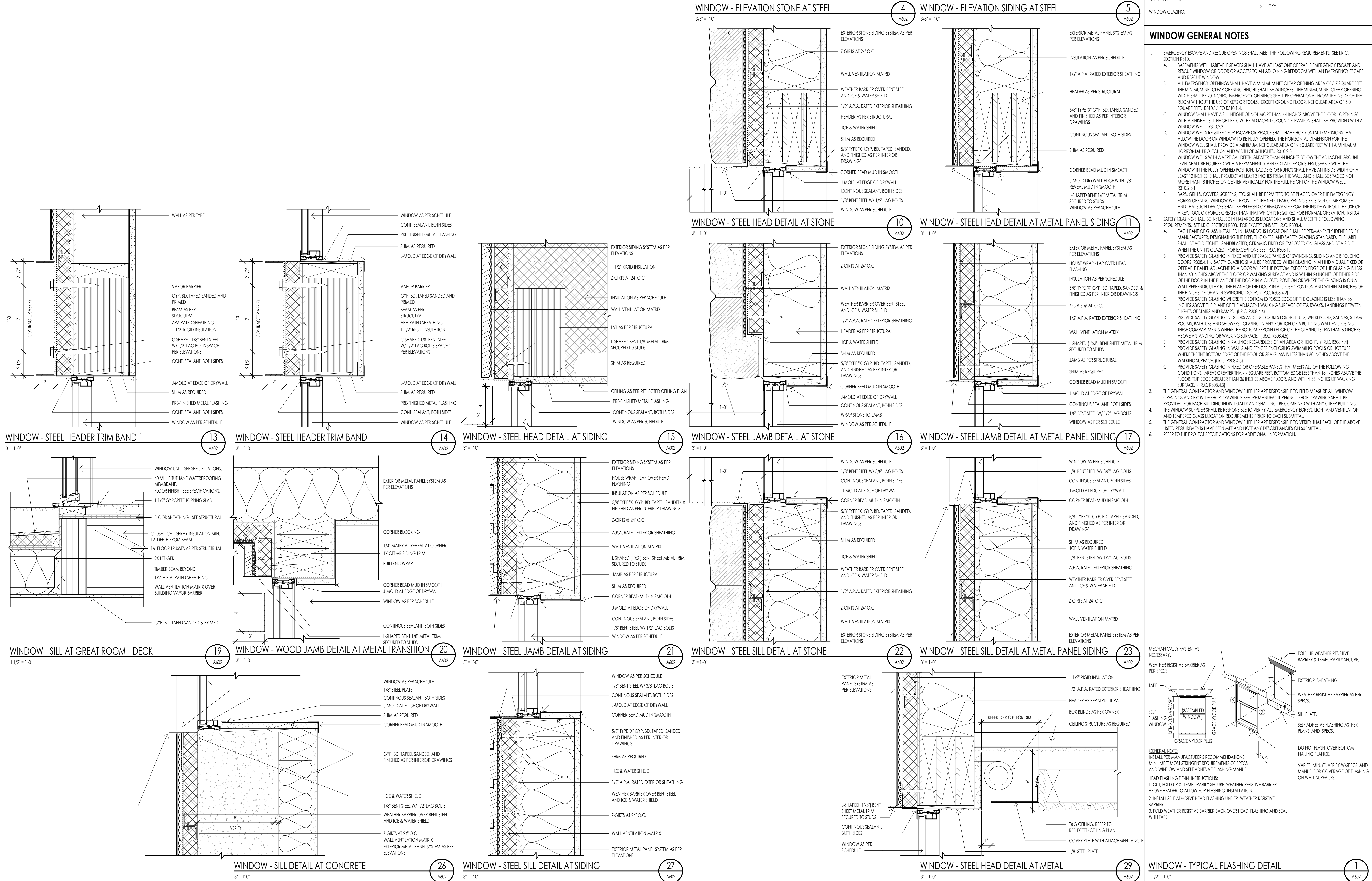
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R310.
 - BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR OR ACCESS TO AN ADJOINING BEREOOM WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW.
 - ALL EMERGENCY OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. EMERGENCY OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. EXCEPT GROUND FLOOR, NET CLEAR AREA OF 5.0 SQUARE FEET. R310.1.1 TO R310.1.4.
 - WINDOW WELLS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 40 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.2.2.
 - WINDOW WELLS REQUIRED FOR ESCAPE OR RESCUE SHALL HAVE HORIZONTAL DIMENSIONS THAT ALLOW THE DOOR OR WINDOW TO BE FULLY OPENED. THE HORIZONTAL DIMENSION FOR THE WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES. R310.2.3.
 - WINDOW WELLS WITH A VERTICAL CLEARANCE GREATER THAN 40 INCHES BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12 INCHES. SHALL PROJECT AT LEAST 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. R310.2.3.1.
 - BARS, GRILLS, COVERS, SCREENS, ETC. SHALL BE PERMITTED TO BE PLACED OVER THE EMERGENCY EGRESS OPENING WINDOW WELL PROVIDED THE NET CLEAR OPENING SIZE IS NOT COMPROMISED AND THAT SUCH DEVICES SHALL BE RELEASED OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION. R310.4.
- SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R308. FOR EXCEPTIONS SEE I.R.C. R308.4.
 - EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FRIED OR SHOSSED ON GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. FOR EXCEPTIONS SEE I.R.C. R308.1.
 - PROVIDE SAFETY GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLDING DOORS (R308.4.1). SAFETY GLAZING SHALL BE PROVIDED WHEN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 20 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN SWINGING DOOR. (I.R.C. R308.4.2)
 - PROVIDE SAFETY GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE FLOOR OR WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS. (I.R.C. R308.4.6)
 - PROVIDE SAFETY GLAZING IN DOORS AND ENCL. COURSES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCL. THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING OR WALKING SURFACE. (I.R.C. R308.4.5)
 - PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT. (I.R.C. R308.4.4)
 - PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCL. SWIMMING POOLS OR HOT TUBS WHERE THE BOTTOM EDGE OF THE POOL, OR SPA GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. (I.R.C. R308.4.5)
 - PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEET ALL OF THE FOLLOWING CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET, BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR, TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR, AND WITHIN 36 INCHES OF WALKING SURFACE. (I.R.C. R308.4.3)
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO FIELD MEASURE ALL WINDOW OPENINGS AND PROVIDE SHOP DRAWINGS BEFORE MANUFACTURING. SHOP DRAWINGS SHALL BE PROVIDED FOR EACH BUILDING INDIVIDUALLY AND SHALL NOT BE COMBINED WITH ANY OTHER BUILDING. THE WINDOW SUPPLIER SHALL BE RESPONSIBLE TO VERIFY ALL EMERGENCY EGRESS, LIGHT AND VENTILATION, AND TEMPERED GLASS LOCATION REQUIREMENTS PRIOR TO EACH SUBMITAL.
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO VERIFY THAT EACH OF THE ABOVE LISTED REQUIREMENTS HAVE BEEN MET AND NOTE ANY DISCREPANCIES ON SUBMITAL.
- REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.



Architecture
Interior Design
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7927 So. Highpoint Parkway, Suite 300
Scotty, Utah 84094
ph. 801.269.0555
fax 801.269.1425
www.thinkaoc.com

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WARM SPRINGS RESIDENCE #32
160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30
REVISIONS:

SHEET TITLE:
WINDOW SCHEDULE & DETAILS

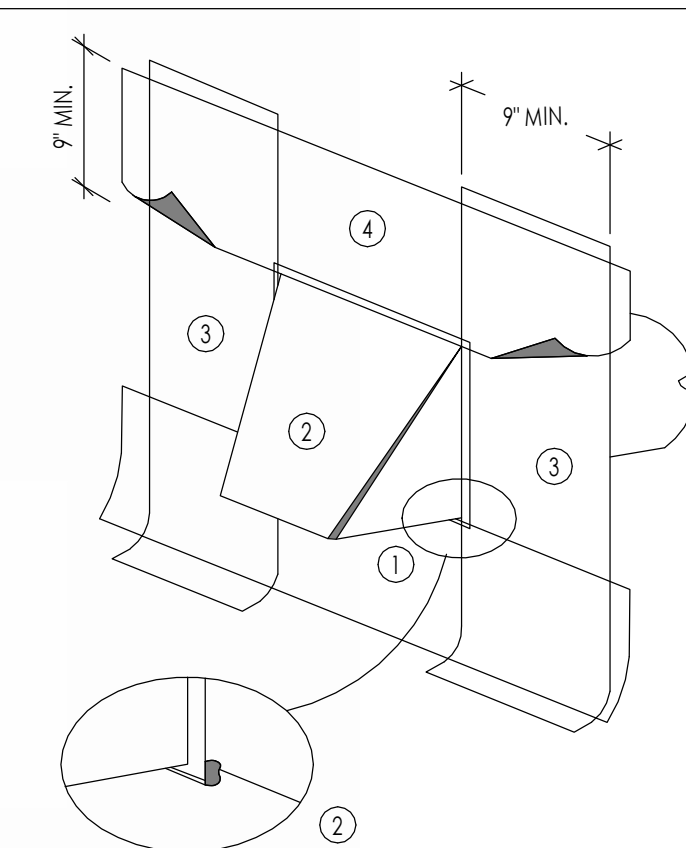
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MECHANICAL GENERAL NOTES

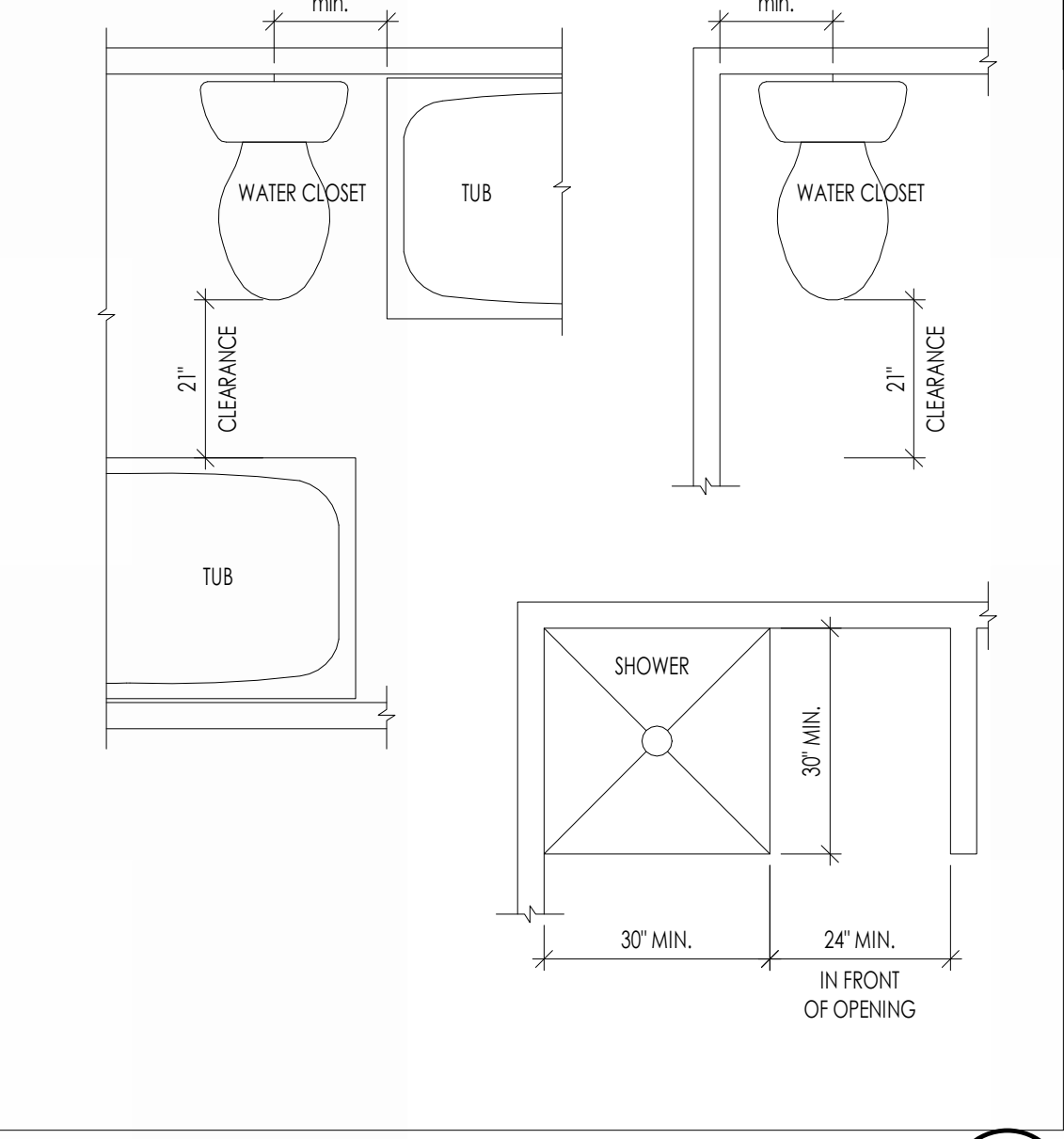
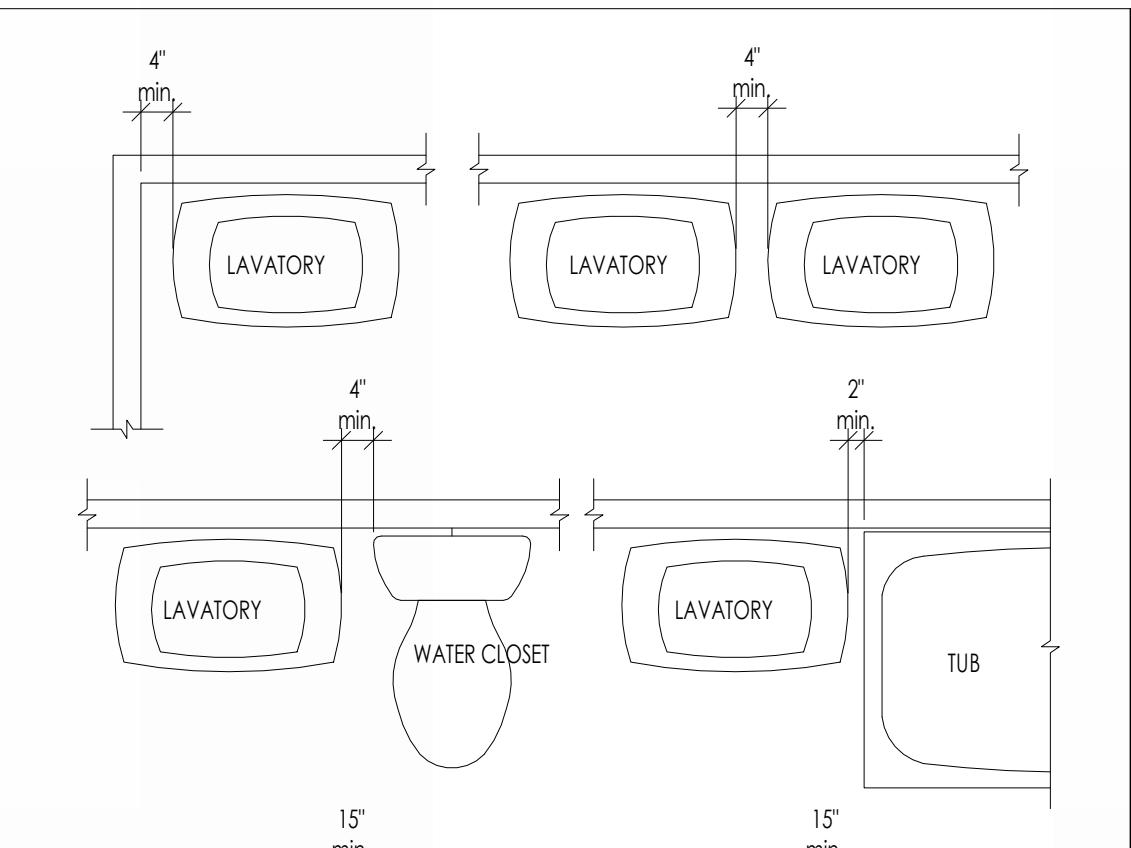
- PLUMBING GENERAL NOTES**
1. THE PLUMBING SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IPC AND IECC.
 2. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE PLUMBING SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.
 3. THE PLUMBING CONTRACTOR SHALL REVIEW AND SHALL GANG ALL ROOF VENTS INTO SINGLE ROOF VENTS WHERE POSSIBLE, AND SHALL RUN THE VENTS OUT OF THE ROOF AT THE HIGHEST POINT POSSIBLE. ALL VENTS SHALL HAVE BLOCKING ON EACH SIDE OF THE VENT IN THE ROOF STRUCTURE TO ENSURE THE VENTS WILL NOT BE MOVED DUE TO SNOW ON THE ROOF. ALL VENTS SHALL BE SIZED PER THE BUILDING CODE, BUT SHALL NOT BE LESS THAN 3 INCH PIPES. THE PLUMBING CONTRACTOR SHALL COORDINATE THAT THE PROPER FLASHING HAS BEEN INSTALLED FOR EACH VENT.
 4. THE ROOF VENTS SHALL EXTEND ABOVE THE ROOF AS REQUIRED BY THE LOCAL JURISDICTION AND BUILDING CODES. THE PLUMBING CONTRACTOR SHALL COORDINATE THIS INSTALLATION.
 5. ALL PLUMBING FIXTURES ARE SPECIFIED ON THE MECHANICAL DRAWINGS, AND ON THE INTERIOR DRAWINGS. THE PLUMBING CONTRACTOR SHALL PROVIDE FULL AND COMPLETE SHOP DRAWING SUBMITTAL ON ALL PLUMBING FIXTURE ITEMS FOR APPROVAL BY OWNER AND DESIGN TEAM.
 6. THE PLUMBING FIXTURES SHALL HAVE THE FOLLOWING REQUIREMENTS:
 - a. SHOWER HEADS SHALL HAVE A FLOW RATE OF 2.5 GPM OR LESS
 - b. WATER CLOSETS SHALL HAVE ECONO-FLUSH TANK 1.6 GAL. MAX. FLUSH
 - c. ALL NOSE BIBS SHALL BE NON-FREEZE TYPE WITH BACK FLOW PREVENTERS
 7. THE PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPER FUTURE SUPPORT AND THAT PROVISIONS ARE MADE FOR PROPER FUTURE SUPPORT. ROUGH IN PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OF DAMAGE DURING CONSTRUCTION.
 8. THE PLUMBING CONTRACTOR SHALL MAKE SURE THAT NO PLUMBING WILL BE INSTALLED WITHIN THE EXTERIOR WALL.
 9. PLUMBING CONTRACTOR SHALL ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE FOR MULTIPLE FUTURE USE SIMULTANEOUSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION.
 10. PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY. ALL FIXTURES SHALL BE ABLE TO DRAIN TO THIS POINT. PROVIDE A FLOOR DRAIN AT THE LOCATIONS OF PLUMBING SYSTEM DRAIN.
 11. ALL SUPPLY WASTE AND GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY STANDARDS. ALL WATER SUPPLY LINES IN THE BUILDING SHALL BE TYPE "1" COPPER. TO INCLUDE PIPING TO MANFOLDS. EQUIPMENT SHALL BE COPPER WITHIN THE BUILDING. ALL SUPPLY TO FIXTURES MAY BE POLYETHYLENE CROSS LINE PIPING FOR ABOVE GROUND AND BUILDING APPLICATIONS. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. ALL CONNECTIONS FOR POLYETHYLENE PIPING SHALL BE BRASS. FITTINGS WITH COMPRESSION BAND FITTINGS.
 12. ALL WATER LINES UNDERGROUND SHALL BE TYPE "1" COPPER. ALL FITTINGS AND JOINTS SHALL BE SWEAT SOLDER JOINTS TOGETHER.
 13. WASTE LINES SHALL BE PROVIDED WITH CLEAN OUT AS REQUIRED. EXTEND CLEAN OUT TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOORS UNLESS PREVIOUSLY APPROVED BY THE DESIGN TEAM AND OWNER.
 14. GAS PIPING SHALL BE INSTALLED AS PER THE LATEST CODE REQUIREMENTS FOR THIS TYPE OF PROJECT. ALL GAS PIPING SHALL BE FULLY TESTED AND INSPECTED FOR ANY LEAKS PRIOR TO FINAL COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL INSTALL SHUT OFF VALVES AT EACH GAS APPLIANCE AND SHALL LOCATE THE VALVE TO HAVE ACCESS TO THE VALVE.
 15. PLUMBING CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL GAS PIPING AND FITTINGS. ALL TEST SHALL BE PERFORMED TO MEET THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE.
 16. ALL WATER LINES SHALL FULLY DISINFECTED UPON THE FINAL COMPLETION OF THE PROJECT, AND BEFORE CERTIFICATE OF OCCUPANCY AND TURN OVER TO THE OWNER.
 17. ALL DRAINS SHALL HAVE A TRAP PRIMER OR EQUIVALENT NECESSARY TO KEEP THE INTEGRITY OF THE PLUMBING TRAP.

- MECHANICAL GENERAL NOTES**
1. THE MECHANICAL SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IMC AND IECC.
 2. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE MECHANICAL SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.
 3. THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK. THE MECHANICAL CONTRACTOR MUST ALSO PROVIDE NOTIFICATION TO THE ARCHITECT AND CONTRACTOR OF CONDITIONS THAT MAY BE DIFFERENT THAN EXPECTED DURING BIDDING.
 4. ALL LINE VOLTAGE AND LOW VOLTAGE CONTROL WIRING SHALL BE RAN, INSTALLED AND CONNECTED BY THE MECHANICAL CONTRACTOR OR THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SCOPE OF WORK.
 5. ALL EQUIPMENT SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR MUST PROVIDE THE DOCUMENTATION THAT IT MEETS THE REQUIREMENTS OF THE ENERGY LEVELS BEING ACHIEVED WITHIN THIS BUILDING.
 6. THE MECHANICAL CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE DRAWINGS FOR LOCATIONS OF ALL MECHANICAL ZONES.
 7. EXHAUST FANS WHERE SHOWN ON EITHER THE MECHANICAL OR ELECTRICAL PLANS SHALL BE SIZED FOR A MINIMAL RATE OF 50 CFM. ALL FANS SHALL BE HARD DUCTED WITH RIGID DUCT (NO FLEX DUCT SHALL BE ALLOWED), AND DIRECTED DIRECTLY TO THE EXTERIOR OF THE BUILDING IN A SOFFIT OR SIDE WALL. THE TERMINATION OF ALL EXHAUST FANS SHALL BE A MINIMUM OF 10'-0" AWAY FROM ANY OPERABLE WINDOW. TERMINATIONS SHALL BE INSTALLED AS NOT TO BE BLOCKED BY SNOW AND ICE. FANS SHALL BE A DIRECT DRIVE CENTRIFUGAL UNIT WITH SLOW SPEED MOTOR. PROVIDE AN ACOUSTICAL INSULATION, GRIPS, CAPS, ETC AS REQUIRED.
 8. ALL GRILLS AND REGISTERS MUST BLEND TO THE ADJACENT FINISH, AND SHALL BE PROVIDED TO MEET THE REQUIREMENTS FOR THE FLOW RATE AS PER THE CFM REQUIREMENTS. ALL GRILLS SHALL BE EITHER PAINTED FOR METAL FINISH SELECTED.
 9. WATER HEATERS
 - a. THE REQUIRED NUMBER OF WATER HEATERS ARE SHOWN ON THE MECHANICAL PLANS. ALL WATER HEATERS SHALL BE 90% OR BETTER HIGH EFFICIENCY WATER HEATERS WITH RAPID RECOVERY. ALL WATER HEATERS SHALL BE INSTALLED WITH SEISMIC ANCHORING, AS PER DETAILS.
 - b. ALL WATER HEATERS SHALL BE VENTED TO THE EXTERIOR.
 - c. THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN WHETHER SHOWN OR NOT AT THE BASE OF ALL WATER HEATERS. THE FLOOR DRAIN MUST BE LOCATED, AND THE FLOOR MUST SLOPE TOWARD THE DRAIN IN A POSITIVE FLOW.
 10. GAS FIRED FURNACES
 - a. THE REQUIRED NUMBER OF GAS FIRED FURNACES SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRED FURNACES.
 - b. THE GAS FIRED FURNACES SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER.
 - c. THE VENTING OF EACH GAS FIRED FURNACE SHALL BE PVC PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE EXACT LOCATION WITH THE OWNER AND ARCHITECT.
 - d. THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED FURNACES OVER THE UNIT CONDENSATE LINES.
 11. GAS FIRED BOILERS
 - a. THE REQUIRED NUMBER OF GAS FIRED BOILERS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRED BOILERS.
 - b. THE GAS FIRED BOILER SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER.
 - c. THE VENTING OF EACH GAS FIRED BOILER SHALL BE PVC PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE EXACT LOCATION WITH THE OWNER AND ARCHITECT.
 - d. THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED BOILER FOR THE UNIT CONDENSATE LINES.
 12. DUCTWORK
 - a. ALL DUCTWORK SHALL BE 24 GA. MINIMUM RIGID DUCT AND SHALL BE FULL SEALED AT EACH JOINT LOCATION. NO FLEXIBLE DUCT IS ALLOWED WITHIN THE INSTALLATION.
 - b. ALL DUCTWORK IN CEILINGS OF UNHEATED ROOM OR UNDER SLAB SHALL BE INSULATED DUCTWORK. ALL DUCTWORK WITHIN THE HEATING ENVELOPE OF THE STRUCTURE DOES NOT REQUIRE TO BE INSULATED, UNLESS SPECIFICALLY NOTED.
 - c. ALL DUCTWORK SHALL BE IN THE SPACE ALLOCATED, AND SHALL NOT BE DROPPED BELOW FLOOR JOISTS, UNLESS NOTED ON DRAWINGS, OR PREVIOUSLY APPROVED BY THE ARCHITECT AND OWNER.

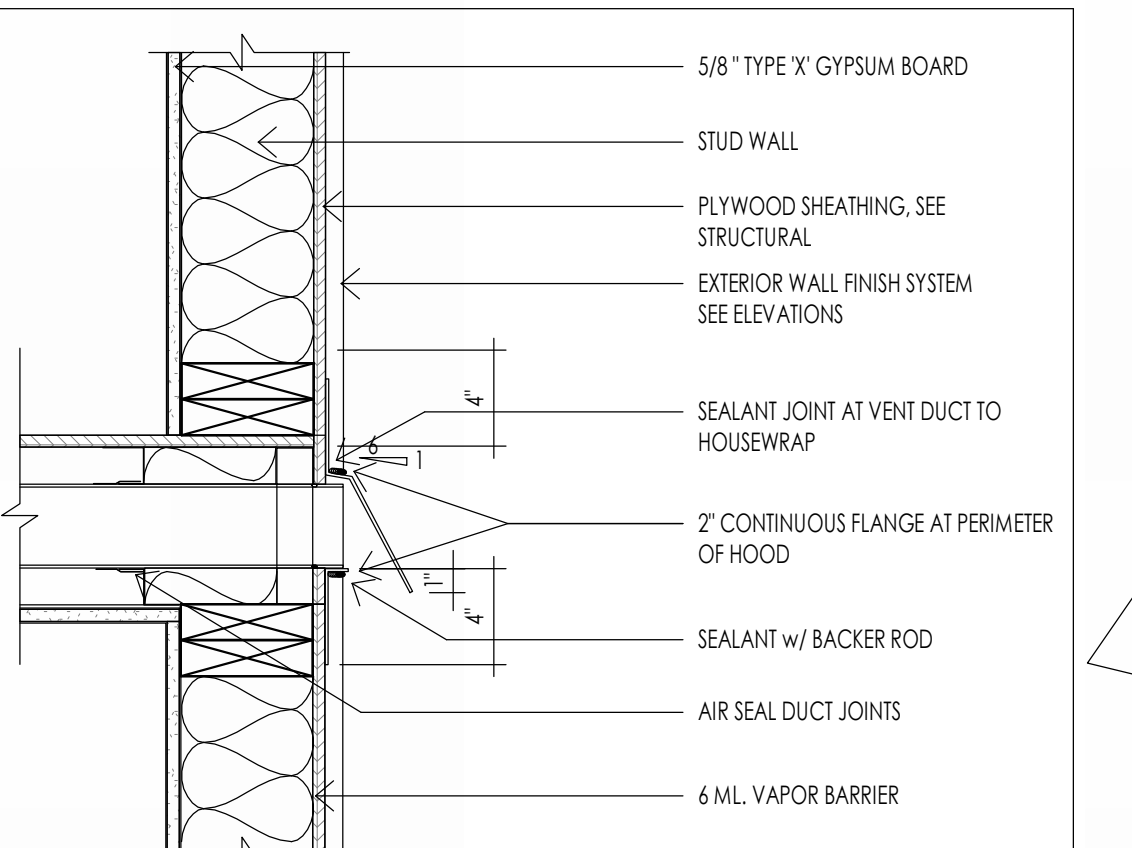


1. **SILL FLASHING**
9 INCH MIN. WIDE SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE INSTALLED A MIN. 9 INCHES BEYOND ROUGH OPENING
- DO NOT OVERLAP THE TOP OF SILL FRAMING
- ADHERE ONLY AT TOP EDGE, LEAVE UNATTACHED AT BOTTOM SO THAT THE PAPER CAN BE INSTALLED UNDERNEATH
2. **METAL EXTERIOR VENT**
24 GA. MIN. GALV. SHEET METAL VENT MUST BE INSTALLED OVER SILL FLASHING. INSTALL JAMB FLASHING OVER OR UNDER NAILING FLANGE. SET VENT IN A CONTINUOUS DUCT OF SEALANT.
3. **JAMB FLASHING**
9 INCH MIN. WIDE SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE FLASHING INSTALLED OVER AND BELOW SILL FLASHING AND ABOVE TOP OF FUTURE HEAD FLASHING.
- DO NOT FASTEN THE BOTTOM 9 INCHES OF THE JAMB FLASHING SO THE WEATHER-RESISTANT BARRIER APPLIED LATER MAY BE SUPPLIED UNDERNEATH THE FLASHING IN A WEATHERBOARD FASHION.
4. **HEAD FLASHING**
APPLY SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE OVER DRYER VENT FLANGE. EXTEND HEAD FLASHING BEYOND EACH JAMB FLASHING.

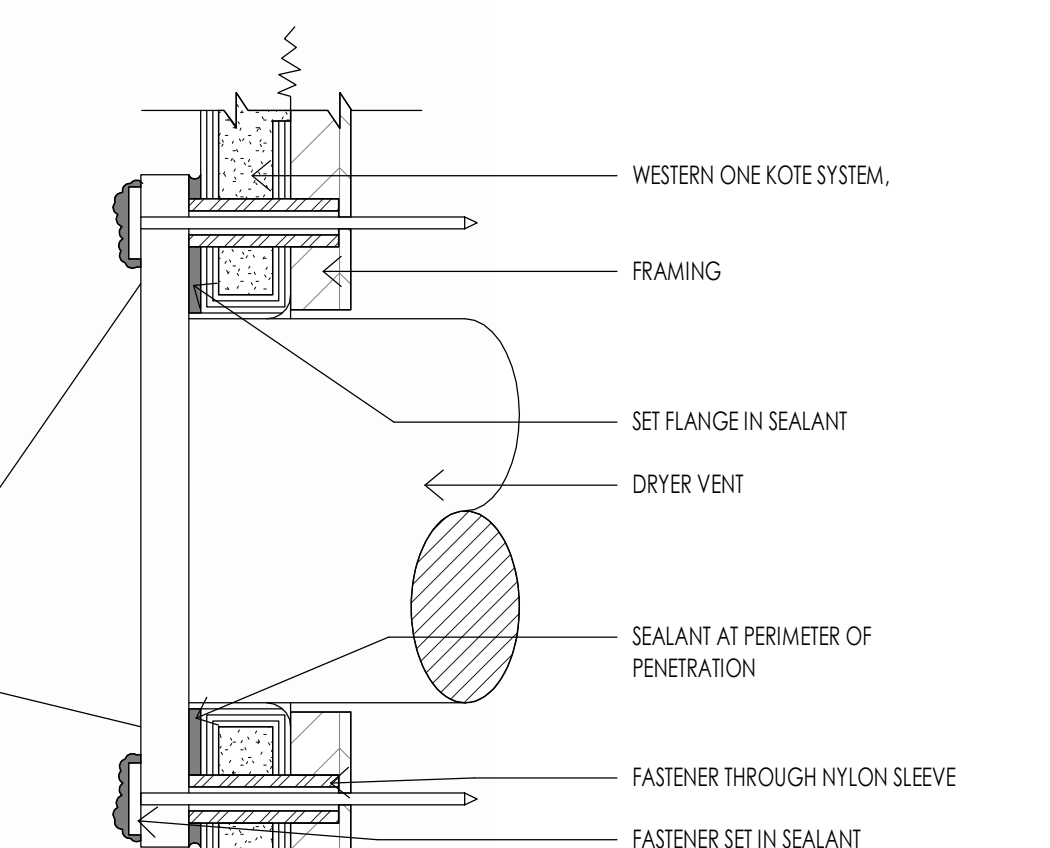
EXHAUST VENT DETAIL
1/1/2" = 1'-0"



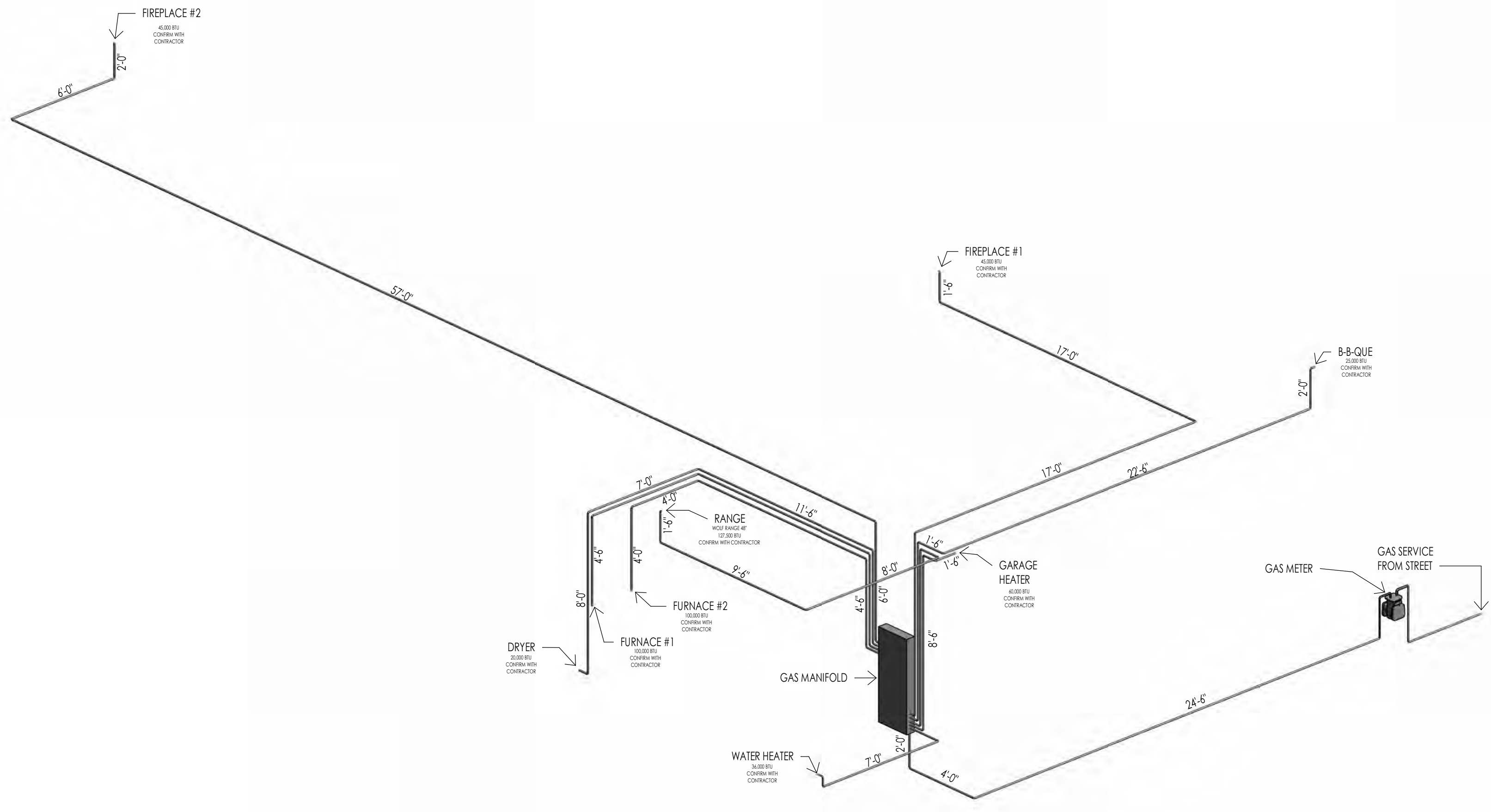
MINIMUM PLUMBING FIXTURE CLEARANCES
1/8" = 1'-0"



WALL EXHAUST VENT
1/1/2" = 1'-0"



TYPICAL DRYER VENT (SHOWN WITH STUCCO)
6" = 1'-0"



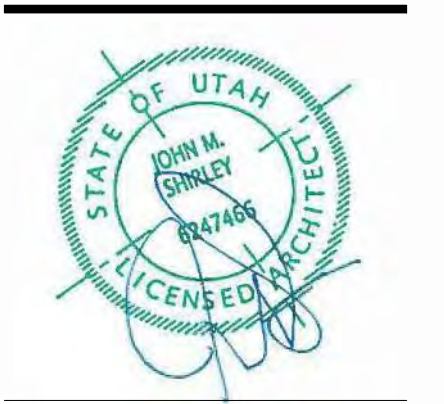
GAS SCHEMATIC



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7927 So. Highpoint Parkway, Suite 300
Sandys, Utah 84094
ph. 801.269.0555
fax 801.269.1425
www.thinkarc.com

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WARM SPRINGS RESIDENCE #32
160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30
REVISIONS:

SHEET TITLE:
MECHANICAL GENERAL NOTES

SHEET NUMBER:
M101

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Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

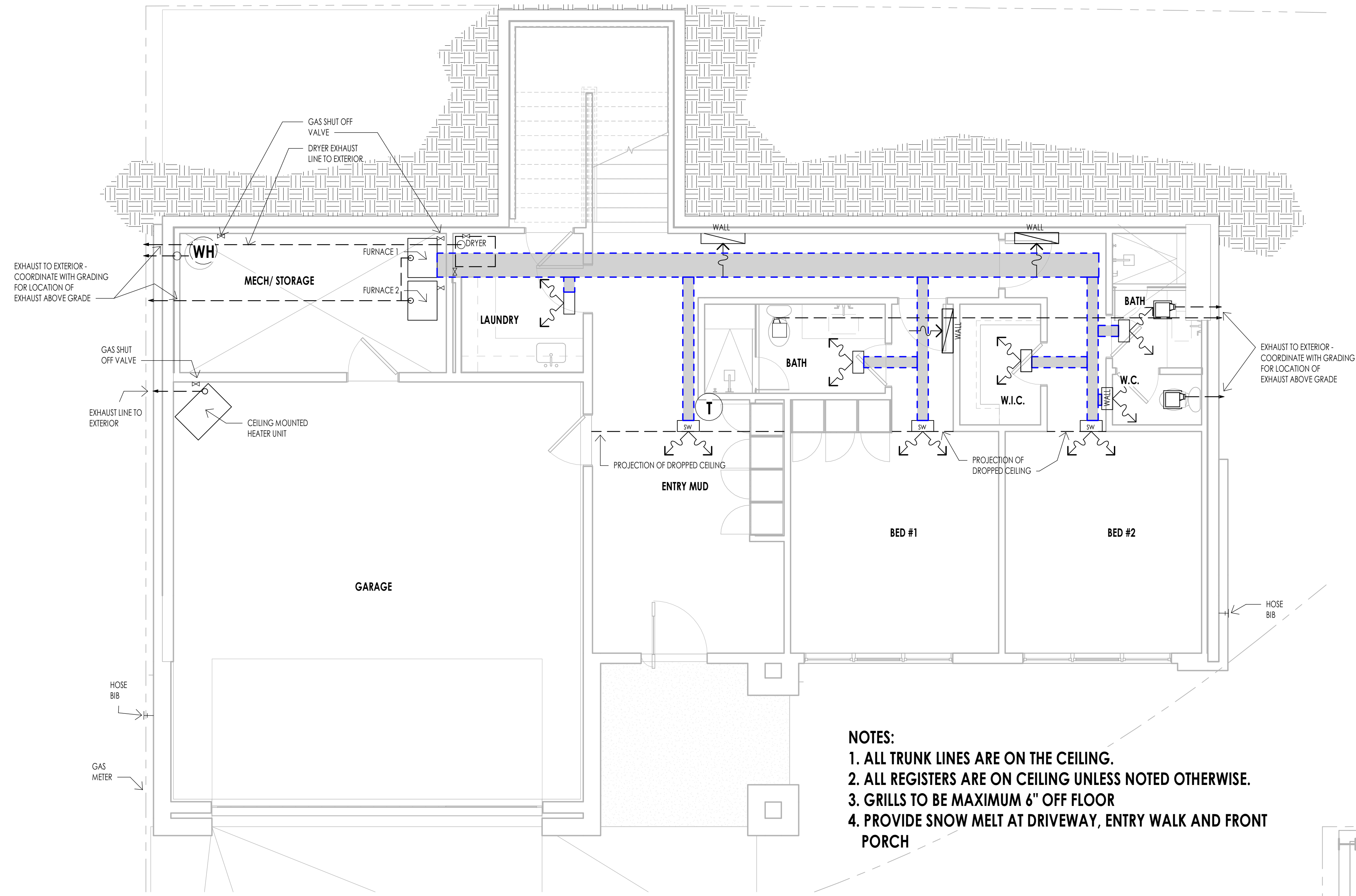
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Scary, Utah 84094
ph. 801.269.0555
fax 801.269.1425
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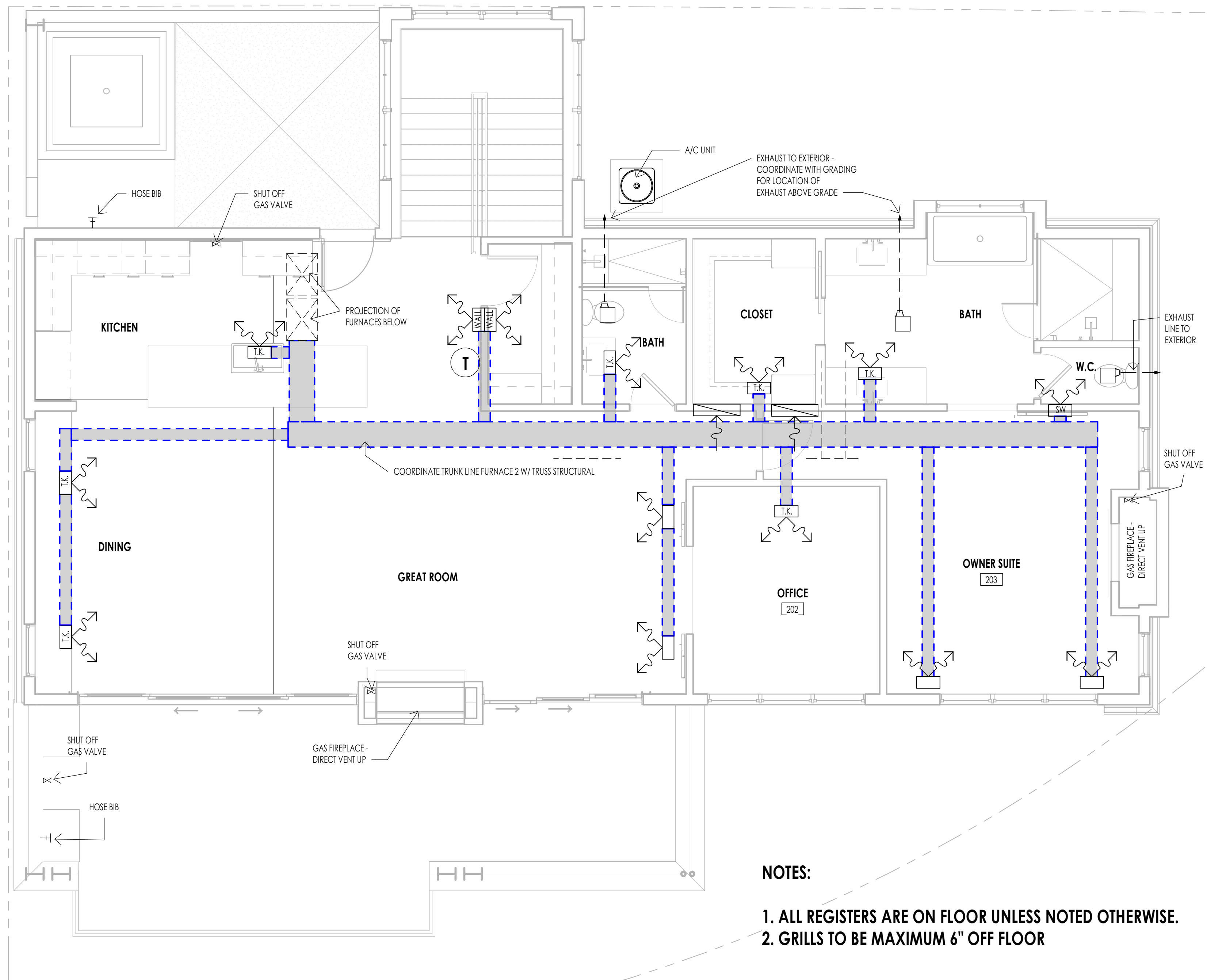
MECHANICAL LEGEND	
SYMBOL	TYPE
	FLOOR OR CEILING MOUNTED HVAC REGISTER
	SW = SIDE WALL T.K. = TOE KICK
	HVAC RETURN AIR REGISTER
	HOSE BIB
	GAS SHUT OFF VALVE
	EXHAUST FAN
	THERMOSTAT
	WATER HEATER

MECHANICAL GENERAL NOTES	
1.	SEE SHEETS A0.3 FOR MECHANICAL AND PLUMBING PROJECT KEY NOTES AND MECHANICAL/PLUMBING INFORMATION.
2.	MECHANICAL AND PLUMBING LAYOUTS ARE SHOWN IN SCHEMATIC. THE PLUMBING AND MECHANICAL CONTRACTORS ARE RESPONSIBLE TO DESIGN AND SIZE EQUIPMENT CAPACITY, PIPE AND DUCT LINES, PLUMBING UNITS AND ALL OTHER EQUIPMENT AS PER NATIONAL, STATE AND LOCAL CODES AND AS PER THE GENERAL NOTE REQUIREMENTS.
3.	THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND ALL OTHER TRADES.
4.	COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
5.	ALL REGISTERS AT LOWER LEVEL TO BE CEILING MOUNT UNLESS OTHERWISE NOTED.
6.	COORDINATE BETWEEN MECH. SUB AND ELECTRICAL SUB AT PRECONSTRUCTION MEETING FOR DUCT LOCATIONS AND RECESSED CAN LOCATIONS.
7.	ALL PLUMBING FIXTURE/MECHANICAL EQUIPMENT SELECTIONS TO BE APPROVED BY OWNER/DEVELOPER.
8.	PROVIDE REQUIRED COMBUSTION AIR VENT DUCTS AT CEILING FOR WATER HEATER AND FURNACE AS REQUIRED BY BLDG. CODES AND MANUFACTURER.
9.	MECHANICAL DESIGN SHOULD BE IN ACCORDANCE WITH 2006 INTERNATIONAL RESIDENTIAL CODE.
10.	DUCT PENETRATIONS IN GARAGES SHALL BE 26 GAUGE SHEET METAL MIN. AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
11.	FLUES SHALL NOT PENETRATE THE ROOF WITHIN 4'-0" OF PARTY WALLS.
12.	RADON: THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE RADON TESTING AND APPLY AN APPROPRIATE MITIGATION SYSTEM.



- NOTES:**
1. ALL TRUNK LINES ARE ON THE CEILING.
 2. ALL REGISTERS ARE ON CEILING UNLESS NOTED OTHERWISE.
 3. GRILLS TO BE MAXIMUM 6" OFF FLOOR
 4. PROVIDE SNOW MELT AT DRIVEWAY, ENTRY WALK AND FRONT PORCH

LEVEL 1 - MECHANICAL
1/4" = 1'-0" 1 M102



- NOTES:**
1. ALL REGISTERS ARE ON FLOOR UNLESS NOTED OTHERWISE.
 2. GRILLS TO BE MAXIMUM 6" OFF FLOOR

LEVEL 2 - MECHANICAL
1/4" = 1'-0" 2 M102

WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

PROJECT NC22023.32
DATE: 2023.06.30
REVISIONS:

SHEET TITLE:
MECHANICAL PLAN

SHEET NUMBER:
M102

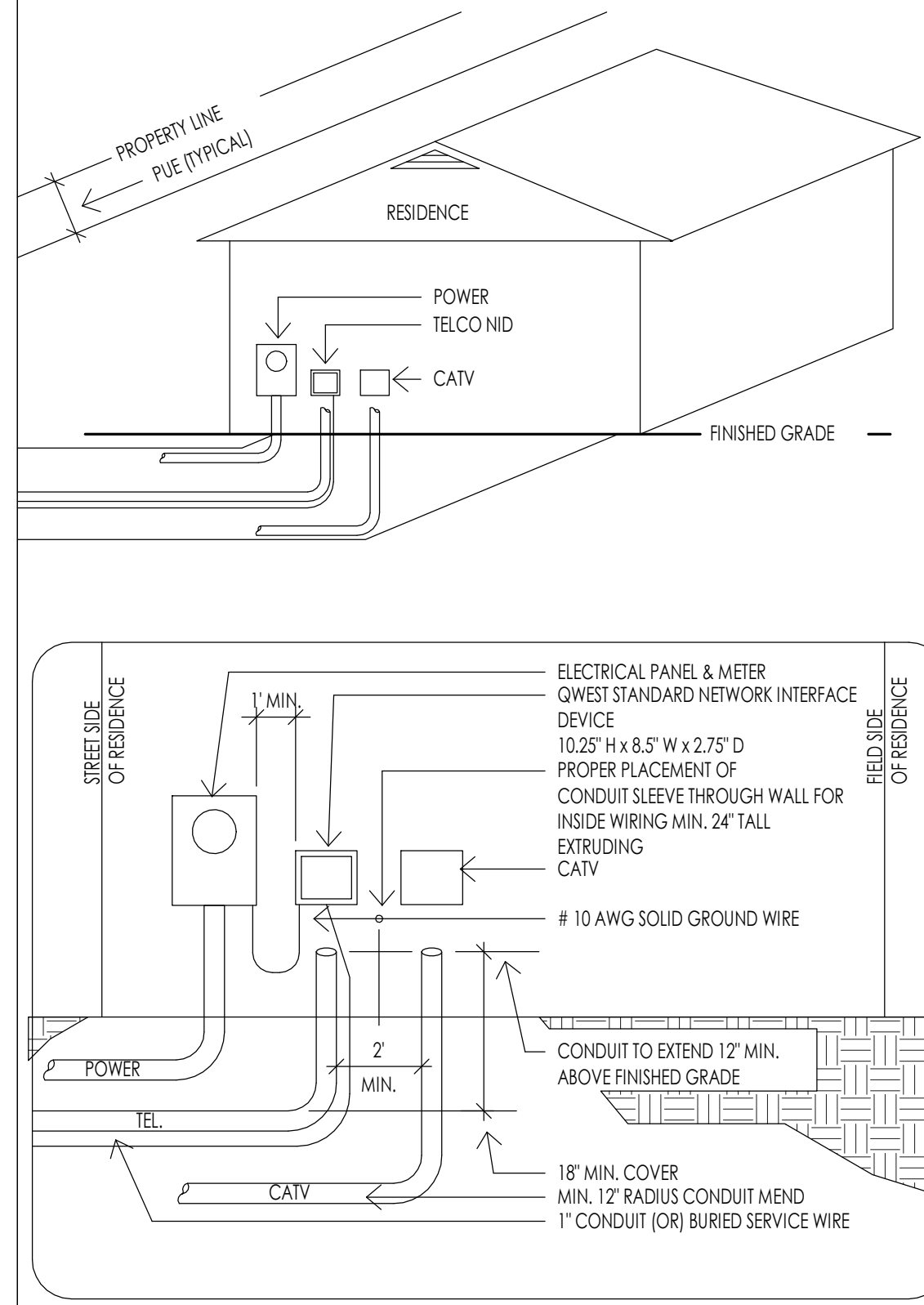
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ELECTRICAL GENERAL NOTES

- ALL WORK DONE BY ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODE REGULATIONS AND AMENDMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS, BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT, SPECIALTY LIGHTING, FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES RECEPTACLES, ETC.
- ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.

THE CONTRACTOR SHALL SET ALL THE BOXES AND NOTIFY THE ARCHITECT AND OWNER OF PLACEMENT OF BOXES. THE ARCHITECT, OWNER AND INTERIOR DESIGNER SHALL WALK THE HOUSE WITH THE ELECTRICAL CONTRACTOR AND SHALL VERIFY ALL THE LOCATIONS. THIS SHALL BE DONE PRIOR TO ANY WIRE BEING PULLED.

IF WIRE IS PULLED, AND BOXES ARE REQUIRED TO BE MOVED, ALL COSTS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND NOT THE OWNER/ DESIGN TEAM.
- ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE NATIONAL ELECTRICAL CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS, ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCE TO BE MINIMUM 30" WIDTH AND 6'-0" HEAD ROOM. ELECTRICAL TO COMPLY WITH N.E.C. 110-16. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.
- ALL RECEPTACLES LOCATED WITH THE FOLLOWING CONDITIONS TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN BATHROOMS, OUTSIDE AT GRADE LEVEL, UNFINISHED BASEMENTS, AND IN GARAGES. GARAGE RECEPTACLES TO BE 18" ABOVE FINISHED FLOOR.
- ALL SWITCHES, RECEPTACLES, TELEPHONE JACKS AND CATV JACKS TO BE "LEVITON" 5601 ROCKER SERIES IN WHITE. DIMMER SWITCHES TO BE "LUTRON" DIVA ROCKER SERIES IN WHITE. HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED. OTHERWISE, THE MOUNTING FROM THE FINISH FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 12" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 10" TO CENTERLINE ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.
- UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFCI WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR WHEN INDICATED ON DRAWINGS OR NOT. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR ADDITIONAL OUTLETS AT SOFFITS.
- ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED. ALL RECESS-DOWN LIGHTS TO BE THERMAL RATED, AND ALL CAST IN PLACE FIXTURES TO BE INCLUDED IN BASE BID. ALL RECESS-DOWN LIGHTS TO BE INCLUDED IN BASE BID WITH TRIM RINGS AS SELECTED BY DESIGNER OR OWNER. ALL LIGHTS IN CLOSETS SHALL MEET N.E.C. 410.8 REQUIREMENTS. ALL LIGHTS LOCATED IN WET OR DAMP LOCATIONS SHALL MEET N.E.C. 410.4 REQUIREMENTS.
- SMOKE DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT WITH BATTERY BACK UP. PROVIDE SMOKE DETECTORS AT ALL BUILDING LEVELS, IN ALL BEDROOMS, ACCESS TO ALL BEDROOMS, ETC. (UBC 310.9)
- ELECTRICAL PANEL (PANELBOARD/SWITCHBOARD) MAY NOT BE LOCATED BEHIND A DOOR OR IN A ROOM THAT MAY BE LOCKED AND MUST HAVE PROPER WORKING CLEARANCES. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR THE LOCATIONS FOR ALL ELECTRICAL PANELS. IF THE PANEL BOARD NEEDS TO BE RELOCATED, PLEASE CONSULT THE OWNER AND OR ARCHITECT PRIOR TO MOVING.
- SMALL WALL SECTIONS 2' OR WIDER (INCLUDES BETWEEN DOORS) REQUIRE AN OUTLET.
- GFCI PROTECTION MUST BE PROVIDED FOR ANY RECEPTACLE OUTLET IN THE FOLLOWING: A BATHROOM, ANY COUNTERTOP KITCHEN/LAUNDRY, GARAGE OUTLETS MINIMUM 18" ABOVE FINISHED FLOOR HEIGHT, OUTSIDE FRONT AND REAR OUTLETS MUST HAVE WATERPROOF COVERPLATE.
- A RECEPTACLE OUTLET MUST BE PROVIDED AT EACH SECTION OF KITCHEN COUNTERTOP 12" OR WIDER. THERE MUST ALSO BE A MINIMUM OF TWO (2) DEDICATED COUNTERTOP CIRCUITS.
- A SWITCH CONTROLLED LIGHT MUST BE PROVIDED AT HALLWAYS, STAIRWAYS, EXITS, AND EACH ROOM.
- A HARD-WIRED WITH BATTERY BACKUP SMOKE DETECTOR MUST BE INSTALLED IN ALL BEDROOMS (NEW AND EXISTING) IN THE ACCESS AREA TO ALL BEDROOMS, AND AT LEAST ONE PER FLOOR. TWO (2) FOOT CHANGES IN CEILING HEIGHT ALSO REQUIRE AN ADDITIONAL SMOKE DETECTOR. ALARM SOUND MUST BE AUDIBLE IN ALL AREAS OF HOME.
- WHEN BEDROOMS OCCUR ON 2ND STORES, THE DETECTOR SHOULD BE LOCATED AT THE TOP OF THE STAIRWAY.
- KITCHEN OUTLETS REQUIRED TO BE GFCI PROTECTED, NOT MORE THAN 4'-0" APART.
- CLOSET LIGHT FIXTURES MIN. 12" CLEARANCE TO SHELF (LATERAL MEASURED)

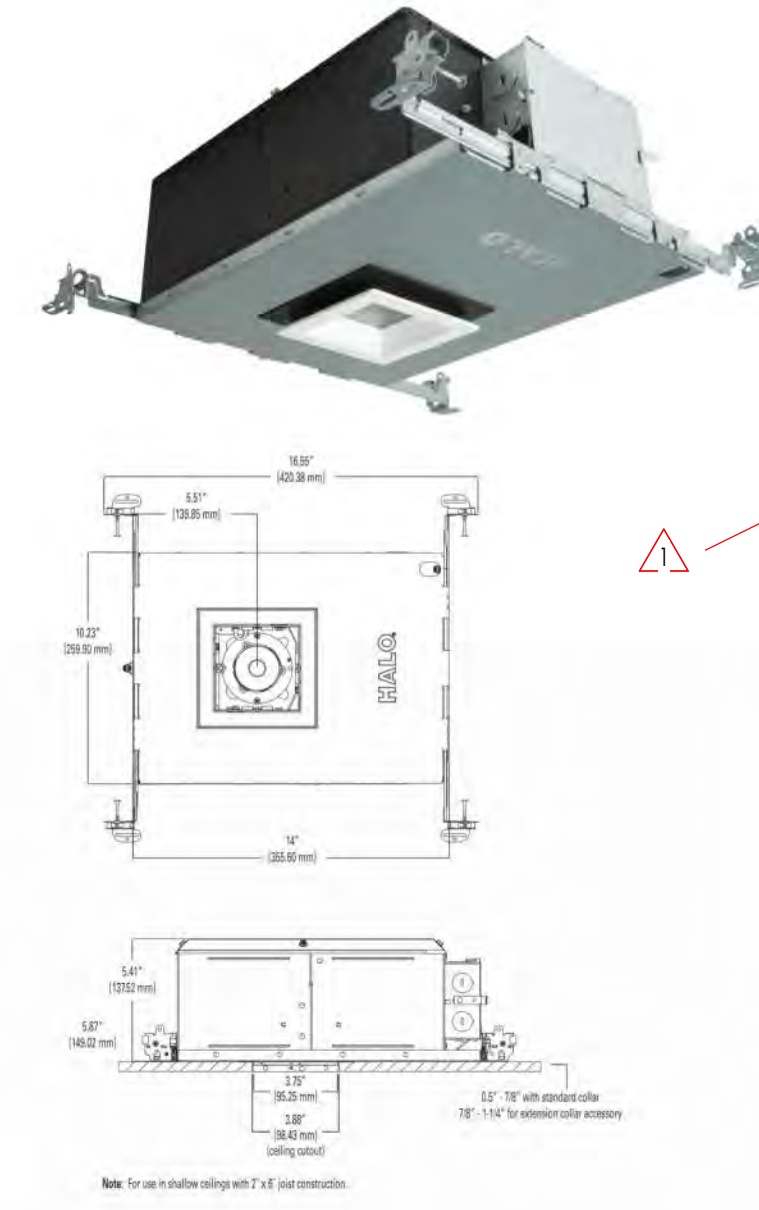


TYPICAL DRY UTILITY LOCATION DETAIL

1/2" = 1'-0"

1 E101

HL36SA



Ordering Information

SAMPLE ORDER NUMBER: HL36SAZPZ72010CAT, TR48FL40, TL38RW

Series: HL36SA - 3 inch square shallow new construction directional housing
 Width: 18 - 18W (nominal)
 Depth: 3.5 - 35D (nominal)
 Mount: 20 - 20W (nominal)

Options:
 StarKit - Purchase optic separately
 SFL - 5° beam
 WFL - 5° beam

Light Source:
 927 - 40 CR, 2700K
 928 - 40 CR, 3000K
 929 - 40 CR, 3500K
 930 - 40 CR, 4000K
 931 - 40 CR, 5000K CCT (dim to warm!)

Mount/Control:
 ZPZ72010 - 120-277V, 50/60Hz leading or trailing edge phase cut 1% dimming at 120V only and UL94 V-0 flame retardant (UL1004)
 TL38 - 120V/277V, 50/60Hz leading or trailing edge phase dimming, 1% to 100%, 120V only
 SFL10 - 0-10V dimming, 0% to 100%, 120V/277V

Housing Type:
 RCAT - insulation contact and airtight

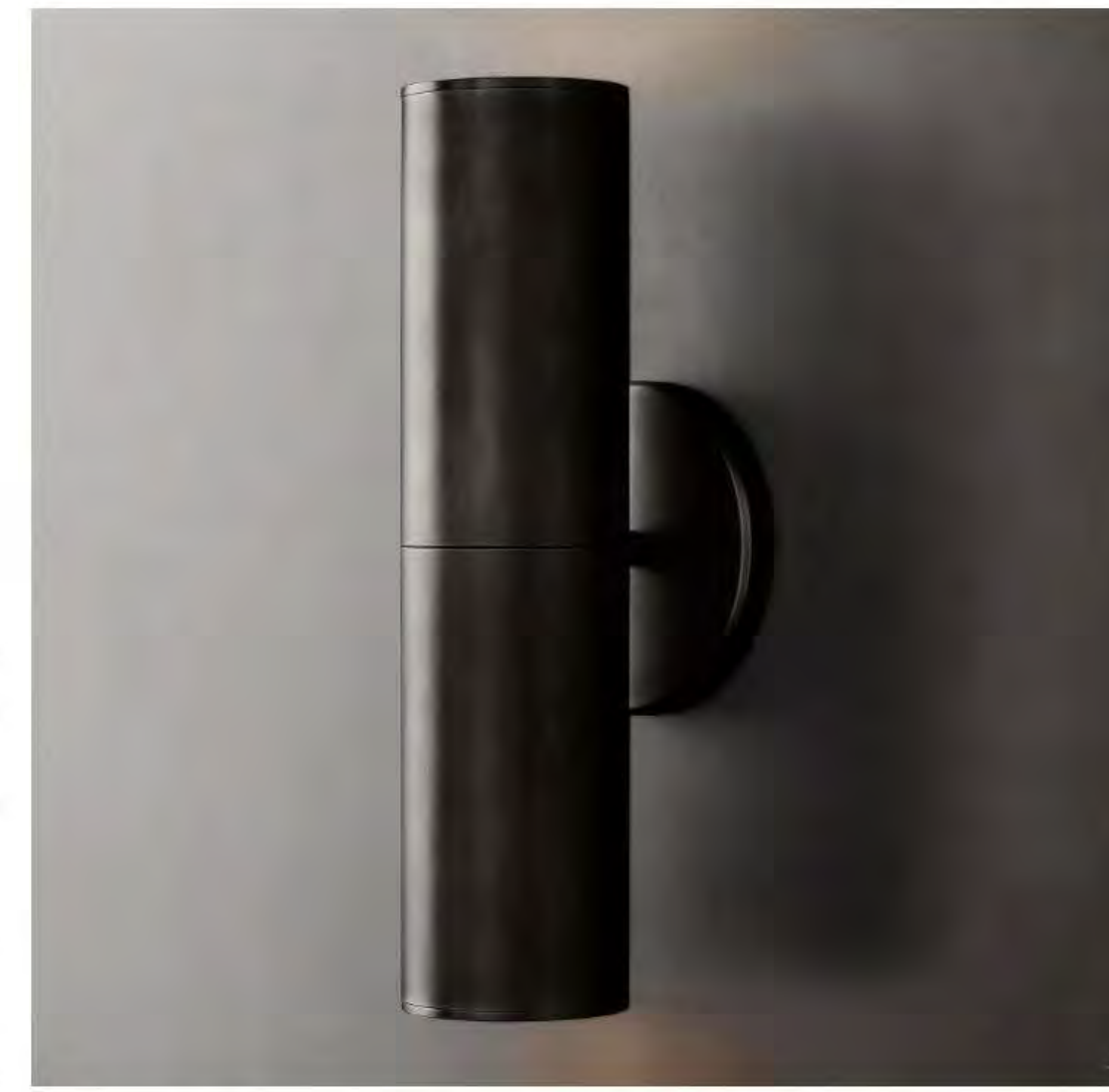
Accessories:
 RA35 - recess adapter for HL36A housings and trims
 CE25 - color extender for HL36A housings, adjusts from 7/8" to 1-1/4" thick ceilings
 Optics & Media:
 TL48FL15 - 15° beam
 TR48FL25 - 25° beam
 TR48FL40 - 40° beam
 TR48FL55 - 55° beam
 TR48FL70 - replacement media holder package of 12
 L100 Series - 2.5" lens and filters, see spec sheet
 Control: Trim Ring
 OULMW - oversized trim ring for TL3 trims

See page 19 for trim information.
 (1) See section 1109 and 1101

HL36 3 inch LED downlighting 15

L-1 RECESSED EXTERIOR SOFFIT LIGHT

L-2 DECORATIVE EXTERIOR WALL SCONCE



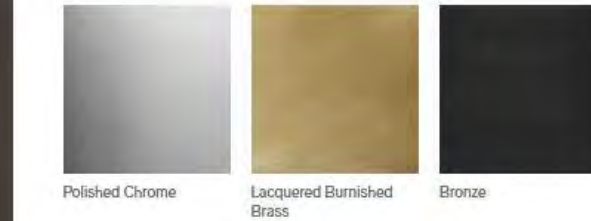
CHAMPEAUX LINEAR SCONCE

Starting at \$275. Member \$393. Member

Designer Jonathan Browning's Champeaux collection brings refinement and luxe materials to the classic sconce light, a standard of 1970s utility crafted in solid brass. Browning's thoughtful reinterpretation gives beyond function to reveal the cast as a thing of beauty. The design celebrates the clean lines inherent in the concept, but sets the form in a new context.

SHOP THE ENTIRE COLLECTION

FINISH OPTIONS



DETAILS

DIMENSIONS

INSTALLATION INSTRUCTIONS

MAXIMUM OF 2700K COLOR TEMPERATURE
 MAXIMUM OF 700 LUMENS
 CAP TOP DOWNLIGHT ONLY

Shown in Black.



CHAT MEETS A 128 WE'RE HERE TO HELP



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 Sandy, Utah 84094
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WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340

PROJECT NC22023.32

DATE: 2023.06.30

REVISIONS:

1 04-27-2023 PER CITY COMMENTS

SHEET TITLE:
 ELECTRICAL GENERAL NOTES

SHEET NUMBER:
 E101

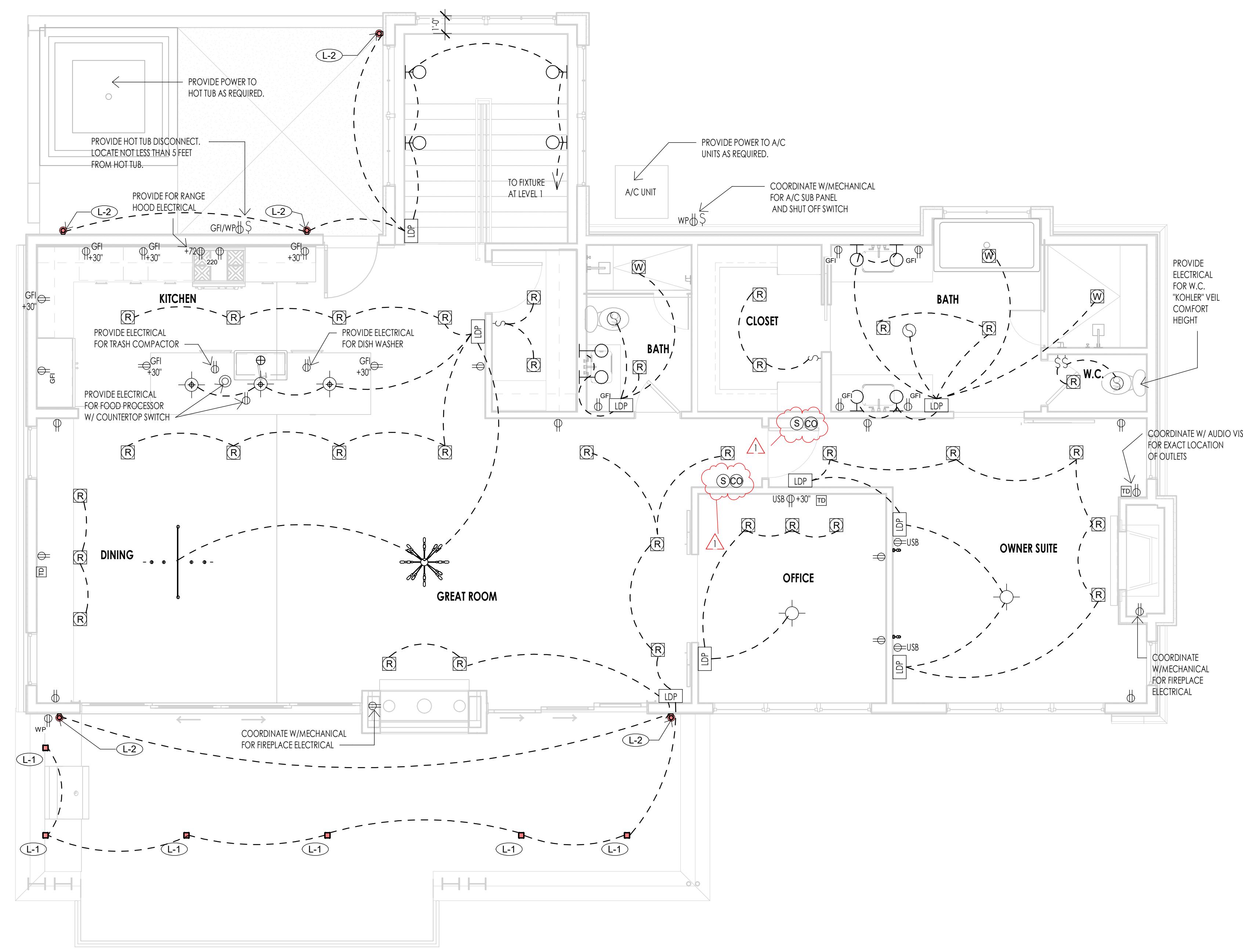
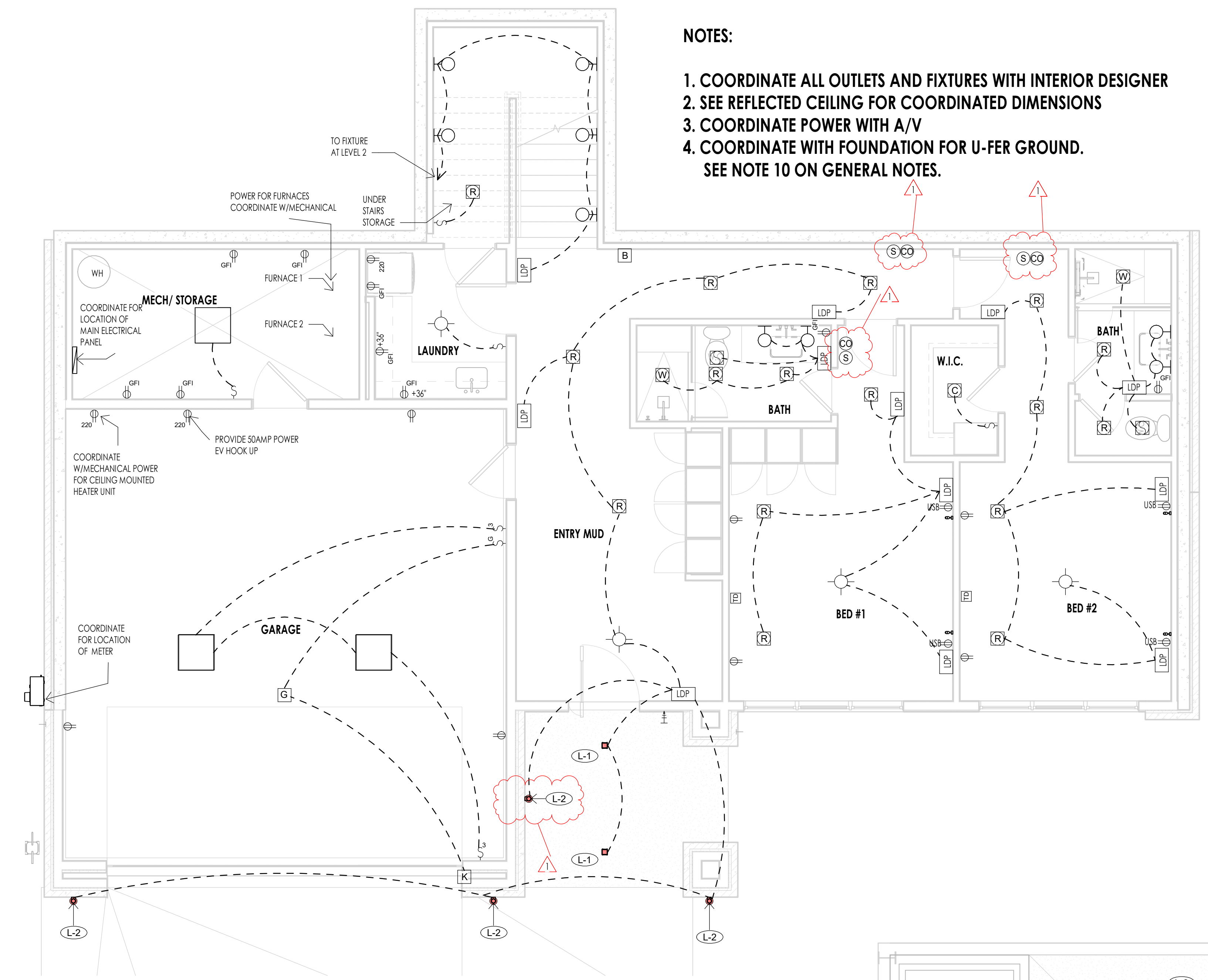
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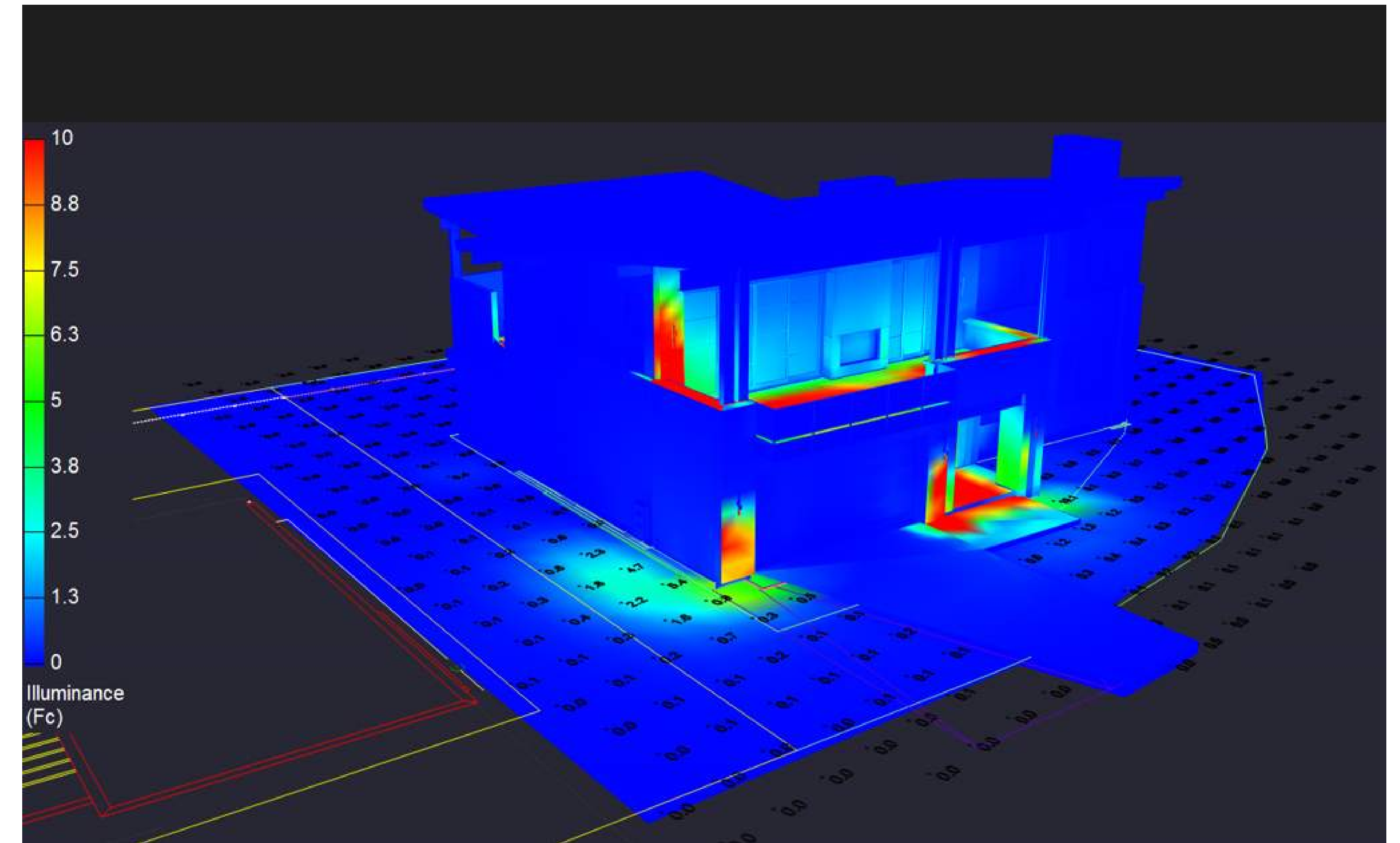
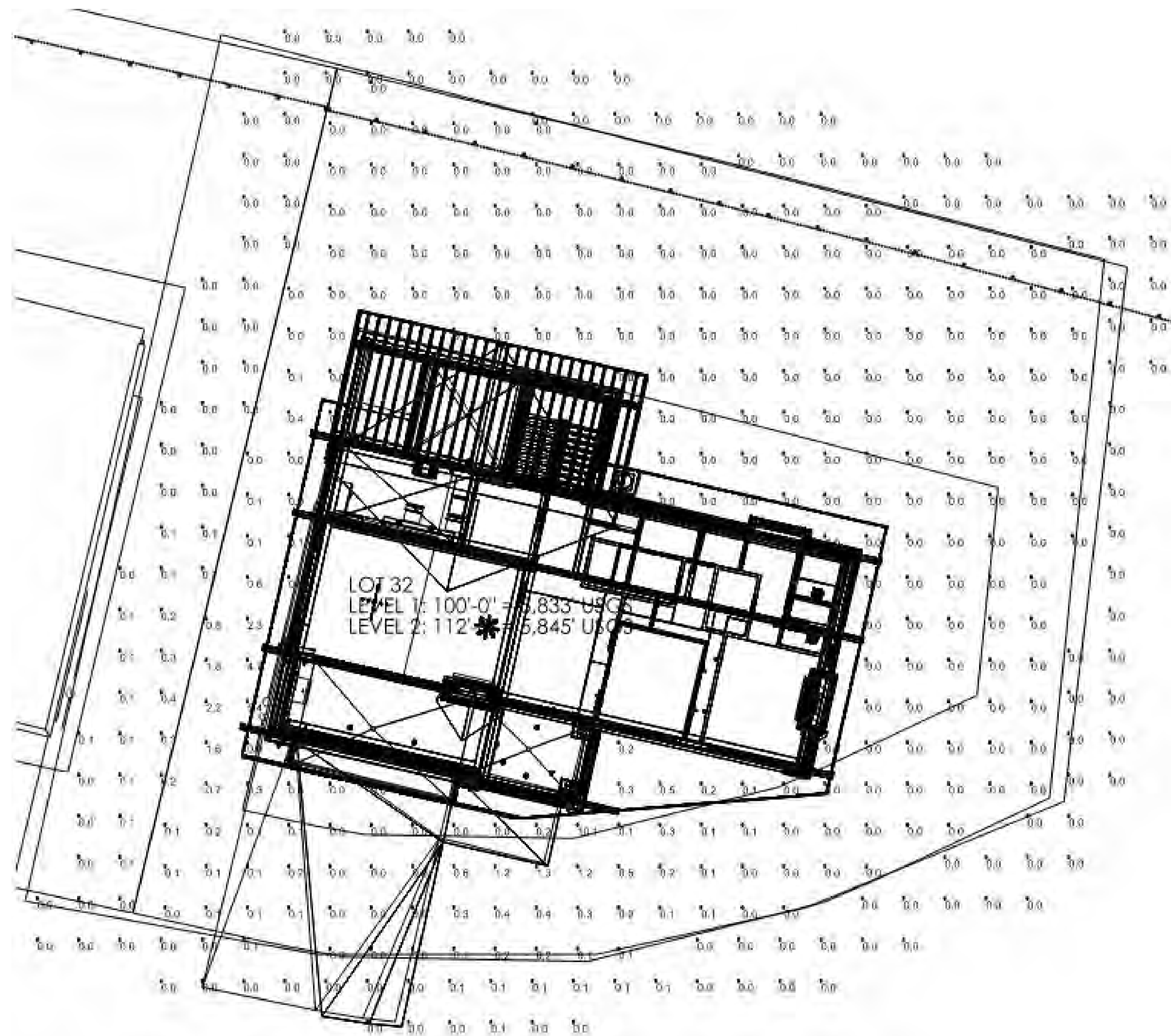


ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
S	SINGLE POLE TOGGLE SWITCH
S ³	THREE WAY TOGGLE SWITCH
S ⁴	FOUR WAY TOGGLE SWITCH
S ^G	GARAGE DOOR OPENER
S ^D	DIMMER TOGGLE SWITCH
Ⓛ	110 V DUPLEX OUTLET ON AN (AFP) ARC FAULT PROTECTED CIRCUIT
Ⓛ ^{GFI}	110 V GROUND FAULT INTERRUPTER
Ⓛ ^{WFP}	110 V WATERPROOF GFI OUTLET
Ⓛ ²²⁰	220 V OUTLET
Ⓛ ⁴	QUADRUPLUX OUTLET
Ⓛ ^F	110 V FLOOR DUPLEX OUTLET
Ⓛ ^S	110 V SMOKE DETECTOR W/BATT BACK-UP
Ⓛ ^{CD}	CARBON MONOXIDE DETECTOR
Ⓛ ^E	EXHAUST FAN
Ⓛ ^{EL}	EXHAUST FAN WITH LIGHT FIXTURE
Ⓛ ^R	4" LED RECESSED CAN (FIXTURE & TRIM PER SCHEDULE)
Ⓛ ^C	4" LED RECESSED CAN (CLOSED FIXTURE & TRIM PER SCHEDULE)
Ⓛ ^W	RECESSED CAN (WET LOCATION-FIXTURE & TRIM PER SCHEDULE)
Ⓛ ^{CM}	CEILING MOUNT FIXTURE
Ⓛ ^{TL}	TRACK LIGHTING
Ⓛ ^{WM}	WALL MOUNT FIXTURE
Ⓛ ^{2X2}	2X2 OR 2X4 FLUORESCENT CEILING FIXTURE
Ⓛ ^{FL}	FLUORESCENT STRIP LIGHT
Ⓛ ^{UL}	LED UNDERCOUNTER LIGHTING
Ⓛ ^G	GARAGE DOOR OPENER
Ⓛ ^K	KEYLESS ENTRY
Ⓛ ^B	DOORBELL
Ⓛ ^T	TELEPHONE (CAT SE WIRING)
Ⓛ ^{SL}	SINGLE LINE UNLESS NOTED (NUMBER) DESIGNATES PORT OUTLETS REQUIRED
Ⓛ ^{MN}	MULTI-MEDIA NETWORK OUTLET (CAT SE WIRE) W/4 PORT OUTLET
Ⓛ ^{SW}	STRUCTURED WIRING (FUTURE SMART WIRING) (E) (2) RG6 QUAD SHIELD, (3) CAT 6E WIRE - FOR CABLE TV, VIDEO, SATELLITE, ETC. (4) PORT OUTLET
Ⓛ ^{GD}	GARBAGE DISPOSAL
Ⓛ ^{LVC}	LOW VOLTAGE RECESSED CAN
Ⓛ ^{L1}	RECESSED EXTERIOR SOFFIT LIGHT - SEE SPECS ON SHEET E101
Ⓛ ^{L2}	DECORATIVE EXTERIOR WALL SCONCE - SEE SPECS ON SHEET E101
Ⓛ ^{L3}	MOTOR COURT EXTERIOR LIGHTING - SEE SPECS ON SHEET E101
Ⓛ ^{LDP}	LIGHTING DIGITAL PAD
Ⓛ ^{BS}	DOOR BELL SWITCH
Ⓛ ^{WBL}	WALL MOUNTED BED LIGHT

- ELECTRICAL GENERAL NOTES**
- SEE SPECS FOR ELECTRICAL INFORMATION.
 - ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.
 - COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
 - ALL WORK TO COMPLY WITH 2014 N.E.C. CODES AND 2015 I.R.C. CODES.
 - CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER AND DESIGNER PRIOR TO WIRING.
 - PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN CONTACT WITH INSULATION AS REQUIRED.
 - ALL BRANCH CIRCUITS BE PROTECTED BY AN ARCH-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
 - PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM. AND SHALL BE IN DIRECT CONTACT WITH THE EARTH. CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E355B.1.2 AND N.E.C. 250.30)
 - THE CONTRACTOR SHALL VERIFY OUTLET LOCATIONS AND VOLTAGE REQUIREMENTS AS PER APPLIANCE SPECIFICATIONS.
 - STRUCTURED WIRE MEDIA PANEL TO BE "LEVI-TON" (O.A.E.) AND INCLUDE: A/C POWER MODULE, CAT 5 VOICE AND DATA MODULES, 10/100/1000 Mbps SATA HUB, CATV BOOSTER AND AUDIO / VIDEO CONTROL MODULES.
 - SMOKE AND/OR CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACKUP AS PER CODE REQUIREMENTS. COMBINATION UNITS ARE PERMITTED AS APPROVED.
 - ALL EXTERIOR ELECTRICAL OUTLETS TO HAVE WEATHERPROOF COVERS.
 - ALL 125V 15 AND 20 AMP RECEPTACLES WITHIN DWELLING UNITS MUST BE TAMPER PROOF.

- NOTES:**
- COORDINATE ALL OUTLETS AND FIXTURES WITH INTERIOR DESIGNER
 - SEE REFLECTED CEILING FOR COORDINATED DIMENSIONS
 - COORDINATE POWER WITH A/V
 - COORDINATE WITH FOUNDATION FOR U-FER GROUND. SEE NOTE 10 ON GENERAL NOTES.



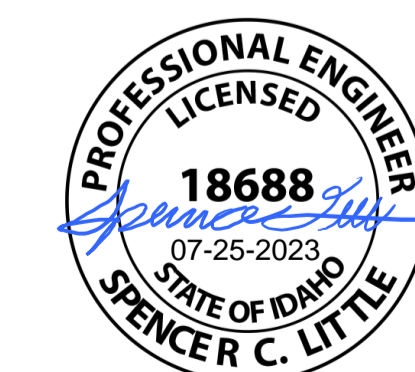


PSEUDO RENDERING WITH ILLUMINANCE SCALE

Luminaire Schedule					
Tag	Qty	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
L1	8	0.810	1255	14.2	113.6
L2	9	0.810	590	9.8	88.2

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY	Illuminance	Fc	0.17	10.1	0.0	N.A.	N.A.
TRESPASS	Illuminance	Fc	0.02	0.4	0.0	N.A.	N.A.

POINT-BY-POINT CALCULATION AND SUMMARIES
(5 FOOT GRID)



WARM SPRING RESIDENCES
KETCHUM, ID

LOT 32 CALCULATIONS AND
RENDERINGS

SPECTRUM
ENGINEERS



WARM SPRINGS RESIDENCE #32

160 BALD MOUNTAIN ROAD
KETCHUM, IDAHO 83340

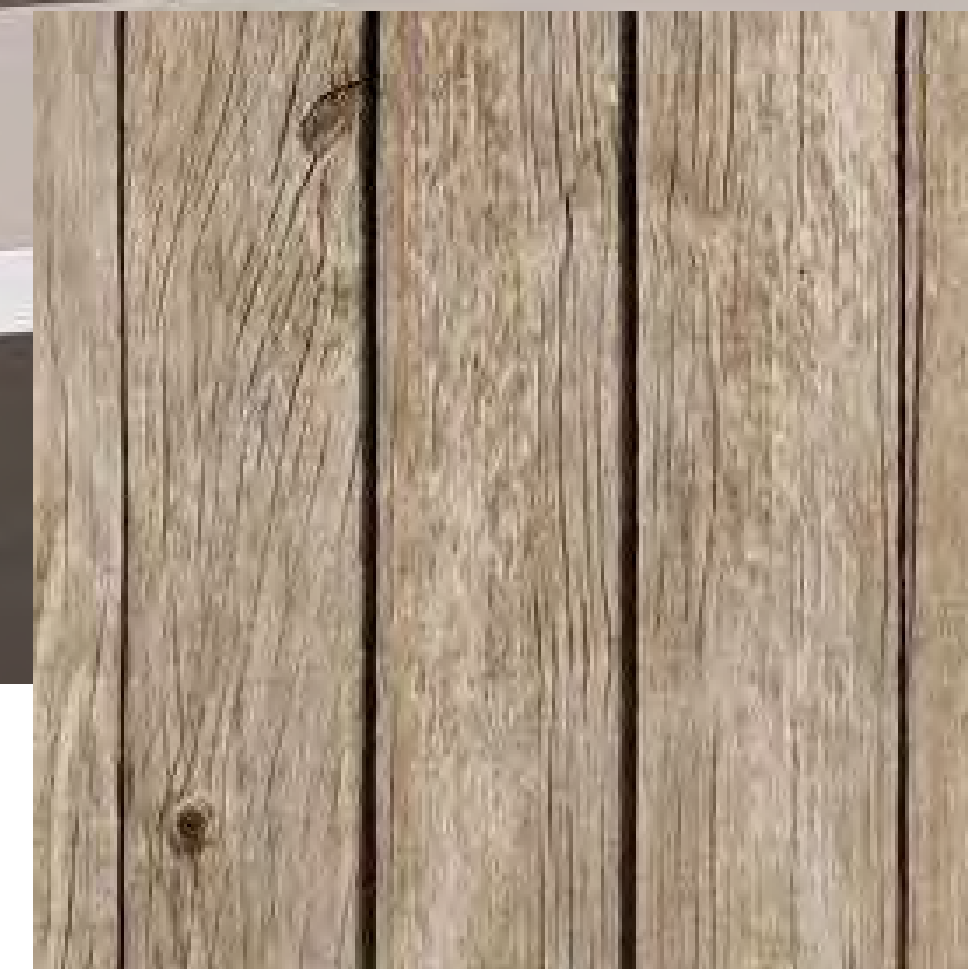
2023.06.30



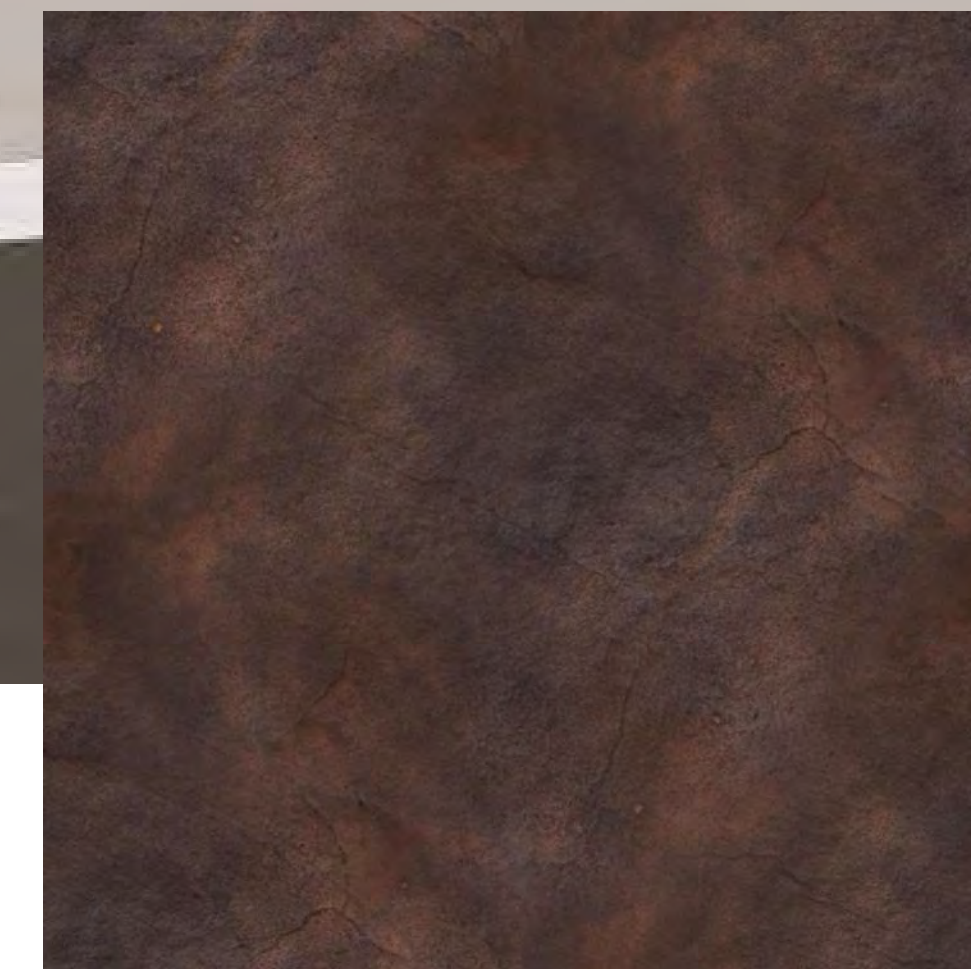
THINSET MASONRY:
 EL DORADO STONE
 TIGHT DRY STACKED STONE
 BLACK RIVER



VERTICAL SHIP LAP CEDAR SIDING:
 PRESTAINED CEDAR SIDING



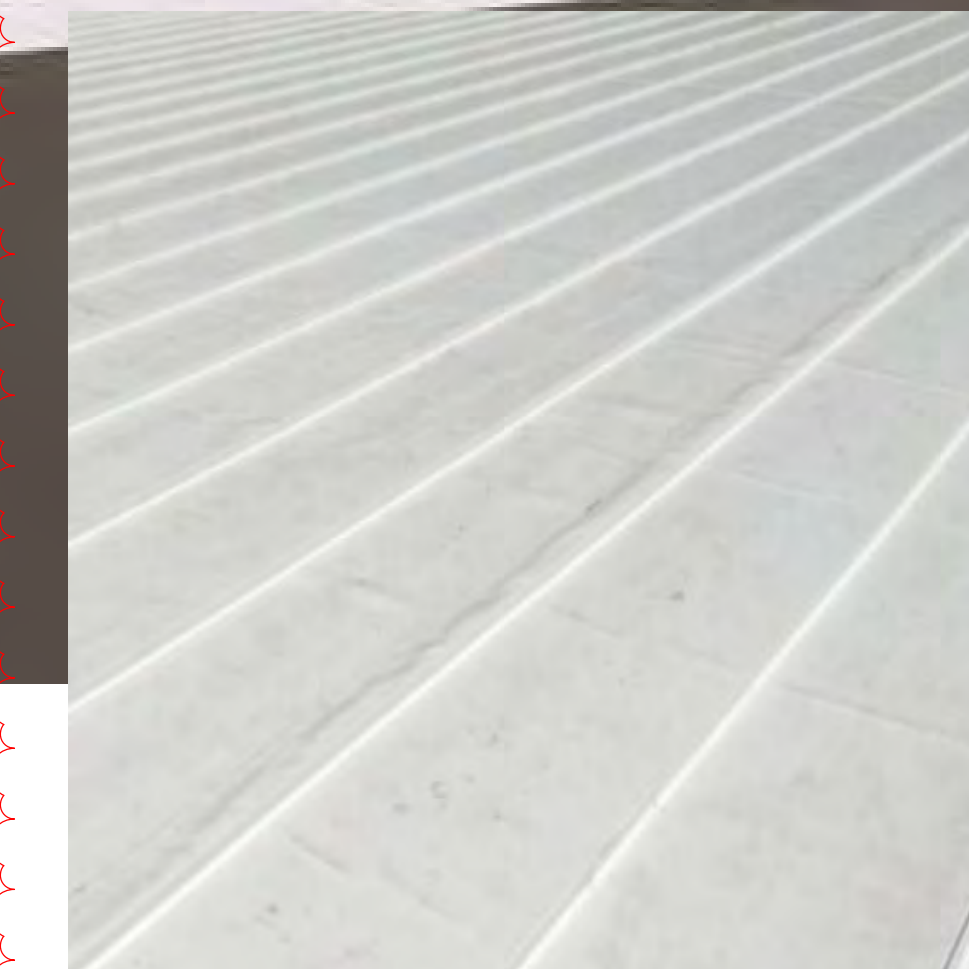
GARAGE DOOR FINISH:
 RECLAIMED DOUGLAS FIR



METAL SIDING AND TRIM:
 STEEL TRIM
 COLOR: AGED STEEL LIGHT RUST FINISH



WINDOWS:
 ALUMINUM CLAD WOOD WINDOWS
 COLOR: DARK BRONZE



ROOFING:
 KEE RIB ROOFING MEMBRANE



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MATERIAL BOARD

D202

2023.06.30



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