

## ORDINANCE NUMBER 869

AN ORDINANCE OF THE CITY OF KETCHUM AMENDING CHAPTER 17.64 OF THE KETCHUM CITY CODE BY AMENDING SUBSECTION 17.64.010.C BY CLARIFYING WHEN A RIGHT-OF-WAY AGREEMENT IS REQUIRED; ADDING A NEW SUBSECTION 17.64.010.I REGARDING LANDSCAPING SPECIFICATIONS; ADDING A NEW SUBSECTION 17.64.010.J REGARDING SNOW STORAGE REQUIREMENTS; ADDING A NEW SUBSECTION 17.64.010.K REGARDING LIMITATIONS ON BUILDING FACADE MATERIALS; DELETING SECTION 17.64.020, DESIGN REVIEW, AND REPLACING IT WITH A NEW SECTION 17.64.020, DESIGN REVIEW; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council found that Comprehensive Plan options were being precluded by the measurable increase in large, bulky buildings in the Community Core, and that citizen concerns identified since April 1997 through the Comprehensive Plan process were being precluded by the ongoing approval of tall, bulky buildings in the Community Core.

WHEREAS, the City hired a Consultant, Winter & Associates, on June 13, 2000 to assist in preparations of a revised Community Core Chapter, which includes bulk regulations and Design Review Standards. Five public workshops were summarized by the Consultant as follows:

"The most frequently-raised issue is that of the mass and scale of new buildings. This is influenced by a combination of factors, including the basic height, width and depth of a structure, as well as the manner in which it is articulated into subordinate masses and refined with details and variations in materials. These factors were graphically illustrated in a series of massing studies that were evaluated in the last workshop. Individual participants recorded their reactions on a response form. In reviewing the individual response sheets for the massing scenarios, these themes emerged:

1. In general, workshop respondents preferred development scenarios of two stories or less.
2. They also preferred projects with a gross floor area ratio of 1.4 or less.
3. They found "acceptable" buildings of 1.75 or less.
4. While structures that were three stories in height were generally found "unacceptable", some respondents noted that they could be "acceptable" only if the added mass was for affordable housing. This reflects a willingness to consider trade-offs of mass and scale impacts when other community objectives are clearly met."

WHEREAS, the City has determined that a maximum F.A.R. of 1.4 can be accommodated in the Community Core Zoning District, and that transferring said floor area can also be accommodated within said District;

WHEREAS, after six (6) public hearings on proposed amendments to the Community Core Zoning District, the Ketchum City Council adopted Ordinance 849, setting the maximum floor area ratio (F.A.R.) of 1.4 for buildings in the Community Core and eliminating the provision for discretionary bonus of up to 2.0 F.A.R. for buildings that provided underground parking or a urban housing units;

WHEREAS, after nine (9) public hearings on proposed amendments to the Community Core Zoning District, the Ketchum City Council adopted Ordinance 853, allowing a bonus of up to 1.75 F.A.R. for buildings that provide community housing;

WHEREAS, after seven (7) public hearings on the issue of hotels, the Ketchum City Council adopted Ordinance Number 861 establishing a density bonus for hotel uses up to 1.75 F.A.R. is appropriate and creating a process for transferable development rights in the Community Core; and,

WHEREAS, after thirteen (13) public hearings on the Design Review Standards, the Council has made changes to said Standards to clarify the intent and to facilitate their application.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF KETCHUM, IDAHO:


**SECTION 1.** That Chapter 17.64, Community Core District, be, and the same is hereby amended by the addition of subsections shown on Exhibit A, the deletion of Section 17.64.020, and the replacement with a new Section 17.64.020 as outlined in Exhibit A.

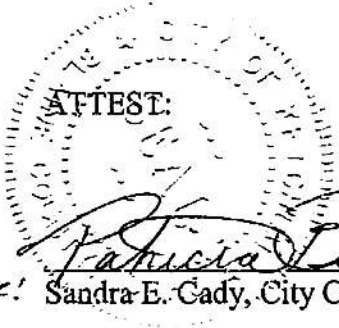
**SECTION 2. SAVINGS AND SEVERABILITY CLAUSE.** It is hereby declared to be the legislative intent that the provisions and parts of this Ordinance shall be severable. If any paragraph, part, section, subsection, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid for any reason by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance.


**SECTION 3. REPEALER CLAUSE.** All City of Ketchum ordinances or resolutions or parts thereof which are in conflict herewith are hereby repealed.

**SECTION 4. EFFECTIVE DATE.** This Ordinance shall be in full force and effect from and after its passage, approval and publication.

PASSED by the Ketchum City Council and APPROVED by the Mayor of Ketchum on this 15<sup>th</sup> day of May, 2001.

  
Guy P. Coles, Mayor



  
For: Sandra E. Cady, City Clerk



"EXHIBIT A" - ORDINANCE NUMBER 869

**COMMUNITY CORE DISTRICT (CC)**

**Sections:**

- 17.64.010 CC - Community Core District.
- 17.64.020 Design review.

**17.64.010 CC - Community Core District.**

The purpose of the following CC - Community Core District is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum's historical and geographic context while providing diversity. Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the City's Comprehensive Plan.

- A. Uses Permitted.** All uses not listed below shall be prohibited unless otherwise determined by the Planning and Zoning Commission to be similar in nature to a use listed below:

Use	Permitted Use*	CUP**	T/CUP** *
Mercantile	X		
Grocery store	X		X
Offices	X		
Restaurants, bars not including drive-up	X		X
Hotels, motels, and other lodging establishments including time share	X		
Personal service establishments	X		
Entertainment, recreation and cultural uses enclosed Within building	X		X
Entertainment, recreation and cultural uses unenclosed, outdoors		X	
Single-family dwelling not to exceed 4,000 square feet of gross floor area	X		
Apartments, duplex and multifamily residential dwellings including townhouses	X		
Day care home, day care facility or day care center	X		X
Medical facilities	X		
Bakeries	X		X
Manufacturing of small goods only in conjunction with retail, provided it does not create noise, odor, dust, fumes or require outside storage of material	X		X
Off-street parking facilities	X		X
Accessory buildings and uses including home occupations	X		
Outside display of merchandise associated with the business conducted on the premises	X		X
Schools		X	
Service stations		X	
Mortuary		X	
Public uses and semi-public uses	X		
Satellite receivers and antennas		X	
Outside storage of merchandise		X	
Dumpster, rubbish container (subject to issuance of a Dumpster permit)	X		

\* Permitted - A use which is permitted as of right without special permit consideration.

\*\* CUP - A conditional use which requires a conditional use permit to locate and operate in the CC district.

\*\*\* T/CUP - Transition conditional use permit, a permitted use listed below which, when directly abutting a residential district (LR or GR-L), requires a conditional use permit and shall comply with the following additional regulations:

Regulations for T/CUP's:

1. No use or building shall provide ingress or egress to off-street parking from a public street adjacent to a residential zone.
2. All exterior lighting shall be contained within the property and directed downward with no visible light source.
3. Sufficient landscape shall be provided to adequately buffer business uses from residential properties.
4. Any use which requires a conditional use permit shall follow the application and hearing procedures set forth under Chapter 17.116.

**B. On-Site Parking and Service Area Requirements.**

1. All new structures, alterations and additions to existing structures, and all uses within the CC district shall comply with the on-site parking and service area requirements as set forth below.
2. No part of an on-site parking space required for any building or use for the purpose of complying with the provisions of this Title will be converted for any other use unless an equivalent amount of additional on-site parking is provided.

Use	Parking Stalls Required
General commercial/mercantile, office, Restaurant	1 stall per 13.75 lineal feet of lot width
Hotels, motels, lodges	.75 stall per each unit, plus 1 stall per employee housing unit
Multifamily residents/apartments	1 stall per unit
Single-family residential	2 stalls per residence
Mixed use residential, lodging/commercial Projects	1 stall per 13.75 lineal feet of lot width, or other parking requirement according to this Section for each individual use(s), whichever is greater
Projects seeking underground parking	Total required parking shall be 1 underground stall for every 1,100 square feet of net floor area

3. Handicap Parking Stall. One handicap parking stall may be required for each building or building complex, if adequate on-street handicap parking does not exist, or if the American Disabilities Act requirements cannot be met by on-street handicap parking.
4. Service Delivery and Refuse Disposal Area Requirements.
  - a. Single-family residence, apartment and multiple family dwellings shall provide a refuse disposal area incorporated within the building structure.
  - b. All other uses shall provide a refuse disposal area on-site, and adequate in size to screen all refuse containers. Adequacy of the proposed screening shall be determined by the Commission. The shared use of refuse storage areas and containers is encouraged in lieu of on-site refuse storage provided a written agreement is made with the City to assure long term shared use. Such area shall include a service access aisle to the building.



5. Parking Dimensional Requirements.

Minimum parking stall dimensions  
(Feet)

Angle	Width	Length	Aisle Width
90 degrees	8.0	18.0	22.0
30 degrees	8.0	20.0	10.0
45 degrees	8.0	20.0	11.0
60 degrees	8.0	20.0	18.0
Parallel	8.0	20.0	—
Handicap	13.0	Same as above	Same as above

6. Parking Standards.

- a. No parking stall required by this Title shall project into any street, alley, required alley setback, or other public right-of-way.
- b. All parking stalls and service areas shall access through the alley excepting the following conditions:
  - i. If the grade of the alley and/or slope of the parking area and/or access exceeds acceptable, usable limits according to street standards Ordinance 276, codified in Chapter 12.04 or;
  - ii. Where alternate and/or additional vehicular access points off streets can be shown to:
    - (A) Enhance the overall vehicular and pedestrian circulation and parking plan on the site, and
    - (B) Minimize the negative impact of the vehicular traffic on adjacent streets and to prevent traffic congestion.

Approval of said alternate access points is subject to project compliance with Design Standards, Section 17.64.020.
- c. If the grade of the alley and/or slope of the parking area and/or access exceeds acceptable, usable limits according to street standards Ordinance 276, codified in Chapter 12.04, the parking requirement may be met by paying in lieu for the required on-site parking according to Subsections B.7.c.ii, iii and iv.
- d. Not more than thirty-five (35) percent of the total lot frontage along each street shall be taken up by a curb cut. The maximum width of a curb cut shall be twenty-four (24) feet.
- e. Maintenance. The owner of property used for parking and/or service shall maintain such area in good condition free of dust, trash, debris and snow.
- f. Surfacing. All required parking and service areas, together with access aisles or circulation areas including alleys, shall be surfaced with asphalt, concrete, pavers or similar hard surface.
- g. Drainage. All parking and loading areas shall provide for on-site drainage of surface water to prevent the drainage of such water



- onto adjacent properties, walkways, or into the public right-of-way.
- h. Lighting. Any parking area which is intended to be used during non-daylight hours shall be properly illuminated to avoid accidents. All lights shall comply with the Dark Sky regulations of Chapter 17.132.
  - i. Screening and Landscaping. All parking and service areas which adjoin or face a public street shall be effectively screened from the street; a dense landscaped area or screening wall or combination of area and wall shall be provided. Approval of landscape screening is also subject to Section 17.64.020, Design Standards.
  - j. Any lot or lots exclusively devoted to surface parking shall have landscaped areas distributed along not less than ninety (90) percent of the street frontage of the lot not required for driveways or walkways. Such landscaping shall be installed within a planting area which is a minimum five feet in depth. Sizes of plant material shall comply with Section 17.64.020, Design Standards. Interior landscape islands shall be provided to break up large open areas of parking.
  - k. On-site parking spaces may be provided in areas designed to serve jointly two or more buildings or users provided that the total number of on-site parking spaces shall not be less than required by this Title for the total combined number of spaces for each building or use, and provided the parking is provided in perpetuity with permission by the City Council.
  - l. When the calculation of the required number of on-site parking spaces results in a fractional number, fractions equal to or greater than one-half shall be adjusted to the next greater whole number of spaces.
7. Parking Exemption and In lieu Payment for Additions to Existing Structures.
- a. An exemption may be made to the improvement of a required parking stall(s) if an existing healthy mature tree(s) which can be preserved, as determined by the Commission, is in conflict with the improvement of a required parking stall(s). In lieu payment for this exemption is not required.
  - b. An exemption shall be made from the required parking or in lieu payment as provided for in Subsection B.7.c below, as follows: for existing structures which propose an addition of not more than ten (10) percent of the existing net floor area or one thousand (1,000) square feet, whichever is less, and which cannot physically provide the required on-site parking due to pre-existing building encroachments. This provision applies one time for the first addition upon the effective date of this Title.
  - c. A payment shall be made to the City in lieu of providing required on-site parking, as follows:

- i. For existing structures which propose additions or changes in use and which cannot physically provide the required on-site parking due to pre-existing building encroachments;
- ii. In Lieu Amount. The in lieu payment shall be in the sum of twenty thousand dollars (\$20,000.00) for each required parking stall;
- iii. In Lieu Payment Period. Payment of in lieu fees must be made to the Planning Department at the time of issuance of a building permit;
- iv. In Lieu Fund. All in lieu funds received under this Section shall be placed into a special and separate parking improvement and acquisition fund to be used solely for the purchase and improvement of public parking facilities or pedestrian facilities in the CC district.

**C. Sidewalk, Curb and Gutter.** Sidewalks, curbs and gutters shall be required as an accessory use in accordance with standards as established by the City as to type, location and grade. Sidewalks, curbs and gutters shall be required within the public right-of-way when there is new construction or when an existing building classified as a commercial use is altered or changed and such modifications require a building permit and the cost of such construction exceeds twenty thousand dollars (\$20,000.00).

Sidewalk widths shall match existing adjacent sidewalk widths as determined by the City or comply with the widths as follows:

1. Main Street and Sun Valley Road/Third Street - eight feet (public right-of-way) plus five feet (private property);
2. All other streets - five feet (public right-of-way) plus five feet (private property).
3. A Right-of-Way Agreement is required for any intrusion into the public right-of-way, including awnings, signs, and outdoor seating, but not including street trees or landscaping that is approved through the Design Review process. Said Right-of-Way Agreement must be approved by the Council.

**D. Lot Dimensions.**

1. Minimum Lot Area - five thousand five hundred (5,500) square feet. Townhouse subplot area shall be at minimum equal to the perimeter of an individual townhouse unit measured at the foundation and along any common party wall, and shall be in compliance with the Uniform Building Code;
2. Minimum Lot Width - fifty-five (55) feet;
3. Lot Configuration - all side lot lines shall run perpendicular to the alley.

**E. Building Setbacks.**

1. A building shall have a minimum setback of five feet from a streetside property line. This, combined with five (or eight) feet reserved in the public right-of-way, shall yield a ten (or thirteen) foot wide sidewalk. Encroachments into the building setback for posts, or for public amenities

may be permitted on a case by case basis only as determined by the Commission, and subject to the Design Standards in Section 17.64.020. Encroachments in the public right-of-way such as outdoor seating may be permitted by the Council on a case by case basis, subject to a Right-of-Way Agreement.

2. A setback of 3 feet shall be provided on all alleys. This shall be paved as a part of the alley and shall remain clear of obstacles to permit movement of service vehicles. At grade utilities only may be permitted in the alley setback on a case by case basis as determined by the Commission.
3. Townhouse units shall be allowed zero setbacks from the lot lines created by a townhouse subplot provided all provisions of this Section are met, and shall be in compliance with the Uniform Building Code.
4. Third Floor Setbacks.
  - a. Any third floor space shall be set back a minimum of 17 feet from the streetside property line.
  - b. Any third floor space shall be set back a minimum of 13 feet from the alley side property line.
  - c. Setbacks outlined in (a) and (b) may be modified for an exit stair or elevator tower when the Commission determines that the resulting project is compatible, based on application of Design Standards in Section 17.64.020.

**F. Building Height and Width, and Roof Line Lengths.**

1. Height. The maximum building height shall be as follows. See definition of building height for measuring height.
  - a. 38 feet 6 inches maximum height for flat roofs, including parapets.
  - b. Forty (40) foot maximum roof ridge height for gabled roofs or roof sections. Said gable roofs must provide a minimum slope of 4:12.
2. Width.
  - a. All buildings shall contain a horizontal break at least every 55 feet. Such breaks shall be a minimum of 4 feet deep by 12 feet wide.
3. Roof Line Length.
  - a. The maximum length of a parapet or roof ridge (including overhang) line shall be 60 feet.
  - b. A change in ridge line shall be established by one or both of the following:
    1. A shift in plan of a minimum of 5 feet between the two ridges
    2. A shift in height of a minimum of 5 feet between the two ridges
4. Elevators may exceed height limits as follows:
  - a. Four foot height increase = minimum ten (10) foot setback from streetside roof edge;
  - b. Six foot height increase = minimum fifteen (15) foot setback from streetside roof edge.
5. Wireless facilities as regulated in Chapter 17.140.

**G. Open Space.**

Each property shall provide a minimum of 25% open space, based on a percentage of the gross land area of the site. In addition, the following provisions shall apply:

1. The required five foot streetside setback shall count toward meeting the 25% overall open space requirement.
2. A minimum of 50% of the required open space shall be located on the ground (grade) level.
3. Once the minimum standards are provided at grade, the remaining open space requirement may be allowed to be located on the second floor as balconies and decks, if the Commission determines that the result is consistent with the intent of the design review standards in Section 17.64.020. Said second floor open space shall not be counted if it overhangs ground floor open space, or if it is enclosed on more than 2 sides.
4. In no case shall any outdoor area that is provided on the third floor of a project or below grade be counted towards meeting the minimum open space standards.
5. Land in the required alley setback shall not count as a part of the open space.
6. A balcony that overhangs a public sidewalk also may not count as open space.
7. For buildings which contain 3 story elements, a minimum of 200 square feet of useable open space shall be provided on the ground floor in addition to the five foot streetside setback.

**H. Maximum Floor Area Ratio.**

1. All new buildings and alterations to existing buildings shall be subject to the maximum floor area ratio described below.

	<u>Permitted</u>	<u>Community Benefit Bonus Incentives</u>
Gross FAR	1.4	1.75

2. Floor Area Ratio (F.A.R.) Community Benefit Bonus Incentives:
  - a. Community Housing Unit Increase.  
An increased F.A.R. for Community Housing Units may be permitted up to a maximum of 1.75, and only subject to design review approval, and provided that all of the following conditions are met:
    - i. Forty (40) percent of the requested gross floor area increase is restricted in perpetuity as Community Housing Unit(s), pursuant to the definition in Chapter 17.08.
    - ii. Income categories for resale of owner occupied units shall be determined by the Council, with a recommendation by the Ketchum Housing Commission. Income categories shall be determined prior to final City approval of said project.

- iii. Community Housing Unit(s) may be provided off-site but within Ketchum City limits at a ratio of 1.5 times the amount of square footage that would have been provided on-site. The Community Housing Unit(s) should be in conformance with the Ketchum Community Housing Guidelines.
  - iv. In-lieu funds may be accepted for a portion of the off-site mitigation, but in no case shall there be less than the number of units that would have been required. The amount of funds required for in-lieu payments shall be established annually by the Council, with a recommendation from the Ketchum Housing Commission.
  - v. For projects in full compliance with i through iv above: if the proposal does not use all of the floor area permitted under this bonus incentive (maximum F.A.R. of 1.75), the remaining floor area may be transferred pursuant Subsection 17.64.010.H.2.b and Section 17.142.010, Transfer of Development Rights.
- b. Transferable Development Rights.
- A portion of the "by-right" development potential (floor area up to a maximum Floor Area Ratio of 1.4) or a portion of the Community Housing Unit bonus (17.64.010.H.2.a) of any property within the Community Core may be transferred to a designated Receiving Area within the Community Core, subject to the regulations herein and Section 17.142.010, Transfer of Development Rights. Transferred development rights are transferred on a lot-by-lot basis. Development rights may be transferred under the following conditions:
- i. Lots or buildings with a F.A.R. of less than 1.4:
    - (A) For buildings with a F.A.R. of less than 1.4, the balance, or a portion, of the potential "by-right" buildable floor area (up to 1.4 F.A.R.) may be transferred. Said building or site is the Sending Area. Buildings or sites receiving additional floor area are the Receiving Area. A portion of F.A.R. may be retained on the Sending Area site for additions and remodels.
    - (B) The Sending Area must be deed restricted in perpetuity. Details for the deed restrictions are further outlined in Chapter 17.142.
    - (C) Receiving Areas cannot exceed a maximum F.A.R. of 1.74.
  - ii. Lots or buildings providing Community Housing Unit(s):
    - (A) The floor area remaining from a lot or building which meets the requirements of Subsection



17.64.010.H.2.a may be transferred pursuant to b.i(B) and b.i(C) above.

- (B) Floor area eligible for transfer is calculated as square footage, based on the size of the Sending Area, up to a maximum F.A.R. of 1.75.
- (C) Forty (40) percent of the transferred floor area must be restricted in perpetuity as Community Housing Unit(s). All other regulations of Subsection 17.64.010.H.2.a will apply.

c. Hotel Uses/Conditional Use.

- i. A bonus up to a F.A.R. of 1.75 may be permitted for a lot or parcel containing a hotel which meets the definition in Chapter 17.08, and only subject to design review approval. Said lot or parcel may contain other permitted uses up to the maximum F.A.R. of 1.75.

A hotel may request modification or waiver(s) from the provisions of this Chapter pursuant to Chapter 16.08, Planned Unit Developments. Said waiver(s) will be permitted only at the discretion of the Council, pursuant to Chapter 16.08. However, no waivers shall be granted for maximum floor area, nor to the minimum number of hotel rooms required per the definition of hotel. Proposals are subject to the regulations of this Chapter, Chapter 16.08, and to the following conditions:

- (A) The hotel must meet the definition outlined in Chapter 17.08.
- (B) The hotel use must be guaranteed through a Development Agreement acceptable to the City. Said hotel use may only be modified pursuant to the Development Agreement, and only if the building can be brought into compliance with all applicable regulations, including maximum floor area.

- 3. For the purpose of determining gross and net floor area for the basement of a building where a portion of the exterior walls of the basement are both above and below the basement invisible plane, the floor areas shall be computed as follows:

(The percentage of total basement wall area extending above the basement invisible plane) X (the floor area of the basement) = gross floor area and applicable net floor area.

This calculation does not apply to buildings with underground parking where underground parking is the primary use of the lowest floor.

- 4. Net Floor Area Exceptions.

- a. A maximum of one-half of a total basement area may include uses other than storage, and/or mechanical equipment in addition to the maximum allowable net floor area, provided in lieu parking is provided at the rate of one space per seven hundred (700) square feet of net floor area (see Subsections B.7.c.ii, iii and iv for in lieu payment). Existing structures which do not comply with this

Section shall have two years from the effective date of this Title to be in compliance.

- b. An atrium or similar type common area shall not be considered net floor area provided not more than fifty (50) percent of the total atrium/common area is used for accessory and clearly incidental commercial type uses such as small scale food and beverage. (Ord. 861 § 17.64.010, 2001; Ord. 853 § 17.64.010, 2000; Ord. 849 § 17.64.010, 2000; Ord. 208 § 11 [part], 1974)

**I. Landscaping. All landscaping beds and landscape buffers shall comply with the following minimum size requirements:**

- 1. Landscape Materials Size -
  - a. Deciduous trees - Deciduous trees shall have a minimum trunk caliper of 2-1/2 inches measured 12 inches from the ground;
  - b. Evergreen trees - Evergreen trees shall be a minimum of 8 feet tall;
  - c. Shrubs - Shrubs shall have a minimum 5 gallon container size.
- 2. Landscape Buffers - Landscape buffers shall be used to screen parking areas from public sidewalks or other public areas.
  - (a) At grade planting strips - At grade planting strips must be a minimum of five (5) feet deep.
  - (b) Raised planter structures - Raised planter structures must be a minimum of three (3) feet in depth and four (4) feet in height.
- 3. Street Trees - Specifications and Species -
  - (a) Planting area - to be of an adequate size; tree grate shall be adjacent to the back edge of curb.
  - (b) Irrigation - to be an underground, automatic system that does not produce over spray on surfaces outside the planting bed.
  - (c) Tree height - 14 feet minimum.
  - (d) Canopy Height - trees shall be grown or pruned to have no branches extending within seven vertical feet of adjacent walkways, in order to provide pedestrian clearance.
  - (e) Pruning - trees shall be pruned regularly to maintain health, vigor, natural shape, pedestrian and vehicular clearance, and vehicular sight lines.
  - (f) Size - a minimum trunk caliper of 3 inches measured 12 inches from the ground is recommended, though some species will be unavailable in this size; however, in no case shall the trunk caliper be smaller than 2 1/2 inches measured 12 inches from the ground.
  - (g) Planting, and staking of trees shall be done in a professional manner.
  - (h) Planting and soils specifications shall be provided for all street trees. Root barriers shall be used where appropriate.
  - (i) Trees shall have the characteristics shown in the following table:



### Street Tree Species

Scientific Name	Common Name	Comments
Acer sp.	Maple	Multi-trunked Maples such as Acer Ginnala are not appropriate for street trees.
Fraxinus pennsylvanica "Patmore"; other Fraxinus varieties	Patmore green ash	Root barriers recommended.
Malus spp.	Crabapple varieties	May branch too low for pedestrian clearance, messy. Planting bed minimums shall match mature canopy widths on all varieties which branch lower than seven feet from grade.
Populus alba	White poplar	Minimum planting bed to be twelve (12) feet by twelve (12) feet; aggressive roots.
Populus tremula "Erecta"	Swedish aspen	To be planted in groups or clusters of three, minimum.
Populus tremuloides	Quaking aspen	Native; to be planted in rows of three, minimum.
Prunus virginiana "Shubert"	Shubert chokecherry	
Robinia spp.	Flowering locusts	Minimum planting bed to be twelve (12) feet by twelve (12) feet; aggressive roots; excellent in groves.
Tilia cordata or similar sp.	Linden	

**J. Snow Storage.**

1. Heated area required - Public sidewalks and paved useable open space are required to be heated for all new construction.
2. Unheated areas - For unheated parking, circulation and pedestrian areas including plazas and courtyards, the minimum snow storage area shall be 150 square feet per 55 lineal feet of lot width.

**K. Building Facade Materials.**

1. No building facade or any wall surface exposed to the street, alley, or to key public views may be covered more than forty (40) percent with a plaster finish. Plaster finish includes all varieties of cement plaster and synthetic stucco.

Delete Section 17.64.020, Design Review, in its entirety and replace with a new Section 17.64.020, Design Review.

## **17.64.020 Design Review**

### **General Intent of Section 17.64.020**

The following design review standards are used in this section to ensure new development in the Community Core (CC) district is consistent with the goals, objectives and policies set forth in the Comprehensive Plan. New development should be sensitive to the historic context from which Ketchum has evolved. New development should be responsive to the fact that Ketchum is a small town located in a mountain environment. The building design, site design and architectural features in new development should fit into the natural surroundings. The building height, bulk, setbacks and street facades should be compatible with the townscape.

All new structures, additions, exterior alterations and site improvements, including parking lots, etc. are subject to design review consideration by the Ketchum Planning and Zoning Commission according to the procedures set forth in Chapter 17.96. The Planning and Zoning Commission shall only grant approval of an application for design review when the applicant has shown compliance with the goals, objectives, criteria and each design standard set forth below.

**Design Standards Format** - The design standards include the following five components:

1. **Design Topic** - Design standards are grouped into pertinent design topics. Organizing design standards into design topic areas allows the user to quickly select the specific design topics that are relevant to the project. These three sections are as follows:
  - a. Section 17.64.020.A Basis Principles of Design in the Community Core;
  - b. Section 17.64.020.B Site Design Standards; and
  - c. Section 17.64.020.C Building Design Standards.
2. **Intent Statement** - Each design topic has an intent statement that guides the specific design standards that follow it.
3. **Design Standard** - A specific design standard is presented as a numbered statement under a design topic. The numbering system does not reflect a prioritization of the design standards. The Commission may grant exceptions to the specific requirements of the Design Standards if a finding is made that the Intent of said Design Standard has been met and if the project is found to comply with all other Design Review requirements.
4. **Supplementary Requirements and/or Information** - Supplementary standards are provided with a design standard which clarifies the primary design standard statement, or provides additional information that may

suggest specific methods for complying with the standard. These statements are listed alphabetically under the design standard (a, b, c, d, etc.).

5. **Illustrations** - In some cases, sketches are provided herein to clarify the intent of a design standard and/or its supplementary information.

All five of these components comprise the criteria by which the Commission will evaluate a project.

#### **17.64.020.A Basic Principles of Design in the Community Core**

Basic principles of design that are fundamental to the character of Ketchum's Community Core provide the foundation for the detailed design standards presented in Sections B and C. These principals are to be used for guidance and to provide background as to the intent of the Standards.

##### **Principle 1. New development should respond to its immediate context.**

This includes consideration of the mass, scale and form of adjacent buildings and the arrangement of open space, setbacks, mature landscaping, solar access and view opportunities.

##### **Principle 2. Enhance the street level as an inviting place for pedestrians.**

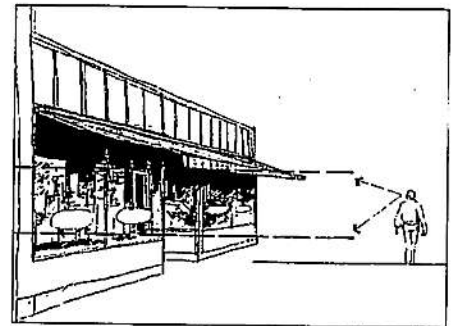
Providing features that are visually interesting and that are in human scale is essential. Features may include storefront windows, display cases, art, plazas and landscaping.

##### **Principle 3. Maintain or enhance mature landscaping, especially trees, throughout the Community Core.**

The Community Core is filled with mature landscaping and trees. These assets should be maintained and, to the extent possible, enhanced or replaced with the addition of new landscaping that is of similar size.

##### **Principle 4. Relate to the diverse nature of the existing buildings in the area.**

The diverse nature of Ketchum's commercial structures establishes a sense of the City's character. Continuing to build structures that reflect these various designs should reinforce the character of Ketchum while also accommodating variety in design and detail. As



*Enhance the street level as an inviting place for pedestrians.*

properties are improved, they should enhance the overall image of the area as a place to do business. Each building can help contribute to this visual continuity while also meeting an individual owner's needs.

**Principle 5. The mass and scale of new buildings should be configured to be sensitive to the tradition of one and two story buildings found in the Community Core.**

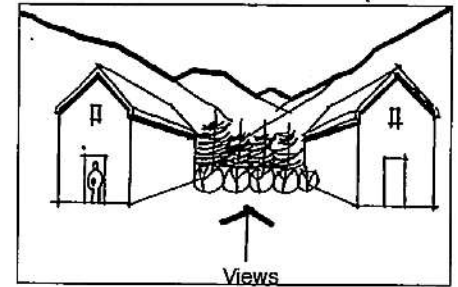
Traditionally buildings have been of modest height and scale. New buildings should include elements that convey this modest range of heights.

**Principle 6. If a building is a historic structure, then respect its character.**

Preservation of Ketchum's heritage is important to our sense of community and its economic development. A number of structures in the Community Core have historic value, including some that have experienced alterations. It is important to consider the significance of a building's character-defining features, including basic forms, materials and details when planning improvements to the structure.

**Principle 7. View opportunities should be considered throughout the Community Core.**

Variations in building heights, roof forms and the location of open space on a site should be taken into consideration to provide view opportunities.



View opportunities should be provided throughout the Community Core.

### **17.64.020.B Site Design Standards**

This section addresses the organization of uses on a site, including open space, building location, parking, pedestrian and automobile circulation and landscape design.

#### **Objectives**

The objectives of Ketchum's site design standards are to provide a background and basis of the development of the Design Standards, and as such are not regulatory in nature. The Objectives are to:

- (a) Enhance a sense of identity for the Community Core;
- (b) Encourage variety in view opportunities to natural and cultural sites;
- (c) Promote coordinating and sharing of amenities and open spaces;
- (d) Promote development of outdoor spaces that are attractive and interesting to the pedestrian;
- (e) Enhance the small town environment for pedestrians;
- (f) Provide continuity of circulation for pedestrians;
- (g) Reduce dependence upon automobiles for circulation;
- (h) Provide adequate space for pedestrian circulation and outdoor activities;
- (i) Plan the location of a new open space to enhance that of neighboring parcels;
- (j) Promote maintenance of mature landscaping, especially trees; and,
- (k) Ensure that on-site parking is visually subordinate to the street scene.

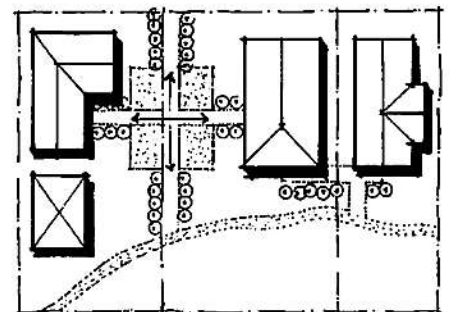
**Natural Features: Intent** - Mature trees should be preserved, when feasible, and incorporated into site and building designs.

**Standards:**

- (1) **Preserve and enhance existing mature trees and landscaping.**
  - (a) Existing trees, other established landscaping, and natural features should be protected and incorporated as assets on a site, where feasible.
- (2) **Where feasible, a building should be positioned to enhance mature trees on the site, or natural features in the area.**
  - (a) For example, locate an entry plaza so that it provides a view to a natural feature or cultural landmark.
  - (b) Avoid destroying mature trees to create a building site, when feasible.

**Usable Open Space: Intent** - Usable open space that can be visually and functionally enjoyed shall be provided. This usable open space should enhance the site as a place for pedestrians. In addition, buildings and other site functions should be planned to create outdoor spaces. The open space of an individual parcel should be coordinated with that of adjoining properties. In addition to the Standards herein, each new development shall provide usable open space as required in Section 17.64.010.

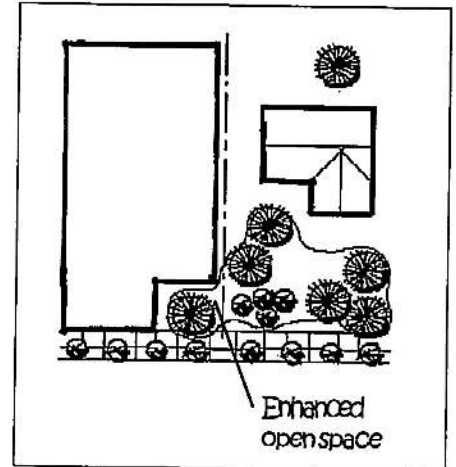
- (3) **Develop a usable open space as a focal point for the site.**
  - (a) For example, use an open space to connect the entrances of two buildings on a site.
  - (b) Orient a public space to encourage pedestrian activities, to provide views of activities, cultural resources or natural features or to provide visual interest.
  - (c) On corner lots, use open space to break up long facades.



*Plan the location of a new open space to enhance that of neighboring parcels.*

**(4) Provide outdoor seating that is usable for extended periods throughout the year.**

- (a) When feasible, create a sense of enclosure around outdoor seating areas.
- (b) Provide a concentration of streetscape furnishings, such as benches, shelters, trash receptacles and landscaping, when feasible. (particularly commercial uses)
- (c) See also Design Standard B.20 for site furniture design.



*Open space is positioned to link visually with abutting property.*

**Pedestrian Connections: Intent** - Convenient pedestrian access should be provided among properties to achieve a sense of neighborhood integration and to help reduce dependence upon automobiles.

**Standards:**

**(5) Each project should provide an integrated circulation system that links the property with adjoining uses.**

- (a) Provide direct pedestrian access from a public sidewalk to the majority of individual uses and spaces on a property.
- (b) Appropriate pedestrian connections include the following:
  - i. Sidewalks
  - ii. Internal walkways
  - iii. Courtyards and plazas
  - iv. Connections through blocks to alleys

**(6) Organize the public edges of a site to provide visual interest to pedestrians.**

- (a) The street edge of a development shall consist of one or more of the following:
  - i. Display windows
  - ii. Display cases
  - iii. Decorative architectural treatments
  - iv. Landscaping
- (b) See also Section 17.64.020.C Building Design Standards.

**Pedestrian Circulation Systems: Intent** - Pedestrians should have safe, convenient access to the various functions within a site. Therefore, a coordinated pedestrian circulation system that complements the character of the property should be provided.

**Standards:**

**(7) Link the various functions and spaces on a site with pedestrian ways to achieve a coordinated system that invites pedestrian use.**

- (a) Provide convenient connections from parking areas to buildings on the site and between buildings on the site.



- (b) On larger sites, clearly define a key pedestrian gateway into the site with distinctive landscape elements.
- (c) Pedestrian access shall be provided which is adequate in size, availability and accessibility to satisfy demands relative to the size of the project and proposed use(s).
- (d) Locate a walkway such that key destination points, such as building entries, are clearly visible.
- (e) Define the walkway with landscaping, furniture and lighting scaled to the pedestrian.
- (f) Consider microclimatic conditions when designing a walkway. Avoid locating walkways where users will be subjected to harsh glare from adjacent surfaces or where snow and ice conditions may persist in winter months.

**(8) Use walkway paving materials to encourage use by pedestrians and to identify key pedestrian ways.**

- (a) Use materials that provide traction and facilitate general maintenance and snow removal.
- (b) Modular pavers and textured surfaces are encouraged.
- (c) Heated sidewalks are encouraged in high winter traffic areas and are required as outlined in Subsection 17.64.010.J.
- (d) Use decorative paving, signs and landscaping to identify the crosswalks.

**Bicycle Storage: Intent** - The use of bicycles as alternative modes of transportation should be encouraged in the site design of projects within the Community Core.

**Standards:**

**(9) Facilities for storage of bicycles should be provided with projects when deemed necessary.**

**Automobile Circulation and Access: Intent** - A continuous, safe and convenient automobile circulation system should be provided within a project and onto adjacent streets and alleys, when automobiles are accommodated on a site. In many cases, this will simply be a well planned alley or driveway access. In larger projects, it may include more extensive internal circulation. Entry points for automobiles should be clearly defined on a site to facilitate safe and convenient operation. When feasible, connections to auto circulation systems of adjoining properties should be provided to permit convenient access and to reduce traffic on abutting public streets. Alley access to a property is required except as otherwise determined pursuant to Section 17.64.010.B.6. Alleys should be developed as required herein, subject to Title 17, Road Standards.

**Standards:**

**(10) Identify a key auto entry point into a site with special design elements, and ensure pedestrian crossings are emphasized.**



- (a) pedestrian crossings should be delineated with accent paving or other material change;
- (b) accent landscaping can be used to delineate a vehicular entry.

**(11) Design traffic flow to accommodate emergency vehicles, snowplows, delivery vehicles and garbage trucks.**

**Building Placement: Intent** - Structures should be sited to respect development patterns that are established for the area, such as the orientation of entrances to the street and the alignment of building fronts. Where buildings are uniformly aligned, this contextural feature should be respected. Where building placements vary more widely, new buildings should be sited so as to be compatible with the surroundings. In both cases, however, buildings should be positioned to enhance usable open space and promote pedestrian circulation.

**Standards:**

**(12) Where building alignment that is similar to traditional commercial blocks is established or emerging, locate the front of a new structure back five feet from the right-of-way.**

- (a) This five foot setback shall be incorporated into the sidewalk paving.
- (b) In some cases, a portion of the building front may be set back further to create a plaza or courtyard. However, this setback portion should respect the site's street frontage.

**(13) Where building alignment reflects a more varied alignment, greater flexibility in setbacks is appropriate.**

- (a) Aligning some portions of a new building with the fronts of existing established buildings should be considered.

**(14) A building's primary entrance should be oriented toward the street.**

- (a) Even a multifamily development, which may include a cluster of buildings facing onto an internal space, should have some building entrances oriented to the street.

**Landscaping: Intent** - The Community Core contains mature landscaping and trees. Existing landscaping and trees should be retained, when feasible. In addition, new developments should be landscaped with trees and shrubs that can attain comparable size to those in its neighborhood. Landscaping also shall complement surrounding buildings and sites and help to establish a sense of visual continuity within the neighborhood. The landscape materials and vegetation types shall be adaptable to the site's microclimate, soil, and orientation/aspect.

**Standards:**

**(15) The landscape materials and vegetation types, including trees, should be substantial in size and area coverage to provide relief and soften hard surfaces.**

- (a) Retain mature trees and landscaping, when feasible.
- (b) Replace a mature tree that must be removed with a large, mature tree.

(c) Landscape material should be sized appropriately for the scale of the building. At a minimum, new (not replacement) trees and shrubs must meet the Standards outlined in Subsection 17.64.010.I.

**(16) Landscape buffers should be used between land uses, including structures, streets and parking areas. Landscape buffers shall be of sufficient depth and appropriate plant density to screen cars or to otherwise buffer incompatible uses.**

(a) Landscape buffers between parking areas and public sidewalks or other public areas shall meet the minimum depth outlined in Subsection 17.64.010.I.

(b) Plant density should allow for adequate screening relative to the size of the landscape bed and the proposed plant materials.

**(17) Street trees shall be provided at the sidewalk grade. Specifications are as outlined in Subsection 17.64.010.I.**

**(18) All landscaping shall be maintained in a healthy and attractive state and shall be watered, weeded, generally maintained and replaced if necessary by the property owner.**

**Site Furniture: Intent** - Site furnishings, including seating, planters, bicycle racks, waste receptacles and light standards should be provided in usable open space areas to enhance the setting for pedestrians.

**Standards:**

**(19) Public amenities shall be provided and incorporated within the landscape plan. Such amenities should be simple in character and compatible with other amenities in the area. Examples of appropriate amenities include:**

- (a) Benches;
- (b) Kiosks;
- (c) Phone booths;
- (d) Bus shelters;
- (e) Trash receptacles;
- (f) Restrooms;
- (g) Fountains;
- (h) Art;
- (i) Bike racks;
- (j) Ski and snowboard racks;
- (k) Pedestrian lighting;
- (l) Planters; and,
- (m) Seating.

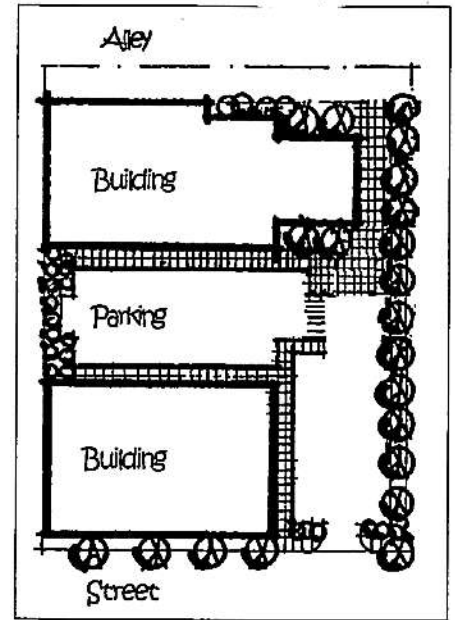
**Parking: Intent** - The visual impacts of cars parked on a site should be minimized. This includes parking lots and parking structures. All parking is required to access off of the alley, except as specifically permitted in Subsection 17.64.010.B.6. When feasible, a parking area

should be located so that it is not visible from the street. Where parking would be visible from a street or an abutting property, it should be visually screened with appropriate landscaping.

**Standards:**

**(20) Locate a parking facility, particularly a surface lot, at the interior of a block, whenever possible.**

- (a) This acknowledges the special function of corner properties, as generally they are more visible than interior lots. Buildings at the corners serve as landmarks and provide a sense of enclosure to an intersection.
- (b) A parking lot should be designed so that it will provide efficient vehicular circulation and safe pedestrian circulation within the site.
- (c) Where a parking lot shares a site with a building, place the parking at the rear of the site, to the side or under the building. In this way, the architectural continuity of the street can be preserved.



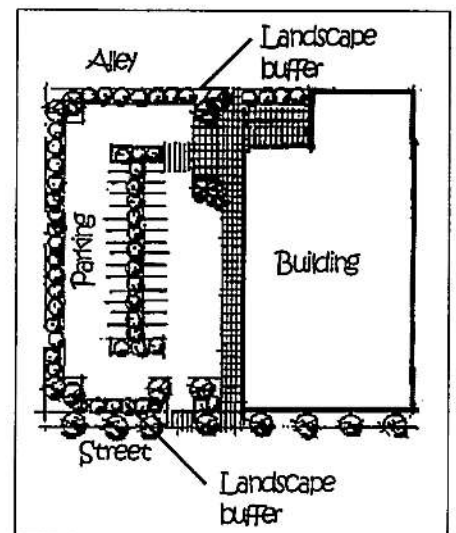
Locate a parking facility, particularly a surface lot, at the interior of a block, whenever possible.

**(21) Design a parking structure so that it creates a visually attractive and active pedestrian environment.**

- (a) The edge of a parking structure shall be developed with one or more of the following:
  - i. Retail/commercial wrap;
  - ii. Murals or public art;
  - iii. Decorative architectural features;
  - iv. Display cases;
  - v. Landscaping; and,
  - vi. Public amenities.

**(22) Where a parking lot abuts a public sidewalk or an open space on an adjacent property, provide a visual buffer. Landscaping plantings in parking lots shall be used to define circulation routes of pedestrians and vehicles by demarcating boundaries and aisles and drawing attention to desired openings and paths for pedestrians.**

- (a) The following are appropriate buffers, subject to the dimensional requirements and the minimum size for plant material outlined in Subsection 17.64.010.I.
  - i. A landscaped planting strip at grade.
  - ii. A raised planter structure.
  - iii. A site wall, which has a decorative finish and details.



Landscaping shall be used to buffer between land uses, including structures, streets and parking areas.

- (b) Materials for planters and site walls shall be masonry with a matte finish and earth tone in color. Examples of appropriate materials are:
  - i. Rough cut (ashlar) stone;
  - ii. River rock;
  - iii. Architectural face block;
  - iv. Textured formed concrete; and,
  - v. Brick.
- (c) See also Section 17.64.010.B.6.i-j, for screening requirements of parking lots.

**Snow Storage:**

- (23) **Heated sidewalks and snow storage areas shall be included on the site as outlined in Subsection 17.64.010.J. Heated sidewalks and paved useable open space is strongly encouraged for remodels.**
  - (a) Using a planting "island" within a parking lot as a snow storage area is appropriate.

**Utilities and Service Areas: Intent** - Service areas should be visually unobtrusive and should be integrated with the design of the site and the building.

**Standards:**

- (24) **Orient a service entrance, waste disposal area and other similar uses toward service lanes or the alley and away from major streets. Interior trash storage is strongly encouraged. Screen a service entrance with walls or plantings.**
  - (a) Garbage storage areas and satellite receivers shall be screened from public view and maintained in a clean and functional state.
  - (b) Utility, power and communication lines serving the project shall be underground. For new buildings, transformers and any other power facilities will be permitted underground or at grade only. For remodels, transformers are encouraged to be underground or at grade. Where abutting public streets, at grade facilities must be screened from public view.
  - (c) When it would be visible from a public way, a service area screen should be in character with the neighborhood in design and materials. Appropriate screens are:
    - i. A structured enclosure designed to be compatible with other buildings on the site; and,
    - ii. A landscape screen, as defined in Design Standards B.15 through B.17.
- (25) **Position a service area to minimize conflicts with other abutting uses. Deliveries for all commercial uses should be directed to alleys.**
  - (a) Minimize noise impact by locating sources of offensive sounds away from other uses.
  - (b) Avoid light spill onto adjacent properties.
  - (c) Where an alley system exists, locate service areas there. Streets should only be used for service delivery where no alley systems exists.

**Site Drainage: Intent** - Site drainage should be planned such that all storm water is retained on site, and so that the site can be incorporated in to a future Citywide storm water system.

**Standards:**

**(26) Contain storm water runoff from paved areas, and naturally filter storm water where feasible.**

- (a) Develop a drainage plan that will retain water on-site, either through dry wells or in landscape areas that will permit water to percolate into the soil.
- (b) Describe how the system can be connected to a Citywide system.
- (c) Use open drainage swales with natural linings where feasible. For example, use native grasses and rock.
- (d) Use permeable paving materials such as pavers that will optimize infiltration of storm water and snow melt into soils, where soil conditions are appropriate.

**17.64.020.C Building Design Standards**

The design standards in this section provide guidance for construction of new buildings and alterations of existing structures within the Community Core.

**Objectives for Building Design**

The following design standards seek to achieve these basic design objectives for building design in the Community Core:

- (a) To convey a sense of local identity
- (b) To promote buildings that are oriented to pedestrians;
- (c) To promote designs that reference Ketchum's history and heritage;
- (d) To promote designs that reflect the diverse mountain town character of Ketchum;
- (e) To promote buildings that complement the natural surroundings; and,
- (f) To encourage buildings that respect the traditional scale and character of the Community Core.

**Building Scale: Intent** - A building should appear to have a "human scale". This can be accomplished by using building elements that can be interpreted in human dimensions. Building scale is established through building components that are in sizes seen traditionally, combined with the detailing of facade components to create surfaces that are in scale and in proportion to the height of a building.

**Standards:**

**(27) Building materials should help establish a human scale and provide interest to pedestrians.**

- (a) For example, use wood, brick and stone in modules and dimensions to express a human scale.

- (b) Large, featureless surfaces or panelized products that lack a sense of scale are inappropriate.
  - (c) See also standards for building materials that follow.
- (28) Express facade components in ways that will help to establish a human scale and provide pedestrian interest.**
- (a) Repeating wall elements, including windows, columns, ornamental trim and architectural features, such that rhythms and patterns result which convey a human scale, is appropriate.
  - (b) Using windows and doors that are proportional in scale to those seen traditionally are also appropriate.
  - (c) The primary entrance should also have a human scale.
- (29) Variety in the following features should be provided to reduce the perceived scale of a building:**
- (a) Architectural trim and ornament
  - (b) Building materials
  - (c) Colors

**Building Width: Intent** - A building shall appear to be similar in width to traditional buildings on Ketchum Townsite lots in the Community Core and the immediate context.

**Standards:**

- (30) A building should appear similar in width to traditional buildings in the immediate context.**
- (a) A building larger than those in the immediate context shall be divided into modules that express traditional dimensions of Ketchum Townsite Lot widths in the area. Minimum dimensional requirements are found in Subsection 17.64.010.F.
  - (b) The Commission may permit some flexibility in meeting this standard for projects that are primarily multifamily or hotel uses, when the overall intent of reducing perceived scale is achieved by other means.
- (31) Design should incorporate traditional proportions and shapes of buildings. Heights and setbacks of building(s) where they abut a one or two story structure on an adjacent property should be considered.**

**Building Height: Intent** - A building should appear to be similar in height with those of traditional buildings in the Community Core and within the immediate context. The visual impacts of taller portions that exceed traditional heights should be minimized, to the greatest extent possible. Note that building height and setback standards are defined in Section 17.64.010.F.



**Roof Form: Intent** - The primary roof form of a building should be similar to those seen traditionally in the Community Core, which contains a mix of flat and gable roofs. Roofs should be designed to reduce the perceived scale of the building. Gable roofs can also help the building enhance the mountain backdrop and improve view opportunities.

**Standards:**

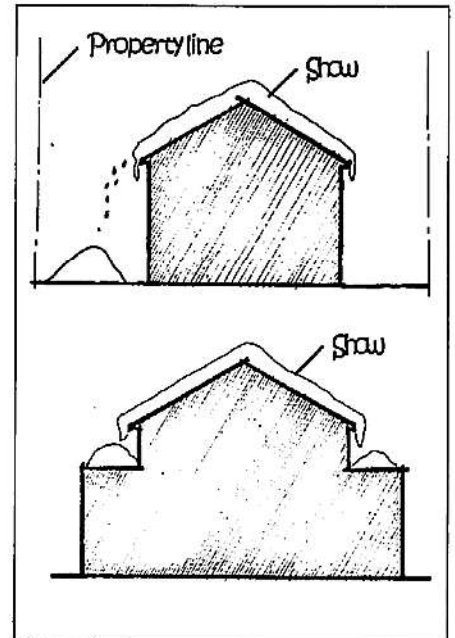
(32) **Use gable roof forms to reduce the perceived scale of a building.**

- (a) A flat roof also may be considered in an area emerging as traditional "Main Street" in character.
- (b) A portion of any permitted third floor shall have a gable roof.
- (c) A gable roof form (or forms) is encouraged for all buildings with a FAR greater than 1.4.

(33) **Any roof should have at least one of the following features:**

- (a) For a flat roof, a parapet concealing from public view the roof itself and any rooftop equipment.
- (b) For a gable roof with overhanging eaves, eaves that are in proportion to the overall building and that provide a shadow line.

(34) **A roof shall be designed to protect pedestrians and adjoining properties from water dripping and snow sliding.**



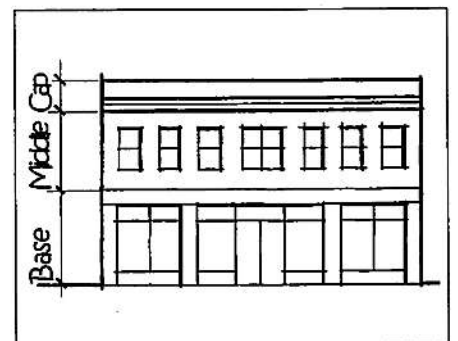
*A sloping roof shall be designed to shed onto other roofs on site or onto snow storage areas that will not impact pedestrian routes or adjacent properties.*

**Facade Composition: Intent** - The front of a building shall be designed to reflect the basic organizational traditions of commercial and residential structures in the Community Core. It also should be designed to provide interest to pedestrians and establish a sense of visual continuity along the street.

**Standards:**

(35) **The following elements should be considered for building facades:**

- (a) A base
- (b) A midsection
- (c) A cap



*A building facade is composed of a base, a midsection and a cap.*

(36) **Buildings should have a first floor height that reflects the style of traditional buildings.**

- (a) First floor ceiling heights should be 10-12 feet in height.

(37) **The street edge of a building should be designed to provide interest to pedestrians.**



- (a) The ground level of a building shall be composed of one or more of the following:
  - i. Display windows
  - ii. Display cases
  - iii. Architectural details
  - iv. Public Amenities
  - v. Landscaping

**Primary Building Entrance: Intent** - The primary entrance to a building should be clearly identifiable from the street. It also should orient to a major sidewalk, pedestrian ways, plaza or courtyard.

**Standards:**

- (38) **Design the main entrance of a building to be clearly identifiable. Orient the primary entrance of a building to face a street, plaza or pedestrian way.**
  - (a) Focusing an entrance toward a parking lot without also addressing the street is inappropriate.

**Building Materials: Intent** - Materials that provide a sense of human scale, reduce the perceived scale of a building and complement the natural setting should be used, especially on larger structures. They should also convey the design traditions of the Community Core.

**Standards:**

- (39) **Buildings should have continuity of materials on all building sides. The following are examples of appropriate building materials and accent elements:**
  - (a) Brick, in unglazed finish and earth tone
  - (b) Natural stone
  - (c) Rustic masonry block
  - (d) Painted or stained lap horizontal siding
  - (e) Painted, stained or natural finish shingles
  - (f) Stained or natural finish logs
  - (g) Concrete or tile
  - (h) Nonreflective metal
- (40) **A plaster finish may be used when it is detailed to express visual interest and convey a sense of human scale. Plaster coverage shall not exceed the requirements of Subsection 17.64.010.K.**
- (41) **The following are examples of inappropriate materials:**
  - (a) Reflective materials
  - (b) Textured 1-11 siding
  - (c) Vinyl or lap aluminum siding.

**(42) Building materials should have finishes and colors which are similar to those used traditionally, especially when proximate to traditional buildings in the neighborhood.**

- (a) A material with a matte finish is appropriate.
- (b) A highly reflective material is acceptable only as a trim element.
- (c) A roof vent, chimney and any other exposed feature shall be finished with appropriate (nonreflective) paint and detail.
- (d) Building colors shall be natural and indigenous to the Ketchum area. Florescent and neon colors should be used as accents only.

**Fenestration: Intent** - The size, number and organization of windows should be composed in a manner that conveys a human scale, provides interest to pedestrians and reflects the design of traditional buildings.

**Standards:**

**(43) The ratio of solid-to void of a building wall should be considered, respecting a greater ratio for commercial uses.**

- (a) For a traditional commercial storefront type, a lower ratio of solid to void is preferred on the first floors. A higher ratio of solid to void is preferred on upper floors:
- (b) For residential structures a mix of solid to void should be developed.

**Appurtenances: Intent** - Accent elements may be used to provide visual interest, establish a human scale and enhance the pedestrian environment.

**Standards:**

**(44) The following appurtenances are appropriate and may overhang a public sidewalk when adequate clearances are provided:**

- (a) Sloped awnings, supported from the building face
- (b) Sloped canopies, supported from the building face
- (c) Balconies, supported from the building face, or from posts that do not impede pedestrian circulation as determined by the Commission.
- (d) See also Section 17.64.010 for calculation of overhanging structures as a part of gross floor area.