

ORDINANCE NUMBER 868

AN ORDINANCE OF THE CITY OF KETCHUM, IDAHO, ANNEXING CERTAIN ADJACENT AND CONTIGUOUS LAND TO THE CITY OF KETCHUM, COMMONLY REFERRED TO AS LOTS 23, 24 AND 25 OF THE WARM SPRINGS CREEKSIDE SUBDIVISION, AND A PORTION OF IRENE STREET; PROVIDING THAT SUCH PROPERTY AND ALL PERSONS WITHIN THE LIMITS OF SUCH ANNEXED TRACTS OF LAND SHALL BE SUBJECT TO THE PROVISIONS OF ALL LAWS AND ORDINANCES OF THE CITY OF KETCHUM, IDAHO; PROVIDING FOR THE FILING OF COPIES OF THE ORDINANCES; PROVIDING FOR THE CLASSIFICATION AND ZONING OF SAID PROPERTY; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALER CLAUSE; AND, PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF KETCHUM, IDAHO:

SECTION 1. That the following described tracts of land lying adjacent and contiguous to the City of Ketchum, Idaho are hereby declared to be a part of the City of Ketchum, Idaho and annexed thereto:

Lots 23, 24 and 25 of the Warm Springs Creekside Subdivision, and a portion of Irene Street, all as more particularly described in Exhibit "A" and shown on Exhibit "B", attached hereto and made a part hereof by reference.

SECTION 2. That from and after the effective date of this Ordinance, all property and persons within each of the limits of the above described tracts of land shall be subject to the provisions of all by-laws and ordinances of the City of Ketchum, Idaho.

SECTION 3. That pursuant to Section 50-223, Idaho Code, the Clerk of the City of Ketchum, Idaho, shall, within ten (10) days following the effective date of this Ordinance, file a certified copy of this Ordinance with the Blaine County Auditor, the Blaine County Treasurer, the Blaine County Assessor and the Idaho State Tax Commission.

SECTION 4. That the Clerk of the City of Ketchum, Idaho, shall, within ten (10) days following the effective date of this Ordinance, cause one (1) copy of the legal description and map prepared in a draftsman like manner which shall plainly and clearly designate the boundaries of the City of Ketchum, Idaho, as altered, to be filed with the Blaine County Recorder, the Blaine County Assessor and the Idaho State Tax Commission.

1

1 1/2

The first part of the report is a general  
 description of the project. It is a study  
 of the effects of the new law on the  
 economy. The study was conducted over a  
 period of six months. The results of the  
 study are presented in the following  
 sections.

The second part of the report is a  
 detailed analysis of the data. It shows  
 that the new law has had a significant  
 impact on the economy. The data shows  
 that the economy has grown by 5% since  
 the law was implemented.

The third part of the report is a  
 discussion of the implications of the  
 findings. It suggests that the new law  
 should be continued and that further  
 studies should be conducted to determine  
 the long-term effects of the law.

The fourth part of the report is a  
 conclusion. It summarizes the main  
 findings of the study and states that the  
 new law has had a positive impact on the  
 economy.

The fifth part of the report is a  
 list of references. It includes the  
 following sources:




SECTION 5. That each of the above described tracts of land shall be zoned and classified under the provisions of Title 17 of the City of Ketchum, the Ketchum Zoning Code, according to the map attached hereto as Exhibit "B", which is incorporated herein by reference, and which map provides for a General Residential - Low Density (GR-L) zoning classification for each of the above described tracts.

SECTION 6. If any section or portion of this Ordinance is for any reason held to be invalid by a Court of a competent jurisdiction, such decision shall not effect the validity of the remaining portions of this Ordinance.

SECTION 7. All Ordinances and parts of Ordinances of the City in conflict with this Ordinance or with any part hereof shall be and the same are hereby repealed.


SECTION 8. This Ordinance shall be in full force and effect from and after its passage, approval and publication according to law.

PASSED BY THE KETCHUM CITY COUNCIL this 7th day of May, 2001.

  
\_\_\_\_\_  
Guy P. Coles, Mayor

ATTEST



  
\_\_\_\_\_  
Sandra E. Coles  
City Clerk

Publish: Idaho Mountain Express  
May 16, 2001



or Ura. 068

# Benchmark Associates, P.A.

ENGINEERING, PLANNING, SURVEYING & MAPPING  
P.O. Box 733 • 100 Bell Drive  
Ketchum, Idaho 83340  
208/726-9512 • Fax 208/726-9514 • bma@micron.net

A parcel of land including a portion of Lot 23, Lots 24 and 25, Warm Springs Creekside Subdivision and a portion of Irene Street, all within Section 11, Township 4 North, Range 17 East, Boise Meridian, Ketchum, Blaine County, Idaho and more particularly described as follows;

Commencing at the east corner of Lot 25, Warm Springs Creekside Subdivision according to the plat thereof on file in the Blaine County Recorder's office and the True Point of Beginning;

Thence S40°37'18"W, 140.80 feet along the southeasterly boundary of Warm Springs Creekside Subdivision;

Thence S66°04'53"W, 169.10 feet along the southeasterly boundary of Warm Springs Creekside Subdivision;

Thence N06°25'53"E, 296.18 feet;

Thence S75°20'12"E, 40.00 feet along the northeasterly boundary of Warm Springs Creekside Subdivision;

Thence S65°22'38"E, 107.93 feet along the northeasterly boundary of Warm Springs Creekside Subdivision;

Thence S50°05'17"E, 99.42 feet along the northeasterly boundary of Warm Springs Creekside Subdivision to the True Point of Beginning.

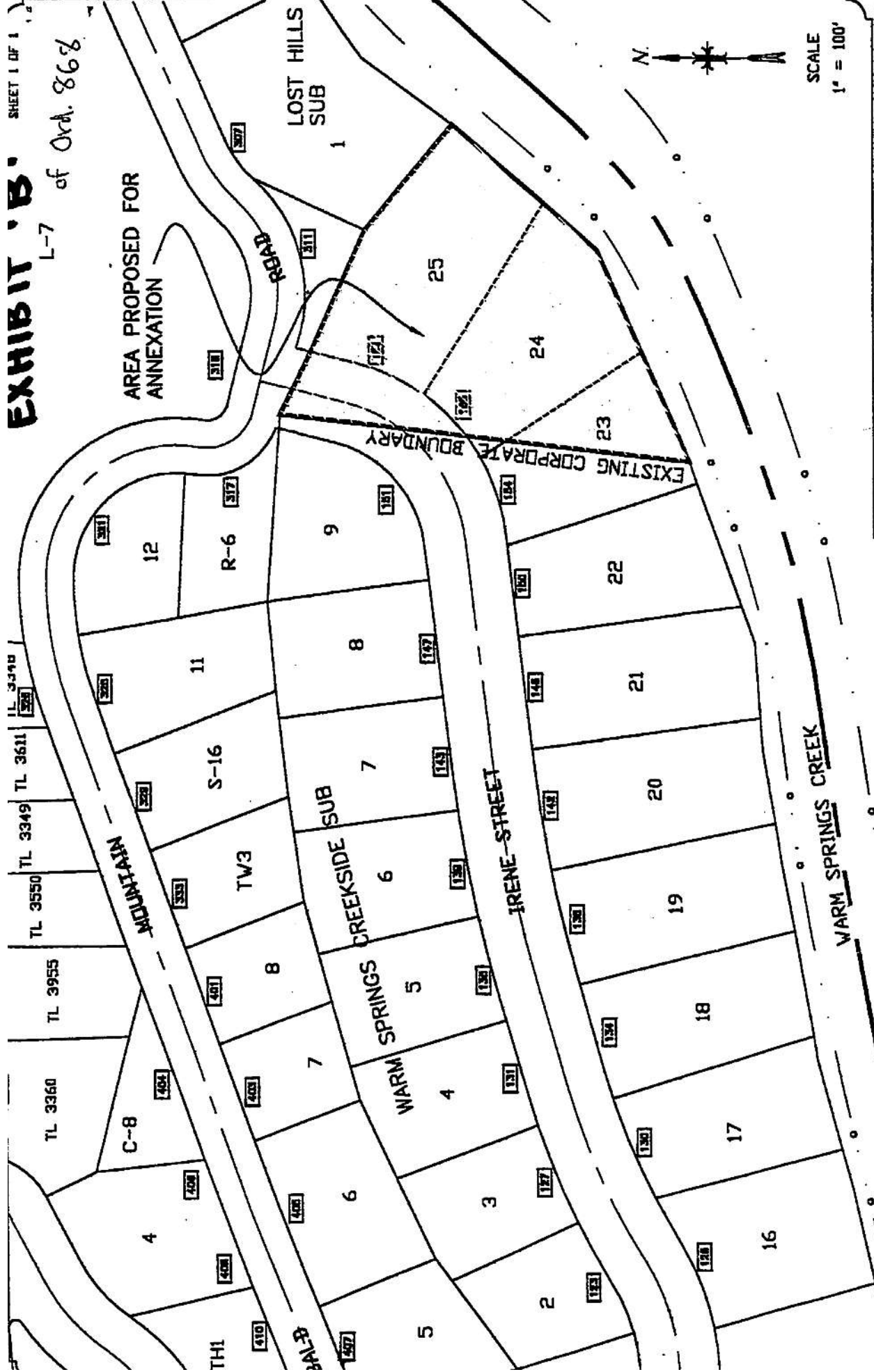
The above described parcel contains approximately 41,080 square feet (0.91 acre).



# EXHIBIT 'B'

SHEET 1 OF 1

L-7 of Ord. 868



SCALE  
1" = 100'



WARM SPRINGS CREEKSIDE  
ANNEXATION  
FEBRUARY 2001

DRAWN BY: JCS  
PROJECT NO. 01002  
DATE: 02/12/01  
PLOT FILE 01002exhb.DWG

**LAND USE DESIGNATION:  
RESIDENTIAL OCCUPANCY**

**ZONING DESIGNATION:  
GENERAL RESIDENTIAL LOW DENSITY (GR-L)**

PREPARED BY J. BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 738, METTICHAN, ID 83340  
2080 766-9318 / 765-5414 FAX  
E-MAIL: jbm@benchmark.net