

DESIGN REVIEW APPLICATION

Project Name: WARM SPRINGS RANCH - BRIDGE REPLACEMENT
 Owner: SUN VALLEY VENTURES Phone No.: 726-4830
 Mailing Address: Box 5500, KETCHUM 83340
 Architect/Representative: WILL MILLER Phone No.: 788-0099
 Mailing Address: Box 1030, Sun Valley 83353
 Architect License No.: _____

Engineer License No.: 8238 Engineer of Record: MIKE HOMZA / GEO-ENGINEERS
 All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.

Preapplication Fee: _____ Date Paid: _____
 Design Review Fee: _____ Date Paid: _____

Legal Land Description: TAX LOTS 7642, 7643 and 7716

Street Address: _____

Lot Area: ± 48 ACRES (TOTAL) Zoning District: GR (CITY) & FP/RD (COUNTY)

Overlay District: Flood Avalanche _____ Pedestrian _____ Mountain _____

Anticipated Use: BRIDGE TO EXISTING GOLF COURSE

Type Construction: New Remodel Addition _____ Other _____

Number of Residential Units: BRIDGE Number of Hotel Units: _____

Total Floor Area: Proposed _____ Existing _____ Setbacks (CC Zone) (CC Zone Only)

Basements: _____ Ground Floor Open Space _____

1st Floor: _____ Roofline Length _____

2nd Floor: _____ Building Width _____

3rd Floor: _____ Horizontal Breaks Every _____ Feet

Mezzanine: _____ Break Depth _____ Width _____

Total: _____ Floor Area Ratio _____

Percent of Building Coverage: LESS THAN 1%.

Curb Cut: N/A

Setbacks: Front _____ Side _____ Side _____ Rear _____

Height: _____ Parking Spaces Provided: _____

Construction Phasing: CONSTRUCT BRIDGE UPON APPROVAL

Will project be condominiumized? Yes _____ No

Will project be townhoused? Yes _____ No

Will fill or excavation be required? Yes No _____

Will existing trees or vegetation be removed? Yes No _____

Water System: Municipal Service _____ Ketchum Spring Water _____

NOTE: The term of Design Review Approval shall be six (6) months from the date approval is granted. Failure to file a complete Building Permit Application for a project within said six (6) months shall cause said approval to be null and void. (from Zoning Code Title 17, Chapter 17.96, Section 17.96.130)

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the City of Ketchum is the prevailing party to pay the reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum.

I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner: [Signature] Date: 9/21/05

Approved/Denied _____ Date: 11-28-05

NOTE: COMPLETE APPLICATION, SIX (6) SETS OF PLANS AND FEE MUST BE SUBMITTED BEFORE NOON A MINIMUM OF TWENTY (20) DAYS PRIOR TO THE COMMISSION MEETING.

**** MEETING THE DEADLINE DOES NOT GUARANTEE SCHEDULING OF APPLICATIONS FOR A SPECIFIC COMMISSION MEETING DATE.

THURSDAY

Box 102, 2nd Street, 2222
with letter
for 200, 2000
2525
2525

2525
with letter for 200, 2000

AT 10:15 AM, 10:15 AM

to the house (10:15)
X
to the house (10:15)
X
to the house (10:15)
X

to the house (10:15)
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to the house (10:15)
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to the house (10:15)
X

to the house (10:15)
X

File Number: FPO5-017

Relocated bridge

DESIGN REVIEW APPLICATION

Project Name: **Warm Springs Ranch – Bridge to Tax Lots 7642 and 7643**

Owner: **Sun Valley Ventures, LLC** Phone No.: **726-4830**

Mailing Address: **P.O. Box 5500, Ketchum, ID 83340**

Architect/Representative: **Will Miller** Phone No.: **788-0099**

Mailing Address: **P.O. Box 1030, Sun Valley, ID 83353**

Architect License No.: _____

Engineer License No.: **8238** Engineer of Record: **Mike Homza / Geo-Engineers**

All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.

Preapplication Fee: _____ Date Paid: _____

Design Review Fee: _____ Date Paid: _____

Legal Land Description: **Bridge to be located on portions of Tax Lots 7638 and 7642**

Lot Area: +/- **48 acres** Zoning District: **GR-L (in City)**

Overlay District: Flood Avalanche Pedestrian _____ Mountain _____

Anticipated Use: **Bridge to existing golf property**

Type Construction: New Remodel _____ Addition _____ Other _____

Number of Residential Units: **Bridge** Number of Hotel Units: _____

Total Floor Area: Proposed Existing

Basements: _____ 1st Floor: _____

2nd Floor: _____ 3rd Floor: _____

Mezzanine: _____

Total: _____

Percent of Building Coverage: **Less than 1%**

Floor Area Ratio (CC Zone): _____

Setbacks: Front _____ Side _____ Side _____ Rear _____

Height: _____ Parking Spaces Provided: _____

Construction Phasing: _____

Will project be condominiumized? Yes _____ No

Will project be townhoused? Yes _____ No

Will fill or excavation be required? Yes No _____

Will existing trees or vegetation be removed? Yes _____ No

Water System: Municipal Service _____ Ketchum Spring Water _____

NOTE: The term of Design Review Approval shall be six (6) months from the date approval is granted. Failure to file a complete Building Permit Application for a project within said six (6) months shall cause said approval to be null and void. (from Zoning Code Title 17, Chapter 17.96, Section 17.96.130)

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the City of Ketchum is the prevailing party to pay the reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum.

I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative:  Date: 11/10/05
Approved/Denied Date: _____

NOTE: COMPLETE APPLICATION, FOUR (4) SETS OF PLANS AND FEE MUST BE SUBMITTED BEFORE NOON A MINIMUM OF TWENTY (20) DAYS PRIOR TO THE COMMISSION MEETING.

****** MEETING THE DEADLINE DOES NOT GUARANTEE SCHEDULING OF APPLICATIONS FOR A SPECIFIC COMMISSION MEETING DATE.**

IN RE:)
)
Sun Valley Ventures)
Replacement Bridge)
Relocation Design Review)
)
File Number: FP05-017)

**KETCHUM PLANNING AND ZONING
COMMISSION - FINDINGS OF FACT,
CONCLUSIONS OF LAW AND DECISION**

BACKGROUND FACTS

OWNER: Sun Valley Ventures, LLC, verified April 2005 with Assessor

REQUEST: Modification of a previous October 24, 2005 Planning and Zoning Commission approval to construct a bridge crossing Warm Springs Creek connecting land within Ketchum City limits (Tax Lot 7640) to lands in unincorporated Blaine County (Tax Lot 6980)

LOCATION: Tax Lot 7796 and Tax Lot 7643

NOTICE: Adjacent Property Owners

CURRENT ZONING: Tourist (T) on City zoned side of the creek; A-10 on Blaine County side of the creek

OVERLAY: Floodplain (FP)

FLOOR AREA, LOT AREA, TOTAL LAND AREA, LOT COVERAGE, BUILDING HEIGHT, PROPOSED SETBACKS, REQUIRED SETBACKS, CURB CUT AND PARKING SPACES: N/A

REVIEWER: Harold Moniz, Planning Director

GENERAL FINDINGS OF FACT

1. The applicant is proposing to change the location of the previously approved 65 foot long, 30 foot wide, two-lane vehicular bridge crossing Warm Springs Creek. The Commission approved this bridge at their October 10, 2005 meeting. The same bridge design is proposed to be relocated 415 feet downstream of the location previously approved by the Commission. The existing man-made drainage course feeding the fish ponds at the Warm Springs Restaurant will be culverted for a length of approximately 100 feet as part of this proposal. As before, the bridge will serve Tax Lot 7643 which is in unincorporated Blaine County. This tax lot was previously part of the Warm Springs Ranch Annexation and Planned Unit Development. The applicant withdrew that application on September 27, 2005. This application is for a bridge only and does not include an annexation request.
2. The applicant proposes to remove the failing bridge used for vehicular access to the golf course property. The new bridge, to be located downstream of the old bridge approximately 415 feet, will improve necessary access to the property and allow logging operations for the Forest Service Fuels Reduction program to occur as well as helping with

the elk trapping operations this fall/winter. A detailed description of the 65 foot long bridge is on file with the Planning Department.

3. Tax Lot 7643 is part of the existing golf course property, unincorporated, and is within Ketchum's Area of City Impact. Idaho Code Chapter 67-6527 provides for a negotiation process between cities and counties whereby the cities can identify an "Area of City Impact". Ketchum has four Areas of City Impact.

4. The City and County have an Area of City Impact Agreement from 1994 which outlines review authority and, in some cases, a future zoning designation in these four Areas of City Impact. This tax lot is in the area designated as "Area III." The agreement lays out a process for how each jurisdiction should notify the other jurisdiction in the event of an application in this area. The Planning Department has complied with these requirements.

5. The City of Ketchum Planning Department mailed notice of the time, place and summary of the applicant's proposal to be heard by the Commission to adjacent property owners on November 9, 2005.

EVALUATION STANDARDS

STANDARD 17.88.060(E)(1):

Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.

FOUND:

The application, if approved, will result in work within the river channel as it is a bridge. The bridge is proposed to be constructed of structural steel girders/beams supported on cast-in-place concrete footings/stem walls. The bridge footing/stem wall structures will be constructed outside of the Ordinary High Water Mark of Warm Springs Creek and protected with buried riprap material. Natural rock will be used to face the sides of the bridge. The river channel will not be altered by the proposal, however, the existing man-made watercourse feeding the fish ponds will be culverted for a length of approximately 100 feet as a result of relocating the bridge.

STANDARD 17.88.060(E)(2):

Preservation of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone.

FOUND:

The applicant submitted a restoration plan for both the areas disturbed for the new bridge and to reclaim the areas around the bridge to be removed. Plans include riparian plantings within the riparian zone as shown on drawing L-1 (new bridge) and L-2 (old bridge removal) on file with the Planning Department.

STANDARD 17.88.060(E)(3):

Plan and time frame are provided for restoration of riparian vegetation damaged as a result of the work done.

FOUND:

The applicant submitted a restoration plan schedule in the project overview which is on file with Planning Department. Restoration work is proposed as “Action 3” after the new bridge is constructed, the old bridge is removed and the man-made water channel is put into a culvert.

STANDARD 17.88.060(E)(4):

New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, beeb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle.

FOUND:

The applicant submitted a restoration plan which is on file with the Planning Department. Plant materials proposed include streambank willows, red twig dogwood and native grass seed mix.

STANDARD 17.88.060(E)(5):

Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.

FOUND:

The application materials to the Army Corps and IDWR contain a signed Engineer “No Rise” certification stating that the proposed bridge will not increase the 100 year floodplain elevations, floodway elevations and floodway widths on Warm Springs Creek in this vicinity. The applicant discussed in detail the culverting of the man-made water channel at the meeting.

STANDARD 17.88.060(E)(6):

Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.

FOUND:

Due to the “No Rise” certification, no long term impacts are anticipated to aquatic life, recreation and water quality in Warm Springs Creek. Similar impacts to the manmade water channel and fish ponds were discussed at the meeting. Short term impacts may occur during construction. The applicant has stated that best management practices will be utilized. Additional details for the best management practices proposed are on file with the Planning Department.

STANDARD 17.88.060(E)(7):

Building setback in excess of minimum required along waterways is encouraged.

FOUND:

No buildings are proposed at this time. In their previous review of the proposed annexation and PUD, the Commission recommended (pursuant to the Area of City Impact Agreement) that the County's more restrictive building setback of fifty (50) feet apply to this property. For this reason, Staff recommends that construction fencing be installed at the fifty (50) foot mark. (Note that construction fencing will not limit the majority of the construction activities for this project but will ensure that no additional encroachments occur.)

STANDARD 17.88.060(E)(8):

The bottom of the lowest floor in the floodplain is a minimum of one (1) foot above the I.R.F.

FOUND:

This standard was not applicable to the project.

STANDARD 17.88.060(E)(9):

The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent.

FOUND:

This standard was not applicable to the project.

STANDARD 17.88.060(E)(10):

Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for.

FOUND:

The proposed bridge is a two-lane bridge 65 feet long by 30 feet wide. The bridge will be constructed to AASHTO standards. Comments from the Ketchum Fire Department and the City Engineer were brought to the meeting. The applicant stated at the meeting that the bridge would be designed to accommodate sidewalks on both sides of the bridge, if that was ever required in the future.

STANDARD 17.88.060(E)(11):

Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.

FOUND:

The applicant has stated that natural rock will be employed to face the sides of the bridge to meet visual objectives. This was reviewed and approved by the Commission on October 10, 2005. The applicant has submitted a restoration plan as described elsewhere in these findings.

STANDARD 17.88.060(E)(12):

The proposal is shown to be a permanent solution and creates a stable situation.

FOUND:

The applicant has submitted the materials to the appropriate technical agencies for review and consideration. The applicant discussed the culvert proposal for the man-made stream that feeds the fish ponds at the meeting.

STANDARD 17.88.060(E)(13):

No increase to the 100-year floodplain upstream or downstream has been certified by a registered Idaho engineer.

FOUND:

The application materials to the Army Corps and IDWR contain a signed Engineer "No Rise" certification stating that the proposed bridge will not increase the 100 year floodplain elevations, floodway elevations and floodway widths on Warm Springs Creek in this vicinity.

STANDARD 17.88.060(E)(14):

The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.

FOUND:

The completed project will allow for some fisherman's access under the bridge. The bridge is elevated one (1) foot above the 100 year floodway and will create an average in-stream head clearance of approximately three (3) feet above water level.

STANDARD 17.88.060(E)(15):

Wetlands are not diminished.

FOUND:

No designated wetlands exist in the construction area. The application materials submitted states that wetlands will not be diminished.

STANDARD 17.88.060(E)(16):

Fish habitat is maintained or improved as a result of the work proposed.

FOUND:

Fish habitat will be maintained in Warm Springs Creek as no construction is planned during spring high flows, fish spawning and incubation periods. Erosion control measures will be utilized and other best management practices will be employed. Impacts, if any to the stocked fish ponds, were discussed at the meeting.

STANDARD 17.88.060(E)(17):

The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.

FOUND:

The proposed work will not alter recreation and access to public lands.

STANDARD 17.88.060(E)(18):

The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.

FOUND:

The proposed bridge will relocate an existing failing bridge which provides vehicular access to the golf course property. The new bridge will allow thinning operations within the Forest Service managed area and facilitate elk trapping this fall/winter. The old bridge will be removed. The existing man-made drainage course feeding the fish ponds at the Warm Springs Restaurant will be culverted for a length of approximately 100 feet as part of this proposal.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code.
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning code, Title 17.
3. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.88 of Ketchum Code Title 17.
4. The City of Ketchum Planning Department provided adequate notice for the review of this application.
5. The project **does** meet the standards of approval under Chapter 17.88 of Zoning Code Title 17.

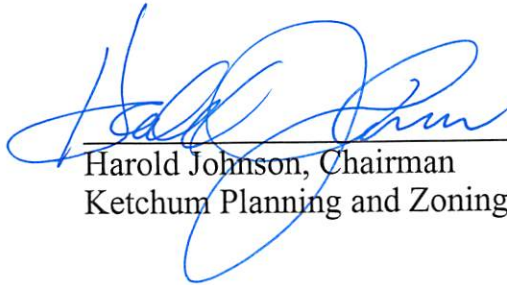
DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Design Review Application this 28th day of November, 2005, subject to the following conditions:

1. Ketchum Water, Sewer, Fire and Building Department requirements shall be met;
2. Design review approval shall expire six (6) months from the date of approval;
3. Construction fencing shall be located at the fifty (50) foot setback line prior to issuance of a building permit and shall remain in place for the duration of construction to limit the disturbance to the riparian areas;
4. Prior to issuance of a building permit and prior to any on-site excavation, a construction mitigation plan shall be submitted to the Planning Department pursuant to Resolution Number 785;

5. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
6. All other permits from agencies with jurisdiction shall be obtained prior to the start of any construction;
7. Riparian vegetation and other landscaping is maintained in perpetuity as shown on approved plans;
8. Restoration of damaged riparian vegetation within riparian zone shall be required prior to completion of the proposed project. A bond to assure such restoration may be required prior to commencement of such work;
9. Prior to issuance of a building permit, the applicant shall submit a stream restoration plan for all disturbed areas for approval by the Planning Director and the Planning and Zoning Commission Chairman; and,
10. The culverting of the side channel shall be eliminated or reduced to the maximum amount possible as approved by the Planning Director.

Findings of Fact **adopted** this 28th day of November, 2005.



Harold Johnson, Chairman
Ketchum Planning and Zoning Commission

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF NOVEMBER 28TH, 2005**

PROJECT: Sun Valley Ventures Replacement Bridge Relocation

FILE NUMBER: FP05-017

OWNER: Sun Valley Ventures, LLC, verified April 2005 with Assessor


REQUEST: Modification of a previous October 24, 2005 Planning and Zoning Commission approval to construct a bridge crossing Warm Springs Creek connecting land within Ketchum City limits (Tax Lot 7640) to lands in unincorporated Blaine County (Tax Lot 6980)

LOCATION: Tax Lot 7796 and Tax Lot 7643

NOTICE: Adjacent Property Owners noticed on November 9, 2005.

CURRENT ZONING: Tourist (T) on City zoned side of the creek; A-10 on Blaine County side of the creek

OVERLAY: Floodplain (FP)

REVIEWER: Harold Moniz, Planning Director 

NOTE: Staff comments are in lighter type.

ATTACHMENTS: Attachment 1: Project Overview and Joint Application for Permit, US Army Corps of Engineers and Idaho Department of Water Resources
Attachment 2: Comments from City Departments
Attachment 3: Area of City Impact Map
Attachment 4: Riparian Restoration Plan

BACKGROUND

1. The applicant is proposing to change the location of the previously approved 65 foot long, 30 foot wide, two-lane vehicular bridge crossing Warm Springs Creek. The Commission approved this bridge at their October 10, 2005 meeting. The same bridge design is proposed to be relocated 415 feet downstream of the location previously approved by the Commission. The existing man-made drainage course feeding the fish ponds at the Warm Springs Restaurant will be culverted for a length of approximately 100 feet as part of this proposal. As before, the bridge will serve Tax Lot 7643 which is in unincorporated Blaine County. This tax lot was previously part of the Warm Springs Ranch Annexation and Planned Unit Development. The applicant withdrew that application on September 27, 2005. This application is for a bridge only and does not include an annexation request.
2. The applicant proposes to remove the failing bridge used for vehicular access to the golf course property. The new bridge, to be located downstream of the old bridge approximately 415 feet, will improve necessary access to the property and allow logging

operations for the Forest Service Fuels Reduction program to occur as well as helping with the elk trapping operations this fall/winter. A detailed description of the 65 foot long bridge is found in Attachment 1, Project Overview.

3. Tax Lot 7643 is part of the existing golf course property, unincorporated, and is within Ketchum's Area of City Impact. Idaho Code Chapter 67-6527 provides for a negotiation process between cities and counties whereby the cities can identify an "Area of City Impact". Ketchum has four Areas of City Impact as shown on the map in Attachment 3. The City and County have an Area of City Impact Agreement from 1994, which outlines review authority and, in some cases, a future zoning designation in these four Areas of City Impact. This tax lot is in the area designated as "Area III." The agreement lays out a process for how each jurisdiction should notify the other jurisdiction in the event of an application in this area. The Planning Department has complied with these requirements.

ZONING CODE REQUIREMENTS

FLOOR AREA, LOT AREA, TOTAL LAND AREA, LOT COVERAGE, BUILDING HEIGHT, PROPOSED SETBACKS, REQUIRED SETBACKS, CURB CUT AND PARKING SPACES: N/A

EVALUATION STANDARDS

"YES, NO, or N/A":

17.88.060(E) WATERWAYS DESIGN REVIEW:

1. **Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.** The application, if approved, will result in work within the river channel as it is a bridge. The bridge is proposed to be constructed of structural steel girders/beams supported on cast-in-place concrete footings/stem walls. The bridge footing/stem wall structures will be constructed outside of the Ordinary High Water Mark of Warm Springs Creek and protected with buried riprap material. Natural rock will be used to face the sides of the bridge. The river channel will not be altered by the proposal; however the existing man-made watercourse feeding the fish ponds will be culverted for a length of approximately 100 feet as a result of relocating the bridge.

2. **Preservation of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone.** The applicant submitted a restoration plan for both the areas disturbed for the new bridge, and to reclaim the areas around the bridge to be removed: see Attachment 1. Plans include riparian plantings within the riparian zone as shown on drawing L-1 (new bridge) and L-2 (old bridge removal).

3. **Plan and time frame are provided for restoration of riparian vegetation damaged as a result of the work done.** The applicant submitted a restoration plan schedule in the project overview, which is included in this packet. Restoration work is proposed as "Action 3" after the new bridge is constructed, the old bridge is removed and the man-made water channel is put in to a culvert.

4. **New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, beeb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle. The applicant submitted a restoration plan, which is included in this packet in Attachment A. Plant materials proposed include streambank willows, red twig dogwood and native grass seed mix.**

5. **Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways. The application materials to the Army Corps and IDWR contain a signed Engineer "No Rise" certification stating that the proposed bridge will not increase the 100 year floodplain elevations, floodway elevations and floodway widths on Warm Springs Creek in this vicinity. The applicant will discuss in detail the culverting of the man-made water channel at the meeting.**

6. **Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse. Due to the "No Rise" certification, no long term impacts are anticipated to aquatic life, recreation and water quality in Warm Springs Creek. Similar impacts to the manmade water channel and fish ponds should be discussed at the meeting. Short term impacts may occur during construction. The applicant has stated that best management practices will be utilized. Additional details for the best management practices proposed are outlined on pages 5 and 6 of the Army Corps/IDWR submittal, Attachment 1.**

7. **Building setback in excess of minimum required along waterways is encouraged. No buildings are proposed at this time. In their previous review of the proposed annexation and PUD, the Commission recommended (pursuant to the Area of City Impact Agreement) that the County's more restrictive building setback of fifty (50) feet apply to this property. For this reason, Staff recommends that construction fencing be installed at the fifty (50) foot mark. (Note that construction fencing will not limit the majority of the construction activities for this project but will ensure that no additional encroachments occur.)**

N/A 8. **The bottom of the lowest floor in the floodplain is a minimum of one (1) foot above the I.R.F.**

N/A 9. **The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent.**

10. **Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for. The proposed bridge is a two-lane**

bridge 65 feet long by 30 feet wide. The bridge will be constructed to AASHTO standards. Comments from the Ketchum Fire Department and the City Engineer will be brought to the meeting. The Commission should determine if the bridge should be widened to accommodate any future uses on the south side of Warm Springs Creek. As an example, a bridge with five (5) foot wide sidewalks on both sides and having a minimum pavement width of twenty-six (26) feet would be approximately thirty-eight (38) feet in width.

___ 11. **Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.** The applicant has stated that natural rock will be employed to face the sides of the bridge to meet visual objectives: this was reviewed and approved by the Commission on October 10th. The applicant has submitted a restoration plan as described elsewhere in this staff report

? 12. **(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.** The applicant has submitted the materials to the appropriate technical agencies for review and consideration. The applicant will discuss the culvert proposal for the man-made stream that feeds the fish ponds at the meeting.

___ 13. **(Stream Alteration) No increase to the 100-year floodplain upstream or downstream has been certified by a registered Idaho engineer.** The application materials to the Army Corps and IDWR contain a signed Engineer "No Rise" certification stating that the proposed bridge will not increase the 100 year floodplain elevations, floodway elevations and floodway widths on Warm Springs Creek in this vicinity.

___ 14. **(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.** The completed project will allow for some fisherman's access under the bridge. The bridge is elevated one (1) foot above the 100 year floodway and will create an average in-stream head clearance of approximately three (3) feet above water level.

___ 15. **Wetlands are not diminished.** No designated wetlands exist in the construction area. The application materials submitted states that wetlands will not be diminished.

? 16. **(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.** Fish habitat will be maintained in Warm Springs Creek as no construction is planned during spring high flows, fish spawning and incubation periods. Erosion control measures will be utilized and other best management practices will be employed. Impacts, if any to the stocked fish ponds should be discussed at the meeting.

___ 17. **(Stream Alteration) The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.** The proposed work will not alter recreation and access to public lands.

___ 18. **(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant,**

water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation. The proposed bridge will relocate an existing failing bridge which provides vehicular access to the golf course property. The new bridge will allow thinning operations within the Forest Service managed area and facilitate elk trapping this fall/winter. The old bridge will be removed. The existing man-made drainage course feeding the fish ponds at the Warm Springs Restaurant will be culverted for a length of approximately 100 feet as part of this proposal.

FOR MOTION PURPOSES:

1. This project, Sun Valley Ventures Replacement Bridge Relocation, **does not** meet the standards for approval under Chapter 17.88 of Ketchum Zoning Code Title 17 **because of the following standards** (Commission to insert reasons for denial); or,
2. This project, Sun Valley Ventures Replacement Bridge Relocation, **does** meet the standards for approval under Chapter 17.88 of Ketchum Code Title 17 only if the following conditions of approval are met.

PROPOSED CONDITIONS:

1. Ketchum Water, Sewer, Fire and Building Department requirements shall be met;
2. Design review approval shall expire six (6) months from the date of approval;
3. Construction fencing shall be located at the fifty (50) foot setback line prior to issuance of a building permit and shall remain in place for the duration of construction to limit the disturbance to the riparian areas;
4. Prior to issuance of a building permit and prior to any on-site excavation, a construction mitigation plan shall be submitted to the Planning Department pursuant to Resolution Number 785;
5. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
6. All other permits from agencies with jurisdiction shall be obtained prior to the start of any construction;
7. Riparian vegetation and other landscaping is maintained in perpetuity as shown on approved plans;
8. Restoration of damaged riparian vegetation within riparian zone shall be required prior to completion of the proposed project. A bond to assure such restoration may be required prior to commencement of such work; and,

9. Prior to issuance of a building permit, the applicant shall submit a stream restoration plan for all disturbed areas for approval by the Planning Director and the Planning and Zoning Commission Chairman.

10. The bridge width shall be increased to accommodate a twenty-six (26) foot wide pavement width and five (5) foot wide sidewalks on both sides of the driving lanes.

11. The culverting of the side channel shall be eliminated or reduced to the maximum amount possible as approved by the Planning Director.

Attachments

This application may be used to apply for both a Department of the Army permit from the U.S. Army Corps of Engineers (Corps) and for State of Idaho permits. Department of the Army permits are required by Section 10 of the Rivers and Harbors Act of 1899 for any structures or work in or affecting navigable waters of the United States and by Section 404 of the Clean Water Act for discharges of dredged or fill material into waters of the United States, including their adjacent wetlands. State permits are required under the State of Idaho, Stream Channel Protection Act (Title 42, Chapter 38, Idaho Code) and the Idaho Lake Protection Act, Section 58-142 et. seq., Idaho Code. **Route Uses:** Information provided on this form will be used in evaluating the application. Disclosure of requested information is voluntary. If information is not provided, however, the permit application cannot be processed nor can permits be issued. Applicants should send this completed application, along with one set of good reproducible drawings showing the location and character of the proposed project, to both the Corps of Engineers and the State of Idaho. NOTE: DRAWINGS NO LARGER THAN 8-1/2 X 11 INCHES IN SIZE. The Applicant Information pamphlet provides instructions and a checklist for completing the drawings.

1. Corps of Engineers # _____ Date Received _____	2a. Department of Water Resources # _____ Date Received _____ Fee Rec'd By: _____ Receipt # _____	2b. Department of Lands # _____ Date Received _____ Fee Rec'd By: _____ Receipt # _____
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PLEASE TYPE OR PRINT

3. a. Applicant <u>Sun Valley Ventures, LLC (c/o Henry Dean, Partner)</u>	4. a. Authorized Agent <u>Will Miller Consulting, LLC</u>
b. Mailing Address <u>PO Box 5500</u> <u>Ketchum, ID 83340</u> Area _____ Area _____	b. Mailing Address <u>P.O. Box 1030</u> <u>Sun Valley, ID 83353</u> Area _____ Area _____
c. Work Phone (208) <u>726-4830</u> Home () _____	c. Work Phone (208) <u>788-0099</u> Home () _____
d. Fax Number <u>(208) 726-1659</u>	d. Fax Number <u>(208) 788-0075</u>
e. Email Address <u>henrywdean@cox-internet.com</u>	e. Email Address <u>williamcmiller@cox.net</u>

5. Location where proposed activity exists or will occur.	5. e. Tax Assessor's Description <u>RP - 04N17011658C</u>
a. Waterway <u>Warm Springs Creek</u> Tributary of <u>Big Wood River, Malad, Snake River</u>	Distance/Direction from nearest city/town <u>1 mile west of Ketchum, ID</u>
b. Distance/Direction from nearest city or town <u>83340</u> County/State <u>City of Ketchum and Blaine County</u>	f. 1/4 <u>1/4</u> Section <u>11,12 & 13</u> Township <u>Twp. 4 N</u> Range <u>Rng. 17 E</u>
c. Zip Code <u>Local jurisdiction (city or county)</u>	g. UTM Coordinate Grid _____ Zone _____ Northing _____ Easting _____
d. Directions to the site <u>1 mile west of Ketchum, ID on Warm Springs Rd. Property located on the south side of the road between the road and mountain side.</u>	

6. a. Describe Project (Work below the ordinary high water mark or in wetlands).
The proposed activity is a bridge crossing of Warm Springs Creek at River Station 32+43. The project will replace an existing railroad car bridge located at River Station 36+58 with failing abutments. The replacement bridge deck will be 30-feet in width and 65-feet in length. Both new bridge abutments will be located outside the OHWM and the FEMA Mapped Floodway. Rip rap protection and temporary construction access will require work within the OHWM. The north bridge approach will culvert and fill a approximately 80 feet of the jurisdictional man-made ditch that conveys a year round water right.

b. Construction methods and equipment Typical construction methods and equipment (excavator, bull dozer, and front end loader) will be utilized to clear, excavate, fill, and grade within the construction zone.
Best management practices (BMPs) will be utilized to ensure natural resource protection and conservation.

c. Length of project along the stream or extension into lake or reservoir: Bridge crossing = 60 LF and Bridge removal = 60 LF along Warm Springs Creek.

d. Size and flow capacity of proposed bridge or culvert and area of drainage served (sq. miles): (Idaho Department of Water Resources requirement.)
The discharge capacity of the bridge is in excess of the FEMA 100 year discharge of 1,250 cfs. The watershed area is approximately 96.9 square-miles.

COMPLETE THE FOLLOWING FOR DISCHARGES OF DREDGED OR FILL MATERIAL

7. a. Volume dredged or fill material to be placed waterward of the ordinary high water mark (BOTH TEMPORARY AND PERMANENT)? 237
(cubic yards)

b. Will fill be placed in wetlands? NO If yes, area: _____ (acres) Type of fill material: _____
(i.e. rock and gravel)

c. Will dredging be required waterward of the ordinary high water mark or in wetlands? YES If yes, volume 290 (cubic yards)

d. Type of dredged material Earth, rock, concrete (with steel reinforcement)

e. Disposal site for dredged material: Approved off-site Method of dredging: Track hoe excavator

f. Method to control turbidity and sedimentation: Water filled and eco-block damn and silt fencing. BMP's in accordance with Idaho DEQ and NWP Conditions.

g. Is project located in a mapped floodway? NO If yes, complete the Engineering "No-Rise" certification form.

8.a. Purpose and intended use: Commercial _____ Public _____ Private X Other _____ Describe _____

b. Reason for project Replacement of existing structure that provides vehicular access to the W... Springs Golf Course.

9. Proposed Starting Date December 2005 Estimated Duration Approximately 2 months

10. List portions of the project that are complete with month and year of completion
Label this work on your drawings.

11. Names, addresses, and telephone numbers of all adjoining property owners, lessees, etc.
Please see attached list of adjoining landowners
in Project Overview

Check here if the alteration is located on endowment lands administered by the Idaho Department of Lands

12. LEGAL OWNER IF OTHER THAN APPLICANT

a. Name _____ d. Phone Work () _____
b. Mailing Address _____ Home () _____
c. City, State, Zip Code _____

13. List applications, approvals, or certifications from other Federal, state, or local agencies for work described in this application.

Issuing Agency	Type of Approval	Identification No.	Date of Application	Date of Approval
<u>Idaho Dept of Water Resources</u>	<u>Stream Alteration Permit</u>	_____	_____	_____
<u>Blaine County</u>	<u>Stream Alteration Permit</u>	_____	_____	_____
<u>City of Ketchum</u>	<u>CUP - Floodplain, Riparian</u>	_____	_____	_____

14. Has any agency denied approval for the proposed activity? _____ No X (If "Yes" explain)

15. Other comments/information:

Please see attached Project Overview and attachments.

16. Application is hereby made for a permit or permits to authorize the activities described herein. I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief, such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities. I hereby grant to the agencies to which this application is made, the right to come upon the above-described location to inspect the proposed and completed work.

[Signature] _____ Henry Dean (Partner and Project Manager) _____ 11/4/05
Signature of Applicant (ORIGINAL SIGNATURE REQUIRED) Printed Name Date

17. If you wish to designate an authorized agent, complete item 4, item 16 and the following information.

I hereby designate Will Miller to act as my agent in matters related to this permit application. I understand that if a Federal permit is issued, I must sign the permit.

[Signature] _____ 11/4/05 _____ 11/4/05
Original Signature of Authorized Agent Date Original Signature of Applicant Date

18 U.S.C. Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious, or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than 5 years or both.

DO NOT SEND CORPS PROCESSING FEE WITH APPLICATION

SEND IDAHO DEPARTMENT OF WATER RESOURCES OR IDAHO DEPARTMENT OF LANDS FILING FEE WITH APPLICATION

PROJECT OVERVIEW

BRIDGE CROSSING OF WARM SPRINGS CREEK

WARM SPRINGS RANCH CITY OF KETCHUM AND BLAINE COUNTY, IDAHO

November 5, 2005

Introduction

This Project Overview is for work on the Warm Springs Ranch located in the City of Ketchum and Blaine County, Idaho. The proposed activity is to construct a bridge crossing of Warm Springs Creek located at River Station 32+43 to replace an existing bridge crossing located at River Station 36+58.

The existing bridge structure is structurally unsound due to failing abutments and its replacement has been permitted at its existing location by the Army Corps of Engineers as NWW No.042600087. Sun Valley Ventures, LLC is requesting the ACOE to modify the location of the replacement bridge 415 feet downstream. As mitigation, the existing bridge will be removed and the area of stream bank restored.

The bridge crossing being replaced provides sole vehicular access to the Warm Springs golf course for maintenance and operations. The proposed activity is a single and complete project.

The proposed bridge abutments and its approaches will be located outside the Ordinary High Water Mark (OHWM) and the FEMA mapped floodway of Warm Springs Creek. The bridge approach will culvert and fill a portion of a man-made conveyance ditch used to deliver a valid water right to a series of artificial ponds for aesthetics and fish propagation. The project as proposed will not result in the fill or excavation of special aquatic sites including wetlands.

Warm Springs Ranch is located one mile west of downtown Ketchum in T4N, R17E, Sections 11, 12, and 13, Blaine County, Idaho as shown on Sheet I-1. The existing Warm Springs Ranch consists of a restaurant, nine-hole golf course, eight tennis courts, an artificial waterway with several ponds, and various equipment/storage sheds and service outbuildings as shown on Sheet I-2. The 77-acre Ranch property is bordered by U.S. Forest Service and Bureau of Land Management public lands and residential subdivisions.

Existing environmental conditions and jurisdictional information for the project are shown on Sheet I-4 and include: County and City Riparian Setbacks, Property Boundary, Ordinary High Water Marks, Ketchum/Blaine County Boundary, and the 100 year FIRM Floodplain and Floodway.

Description of Project Activity

The proposed activity at River Station 32+43 will replace an existing bridge crossing of Warm Springs Creek located at River Station 36+58. The existing railroad car bridge is structurally unsound due to failing abutments.

The existing bridge is shown on Sheets I-6, C-4 and C-5. The existing bridge deck is 10-feet in width and 38-feet in length. The replacement bridge will be 30-feet in width and 65-feet in length as shown on Sheets I-5, C-2, and C-3. The increase in deck width is necessary to bring the bridge into safety code for fire access and the increases length is necessary to span the floodway and OHWM. The existing abutments and wing walls are 30-feet in width and the proposed replacement abutments will be 30-feet in width.

Bridge construction will consist of structural steel girders/beams supported on cast-in-place concrete footings/stem walls. The bridge footing/stem wall structures will be constructed outside of the OHWM of Warm Springs Creek and protected with buried rip-rap material. The bridge and approaches will meet current American Association of State Highway and Transportation Officials (AASHTO) standards.

As mitigation, the existing bridge structure and its abutments will be removed and the stream banks restored as shown on Sheets C-6 and C-7. Removing the bridge will improve the hydraulic conveyance of the stream reach and the riparian and aquatic habitat.

Project Purpose

The purpose of the proposed activity is to replace the existing failing bridge structure and to make necessary changes in design, materials, and safety standards. The project will provide vehicular access necessary to operate the Warm Spring Ranch golf course. In addition, the replacement bridge will help facilitate the Warm Springs Fuel Reduction Project by the US Forest Service and the Elk Relocation Project by the Idaho Fish and Game.

The proposed bridge and its approaches are located on Warm Springs Ranch property in both the City of Ketchum and Blaine County, Idaho. The Warm Springs Ranch property accessed by the existing bridge has a long history of use as a golf course during summer months. In addition to the existing vehicular bridge being replaced, the Warm Springs Ranch property has an existing pedestrian/golf cart bridge located downstream. Currently, there is no bridge access to the Golf Course property that meets operational needs, construction codes, or safety standards for fire access. The only upland access alternative is across private property not owned by Sun Valley Ventures, LLC that borders the Warm Springs Ranch property to the West.

Jurisdictional Delineations

On-site investigations and surveys were conducted by Trent Stumph of Sawtooth Environmental during 2004 and 2005 to identify areas on the Warm Springs Ranch project site that are considered "waters of the US" including jurisdictional wetlands and special aquatic sites which are given federal protection under Section 404 of the federal Clean Water Act (CWA). The process of identifying, delineating and mapping aquatic sites involved on-the-ground surveys over the project site to determine the range of conditions present.

During the surveys the location of aquatic sites, including "potential jurisdictional wetlands" and other waters of the US were noted and mapped by Benchmark Associates. The report Jurisdictional Wetland Delineation – Warm Springs Ranch Development was approved by the U.S. Army Corps of Engineers on December 13, 2004. The approval letter and the Jurisdictional Map for the Project Actions are attached. The Jurisdictional Determination shows 8.9 acres of jurisdictional waters of the United States. Jurisdictional areas on the Warm Springs Ranch include the following habitat cover types:

- **Riverine Upper Perennial Unconsolidated Bottom Permanently Flooded (R3UBH).** This habitat cover type occupies the identified stream channel associated with Warm Springs Creek.
- **Riverine Upper Perennial Unconsolidated Shoreline Seasonally Flooded (R3USC).** This habitat cover type occupies the identified stream channel and floodway associated with Warm Springs Creek.
- **Palustrine Forested Temporarily Flooded (PFOA).** This habitat cover type occupies small pockets of undisturbed ground within the lower segment of the property where hydrologic inputs are sufficient enough to support forested wetland characteristics.
- **Palustrine Scrub-Shrub Seasonally Flooded (PSSC).** This habitat cover type occupies a portion of the southern end of the lower segment in areas where hydrologic inputs are sufficient enough to support shrub wetland characteristics.

Project Actions and Work Actions

Project Actions being proposed include: 1) construction of a bridge crossing of Warm Springs Creek at River Station 32+43; 2) installation of a culvert and placement of fill in a section of a man-made conveyance ditch; and 3) removal of the existing bridge structure and fill at River Station 36+58, and restoration of the stream bank. Work Actions for each Project Action are as follows.

PROJECT ACTION 1 – BRIDGE CROSSING OF WARM SPRINGS CREEK

- Work Action 1-1: Construction of two bridge abutments (north and south sides of Warm Springs Creek).
- Work Action 1-2: Placement of buried riprap protection for both bridge abutments.
- Work Action 1-3: Use of temporary water-filled and eco-block dams during construction.

PROJECT ACTION 2 – APPROACH ROAD CROSSING OF MAN-MADE DITCH

- Work Action 2-1: Installation of a 24 inch culvert and placement of fill in man-made conveyance ditch.

PROJECT ACTION 3 -- REMOVAL OF EXISTING BRIDGE AND STREAM BANK RESTORATION

- Work Action 3-1: Removal of bridge abutments and approach fill.
- Work Action 3-2: Shaping of stream bank and bed.
- Work Action 3-3: Use of temporary water-filled and eco-block dams during construction.

Jurisdictional Impacts

The placement of buried riprap protection for both bridge abutments (WA 1-1), use of temporary water-filled and eco-block dams (WA 1-3 and WA 3-3), removal of the existing bridge abutments (WA 3-1), and stream bank restoration work (WA 3-2) will require work within the OHWM of Warm Springs Creek. Installation of the 24 inch culvert and placement of fill (WA 2-1) will require work within the jurisdictional man-made conveyance ditch. The following table summarizes the jurisdictional impacts of the proposed work actions by area and volume of fill material placed and excavated.

PROJECT SUMMARY FOR JURISDICTIONAL IMPACTS

PROJECT ACTION	WORK ACTION	FILL IN	FILL WITHIN	FILL WITHIN	EXCAVATION	PROJECT DETAILS
		WETLANDS	OHWM	OHWM	WITHIN OHWM	
		ACRES	ACRES	YDS 3	YDS 3	
PA-1	WA 1-1	0.0	0.01	10.0	15.0	I-5, C-2, C-3
	WA 1-2	0.0	0.03	80.0	100.0	I-5, C-2, C-3
	WA 1-3	0.0	0.01	50.0	15.0	E-1
	TOTALS	0.0	0.05	140.0	130.0	
PA-2	WA 2-1	0.0	0.04	47.0	0.0	I-5,C-2, C-3
	TOTALS	0.0	0.04	47.0	0.0	
PA-3	WA 3-1	0.0	0.0	0.0	110.0	C-4 C-5 C-6 C-7
	WA 3-2	0.0	0.0	0.0	50.0	C-6, C-7
	WA 3-3	0.0	0.01	50.0	0.0	E-2
	TOTALS	0.0	0.01	50.0	160.0	
TOTALS		0.0	0.1	237.0	290.0	

Alternatives Assessment

The proposed bridge crossing is needed to replace the existing bridge that has been historically used to gain access to the Warm Springs golf course. The bridge is currently accessed off Bald Mountain Road using an unimproved access road owned by Warm Springs Ranch.

Alternatives evaluated included: (1) No action which would not allow vehicular access to the property for golf course operations, fire safety, fuels reduction or elk relocation; (2) the replacement bridge as permitted by the Army Corps of Engineers NWW No.042600087 at its existing location; and (3) the proposed alternative to relocate the bridge 415 feet downstream.

The modification in location permitted in NWW No. 042600087 is necessary to remedy an unexpected issue with the adjoining property owner at the permitted site. The proposed alternative to move the bridge 451 feet downstream is the best political and environmental alternative available.

The environmental impact of the proposed new site is minimal and the proposed mitigation to remove the existing bridge abutments and restore the stream bank will significantly improve the hydraulic conveyance of Warm Springs Creek and its aquatic and riparian habitat.

The proposed bridge abutments, superstructure, and deck will meet current construction and safety code and provide the needed access for golf course operations, fuels reduction, and elk relocation. Creek flow velocities are maintained within acceptable levels and no adverse impacts exist associated with the hydraulic function and performance of the Creek at the proposed bridge crossing location. HEC-RAS computer modeling was used to provide the parameters incorporated in the design of the bridge structure.

Mitigation Measures/Minimize Impact

The project has been designed and planned to avoid and minimize jurisdictional impacts wherever possible. To comply with mitigation sequencing, it has been determined that no other practicable upland alternative exists and that no alternative exists with less adverse impact. The bridge structure will be steel beam construction to minimize its height and aesthetic impact. As a result of design and planning efforts impacts have either been eliminated or significantly reduced.

A variety of construction measures to minimize and/or mitigate impact from this project will be implemented. The following list provides a summary of the measures that will be undertaken:

- The project will be implemented during the time specified to avoid spring high flows and fish spawning and egg incubation periods.

- Prior to initiating construction activities all erosion control measures shall be installed at the project site.
- Prior to initiating construction activities all spill prevention measures shall be implemented at the site.
- Petroleum storage or refueling areas will not be allowed within 100 feet of Warm Springs Creek.
- A temporary coffer dam along the banks of Warm Springs Creek during construction and silt fence will be installed along all construction areas prior to the bridge installation to minimize the potential of sediment and debris being introduced into flowing water of the Creek.
- The condition and function of project BMP's will be monitored daily and repaired as necessary throughout the duration of the project.
- A qualified Engineer and/or representative will be on-site to oversee construction activities during critical operations.
- The phased excavation of materials with separate storage for lower (finer) and upper (coarser) materials, in addition to reverse replacement of the materials will collectively minimize the potential for introducing sediment into Warm Springs Creek.
- Vegetation will be re-established over all disturbed areas to reduce short term and long term soil erosion and to align with the natural landscape of the project as shown on Sheets L-1 and L-2. All landscaping and revegetation activities will be managed by a certified landscape architect.
- For compensatory mitigation, the project will remove the existing bridge and restore the stream bank and riparian area as detailed.

Hydrology and Hydraulic Design

The Federal Emergency Management Agency (FEMA) has identified the Floodplain and Floodway of Warm Springs Creek with a detailed hydraulic study. The boundaries of these flood limits are presented on the FEMA Flood Insurance Rate Maps (FIRMs) Panels 434B and 442B of 1950, for Blaine County, Idaho, Community Number 165167, as revised March 17, 1997. The areas of flooding concern along Warm Springs Creek are located in both Blaine County and the City of Ketchum and are shown on these maps even though the maps indicate the areas are "unincorporated areas." These maps show the maximum water elevation of the 100-year flood and the horizontal limits of the 100-year floodplain and floodway.

The flood attributes presented on the FEMA FIRMs are generated with computer models that utilize the streams topography and discharges to approximate the streams hydraulic characteristics and flood limits. The FEMA flood analysis of the Warm Springs Ranch was based upon 11 creek and valley cross-sections. The 100-year discharge used in the FEMA model is 1,250 cfs.

The precise 100-year flood elevation has been determined by site specific river survey cross sections and HEC-RAS hydraulic computer modeling by GeoEngineers, Inc., project consulting engineers. The HEC-RAS computer

model of the creek was used to validate the 100-year flood elevation and to ensure that the proposed bridge crossing will span the floodway and provide a minimum of 1.0-ft of freeboard above the 100-year flood elevation. The model provides the parameters to facilitate detailed design of the bridge crossing span and the location of the supporting structural abutment/footing systems.

The HEC-RAS hydraulic model of the existing condition of Warm Springs Creek previously developed by GeoEngineers was used in the current analysis. Additional cross-sections at Stations 32+27 and 32+59 (just downstream and upstream of the proposed bridge) were added to this existing condition model to account for the local conditions in the vicinity of the proposed bridge. These cross-sections were scaled from the topographic data provided from Benchmark Associates. The model was "run" without the bridge in place to determine the 100-year water surface elevation for the existing condition. The 100-year water surface elevation at Station 32+59 was calculated to be 5821.43. The 100-year flood discharge of 1,250-cfs, which was obtained from the Effective FEMA Flood Insurance Study, was used in this analysis. The 1.5-year discharge of 459-cfs was also analyzed in this modeling effort. This discharge is assumed to represent the "bankfull" or "Ordinary High Water" discharge. The 1.5-year flood discharge resulted in an "Ordinary High Water Elevation" of 5819.48 at Station 32+59.

The proposed bridge was inserted into the model, which was then run to determine the hydraulic impacts of the bridge. The low chord of the proposed bridge was set to elevation 5822.5 to provide the minimum required freeboard of 1.0-ft above the existing 100-year water surface elevation of 5821.43.

The water surface elevations of the existing and proposed bridge conditions were compared to determine the degree to which the proposed bridge would have on the 100-year flood elevation. It was determined that the proposed replacement bridge will not increase the 100-year water surface. The attached "No Rise Certification" certifies this finding.

Fish and Wildlife

Information on the location of endangered, threatened, proposed, and/or candidate species or critical habitat for the project site was obtained from the U.S. Fish and Wildlife Service on July 30, 2004 and April 4, 2005 and is referenced as the "Warm Springs Ranch Restoration and Enhancement Project – Blaine County, Idaho – Species List File #970.0700 SP #1-4-05-SP-413. Species which "may occur in the area of the proposed project" include the Gray wolf (*Canis lupus*) which is an endangered "experimental/non-essential population" and the Yellow-billed cuckoo (*Coccyzus americanus*) which is a candidate species. There is no proposed or existing critical habitat in the area of the project. Research indicates the nearest wolf activity to the project were unconfirmed sightings of two wolves north of Bald Mountain in January 2003. Field survey and assessments on the Warm Springs Ranch property have not

identified the presence or evidence of either the Gray wolf or the Yellow-billed cuckoo.

A database review of the property by the Idaho Conservation Center for plant and animal species contained no known occurrences of "species of special concern" within the project area. A Streamnet Data search by Idaho Fish and Game indicates the documented presence of the Wood River sculpin (*Cottus leiopomus*) in the Big Wood River. Idaho Fish and Game and others have surveyed for the species in Warm Springs Creek and they do occur in varying densities up and downstream of the Warm Springs Ranch property. Field survey and stream assessments on the Warm Springs Ranch study area did not identify the presence of the Wood River Sculpin.

Cultural Resources

A cultural resources survey of the Warm Springs Ranch property was completed during the summer 2004. The objectives of the survey were to document any prehistoric and historic cultural material on the site through the review of archival sources and on-site surface examination in accordance with 36 CFR 800.

The report "Cultural Resources Survey for Warm Springs Ranch, Ketchum, Idaho" by Madeline Buckendorf and Laurie Mauser was submitted to the Idaho State Historic Preservation Office and the Ketchum Historical Preservation Commission on March 24, 2005 for review and concurrence. Nine cultural resources on the Warm Springs Ranch were recorded during the survey. Though most of the buildings and structures on the property are less than 50 years old, they were still recorded as individual properties for the purposes of the survey. Of the nine cultural resources recorded during survey none are eligible for the National Register of Historic Places as they do not meet the criteria for eligibility. The Section 106 Evaluation and Identification of Historic Properties Evaluation by SHPO dated April 24, 2005 is attached and states that: 1) no historic properties were identified within the project area, 2) the properties are not eligible, and 3) no historic properties will be affected within the project area.

The Warm Springs Creek Bridge (WS-08) is discussed in the Report as follows: "The simple one-span bridge is located across the Creek approximately 800 feet southwest from the Warm Springs Ranch Inn. The bridges wood decking is closed, and is composed of wood planks supported by steel beams. The beams spanning the creek lie on top of deteriorating concrete wing walls projecting from the banks. The beams have the following inscription painted on them: "USA 3347 4 US Army T C Lt. Wt. 34,000." The beams spanning the creek are reinforced underneath by steel I-beams. The bridge was built from salvaged parts to provide maintenance access to the golf course in the 1960s. The bridge does not meet the 50-year age criteria for consideration for the NRHP and therefore is not eligible."

Regulatory Permits, Reviews, and Approvals

Sun Valley Ventures, LLC is applying for and/or complying with the following federal, state, and local regulatory requirements.

Federal:

- Nationwide Permit #3: Maintenance (replacement bridge) – US Army Corps of Engineers
- Nationwide Permit #33: Temporary Construction, Access, and Dewatering – US Army Corps of Engineers

State:

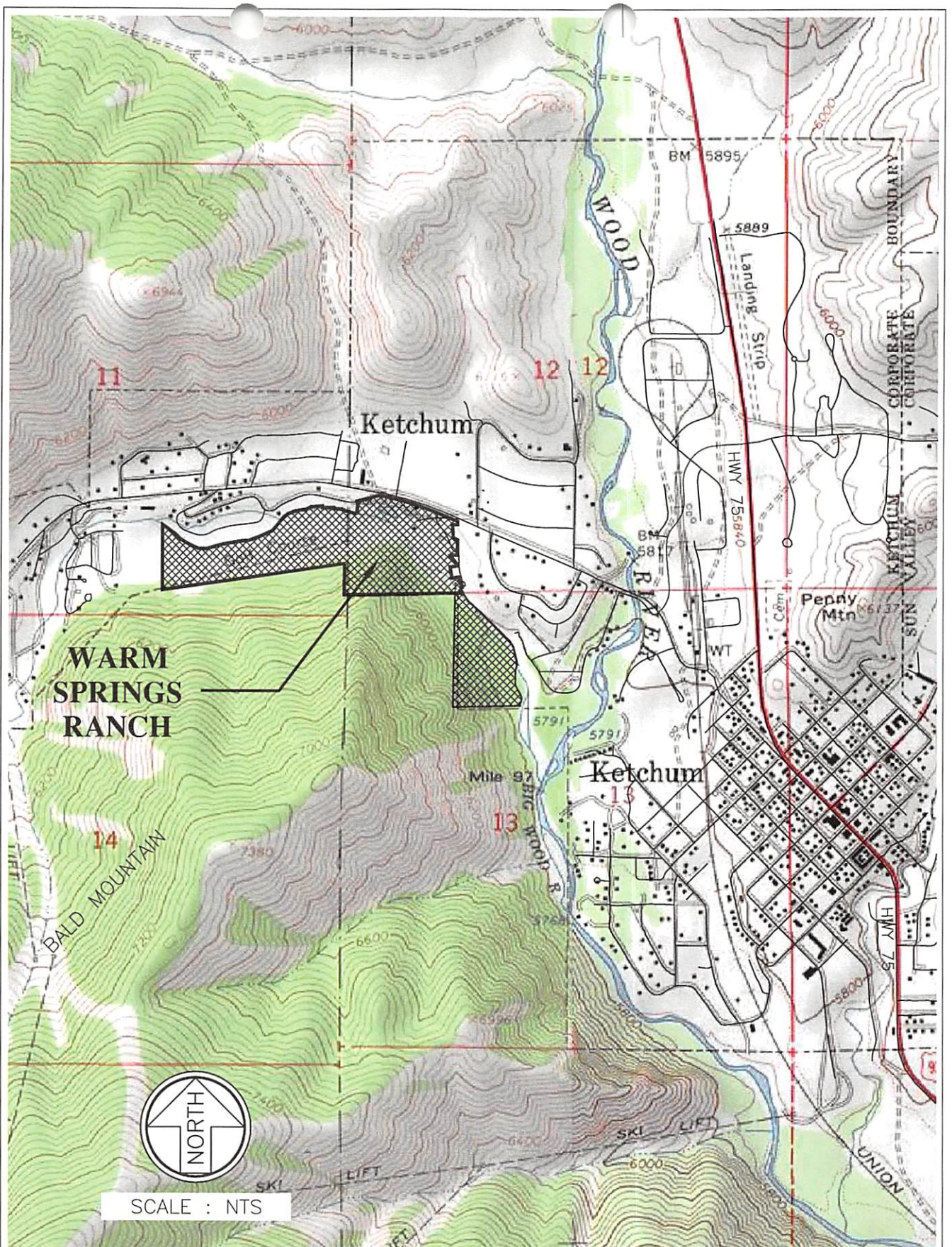
- Stream Alteration Permit – Idaho Department of Water Resources
- 401 Water Quality Certification – Idaho Department of Environmental Quality

Local:

- Stream Alteration Permit – Blaine County
- Conditional Use Permit: Floodplain and Riparian - City of Ketchum

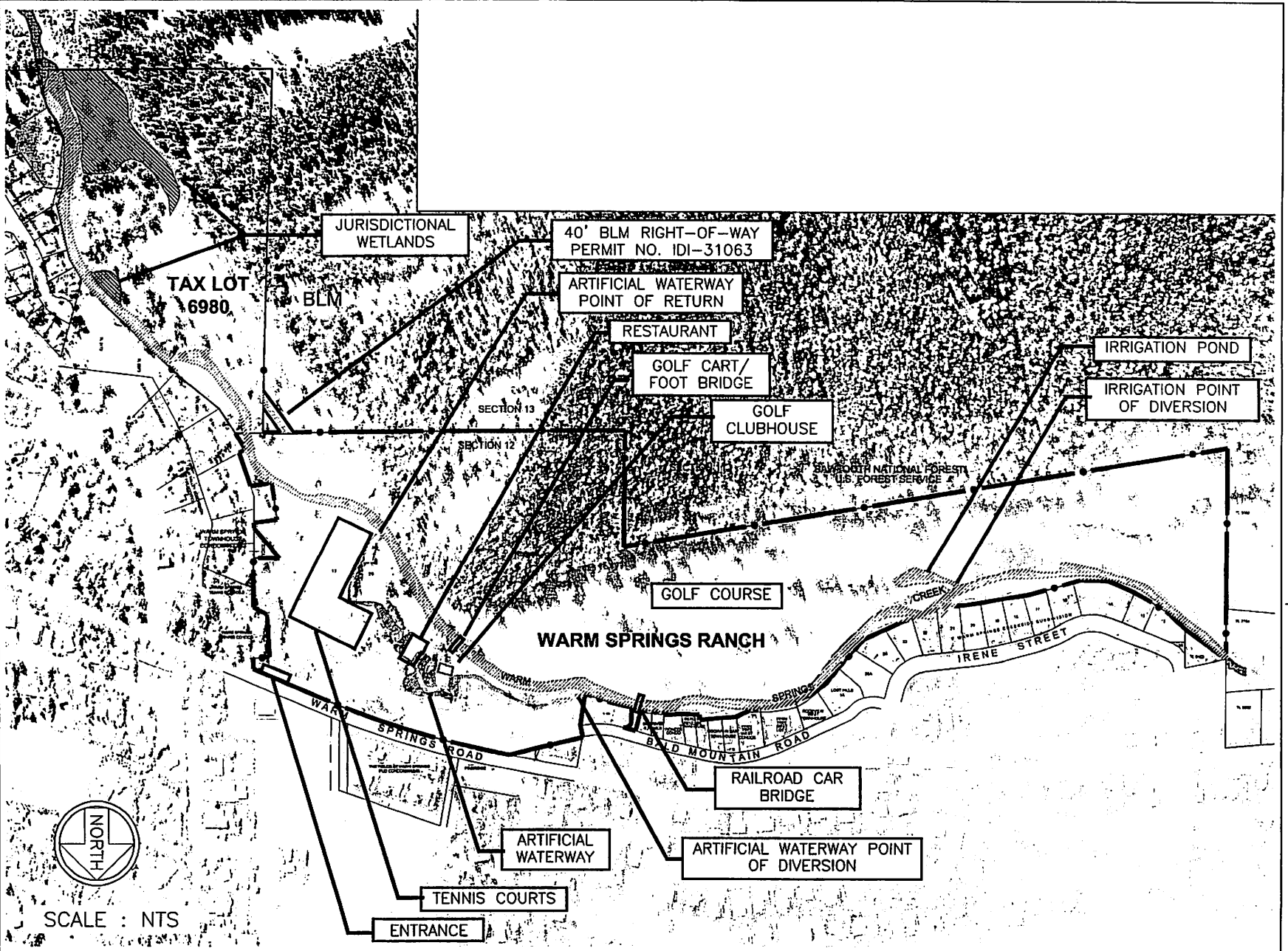
Interagency meetings and communications on the Warm Springs Ranch property have occurred with the following Federal and state agents.

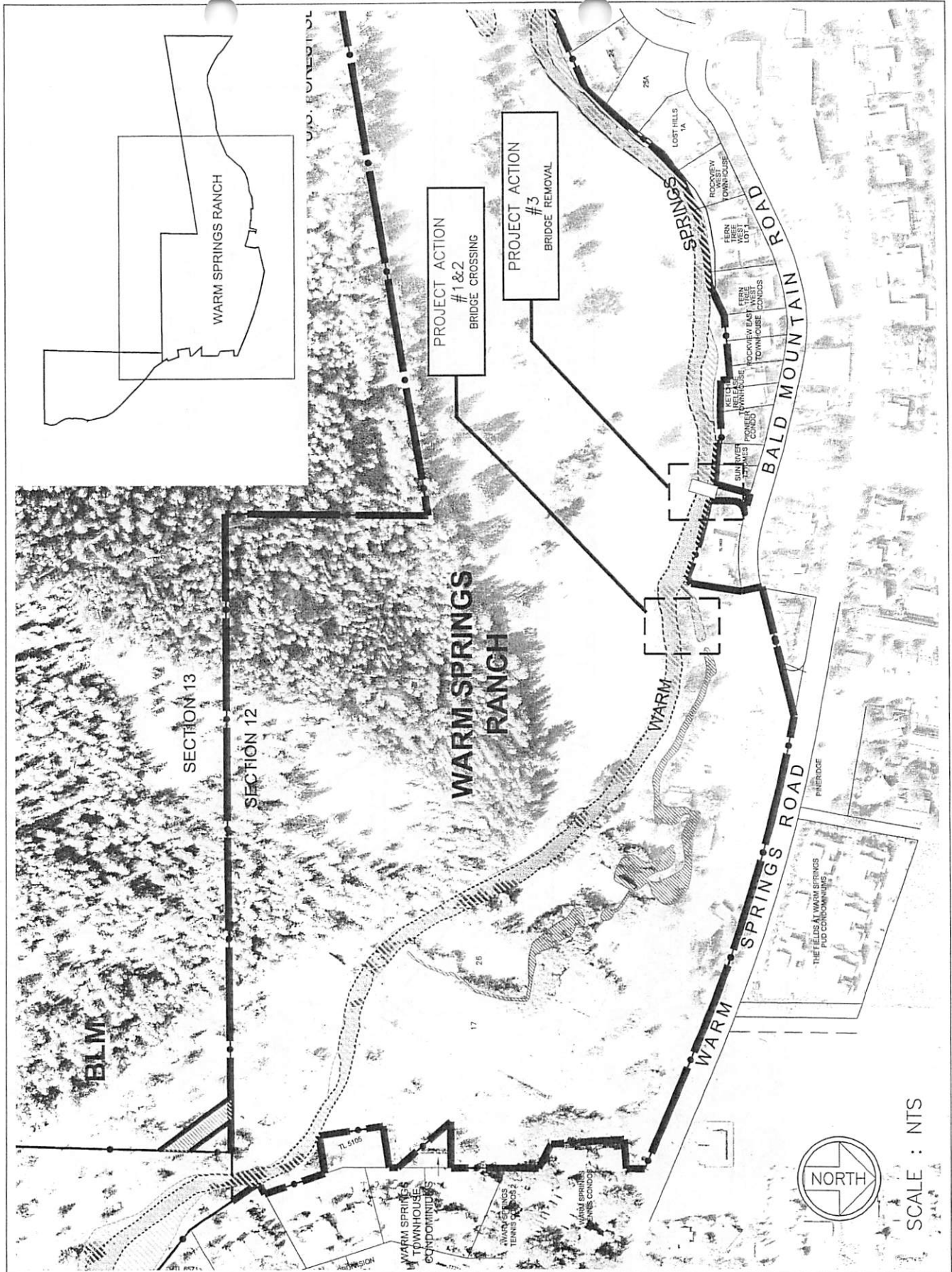
- Terry Blau, Idaho Department of Water Resources
- Scott Van Hoff, Idaho Department of Water Resources – National Flood Insurance Program State Coordinator
- Eric Gerkhe, US Army Corps of Engineers
- Mike McDonald, Idaho Fish and Game
- Chuck Warren, Idaho Fish and Game
- Roger Olsen, Idaho Fish and Game
- Lee Garwood, Idaho Fish and Game
- Scott Stanton, Idaho Department of Environmental Quality
- Greg Martinez, US Army Corps of Engineers
- John Olsen, US Environmental Protection Agency
- Rob Brochu, US Army Corps of Engineers
- Suzie Neitzel, Deputy SHPO, Idaho Historic Preservation Office



Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Sun Valley Ventures, LLC	VICINITY MAP	Drawing:
				Drawn: JEL			
				Checked:			
				Date: 11/05/05			
				Project No: 02337	Warm Springs Creek Bridge Crossing Blaine County, Idaho	Sheet: 1 of 20	

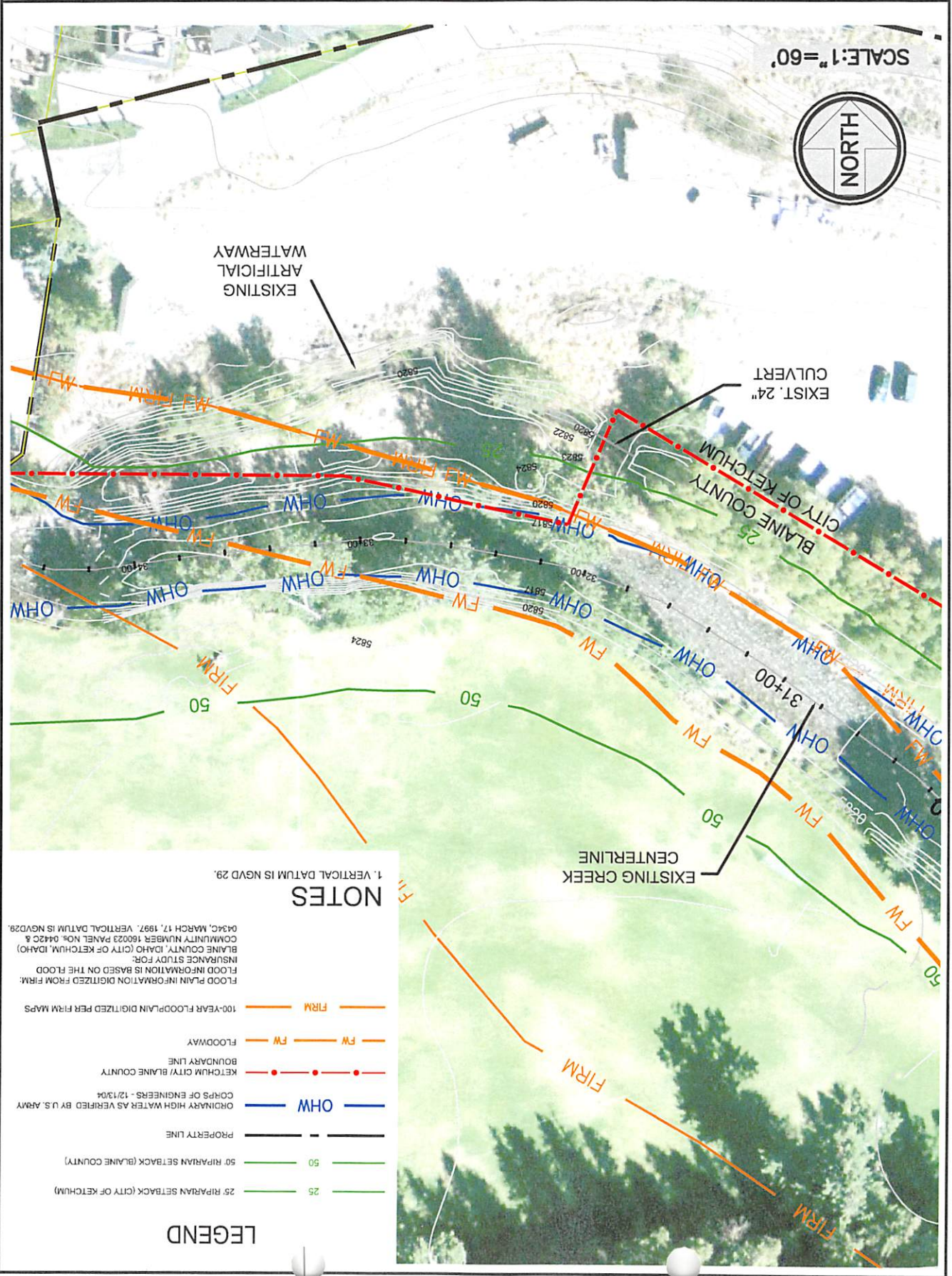
Revision No:	Date:	Description:	Initials:	Designed:	Drawn:	Checked:	Date:	Project No:
				BENCHMARK ASSOCIATES P.A. P.O. BOX 735 100 BELL DR. KETCHIKAN, IDAHO 83340	JEL		11/05/05	02337
EXISTING SITE CONDITIONS					Warm Springs Creek Bridge Crossing Blaine County, Idaho			
DRAWING: 1-2					Sheet: 2 OF 20			





Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Sun Valley Ventures, LLC	PROPOSED ACTION LOCATION MAP		Drawing:	
				Drawn: JEL					1-3
				Checked:					
				Date: 11/05/05					
				Project No: 02337					Sheet: 3 OF 20

Revision No:	Date:	Description:	Initials:	Designed:	Drawn:	Checked:	Date: 11/05/05	Project No: 02337
1-4					JEL			
BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340		WARM SPRINGS RANCH Sun Valley Ventures, LLC		WARM SPRINGS CREEK Bridge Crossing Blaine County, Idaho		Sheet 4 OF 20		



SCALE: 1" = 60'



EXISTING
ARTIFICIAL
WATERWAY

EXIST. 24"
CULVERT

EXISTING CREEK
CENTERLINE

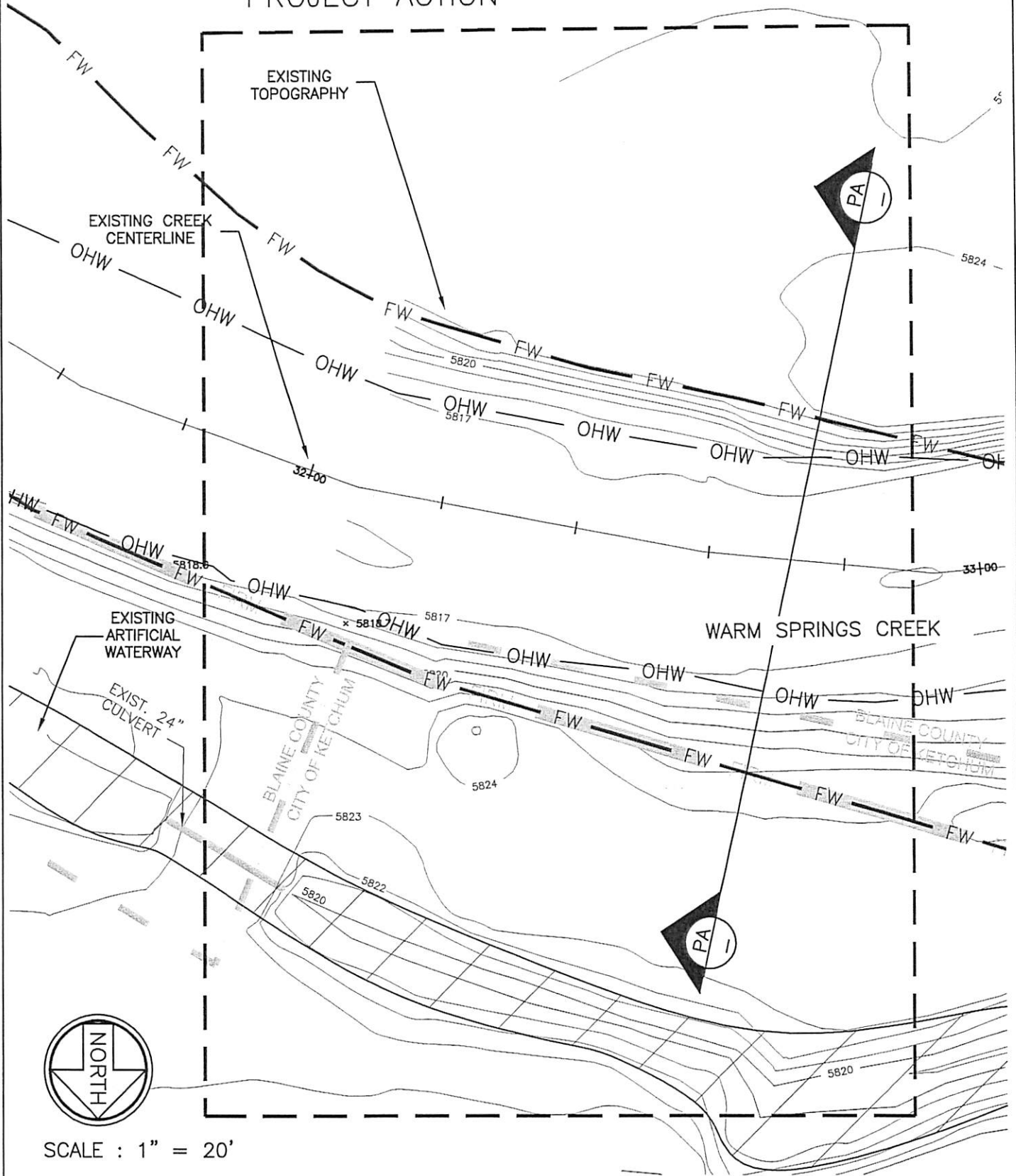
NOTES

FLOOD PLAIN INFORMATION DIGITIZED FROM FIRM:
INSURANCE STUDY FOR:
BLAINE COUNTY, IDAHO (CITY OF KETCHUM, IDAHO)
COMMUNITY NUMBER 160023 PANEL NO. 0442C &
0434C, MARCH 17, 1997. VERTICAL DATUM IS NGVD28.

- FIRM — 100-YEAR FLOODPLAIN DIGITIZED PER FIRM MAPS
- FW — FLOODWAY
- OHW — ORDINARY HIGH WATER AS VERIFIED BY U.S. ARMY CORPS OF ENGINEERS - 12/13/04
- — — — — PROPERTY LINE
- — — — — KETCHUM CITY/ BLAINE COUNTY BOUNDARY LINE
- — — — — 50' RIPARIAN SETBACK (BLAINE COUNTY)
- — — — — 25' RIPARIAN SETBACK (CITY OF KETCHUM)

LEGEND

PROJECT ACTION



SCALE : 1" = 20'

DESIGNED BY:		CHECKED BY:	
DRAWN BY: JEL		APPROVED BY:	
LAST EDIT:		PLOT DATE: 11/05/05	
DATE	BY	REV#	REVISION

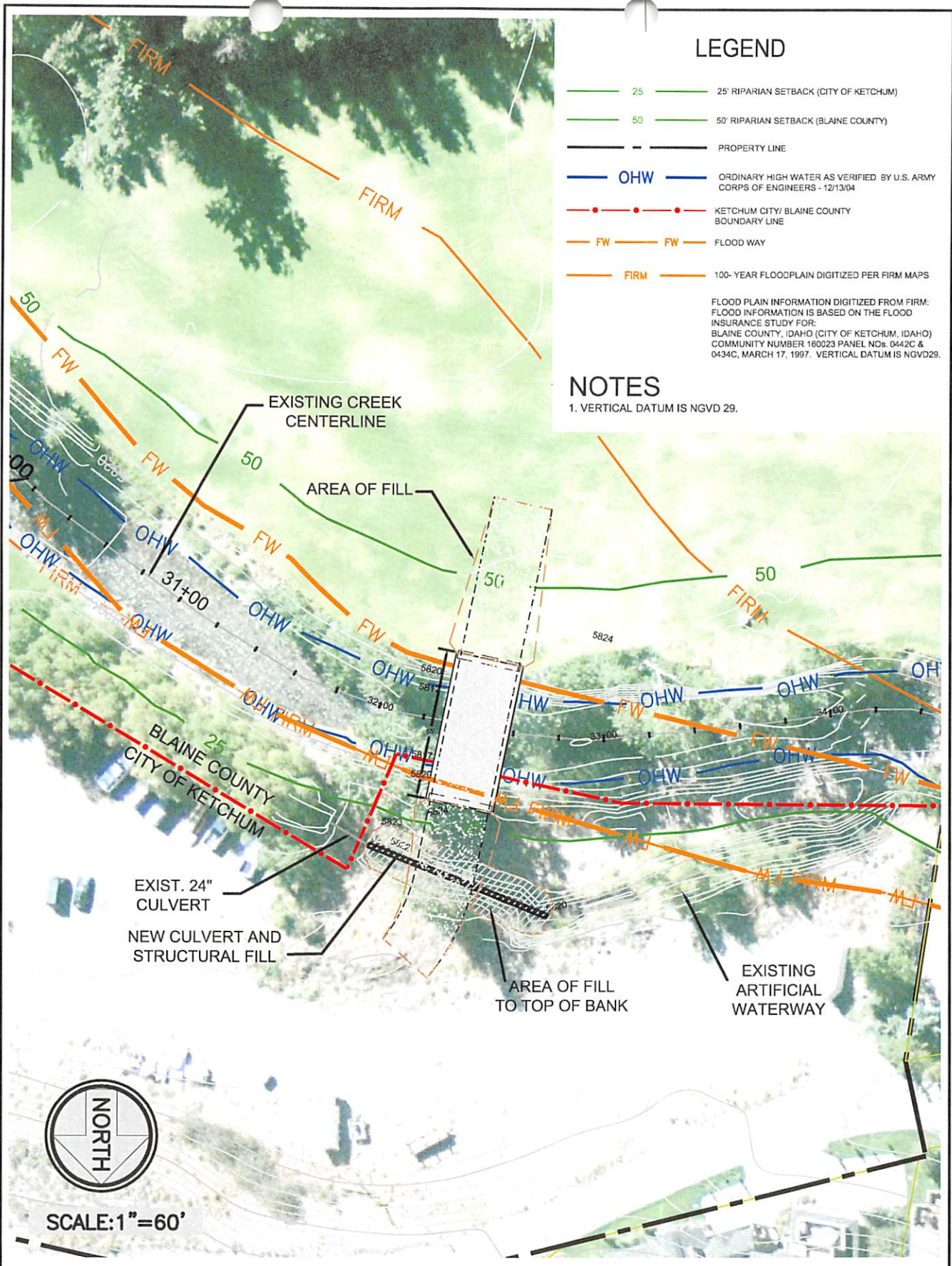


3130 S. Owyhee St.
Boise, Idaho
83705-4788
(208)348-6400
(208)348-6353 Fax
wvpacl50.com

SUN VALLEY VENTURES, LLC
WARM SPRINGS RANCH
PROJECT ACTION - RIVER STA 32+43
BRIDGE CROSSING AND CULVERT

SUN VALLEY/BLAINE COUNTY IDAHO

SCALE:	PROJECT NO: 02537	DRAWING FILE NAME: 5 OF 20	SHEET C-1
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LEGEND

- 25 25' RIPARIAN SETBACK (CITY OF KETCHUM)
- 50 50' RIPARIAN SETBACK (BLAINE COUNTY)
- - - PROPERTY LINE
- OHW ORDINARY HIGH WATER AS VERIFIED BY U.S. ARMY CORPS OF ENGINEERS - 12/13/04
- · - · - KETCHUM CITY/BLAINE COUNTY BOUNDARY LINE
- FW FLOOD WAY
- FIRM 100-YEAR FLOODPLAIN DIGITIZED PER FIRM MAPS

FLOOD PLAIN INFORMATION DIGITIZED FROM FIRM: FLOOD INFORMATION IS BASED ON THE FLOOD INSURANCE STUDY FOR: BLAINE COUNTY, IDAHO (CITY OF KETCHUM, IDAHO) COMMUNITY NUMBER 160023 PANEL NOS. 0442C & 0434C, MARCH 17, 1997. VERTICAL DATUM IS NGVD29.

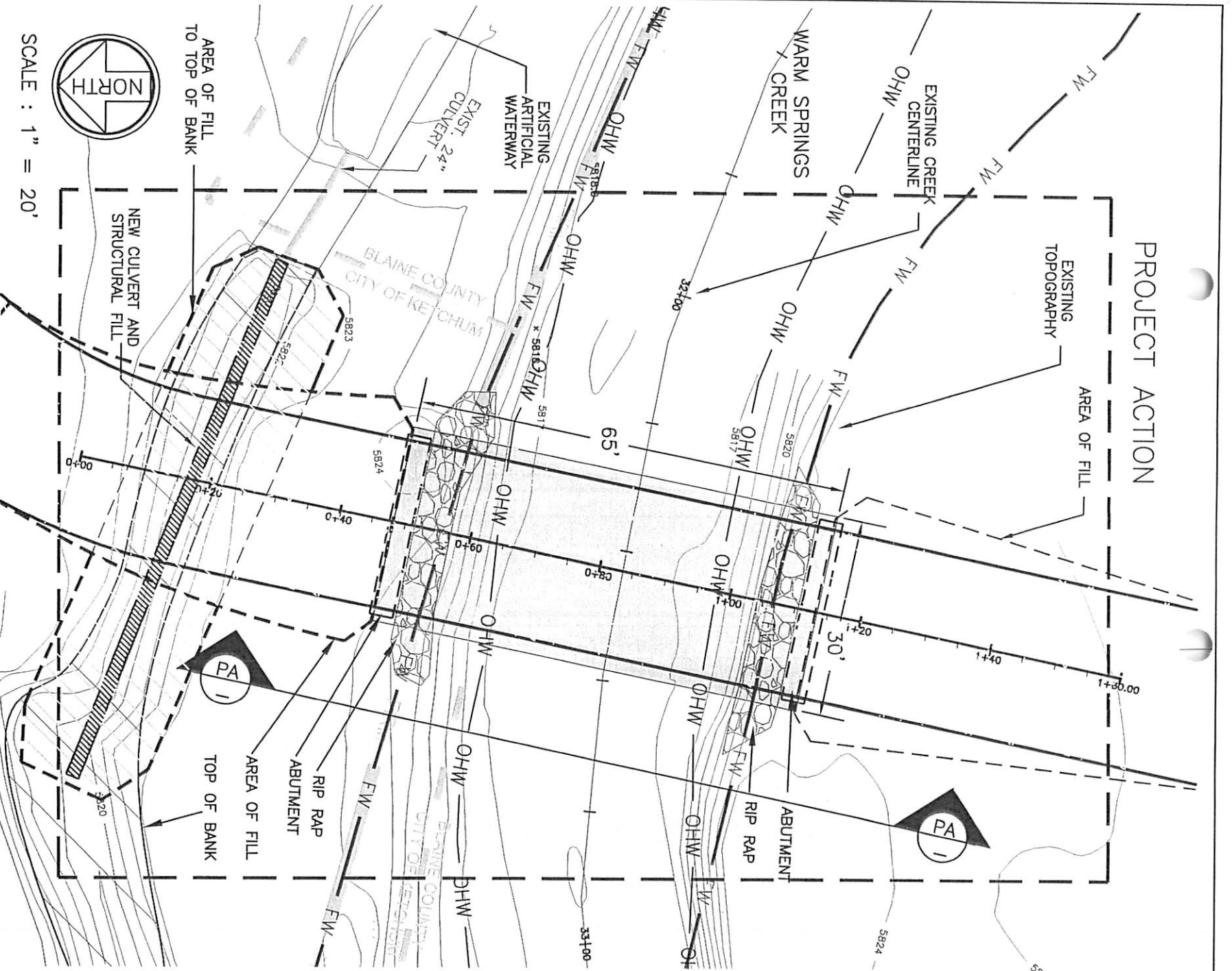
NOTES

1. VERTICAL DATUM IS NGVD 29.



SCALE: 1" = 60'

Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Sun Valley Ventures, LLC	PROPOSED PROJECT #1 & 2 ACTION OVERLAY	Drawing:	
				Drawn: JEL			I-5	Sheet: 6 OF 20
				Checked:				
				Date: 11/05/05				
				Project No: 02337				



SCALE : 1" = 20'

AREA OF FILL
TO TOP OF BANK

NEW CULVERT AND
STRUCTURAL FILL

AREA OF FILL
TOP OF BANK

RIP RAP
ABUTMENT

DESIGNED BY:	JEL	CHECKED BY:	OK/DIAPRE
DRAWN BY:		APPROVED BY:	
LAST EDIT:		PLOT DATE:	11/05/05
DATE	BY	REVISION	

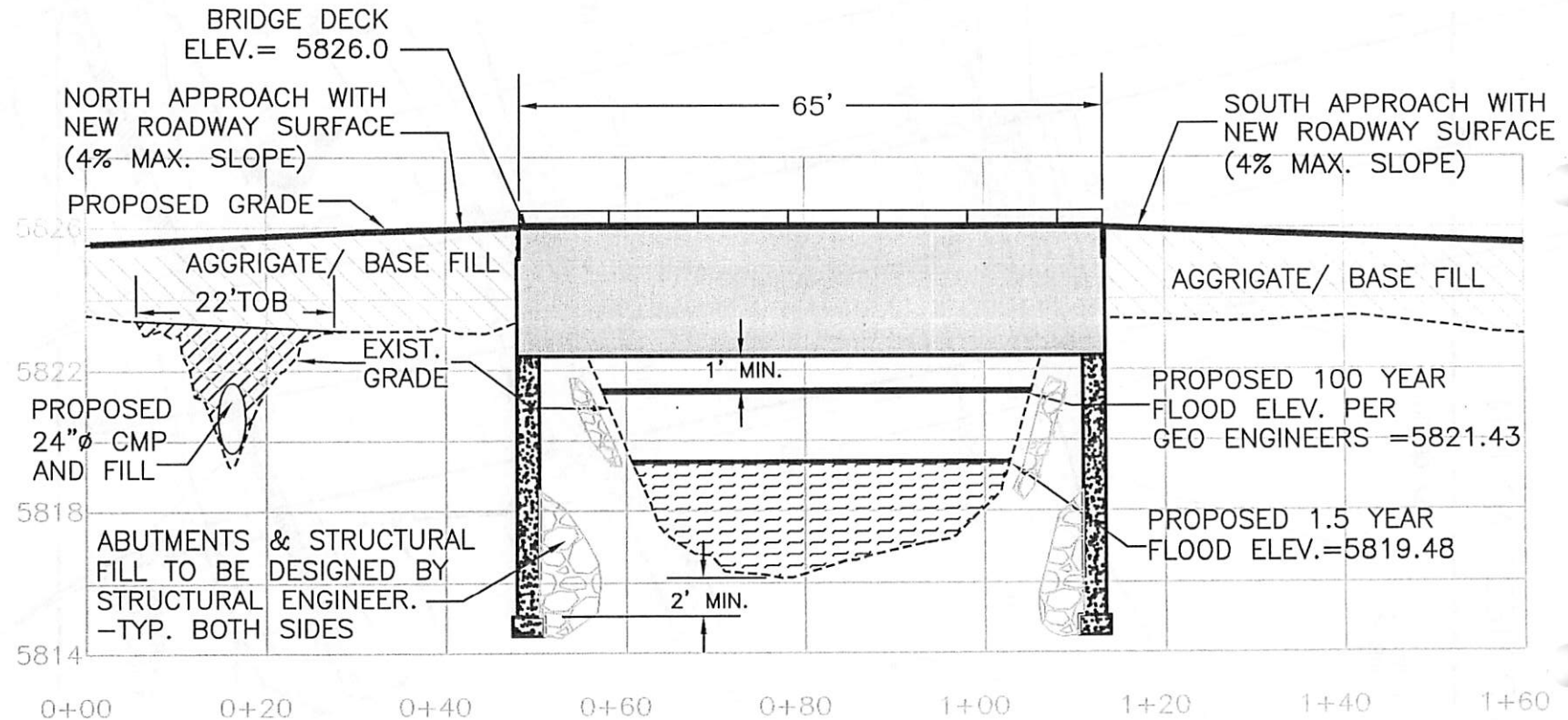
5190 E. Orange St.
Boise, Idaho
83706-4708
(208)346-4600
www.blainecounty.com

SUN VALLEY VENTURES, LLC
WARM SPRINGS RANCH

**PROJECT ACTION - RIVER STA 32+43
BRIDGE CROSSING AND CULVERT**

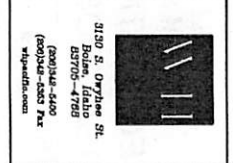
SUN VALLEY/BLAINE COUNTY
SCALE: PROJECT NO. **02337** DRAWING FILE NAME: **7 OF 20** SHEET **C-2**
IDAHO

PROJECT ACTION # 1 & 2



H = 1:40
V = 1:10

DESIGNED BY:	CHECKED BY:
DRAWN BY: JEL	APPROVED BY:
LAST EDIT: 11/05/05	PLOT DATE: 11/05/05
DATE BY REV	REVISION
	CK/DAMP/R



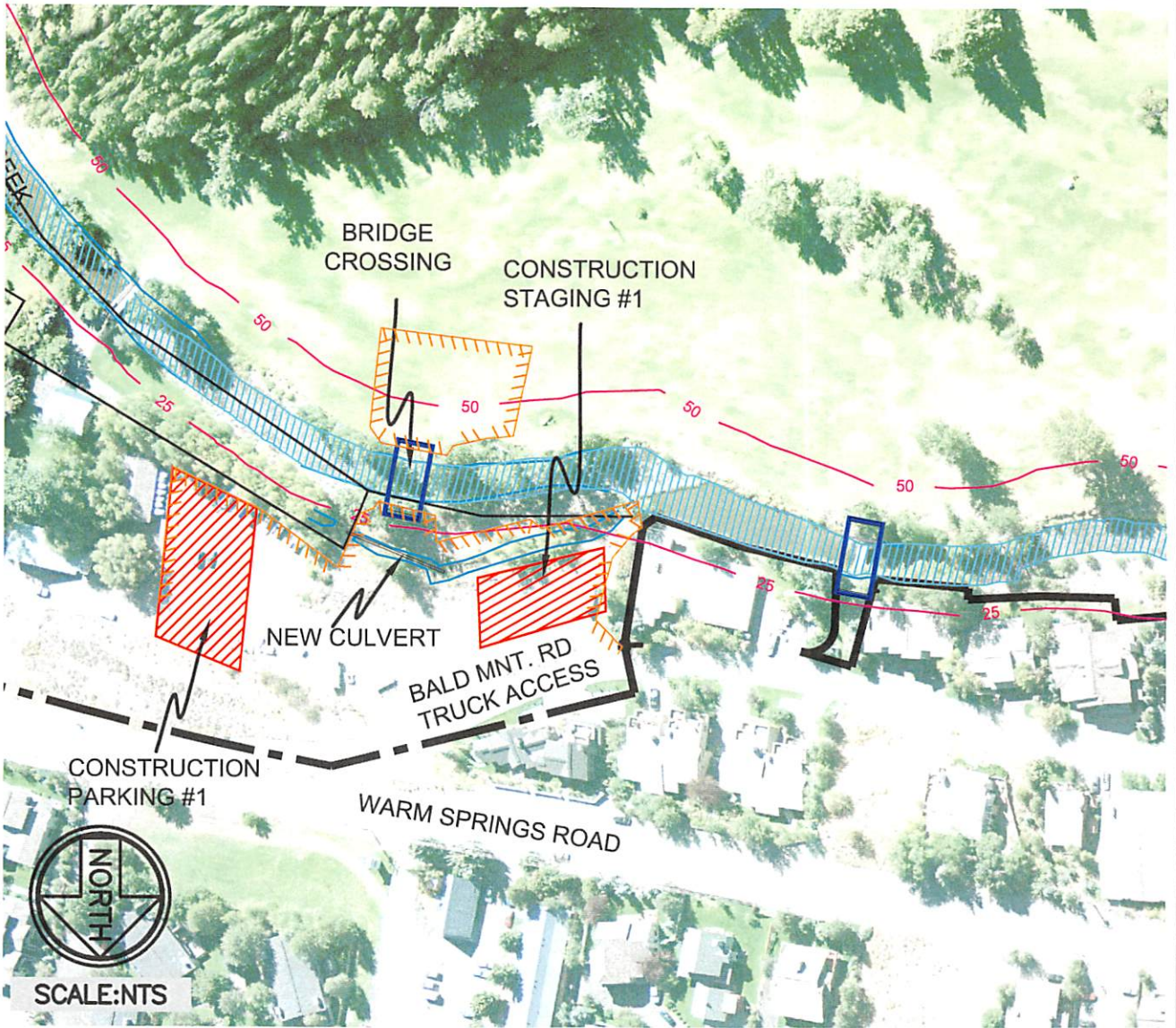
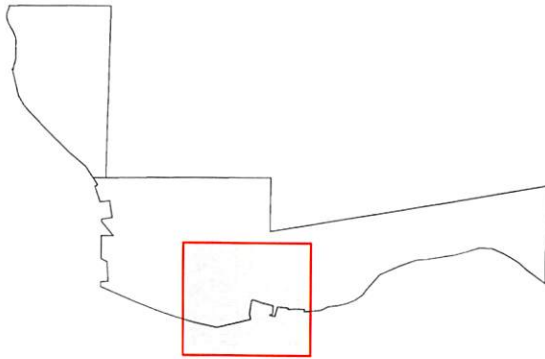
SUN VALLEY VENTURES, LLC
WARM SPRINGS RANCH
PROJECT ACTION - RIVER STA 32+43
BRIDGE CROSSING AND CULVERT

SUN VALLEY/BLAINE COUNTY
SCALE: PROJECT NO. 02337 DRAWING FILE NAME: 8 OF 20 SHEET C-3

IDAHO

LEGEND

- 25 25' RIPARIAN SETBACK (CITY OF KETCHUM)
- 50 50' RIPARIAN SETBACK (BLAINE COUNTY)
- PROPERTY LINE
- LIMITS OF DISTURBANCE
- CONSTRUCTION PARKING/ STAGING AREA



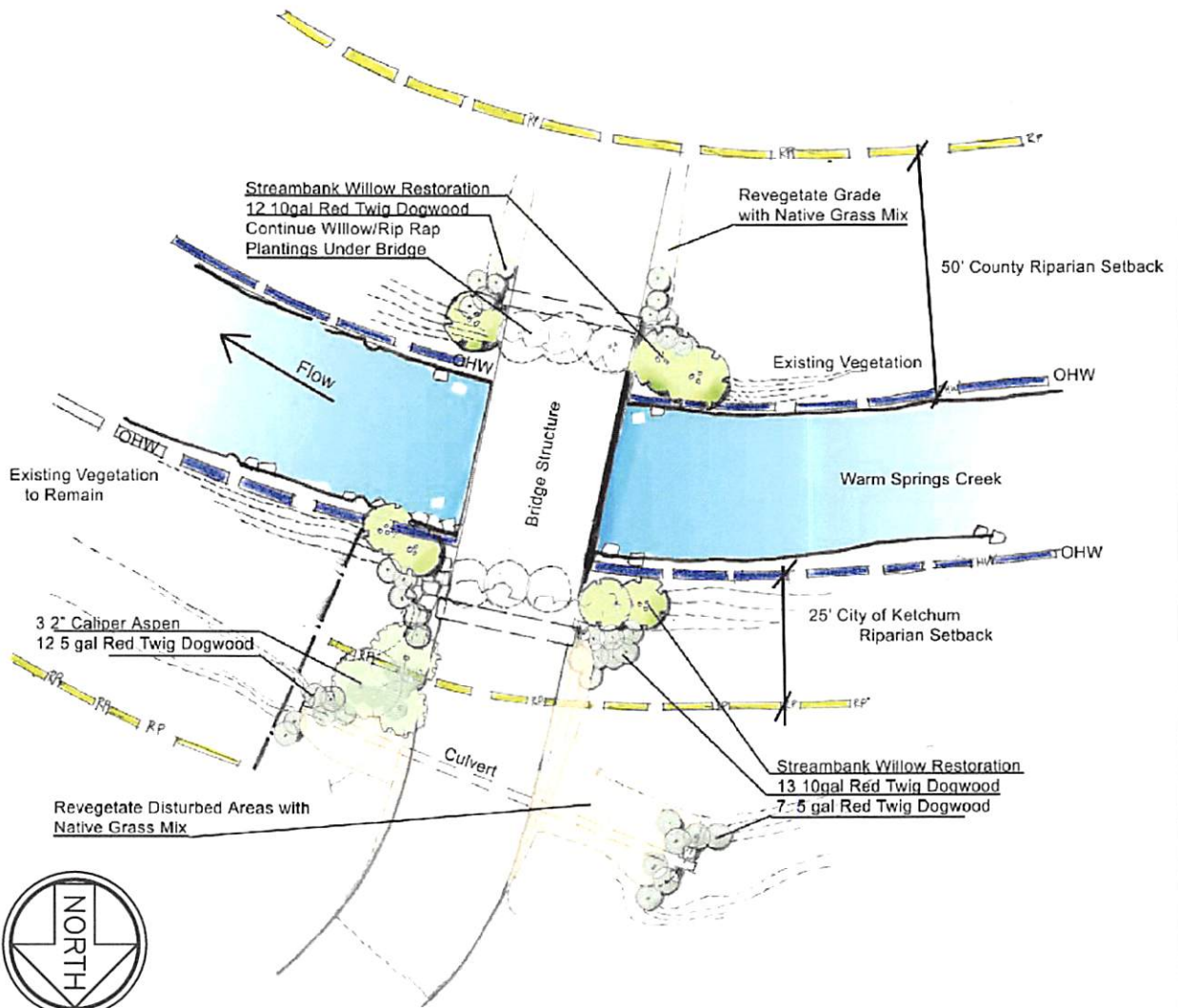
Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Sun Valley Ventures, LLC	STAGING AREAS FOR BRIDGE CONSTRUCTION Warm Springs Creek Bridge Crossing Blaine County, Idaho	Drawing:
				Drawn: JEL			E-2
				Checked:			Sheet:
				Date: 11/05/05			10 OF 20
				Date: 11/05/05			
				Project No: 02337			

Notes:

Drawing Depicts revegetation and riparian enhancement following bridge construction.

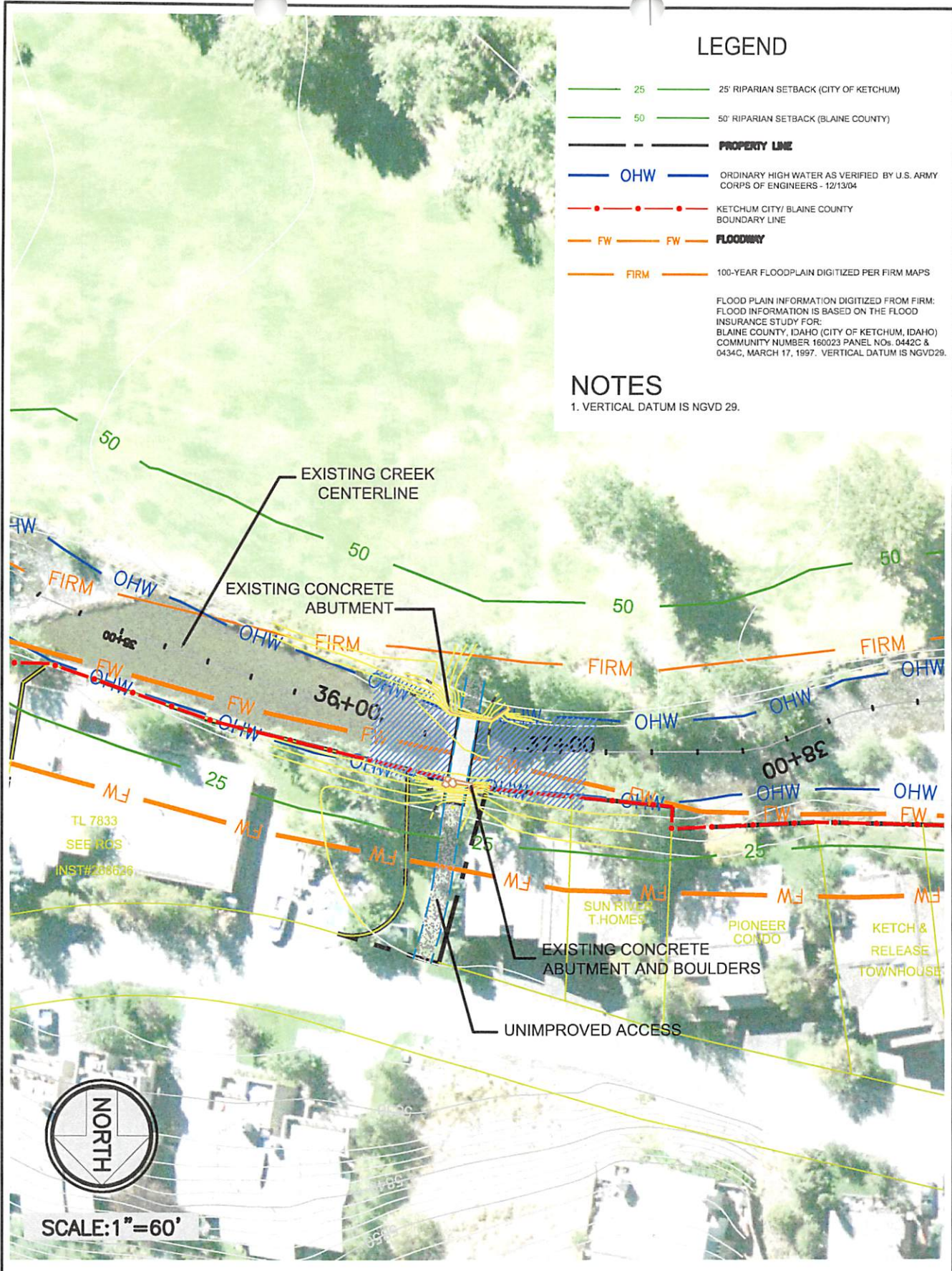
Planting Notes:

- 1). All Planted areas to be irrigated for establishment
- 2). Streambank willow restoration to consist of mixed sized willow and willow cuttings planted in existing rip rap material. See Sheet L-3
- 3). Upland Shrubs to be a mix of native Serviceberry, Snowberry, Currant and Dogwood and other shrubs approved by Landscape Architect.
- 4). Grass seed mix for revegetation to be approved by Landscape Architect.



SCALE : NTS

Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Development Sun Valley Ventures, LLC	REVEGETATION PLAN FOR BRIDGE CROSSING AND APPROACH ROAD Warm Springs Creek Bridge Crossing Blaine County, Idaho	Drawing: L-1
				Drawn: JEL			Sheet: 11 of 20
				Checked:			
				Date: 11/05/05			
				Project No: 02337			



LEGEND

- 25 25' RIPARIAN SETBACK (CITY OF KETCHUM)
- 50 50' RIPARIAN SETBACK (BLAINE COUNTY)
- - - **PROPERTY LINE**
- **OHW** ORDINARY HIGH WATER AS VERIFIED BY U.S. ARMY CORPS OF ENGINEERS - 12/13/04
- . - . KETCHUM CITY/BLAINE COUNTY BOUNDARY LINE
- **FW** **FLOODWAY**
- **FIRM** 100-YEAR FLOODPLAIN DIGITIZED PER FIRM MAPS

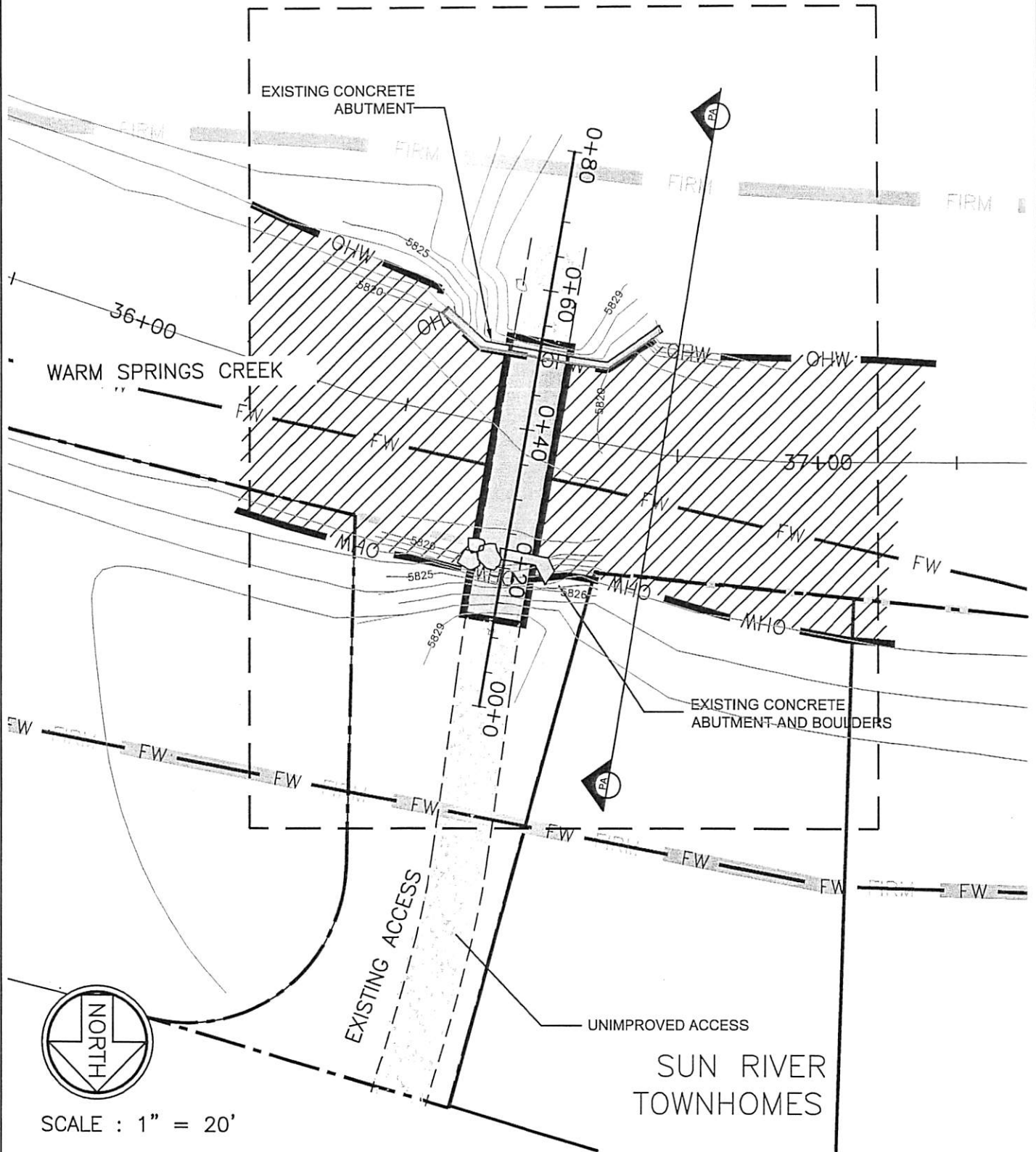
FLOOD PLAIN INFORMATION DIGITIZED FROM FIRM. FLOOD INFORMATION IS BASED ON THE FLOOD INSURANCE STUDY FOR: BLAINE COUNTY, IDAHO (CITY OF KETCHUM, IDAHO) COMMUNITY NUMBER 160023 PANEL NOs. 0442C & 0434C, MARCH 17, 1997. VERTICAL DATUM IS NGVD29.

NOTES

1. VERTICAL DATUM IS NGVD 29.

Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Sun Valley Ventures, LLC	EXISTING SITE CONDITIONS OVERLAY Warm Springs Creek Bridge Crossing Blaine County, Idaho	Drawing:
				Drawn: JEL			I-6
				Checked:			Sheet:
				Date: 11/05/05			12 OF 20
				Project No: 02337			

PROJECT ACTION #3



SCALE : 1" = 20'

DESIGNED BY:		CHECKED BY:	
DRAWN BY: JEL		APPROVED BY:	
LAST EDIT:		PLOT DATE: 10/27/05	
DATE	BY	REV	REVISION

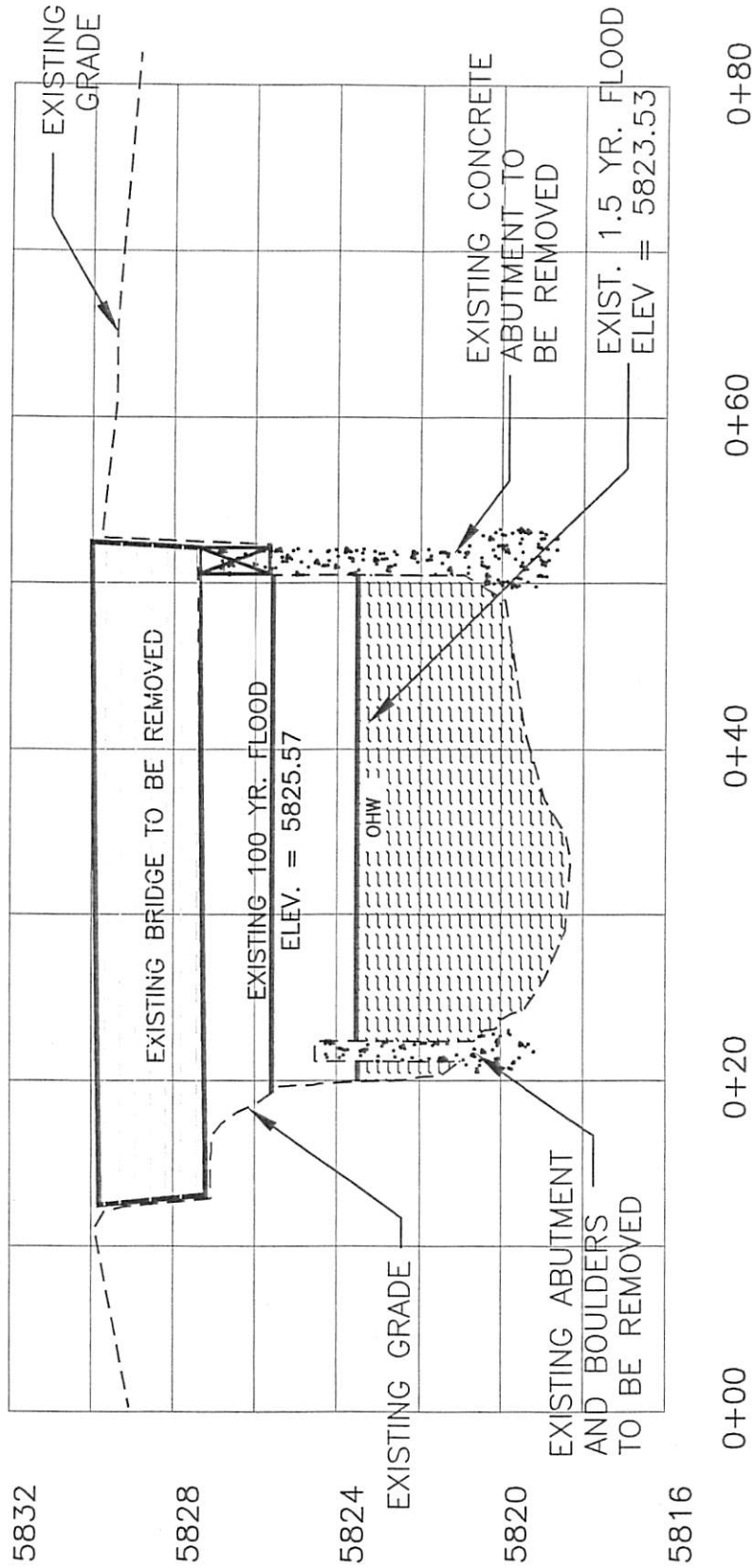
3130 S. Owyhee St.
 Boise, Idaho
 83706-4788
 (208)348-5400
 (208)348-5503 Fax
 whpa@wvi.com

SUN VALLEY VENTURES, LLC
 WARM SPRINGS RANCH
PROJECT ACTION - RIVER STA 32+43
BRIDGE REMOVAL - EXISTING CONDITIONS

SUN VALLEY/BLAINE COUNTY IDAHO

SCALE:	PROJECT NO. 02337	DRAWING FILE NAME: 13 OF 20	SHEET C-4
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PROJECT ACTION #



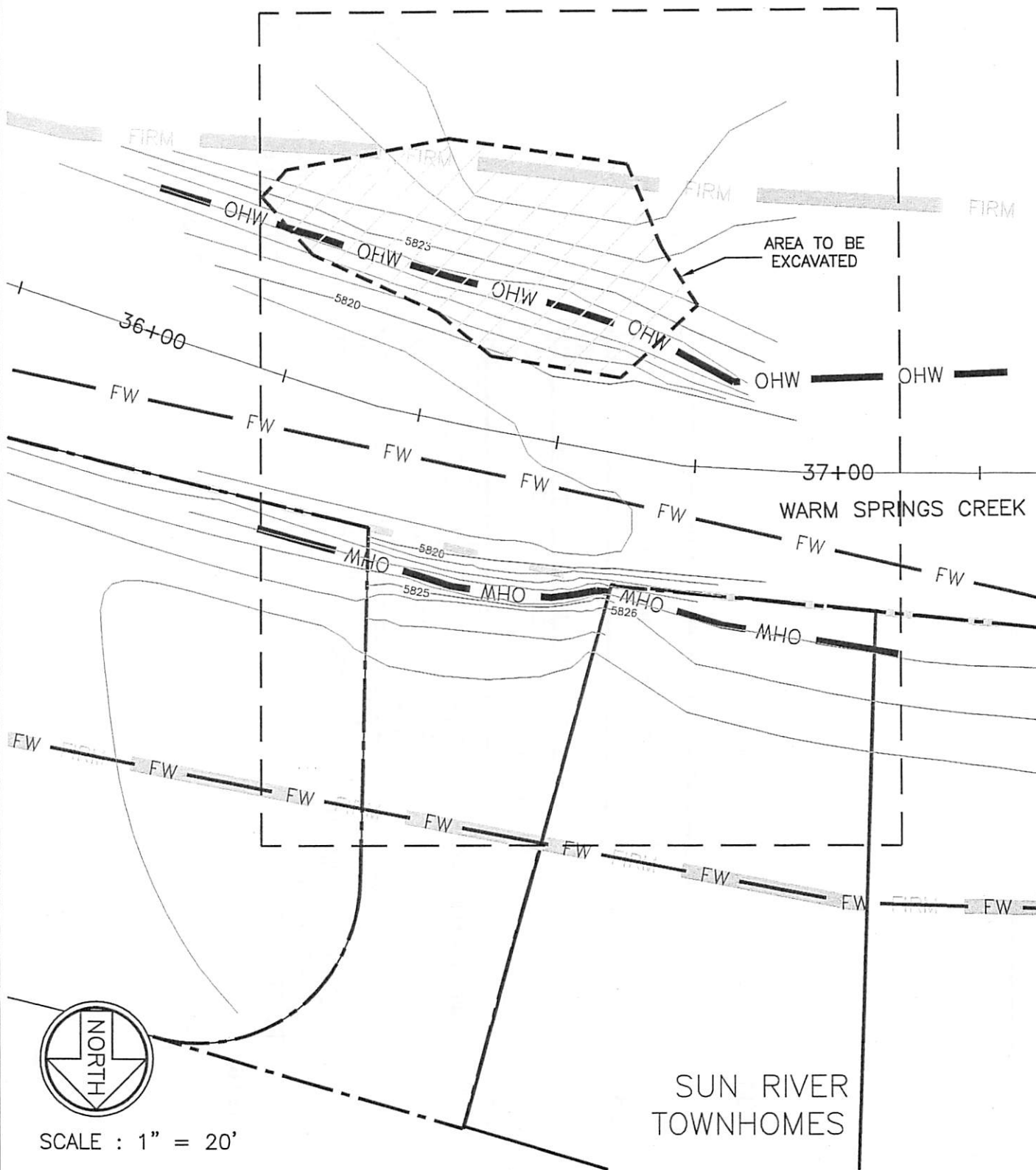
DESIGNED BY:		CHECKED BY:		
DRAWN BY: JEL		APPROVED BY:		
LAST EDIT:		PLOT DATE: 11/05/05		
DATE	BY	REV#	REVISION	CK'D/APPR.

3130 S. Owyhee St.
Boise, Idaho
83706-4768
(208)348-5400
(208)348-6903 Fax
wspcd@a.com

SUN VALLEY VENTURES, LLC
WARM SPRINGS RANCH
PROJECT ACTION - RIVER STA 36+58
BRIDGE REMOVAL - EXISTING CROSS SECTION
SUN VALLEY/BLAINE COUNTY IDAHO

SCALE:	PROJECT NO. 02337	DRAWING FILE NAME: 14 OF 20	SHEET C-5
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PROJECT ACTION #3



SCALE : 1" = 20'

DESIGNED BY:		CHECKED BY:		
DRAWN BY: JEL		APPROVED BY:		
LAST EDIT:		PLOT DATE: 11/05/05		
DATE	BY	REV#	REVISION	CK'D/APPR.

3130 S. Owyhee St.
Boise, Idaho
83706-4768
(208)342-5400
(208)348-2363 Fax
wvpc@sv.com

SUN VALLEY VENTURES, LLC
WARM SPRINGS RANCH

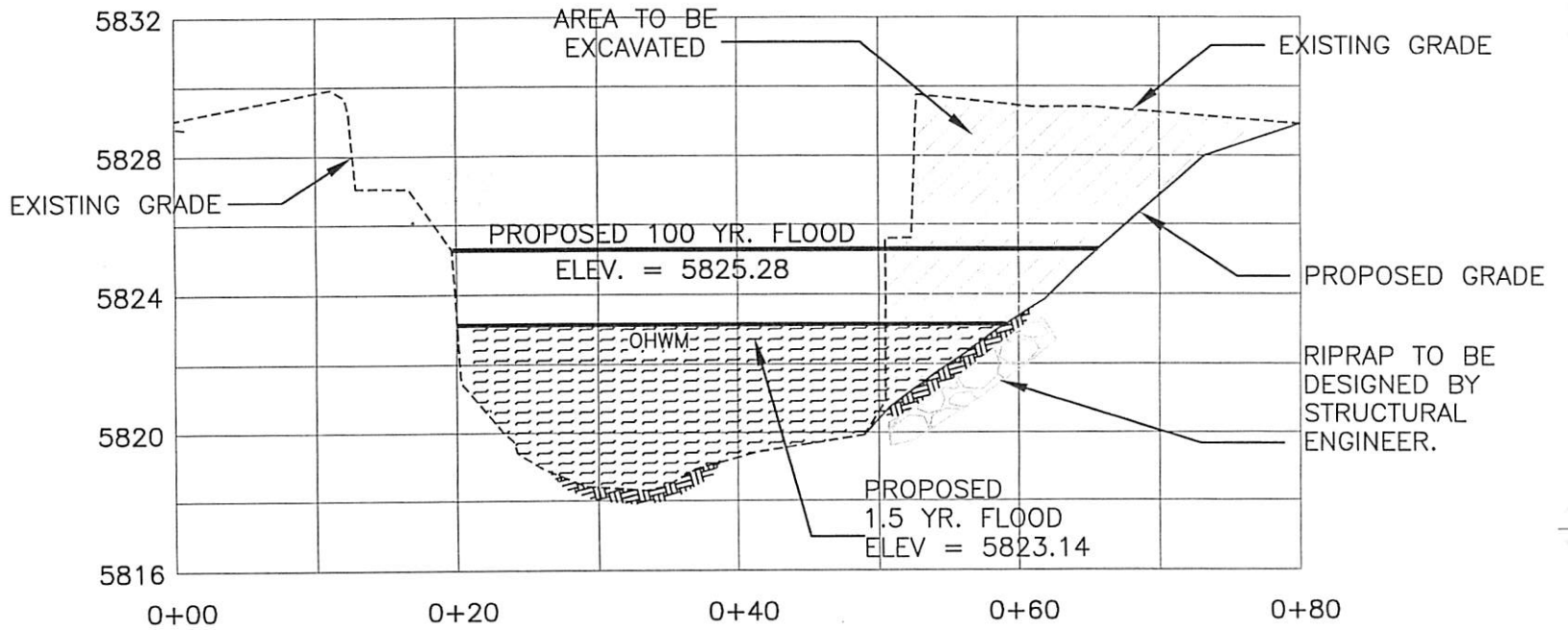
PROJECT ACTION - RIVER STA 32+43

STREAMBANK RESTORATION - PLAN VIEW

SUN VALLEY/BLAINE COUNTY IDAHO

SCALE:	PROJECT NO. 02337	DRAWING FILE NAME: 15 OF 20	SHEET C-6
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PROJECT ACTION # 3



DESIGNED BY:	JEL	CHECKED BY:	
DRAWN BY:		APPROVED BY:	
LAST EDIT:		PLOT DATE:	11/05/05
DATE	BY/REV	REVISION	OK/DMP/R

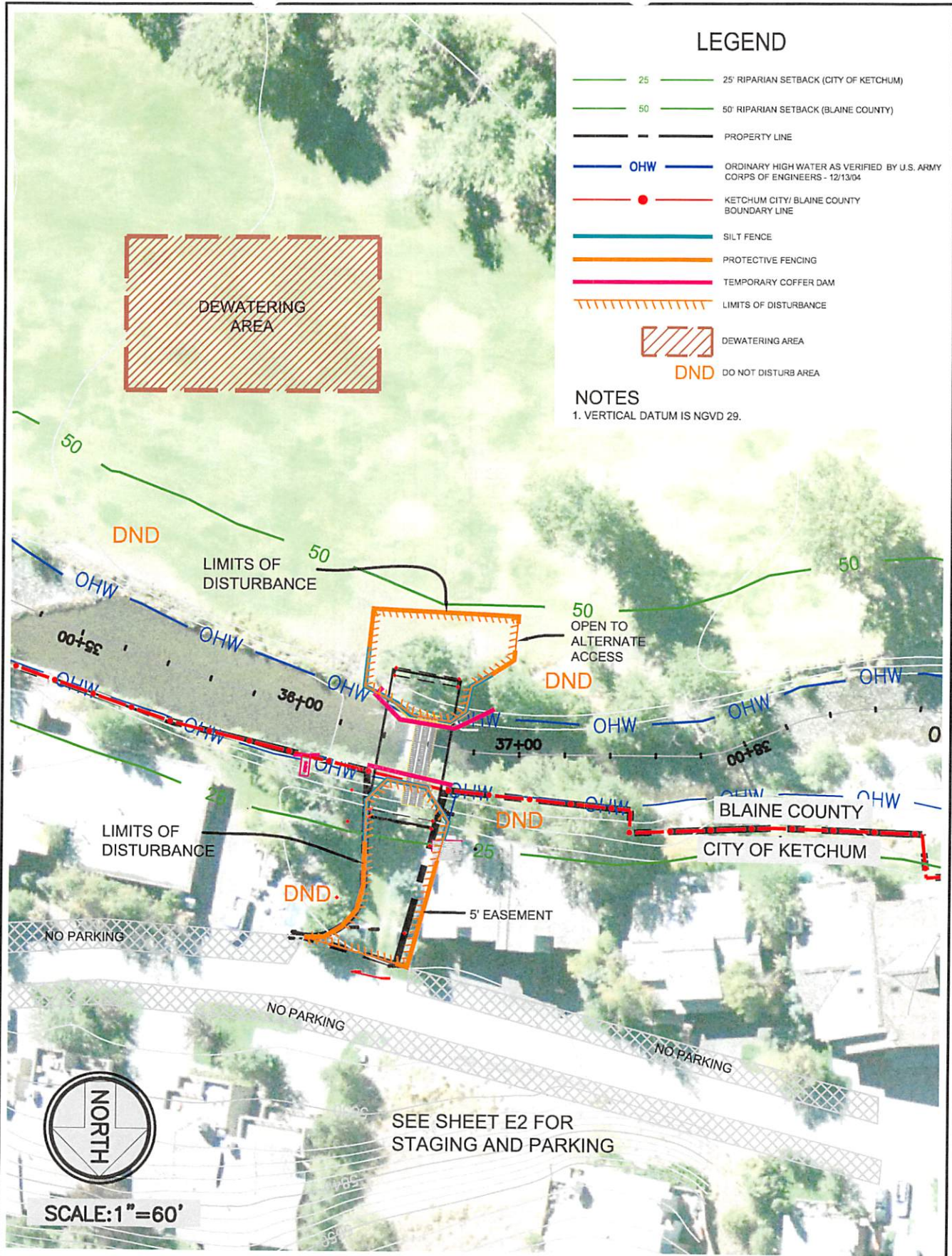
3190 S. Owyhee St.
 83705-4789
 (208) 343-4499
 www.mwps.com

SUN VALLEY VENTURES, LLC
 WARM SPRINGS RANCH
 PROJECT ACTION - RIVER STA 36+58
 STREAMBANK RESTORATION - CROSS SECTION

SUN VALLEY/BLAINE COUNTY

SCALE: PROJECT NO. 02337 DRAWING FILE NAME: 16 OF 20 SHEET C-7

DAHO



LEGEND

- 25 25' RIPARIAN SETBACK (CITY OF KETCHUM)
- 50 50' RIPARIAN SETBACK (BLAINE COUNTY)
- PROPERTY LINE
- OHW ORDINARY HIGH WATER AS VERIFIED BY U.S. ARMY CORPS OF ENGINEERS - 12/13/04
- ● KETCHUM CITY/BLAINE COUNTY BOUNDARY LINE
- SILT FENCE
- PROTECTIVE FENCING
- TEMPORARY COFFER DAM
- LIMITS OF DISTURBANCE
- DEWATERING AREA
- DND DO NOT DISTURB AREA

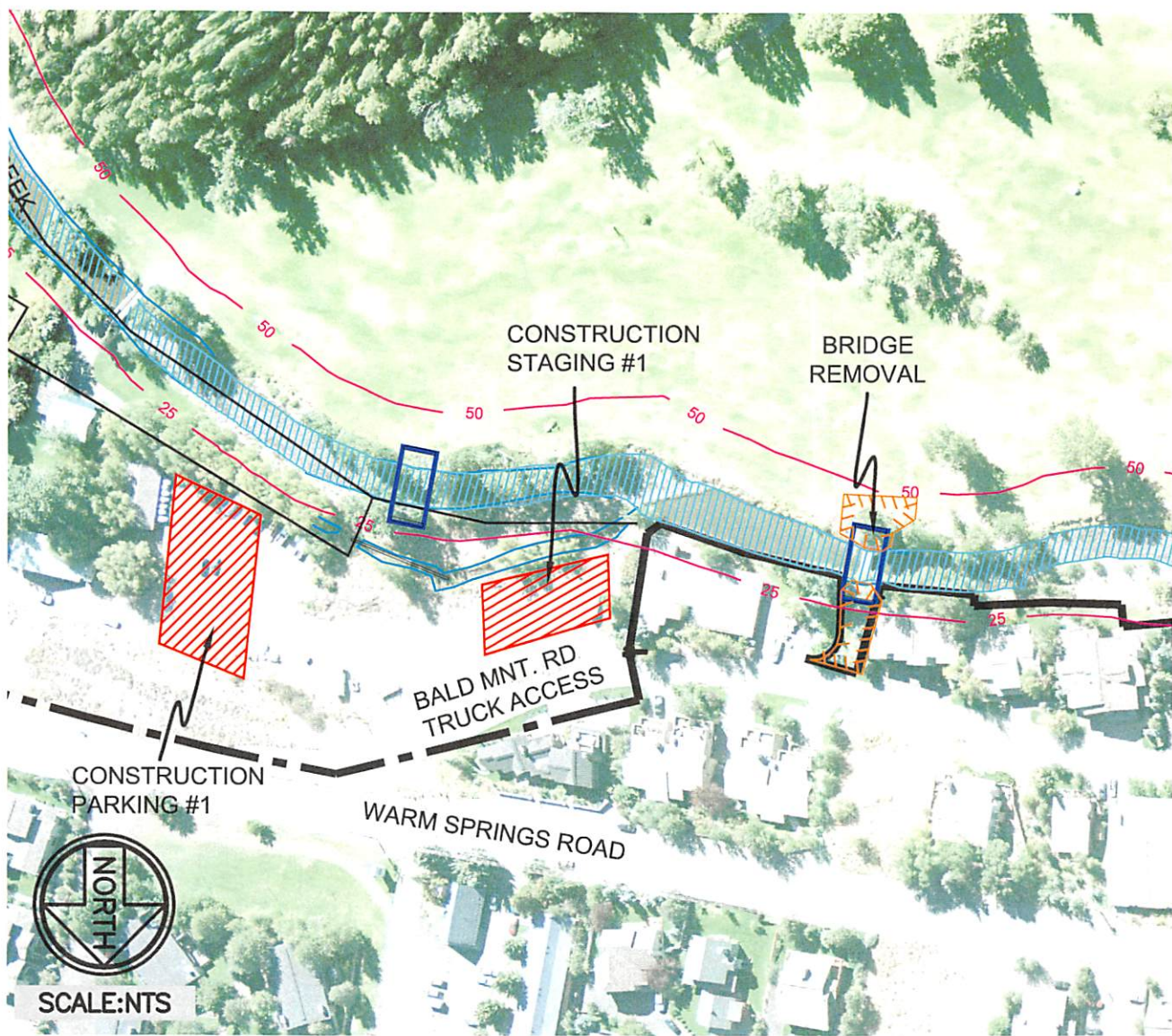
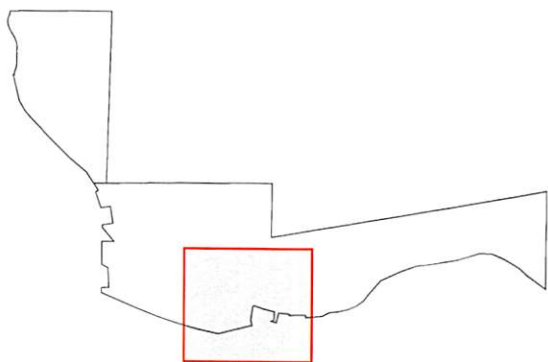
NOTES

1. VERTICAL DATUM IS NGVD 29.

Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Sun Valley Ventures, LLC	BMPs FOR BRIDGE REMOVAL AND STREAMBANK RESTORATION	Drawing:
				Drawn: JEL			E-3
				Checked:			Sheet:
				Date: 11/05/05			17 OF 20
				Project No: 02337			

LEGEND

- 25' RIPARIAN SETBACK (CITY OF KETCHUM)
- 50' RIPARIAN SETBACK (BLAINE COUNTY)
- PROPERTY LINE
- LIMITS OF DISTURBANCE
- CONSTRUCTION PARKING/STAGING AREA



Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Sun Valley Ventures, LLC	STAGING AREAS FOR BRIDGE REMOVAL	Drawing:
				Drawn: JEL			E-4
				Checked:			Sheet:
				Date: 11/05/05			18 OF 20
				Project No: 02337			

Notes:

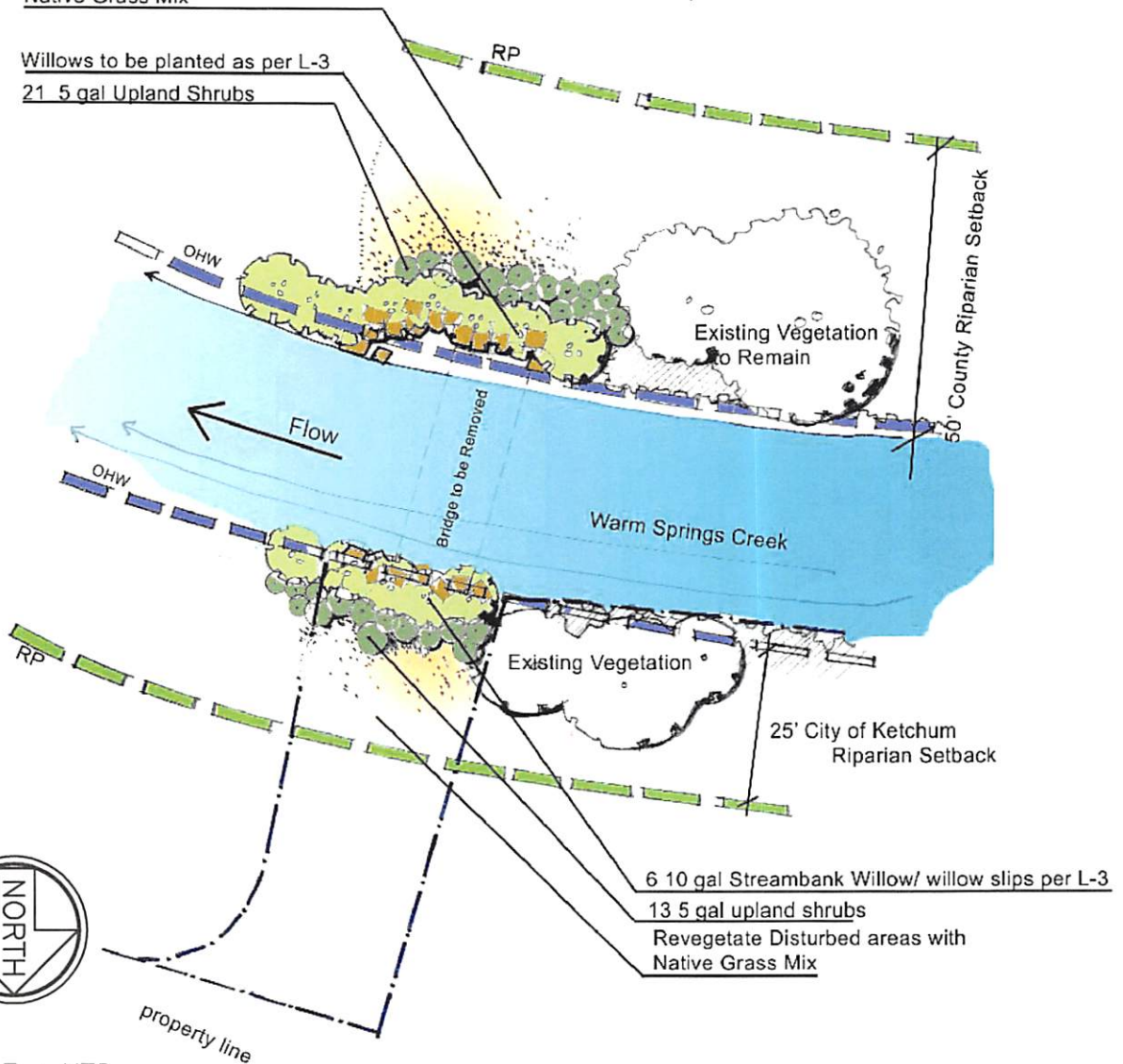
Drawing Depicts revegetation and riparian enhancement following replacement bridge construction.

Planting Notes:

- 1). All Planted areas to be irrigated for establishment
- 2). Streambank willow restoration to consist of mixed sized willow and willow cuttings planted in existing rip rap material as per Sheet L-3.
- 3). Upland Shrubs to be a mix of native Serviceberry, Snowberry, Currant and Dogwood or other approved material as per Landscape Architect.
- 4). Grass Seed mix for revegetation to be approved by Landscape Architect.

Revegetate Graded Slope with Native Grass Mix

Willows to be planted as per L-3
21 5 gal Upland Shrubs

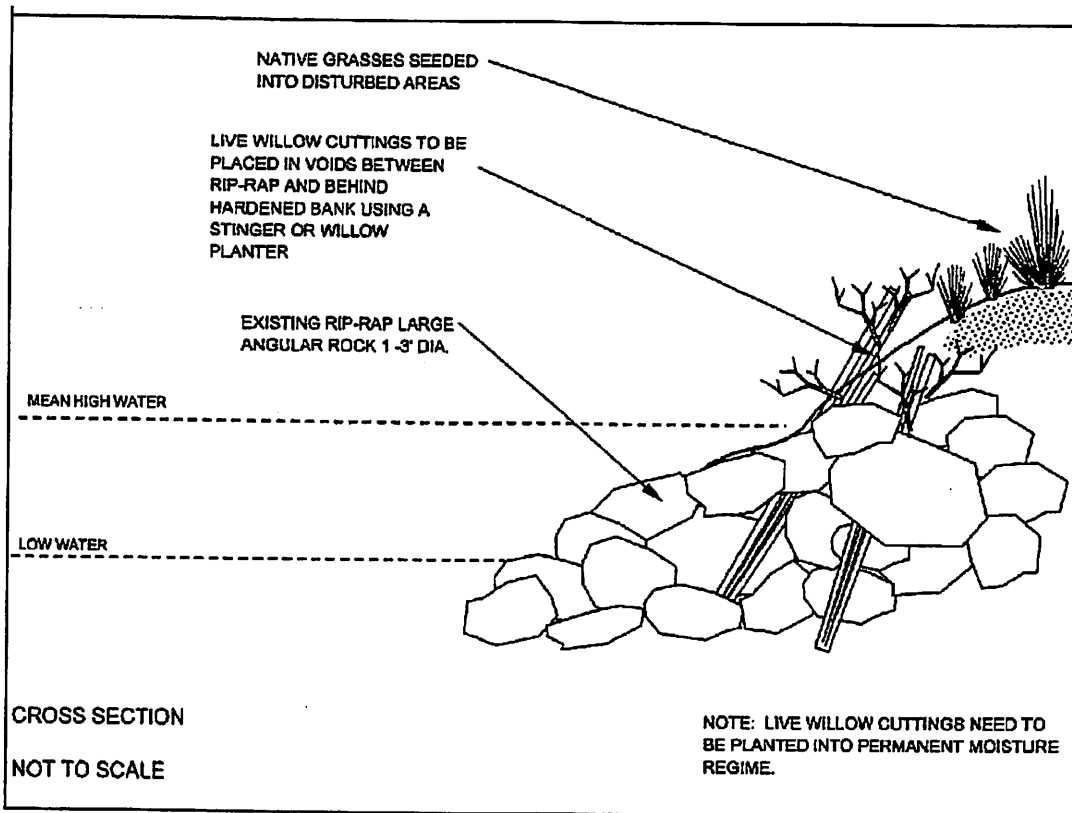
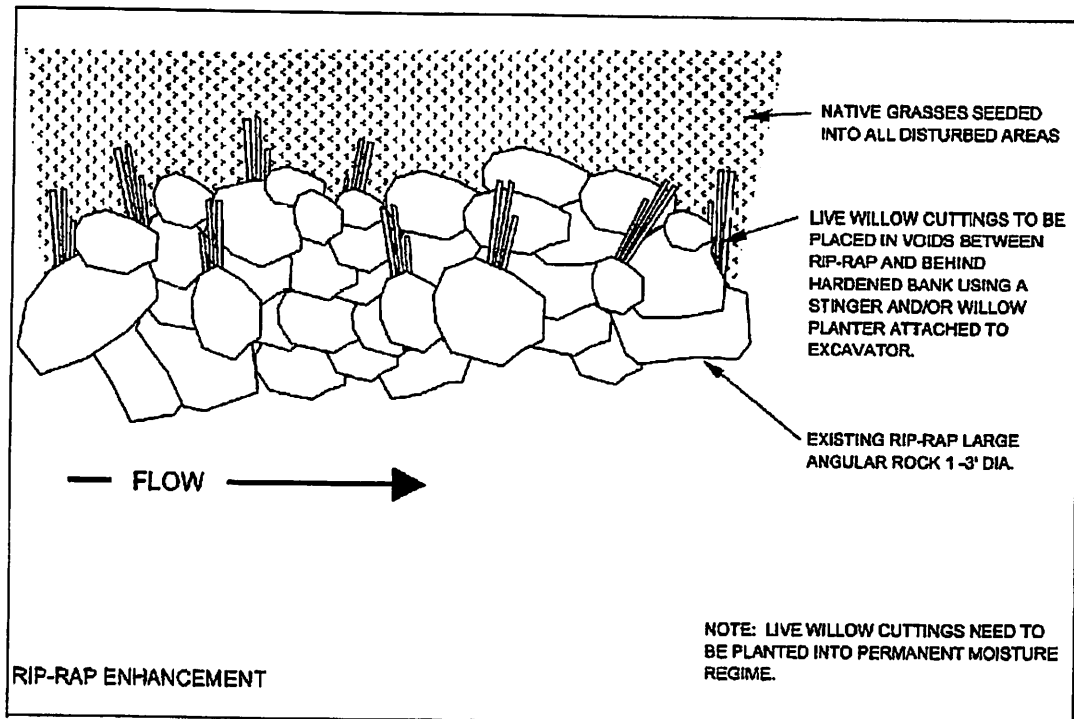


6 10 gal Streambank Willow/ willow slips per L-3
13 5 gal upland shrubs
Revegetate Disturbed areas with Native Grass Mix



SCALE : NTS

Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Development Sun Valley Ventures, LLC	REVEGETATION PLAN STREAMBANK RESTORATION	Drawing: L-2 Sheet: 19 of 20
				Drawn: JEL			
				Checked:			
				Date: 11/05/05			
				Project No: 02337	Warm Springs Creek Bridge Crossing Blaine County, Idaho		



Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Development Sun Valley Ventures, LLC	RIP-RAP REVEGETATION PLAN BANK PROTECTION	Drawing:	
				Drawn: JEL			Warm Springs Creek Bridge Crossing Blaine County, Idaho	L-3
				Checked:				
				Date: 11/05/05				
				Project No: 02337			Sheet: 20 of 20	

Engineering "No-Rise" Certification

(for projects located in a mapped floodway)

This is to certify that I am a duly qualified engineer licensed to practice

in the State of Idaho
(Name of State)

This further certifies that the attached data supports the fact that the

proposed 59-ft span bridge @ Station 32+43 will not increase
(Name of Development)

the 100-year flood elevations, floodway elevations and floodway widths

on Warm Springs Creek at published sections in the Flood

Insurance Study for Baine County Idaho dated
(Name of Community)

March 17, 1997 and will not increase the 100-year flood

elevations, floodway elevations, and floodway widths at unpublished

cross-sections in the vicinity of the proposed development.

November 1, 2005
(Date)

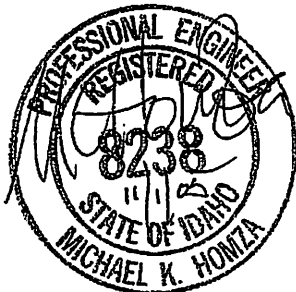
Michael K. Honza
(Signature)

Engineer
(Title)

GeoEngineers, Inc.
(Address)

Boise, ID

seal:



Mail completed form to your local planning office or to Idaho Department of Water Resources along with the Joint Application for Permits



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
WALLA WALLA DISTRICT, CORPS OF ENGINEERS
IDAHO FALLS REGULATORY OFFICE
900 NORTH SKYLINE DRIVE, SUITE A
IDAHO FALLS, IDAHO 83402-1718

September 30, 2005

Regulatory Division

SUBJECT: NWW No. 042600087

Mr. Henry Dean
Sun Valley Ventures.LLC
PO Box 5500
Ketchum, Idaho 83340

Dear Mr. Dean:

This is in regard to your proposal to replace an 38- by 10- foot bridge with a 65- by 30-foot bridge over Warm Springs Creek. The work will require the discharge of rock riprap and construction of a temporary water bladder cofferdam below the ordinary high water mark of Warm Springs Creek. The discharge of the rock riprap is authorized under the terms and conditions of Department of the Army Nationwide Permit (NWP) 3 and the construction of the temporary water bladder cofferdam is authorized under NWP 33 (33 CFR 330, Appendix A). This authorization requires your project is constructed as shown on the application drawings entitled "Warm Springs Creek Replacement Bridge, Blaine County, Idaho," prepared by Benchmark Associates, P.A., labeled sheets I-1, through I-5, and the drawings entitled "Sun Valley Ventures, LLC, Warm Springs Ranch, Project Action-River Sta 36+58 Bridge Replacement," prepared by W & H Pacific, labeled sheets C-6, C-7, C-8, and C-9; and complies with the terms and conditions of the enclosed nationwide permit and the special conditions listed below. Your project is located in Sec. 11, T.4N., R.17E., B.M., in , Blaine County, Idaho.

Please carefully review these conditions, including the Water Quality Certification conditions. If you cannot meet these conditions, this NWP verification is not valid. Your project must comply with the Idaho Water Quality Standards as stated in IDAPA 58.01.02. If you have any questions about the Water Quality Certification conditions, please contact Dr. Balthasar Buhidar at 208-736-2190. If you change the project description in your permit application, this NWP may not be valid and you should contact us before starting work. We have enclosed a Compliance Certification for you to sign and return when you have completed your project.

This verification is valid until the NWP is modified, reissued, or revoked. All of the existing NWPs are scheduled to be modified, reissued, or revoked prior to March 18, 2007. It is incumbent upon you to remain informed of changes to the NWPs. We will issue a public notice when the NWPs are reissued. Furthermore, if you commence or are under contract to commence this activity before the date that the relevant nationwide permit is modified or revoked, you will

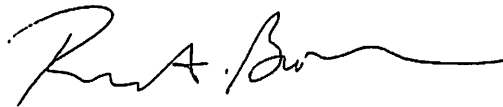
have 12 months from the date of the modification or revocation of the NWP to complete the activity under the present terms and conditions of this nationwide permit.

This authorization applies only to Department of the Army permits administered by the Corps of Engineers. Your project may also require permits from other Federal, state, and local agencies. If your work requires a permit from the Idaho Department of Water Resources, you will need to obtain their approval before starting work. You should also contact your local city or county zoning office for any permits they may require for your project.

We are interested in your thoughts and opinions concerning the quality of service you received from the Walla Walla District, Corps of Engineers Regulatory Division. If you have Internet access and are interested in letting us know how we are doing, you can complete an electronic version of our Customer Service Survey form on our web site at: <http://per2.nwp.usace.army.mil/survey.html> which will be automatically submitted to us. Alternatively, you may call and request a paper copy of the survey so you may complete and return to us by mail or fax.

If you have any questions concerning this authorization or Corps jurisdiction, please contact me at 208-522-1645. A copy of this letter is being sent to Mr. Terry Blau, Idaho Department of Water Resources, Southern Region, 1341 Fillmore Street, Suite 200, Twin Falls, Idaho 83301-3380; Will Miller Consulting, LLC, PO Box 1030, Sun Valley, Idaho 83353; Mr. Doug Howard, Regional Administrator, Idaho Department of Environmental Quality, 601 Pole Line Road, Suite 2, Twin Falls, Idaho 83301; and Mr. Mike McDonald, Idaho Department of Fish and Game, PO Box 428, Jerome, Idaho 83338.

Sincerely,



Robert A. Brochu
Regulatory Project Manager

Enclosures



United States Department of the Interior
FISH AND WILDLIFE SERVICE

Snake River Fish and Wildlife Service
1387 S. Vinnell Way, Room 368
Boise, Idaho 83709
Telephone (208) 378-5243
<http://IdahoES.fws.gov>



APR 04 2005

Will Miller
Environmental Planner
Will Miller Consulting, LLC
P.O. Box 1030
Sun Valley, Idaho 83353

Subject: Warm Springs Ranch Restoration and Enhancement Project, Blaine County,
Idaho – Species List
File #970.0700 SP #1-4-05-SP-413

Dear Mr. Miller:

The Fish and Wildlife Service (Service) is providing you with an updated list of endangered, threatened, proposed, and/or candidate species, and proposed critical habitat which may occur in the area of the proposed restoration and enhancement project. You requested this list by facsimile on March 21, 2005. There are no changes from the previous list. This list fulfills the requirements for a species list under section 7(c) of the Endangered Species Act of 1973 (Act), as amended. If the project decision has not been made within 180 days of this letter, regulations require that you request an updated list. Please refer to the species list (SP) number shown above in all correspondence and reports.

Section 7 of the Act requires Federal agencies to assure that their actions are not likely to jeopardize the continued existence of endangered or threatened species. Federal funding, permitting, or land use management decisions are considered to be Federal actions subject to section 7. If the proposed action may affect a listed species, consultation with the Service is required. Formal consultation must be initiated for any project that is likely to adversely affect a threatened or endangered species. If a project involves a major construction activity and may affect listed species, Federal agencies are required to prepare a Biological Assessment. If a proposed species is likely to be jeopardized or if proposed critical habitat will be adversely modified by a Federal action, regulations require a conference between the Federal agency and the Service. A Federal agency may designate, in writing, you or another non-Federal entity to represent them in an informal consultation.

March 2005

If you have any questions about your responsibilities under section 7 of the Act, or require further information, please contact Brian Davis of this office at (208) 685-6954. Thank you for your continued interest in endangered species conservation.

Sincerely,

Dusan A. Burch

for Jeffery L. Foss, Field Supervisor
Snake River Fish and Wildlife Office

March 2005



WILL MILLER CONSULTING LLC – WARM SPRINGS RANCH
BLAINE COUNTY, IDAHO
SPECIES LIST #1-4-05-SP-413

LISTED SPECIES

COMMENTS

Gray wolf (*Canis lupus*)

XN - Experimental/Non-essential
population

PROPOSED SPECIES/CRITICAL HABITAT

None

CANDIDATE SPECIES¹

Yellow-billed cuckoo (*Coccyzus americanus*)

C

¹Candidate species have no protection under the Act, but are included for your early planning consideration. Candidate species could be proposed or listed during the project planning period, and would then be covered under Section 7 of the Act. The Service advises an evaluation of potential effects on candidate species that may occur in the project area.



Our mission: to educate through the identification, preservation, and interpretation of Idaho's cultural heritage.

Dirk Kempthorne
Governor of Idaho

Steve Guerber
Executive Director

Administration
1109 Main Street, Suite 250
Boise, Idaho 83702-5642
Office: (208) 334-2682
Fax: (208) 334-2774

Archaeological Survey
210 Main Street
Boise, Idaho 83702-7264
Office: (208) 334-3847
Fax: (208) 334-2775

Capital Education Center
Statehouse/P.O. Box 83720
Boise, Idaho 83720-0001
Office: (208) 334-5174

Historical Museum and
Education Programs
610 North Julia Davis Drive
Boise, Idaho 83702-7695
Office: (208) 334-2120
Fax: (208) 334-4059

Historic Preservation Office
210 Main Street
Boise, Idaho 83702-7264
Office: (208) 334-3861
Fax: (208) 334-2775

Historic Sites Office
2445 Old Penitentiary Road
Boise, Idaho 83712-8254
Office: (208) 334-2844
Fax: (208) 334-3225

Library/Historical and
Genealogical Collection
450 North Fourth Street
Boise, Idaho 83702-6027
Office: (208) 334-3356
Fax: (208) 334-3198

Oral History
450 North Fourth Street
Boise, Idaho 83702-6027
Office: (208) 334-3863
Fax: (208) 334-3198

Memberships and
Outreach and Development
1109 Main Street, Suite 250
Boise, Idaho 83702-5642
Office: (208) 334-3986
Fax: (208) 334-2774

Publications
450 North Fourth Street
Boise, Idaho 83702-6027
Office: (208) 334-3428
Fax: (208) 334-3198

State Archives/Manuscripts
2205 Old Penitentiary Road
Boise, Idaho 83712-8250
Office: (208) 334-2620
Fax: (208) 334-2626

DATE: April 24, 2005

TO: Laurie Mauser, Archaeological and Historical Resource Consulting

FEDERAL AGENCY: MISC

PROJECT NAME: *Cultural Resource Survey for Warm Springs Ranch, Ketchum, Idaho*
by Laurie Mauser and Madeline Buckendorf, Boise, Idaho

Section 106 Evaluation

<input type="checkbox"/>	The field work and documentation presented in this report meet the Secretary of the Interior's Standards.
<input checked="" type="checkbox"/>	No additional investigations are recommended; project can proceed as planned.
<input type="checkbox"/>	Additional information is required to complete the project review. (See comments.)
<input type="checkbox"/>	Additional investigations are recommended. (See comments.)

Identification of Historic Properties (36 CFR 800.4):

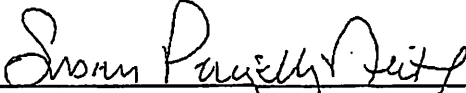
<input checked="" type="checkbox"/>	No historic properties were identified within the project area.
<input checked="" type="checkbox"/>	Properties are not eligible. Reason: Alterations (WS01-WS10); lack of historical integrity
<input type="checkbox"/>	Property is listed in National Register of Historic Places.
<input type="checkbox"/>	Property is eligible for listing in the National Register of Historic Places. Criterion: A B C D Context for evaluation:
<input checked="" type="checkbox"/>	No historic properties will be affected within project area.

Assessment of Adverse Effects (36 CFR 800.5):

<input type="checkbox"/>	Project will have <i>no adverse effect</i> on historic properties.
<input type="checkbox"/>	Project will have an <i>adverse effect</i> on historic properties; further consultation is recommended.

If you have any questions, feel free to contact Suzi Neitzel at 208-334-3847.

Comments:


Susan Pengilly Neitzel, Deputy SHPO
State Historic Preservation Office

April 24, 2005
Date



The Idaho State Historical Society is an Equal Opportunity Employer.



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
WALLA WALLA DISTRICT, CORPS OF ENGINEERS
IDAHO FALLS REGULATORY OFFICE
900 NORTH SKYLINE DRIVE, SUITE A
IDAHO FALLS, IDAHO 83402-1718

September 30, 2005

Regulatory Division

SUBJECT: NWW No. 042600087

Mr. Trent Stumph
Sawtooth Environmental Consulting, LLC
P.O. Box 2707
Ketchum, Idaho 83340

Dear Mr. Stumph:

This is in response to your August 19, 2005 letter to Mr. Greg Martinez of our Boise Regulatory Office regarding clarification of wording addressing the Warm Spring Ranch Development jurisdictional determination.

On December 13, 2004, Mr. Martinez wrote you to verify the accuracy of the delineation of waters of the U.S. for the Warm Springs Ranch Development property located at the current Warm Springs Golf Course, near Ketchum, Blaine County, Idaho.

I have coordinated with Mr. Martinez and we agree the wording in our December 13, 2004 jurisdictional determination letter should be revised to state there are *8.90 acres of waters of the United States, including wetlands.*

If you have any questions or need further information, please write or call me at 208-522-1645. A copy of this letter is being sent to Mr. Greg Martinez, U.S. Army Corps of Engineers, Boise Regulatory Office, 304 North 8th Street, Room 140, Boise, Idaho 83702-5820 and Mr. Will Miller PO Box 1030, Sun Valley, Idaho 83353

Sincerely,

A handwritten signature in black ink, appearing to read "Robert A. Brochu".

Robert A. Brochu
Regulatory Project Manager



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
WALLA WALLA DISTRICT, CORPS OF ENGINEERS
BOISE REGULATORY OFFICE
304 NORTH EIGHTH STREET, ROOM 140
BOISE IDAHO 83702-5820

December 13, 2004

Regulatory Division

SUBJECT: NWW No. 042600087

Mr. Will Miller
Will Miller Consulting, LLC
PO Box 1030
Sun Valley, Idaho 83353

Dear Mr. Miller:

Our approved jurisdictional determination indicates Warm Springs Golf Course, located near Ketchum, Idaho contains waters of the United States that are regulated under Section 404 of the Clean Water Act. A copy of our determination is enclosed. We reviewed your wetland delineation map dated June 2, 2004 entitled: *Warm Springs Ranch Development: Wetland Delineation*, prepared by Mr. Trent Stumph, and have determined the map accurately delineates the extent of waters of the United States—including wetlands. A copy of the approved map is enclosed. The map shows Warm Springs Creek and 8.90 acres of wetlands adjacent to Warm Springs Creek are waters of the United States. This jurisdictional determination is valid for a period of five (5) years from the date of this letter unless new information warrants revision of the determination before the expiration date.

We are enclosing an appeals form that explains the options you have if you do not agree with this approved jurisdictional determination: -If you decide to appeal this determination, you need to send the form to the Division Engineer, Northwestern Division, so he receives it within 60 days of this letter. If you have new information you want us to consider, you may send it to the Regulatory Division, Walla Walla District, at the letterhead address before you file the appeal.

Section 404 of the Clean Water Act (33 U.S.C. 1344) requires a Department of the Army permit be obtained for the discharge of dredged or fill material into waters of the United States, including wetlands. This includes excavation activities, which result in the discharge of dredged material and destroy or degrade waters of the United States. If your proposed project will involve discharging dredged or fill material into Big Wood River or adjacent wetlands, you will need to obtain a Department of the Army permit before you start work. We are enclosing an application form and pamphlet containing instructions for completing your application.

If you have any questions, telephone Mr. Eric M. Gerke at (208) 345-2286. A copy of this letter is being sent to: Mr. John Olson, Environmental Protection Agency, 1435 North Orchard Street, Boise, Idaho 83706; Mr. Trent Stumph, Sawtooth Environmental, LLC, PO Box 2707, Ketchum, Idaho 83340; and Mr. Harold Moniz, City of Ketchum Planning & Zoning Department, PO Box 2315, Ketchum, Idaho 83340.

Sincerely,



Gregory J. Martinez
Regulatory Project Manager

Enclosures

JURISDICTIONAL DETERMINATION
U.S. Army Corps of Engineers

Revised 8/13/04 1

DISTRICT OFFICE: Walla Walla (CENWW)
FILE NUMBER: NWW No. 042600087

PROJECT LOCATION INFORMATION:

State: Idaho
County: Blaine
Center coordinates of site (UTM): Zone: 11 North: 4840578 East: 711696
Approximate size of area (parcel) reviewed, including uplands: 76.0 acres.
Name of nearest waterway: Warm Springs Creek
Name of watershed: Big Wood River Watershed

JURISDICTIONAL DETERMINATION

Completed: Desktop determination Date: 12/13/04
Site visit(s) Date(s): 7/13/04

Jurisdictional Determination (JD):

Preliminary JD - Based on available information, there appear to be (or) there appear to be no "waters of the United States" and/or "navigable waters of the United States" on the project site. A preliminary JD is not appealable (Reference 33 CFR part 331).

Approved JD - An approved JD is an appealable action (Reference 33 CFR part 331).
Check all that apply:

There are "navigable waters of the United States" (as defined by 33 CFR part 329 and associated guidance) within the reviewed area. Approximate size of jurisdictional area:

There are "waters of the United States" (as defined by 33 CFR part 328 and associated guidance) within the reviewed area. Approximate size of jurisdictional area: 8.90 acres.

There are "isolated, non-navigable, intra-state waters or wetlands" within the reviewed area.

Decision supported by SWANCC/Migratory Bird Rule Information Sheet for Determination of No Jurisdiction.

BASIS OF JURISDICTIONAL DETERMINATION:

A. Waters defined under 33 CFR part 329 as "navigable waters of the United States":

The presence of waters that are subject to the ebb and flow of the tide and/or are presently used, or have been used in the past, or may be susceptible for use to transport interstate or foreign commerce.

B. Waters defined under 33 CFR part 328.3(a) as "waters of the United States":

(1) The presence of waters, which are currently used, or were used in the past, or may be susceptible to use in interstate or foreign commerce, including all waters which are subject to the ebb and flow of the tide.

(2) The presence of interstate waters including interstate wetlands¹.

(3) The presence of other waters such as intrastate lakes, rivers, streams (including intermittent streams), mudflats, sandflats, wetlands, sloughs, prairie potholes, wet meadows, playa lakes, or natural ponds, the use, degradation or destruction of which could affect interstate commerce including any such waters (check all that apply):

(i) which are or could be used by interstate or foreign travelers for recreational or other purposes.

(ii) from which fish or shellfish are or could be taken and sold in interstate or foreign commerce.

(iii) which are or could be used for industrial purposes by industries in interstate commerce.

(4) Impoundments of waters otherwise defined as waters of the US.

(5) The presence of a tributary to a water identified in (1) - (4) above.

(6) The presence of territorial seas.

(7) The presence of wetlands adjacent² to other waters of the US, except for those wetlands adjacent to other wetlands.

Rationale for the Basis of Jurisdictional Determination (applies to any boxes checked above). *If the jurisdictional water or wetland is not itself a navigable water of the United States, describe connection(s) to the downstream navigable waters. If B(1) or B(3) is used as the Basis of Jurisdiction, document navigability and/or interstate commerce connection (i.e., discuss site conditions, including why the waterbody is navigable and/or how the destruction of the waterbody could affect interstate or foreign commerce). If B(2, 4, 5 or 6) is used as the Basis of Jurisdiction, document the rationale used to make the determination. If B(7) is used as the Basis of Jurisdiction, document the rationale used to make adjacency determination:*

Warm Springs Creek is a Category (5) tributary because it flows into the Big Wood River, which flows into the Malad River, which flows into the Snake River, which is a Category (1) interstate waterway. 8.90 acres of wetlands (forested and scrub shrub) wetlands were identified as being hydraulically connected and adjacent to Warm Springs Creek. The identified wetlands have been delineated, using the 1987 Wetland Delineation Manual. Positive field indicators of hydrology, hydric soils and wetland plants were confirmed. These wetlands, therefore, are considered Category (7) wetlands.

Lateral Extent of Jurisdiction: (Reference: 33 CFR parts 328 and 329)

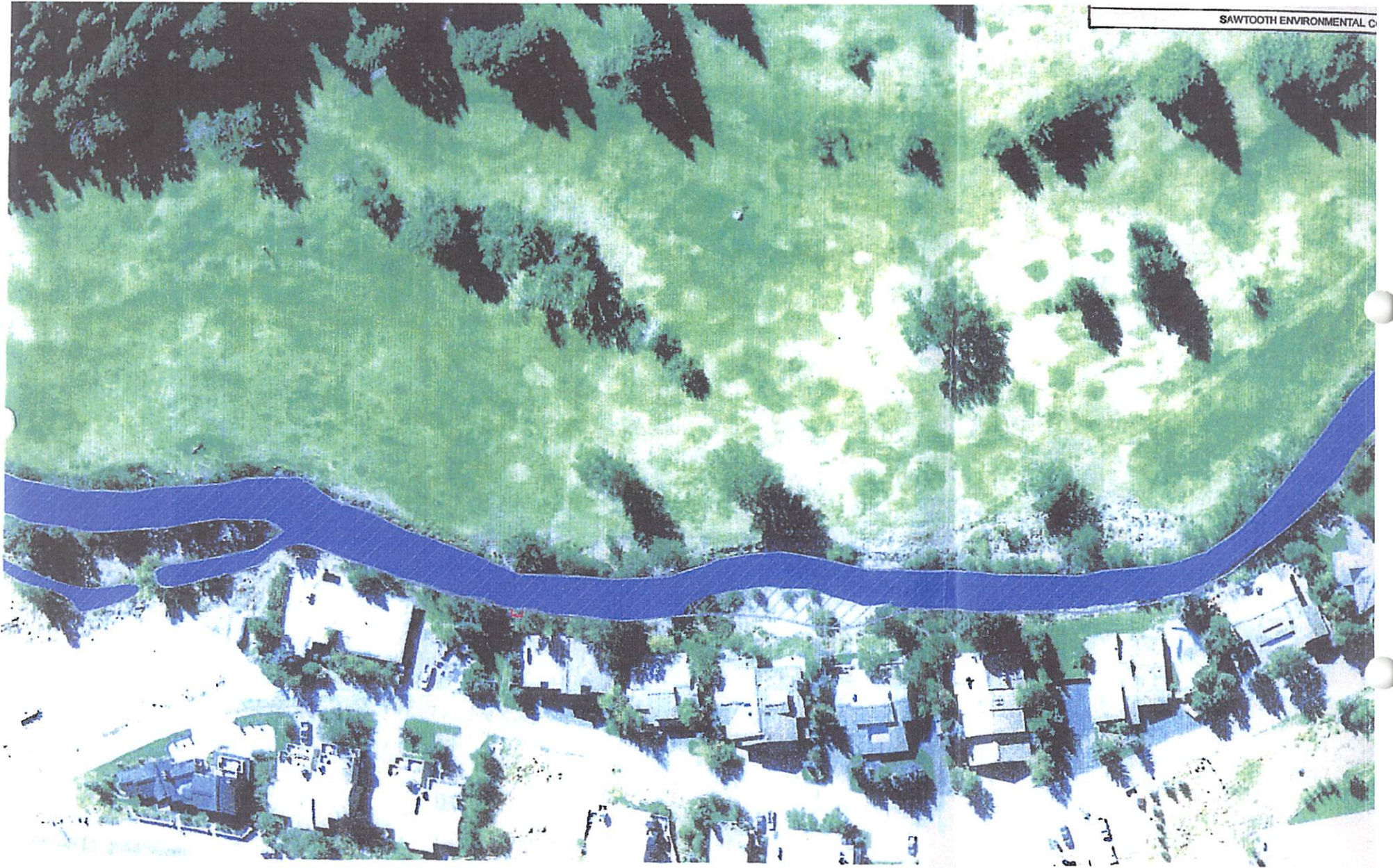
- Ordinary High Water Mark indicated by:
- clear, natural line impressed on the bank
 - the presence of litter and debris
 - changes in the character of soil
 - destruction of terrestrial vegetation
 - shelving
 - other:
- Mean High Water Mark indicated by:
- survey to available datum; physical markings; vegetation lines/changes in vegetation types.
- High Tide Line indicated by:
- oil or scum line along shore objects
 - fine shell or debris deposits (foreshore)
 - physical markings/characteristics
 - tidal gages
 - other:
- Wetland boundaries, as shown on the attached wetland delineation map and/or in a delineation report prepared by:

Basis For Not Asserting Jurisdiction:

- The reviewed area consists entirely of uplands.
- Unable to confirm the presence of waters in 33 CFR part 328(a)(1, 2, or 4-7).
- Headquarters declined to approve jurisdiction on the basis of 33 CFR part 328.3(a)(3).
- The Corps has made a case-specific determination that the following waters present on the site are not Waters of the United States:
- Waste treatment systems, including treatment ponds or lagoons, pursuant to 33 CFR part 328.3.
 - Artificially irrigated areas, which would revert to upland if the irrigation ceased.
 - Artificial lakes and ponds created by excavating and/or diking dry land to collect and retain water and which are used exclusively for such purposes as stock watering, irrigation, settling basins, or rice growing.
 - Artificial reflecting or swimming pools or other small ornamental bodies of water created by excavating and/or diking dry land to retain water for primarily aesthetic reasons.
 - Water-filled depressions created in dry land incidental to construction activity and pits excavated in dry land for the purpose of obtaining fill, sand, or gravel unless and until the construction or excavation operation is abandoned and the resulting body of water meets the definition of waters of the United States found at 33 CFR 328.3(a).
 - Isolated, intrastate wetland with no nexus to interstate commerce.
 - Prior converted cropland, as determined by the Natural Resources Conservation Service. Explain rationale:
 - Non-tidal drainage or irrigation ditches excavated on dry land. Explain rationale:
 - Other (explain):

DATA REVIEWED FOR JURSDICTIONAL DETERMINATION (mark all that apply):

- Maps, plans, plots or plat submitted by or on behalf of the applicant.
- Data sheets prepared/submitted by or on behalf of the applicant.
- This office concurs with the delineation report, dated July, 2004, prepared by (company): Sawtooth Environmental Consulting, LLC
- This office does not concur with the delineation report, dated _____, prepared by (company): _____
- Data sheets prepared by the Corps.
- Corps' navigable waters' studies:
- U.S. Geological Survey Hydrologic Atlas:
 - U.S. Geological Survey 7.5 Minute Topographic maps: Griffin Butte, 1967
 - U.S. Geological Survey 7.5 Minute Historic quadrangles:
 - U.S. Geological Survey 15 Minute Historic quadrangles:
 - USDA Natural Resources Conservation Service Soil Survey:
 - National wetlands inventory maps: Griffin Butte, 1992
 - State/Local wetland inventory maps:
 - FEMA/FIRM maps (Map Name & Date):
 - 100-year Floodplain Elevation is: _____ (NGVD)
 - Aerial Photographs (Name & Date):
 - Other photographs (Date):
 - Advanced Identification Wetland maps:
 - Site visit/determination conducted on: July 13, 2004
 - Applicable/supporting case law:
 - Other information (please specify):



PREPARED BY BENCHMARK ASSOCIATES P.A.
P.O. BOX 728 - 180 BELL CURVE
DITCHMAN, IDAHO, 83448
PHONE (208)728-8812 FAX (208)728-8814
Copyright © 2004 by Benchmark Associates.

APPROVED
[Handwritten Signature]

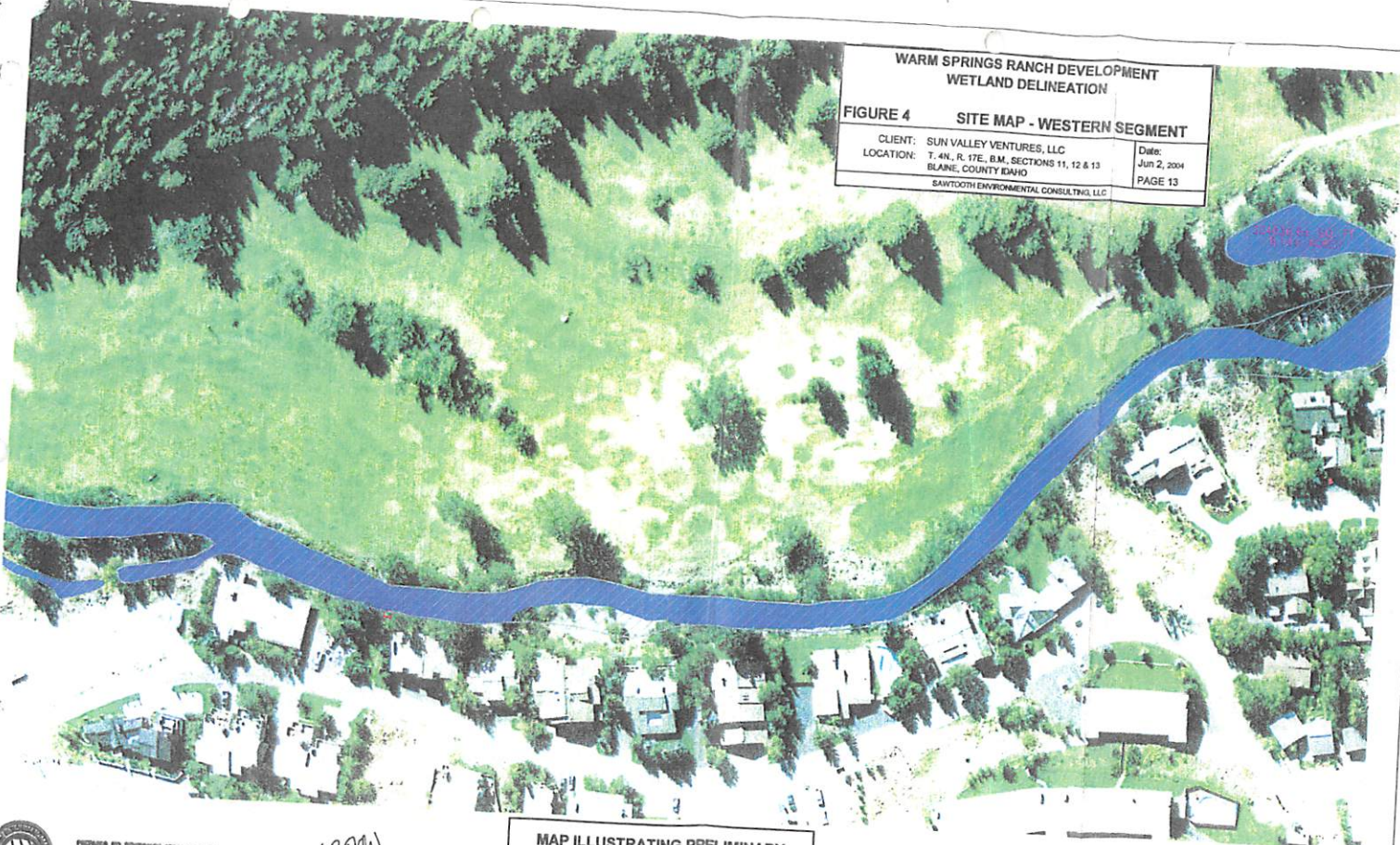
**MAP ILLUSTRATING PRELIMINARY
JURISDICTIONAL BOUNDARIES**

(WATERS OF THE U.S. INCLUDING WETLANDS)

WARM SPRINGS RANCH DEVELOPMENT
WETLAND DELINEATION

FIGURE 4 SITE MAP - WESTERN SEGMENT

CLIENT:	SUN VALLEY VENTURES, LLC	Date:	Jun 2, 2004
LOCATION:	T. 4N., R. 17E., E.M. SECTIONS 11, 12 & 13 BLAINE, COUNTY IDAHO		PAGE 13
SAWTOOTH ENVIRONMENTAL CONSULTING, LLC			



SAWTOOTH ENVIRONMENTAL CONSULTING, LLC
P.O. BOX 200 - 100 BELL BLVD
BLAINE, IDAHO 83401
PHONE (208) 732-4615 FAX (208) 732-4614
Copyright © 2004 by Sawtooth Association.

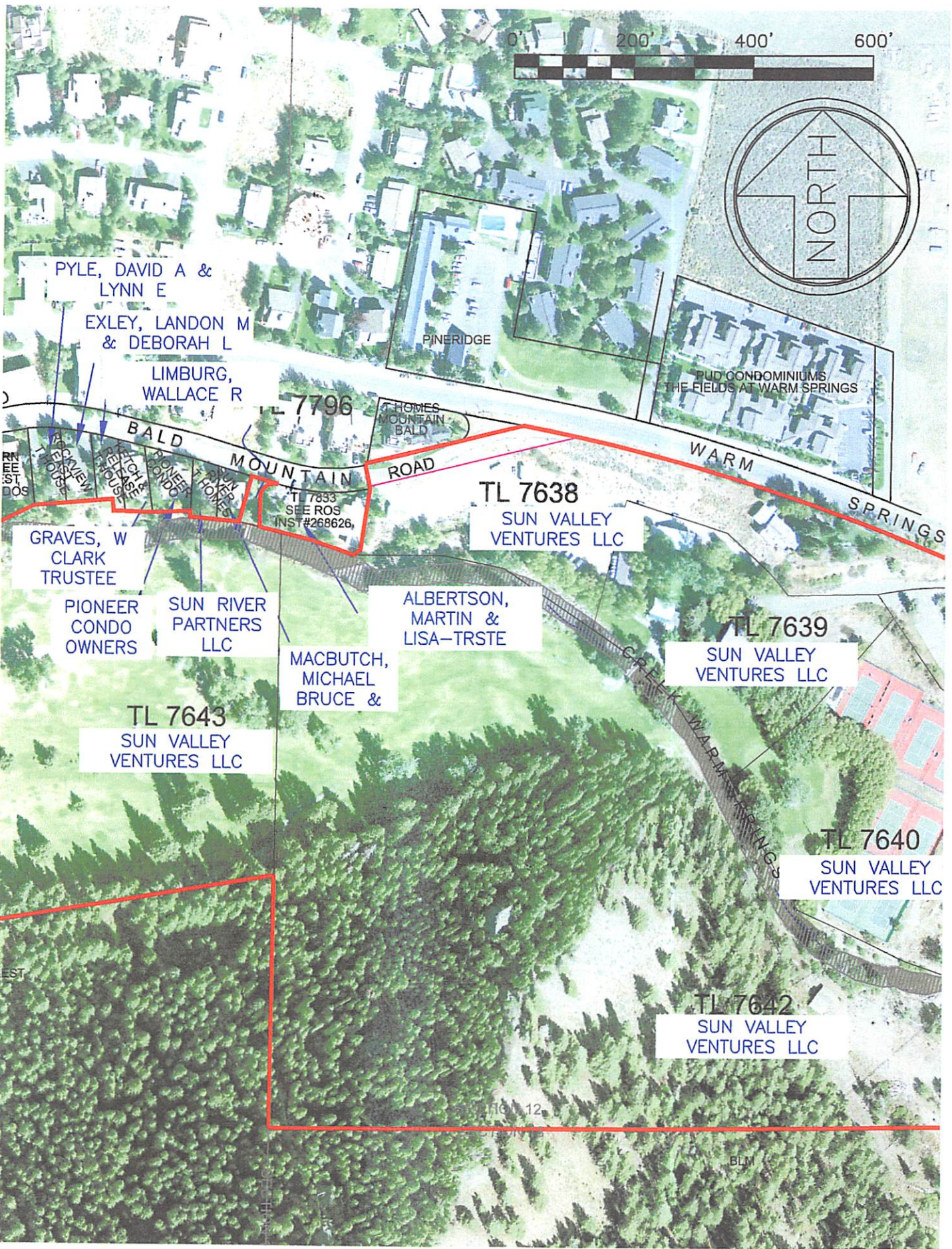
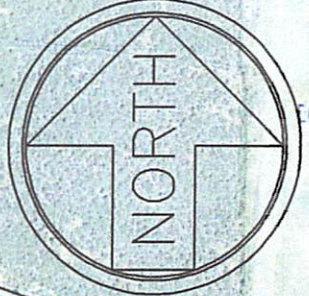
APPROVED
[Signature]

**MAP ILLUSTRATING PRELIMINARY
JURISDICTIONAL BOUNDARIES**
(WATERS OF THE U.S. INCLUDING WETLANDS)



Warm Springs Ranch Adjoining Property Owners 26-Aug-05						
OWNER	STREET ADDRESS	MAILING ADDRESS	CITY	ST	ZIP	PHONE (H)
Jim Cimino	2419 Warm Springs Road	PO Box 448	Sun Valley	ID	83353	(208)726-3485
David and Tara Martin	106 Irene Street	PO Box 710	Sun Valley	ID	83353	(208)726-5453
Mary Lou Simpson	112 Irene Street	PO Box 4912	Sun Valley	ID	83353	(208)726-3249
Annette Frehling	116 Irene Street	4102 Hackenberry	Boise	ID	83702	(208)727-1085
Christopher and Marsh Ingham	118 Irene Street	PO Box 1158	Sun Valley	ID	83353	(208)726-4917
Jay and Linda Cooper	126 Irene Street	7729 Vin Capri	LaJolla	CA	92037	(208)726-4683
Allen and Patricia Morgan	130 Irene Street	2133 Webster St	Palo Alto	CA	94301	(208)727-1632
Robert and Frances Davidson	134 Irene Street	1523 Parkside Dr. E	Seattle	WA	98112	(208)726-9064
Henry and Helen Dean	138 Irene Street	PO Box 5500	Ketchum	ID	83340	(208)726-9484
Frank and Susan Countner	Irene Street	4892 Denaro Drive	Las Vegas	NV	89135	(702)562-4942
Mrs. George (Dinah) Hutchinson	146 Irene Street	The Highlands	Seattle	WA	98177	(208)365-9376
Michel Lalanne	150 Irene Street	PO Box 1597	Sun Valley	ID	83353	(208)726-9751
LAD Ventures	154 Irene Street	PO Box 6256	Sun Valley	ID	83354	(208)622-3144
Rick and Jacque Doane	158 Irene Street	4405 91st Ave. NE	Yarrow Point	WA	98004	(425)454-6903
Mary Lou Simpson	162 Irene Street	PO Box 336	Ketchum	ID	83340	(208)726-3249
Dick Metz	307 Bald Mountain Drive	PO Box 2205	Ketchum	ID	83340	(208)726-3089
Penelope Ashkenazy	305 A Bald Mountain Drive	3308 81st Place SE	Mercer Island	WA	98040	(208)726-8044
Earl and Shirley Feiwell	305 B Bald Mountain Drive	6085 Eagle Crest Drive	Huntington Beach	CA	92648	(208)726-5771
M.C. Horning Jr	301 Bald Mountain Drive	4425 Jamboree Road #250	Newport Beach	CA	92660	
Viginia Clements	271 -1 Bald Mountain Drive	PO Box 27506	Tucson	AZ	85726	(208)726-9819
CLL Integrated Holding Corp	271 -2 Bald Mountain Drive	859 Cowan Road, Suite 300	Burlingame	CA	94010	
Landon and Deborah Exley	231 A Bald Mountain Drive	1130 Marine Drive	Laguna Beach	CA	92651	(208)726-1929
David and Lynn Pyle	231 B Bald Mountain Drive	200 Baker Street	Costa Mesa	CA	92626	(208)726-9806
Wallace Limburg	229 A Bald Mountain Drive	PO Box 5834	Ketchum	ID	83340	(208)726-4445
Clark Graves	229 B Bald Mountain Drive	1620 Glen Canyon Rd	Santa Cruz	CA	95060	(208)726-6861
James Todd	221 - 1 Bald Mountain Drive	875 Fifth Ave	New York	NY	10021	(208)726-9788
Sun Rivers Partners LLC	221 - 2 Bald Mountain Drive	30050 Chagrin Blvd, Suite 100	Pepper Pike	OH	44124	
Sun Rivers Partners LLC	215 - 1 Bald Mountain Drive	30050 Chagrin Blvd, Suite 100	Pepper Pike	OH	44124	
Michale MacButch	215 - 2 Bald Mountain Drive	2201 N Jana	Pocatello	ID	83204	(208)726-8422
Sun Valley Ventures	Existing Bridge Access	PO Box 5500	Ketchum	ID	83340	(208)726-4830
Martin and Lisa Albertson	Bald Mountain Drive	24351 Rolling View Road	Hidden Hills	CA	91302	UL
Sun Valley Ventures	Warm Springs Ranch	PO Box 5500	Ketchum	ID	83340	(208)726-4830
Premier Resorts c/o Charlie Donaldson	Warm Springs Townhomes 3	PO Box 659	Sun Valley	ID	83353	(208)727-4000
Premier Resorts c/o Charlie Donaldson	Warm Springs Townhomes 4	PO Box 659	Sun Valley	ID	83353	(208)727-4000
US Forest Service	Section 11	PO Box 2356	Ketchum	ID	83340	(208)622-0082
Bureau of Land Management	Section 13	400 West F Street	Shoshone	ID	83352	(208)732-7200

Warm Springs Creek Neighbors	311 River Run Drive	PO Box 6489	Ketchum	ID	83340	
Warm Springs Creek Neighbors	315 River Run Drive	PO Box 6489	Ketchum	ID	83340	
Kathleen Phelan	319 River Run Drive	PO Box 3068	Ketchum	ID	83340	(208)726-8611
Paul Hauermale	323 River Run Drive	1579 Calle De Cinco	La Jolla	CA	92037	
Tobin Dougherty	415 River Run Drive	PO Box 14001-303	Ketchum	ID	83340	(208)726-8112
Don Bauermeister	417 River Run Drive	4115 E Galen Street	Seattle	WA	98112	(208)726-2767
Roy Shaub	419 River Run Drive	3367 Highlawn Drive	Twin Falls	ID	83301	(208)726-8636
William Warberg	421 River Run Drive	PO Box 6249	Ketchum	ID	83340	
Theresa Higdon	423 River Run Drive	PO Box 2280	Ketchum	ID	83340	(208)726-8484
Theresa Higdon	425 River Run Drive	PO Box 2280	Ketchum	ID	83340	(208)726-2117
Richard Walcott	525 Broadway Blvd	PO Box 7071	Ketchum	ID	83340	(208)726-3560
Jane Suzich	521 Broadway Blvd	302 Lakeside Ave. South #302	Seattle	WA	98144	(208)725-5705
Jim Conger	517 Broadway Blvd	PO Box 62	Sun Valley	ID	83353	(208)726-3278
Linda Morton	513 Broadway Blvd	PO Box 720	Sun Valley	ID	83353	(208)726-2045
Jim Milgard	509 Broadway Blvd	9304 96th Street NW	Gig Harbor	WA	98332	
Richard and Leslie Gadsby	505 Braodway Blvd	PO Box 281	Sun Valley	ID	83353	(208)726-4373
John Melin	501 Broadway Blvd	PO Box 6889	Ketchum	ID	83340	(208)726-5505
GM LLC	445 Broadway Blvd	PO Box 757	Hailey	ID	83333	
Ed Honest Properties	441 Broadway Blvd	PO Box 737	Ketchum	ID	83340	
Doug Aanestad	437 Broadway Blvd	PO Box 737	Ketchum	ID	83340	(208)726-7519
Steve Wingard	433 Broadway Blvd	PO Box 835	Ketchum	ID	83340	(208)726-5873



PYLE, DAVID A &
LYNN E

EXLEY, LONDON M
& DEBORAH L

LIMBURG,
WALLACE R

PINERIDGE

PUD CONDOMINIUMS
THE FIELDS AT WARM SPRINGS

TL 7796

THOMAS
MOUNTAIN
BALD

BALD

MOUNTAIN

ROAD

WARM

SPRINGS

TL 7638

SUN VALLEY
VENTURES LLC

TL 7833
SEE ROS
INST#268626,

GRAVES, W
CLARK
TRUSTEE

PIONEER
CONDO
OWNERS

SUN RIVER
PARTNERS
LLC

ALBERTSON,
MARTIN &
LISA-TRSTE

MACBUTCH,
MICHAEL
BRUCE &

TL 7639

SUN VALLEY
VENTURES LLC

TL 7643
SUN VALLEY
VENTURES LLC

TL 7640

SUN VALLEY
VENTURES LLC

TL 7642

SUN VALLEY
VENTURES LLC

16112

BLM

Warm Springs Ranch -- Replacement Bridge						
Adjoining Property Owners (1,000' downstream and 300' upstream)						
26-Aug-05						
OWNER	STREET ADDRESS	MAILING ADDRESS	CITY	ST	ZIP	PHONE (H)
Landon and Deborah Exley	231 A Bald Mountain Drive	1130 Marine Drive	Laguna Beach	CA	92651	(208)726-1929
David and Lynn Pyle	231 B Bald Mountain Drive	200 Baker Street	Costa Mesa	CA	92626	(208)726-9806
Wallace Limburg	229 A Bald Mountain Drive	PO Box 5834	Ketchum	ID	83340	(208)726-4445
Clark Graves	229 B Bald Mountain Drive	1620 Glen Canyon Rd	Santa Cruz	CA	95060	(208)726-6861
James Todd	221 - 1 Bald Mountain Drive	875 Fifth Ave	New York	NY	10021	(208)726-9788
Sun Rivers Partners LLC	221 - 2 Bald Mountain Drive	30050 Chagrin Blvd, Suite 100	Pepper Pike	OH	44124	
Sun Rivers Partners LLC	215 - 1 Bald Mountain Drive	30050 Chagrin Blvd, Suite 100	Pepper Pike	OH	44124	
Michale MacButch	215 - 2 Bald Mountain Drive	2201 N Jana	Pocatello	ID	83204	(208)726-8422
Sun Valley Ventures	Existing Bridge Access	PO Box 5500	Ketchum	ID	83340	(208)726-4830
Martin and Lisa Albertson	Bald Mountain Drive	24351 Rolling View Road	Hidden Hills	CA	91302	UL
Sun Valley Ventures	Warm Springs Ranch	PO Box 5500	Ketchum	ID	83340	(208)726-4830
US Forest Service	Section 11	PO Box 2356	Ketchum	ID	83340	(208)622-0082
Bureau of Land Management	Section 13	400 West F Street	Shoshone	ID	83352	(208)732-7200

Harold Moniz

From: Linda Haavik [lhaavik@co.blaine.id.us]
Sent: Wednesday, November 23, 2005 12:02 PM
To: Harold Moniz
Subject: Sun Valley Ventures proposed bridge replacement

Harold, I see no conflict with the City proceeding with its design review of the bridge replacement application by Sun Valley Ventures next week. While we have not received notice of this consideration by the P&Z Commission, we have an application from Sun Valley Ventures for the same bridge...being located in both the City's and County's jurisdiction. We are not in a position to schedule this application at this time, but that should not impede the City's review and consideration under its regulations.

Please provide this office with a copy of the public hearing notice on the bridge replacement for our files. I will look forward to receiving copies of the final documents memorializing the City's decision with regard to the bridge replacement application when they are available.

On the matter of subdivision, you faxed a copy of the public hearing notice for a subdivision application by the same applicant, but my understanding now is that consideration has been reset for December 12th. Please provide a copy of the new notice for that consideration. I received a copy of the plat pages from the applicant's representative and hope to review it prior to your meeting.

Thanks, Linda Haavik
Blaine County PZ
lhaavik@co.blaine.id.us

November 14, 2005

MR HENRY DEAN
SUN VALLEY VENTURES. LLC
PO BOX 5500
KETCHUM, ID 83340

Re: Application for Permit No. 37-S-20020

The Department of Water Resources has reviewed your proposed project for the proposed bridge that will cross Warm Springs Creek, and has determined the project to be exempted from procedural requirements of Chapter 38, Title 42, Idaho Code (Idaho Stream Channel Protection Act) , if the project is limited to the work authorized by the Army Corps of Engineers under Section 404 of the Clean Water Act.

The office of the Governor has approved temporary rulemaking by the Idaho Water Resource Board as authorized by Section 42-3803, Idaho Code. By resolution, the Water Resource Board has adopted temporary new subsection .05 to Rule 25 of the Stream Channel Alteration Rules.

.05 Section 404 Permits Recognized. Projects and activities authorized under Section 404 of the Clean Water Act (P.L. 92-500) meet the minimum standards of these rules. The procedural requirements of Chapter 38, Title 42, Idaho Code, requiring the filing, processing and approval of an application for permit are dispensed with as provided in Section 4203803(d), Idaho Code, and an authorization for a project or activity pursuant to Section 404 of the Federal Clean Water Act is recognized as a permit under these rules implementing Chapter 38, Title 42, Idaho Code.

Approval granted under Section 404 of the Clean Water act constitutes approval under chapter 38, title 42 of state law for the effective duration of the temporary rule set out in the previous paragraph. If you amend the project to include activities within the mean high water marks of a perennial stream channel, that are not authorized by the Corps of Engineers under the Section 404, you will need a state permit for that work. Additionally any work undertaken within the mean high water mark of a perennial stream channel, that has not been permitted by the Corps of Engineers or the Idaho Department of Water Resources shall be considered as a violation of the Stream Channel Protection Act.

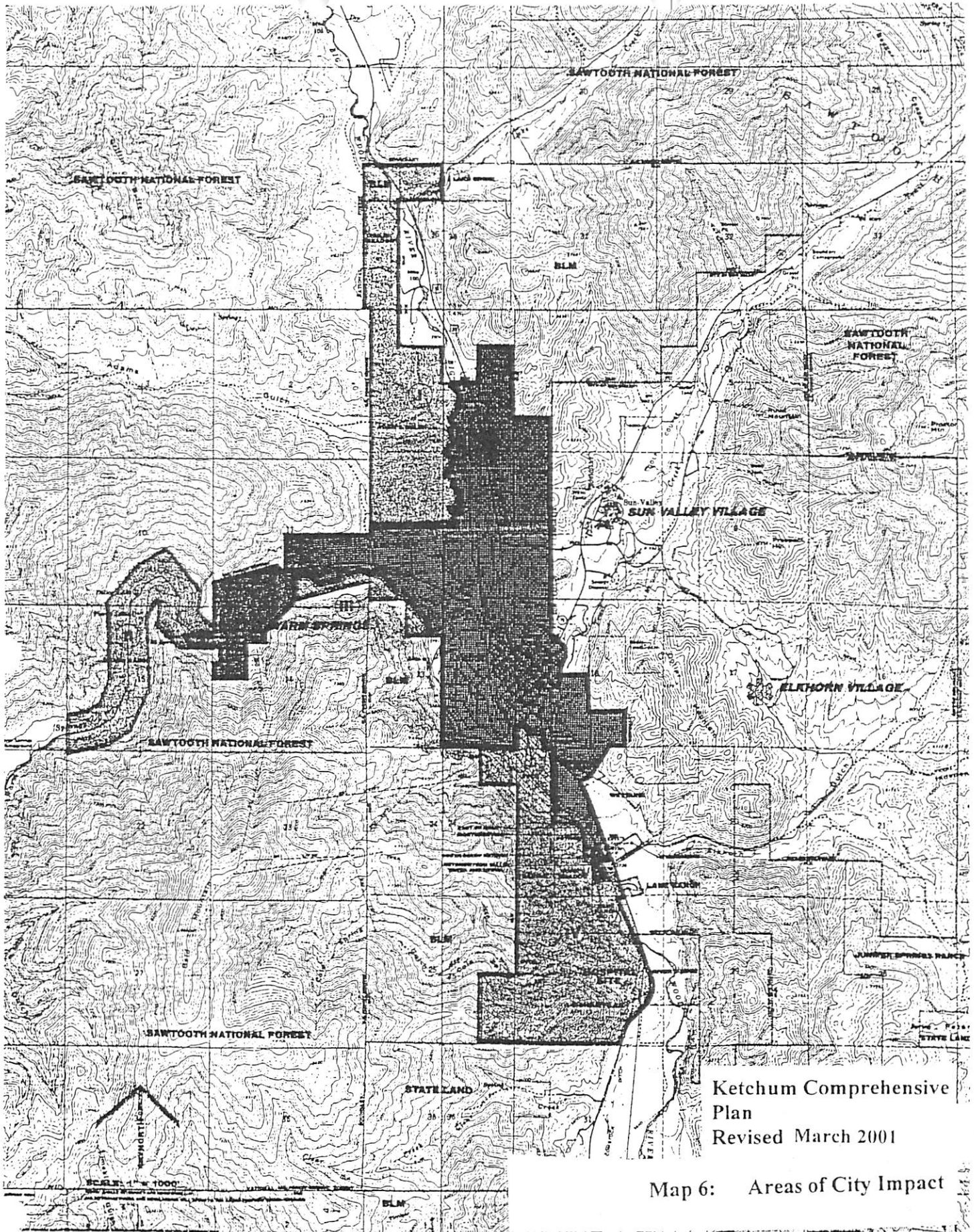
If you have any questions concerning this approval please contact this office prior to starting work.

Please notify Terry Blau of this office of proposed construction dates, 3 days prior to commencement of construction.

Sincerely,

Terry Blau
Idaho State Stream Channel Protection Specialist

cc: IDFG (Jer.), IDEQ(TF), C of E(IF), Blaine County, City of Ketchum, Will Miller



Ketchum Comprehensive
Plan
Revised March 2001

Map 6: Areas of City Impact

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF OCTOBER 10, 2005

PROJECT: Sun Valley Ventures Replacement Bridge

FILE NUMBER: FP05-017

OWNER: Sun Valley Ventures, LLC, verified , April 2005 with Assessor


REQUEST: Construction of a bridge crossing Warm Springs Creek connecting land within Ketchum City limits (Tax Lot 7640) to lands in unincorporated Blaine County (Tax Lot 6980)

LOCATION: Tax Lot 7796 and Tax Lot 7643

NOTICE: Adjacent Property Owners noticed on September 27, 2005.

CURRENT ZONING: Tourist (T) on City zoned side of the creek; A-10 on Blaine County side of the creek

OVERLAY: Floodplain (FP)

REVIEWER: Harold Moniz, Planning Director 

NOTE: Staff comments are in lighter type.

ATTACHMENTS: Attachment 1: Joint Application for Permit, US Army Corps of Engineers and Idaho Department of Water Resources
Attachment 2: Comments from City Departments
Attachment 3: Area of City Impact Map
Attachment 4: Riparian Restoration Plan

BACKGROUND

1. The applicant is proposing a 65 foot long, 30 foot wide, two-lane vehicular bridge to cross Warm Springs Creek. The bridge will serve Tax Lot 7643 which is in unincorporated Blaine County. This tax lot was previously part of the Warm Springs Ranch Annexation and Planned Unit Development. The applicant withdrew that application on September 27, 2005. This application is for a replacement bridge only and does not include an annexation request.

2. The bridge will replace a failing bridge used for vehicular access to the golf course property. The new bridge will improve necessary access to the property and allow logging operations for the Forest Service Fuels Reduction program to occur as well as helping with the elk trapping operations this fall/winter. A detailed description of the 65 foot long bridge is found in Attachment 1, Project Overview.

3. Tax Lot 7643 is part of the existing golf course property, unincorporated, and is within Ketchum's Area of City Impact. Idaho Code Chapter 67-6527 provides for a negotiation process between cities and counties whereby the cities can identify an "Area of City Impact". Ketchum has four Areas of City Impact as shown on the map in Attachment 3. The City and County have an Area of City Impact Agreement from 1994 which outlines review authority and, in some cases, a future zoning designation in these four Areas of City Impact. This tax lot is in the area designated as "Area III." The agreement lays out a process for how each jurisdiction should notify the other jurisdiction in the event of an application in this area. The Planning Department has complied with these requirements.

ZONING CODE REQUIREMENTS

FLOOR AREA, LOT AREA, TOTAL LAND AREA, LOT COVERAGE, BUILDING HEIGHT, PROPOSED SETBACKS, REQUIRED SETBACKS, CURB CUT AND PARKING SPACES: N/A

EVALUATION STANDARDS

"YES, NO, or N/A":

17.88.060(E) WATERWAYS DESIGN REVIEW:

 1. **Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.** The application, if approved, will result in work within the river channel as it is a bridge. The bridge is proposed to be constructed of structural steel girders/beams supported on cast-in-place concrete footings/stem walls. The bridge footing/stem wall structures will be constructed outside of the Ordinary High Water Mark of Warm Springs Creek and protected with buried riprap material. Natural rock will be used to face the sides of the bridge. The river channel will not be altered by the proposal.

 ? 2. **Preservation of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone.** The applicant submitted a restoration plan which is included in this packet. Staff has not had time to review the plan. The applicant will provide an overview and detail out the restoration plan at the meeting.

 ? 3. **Plan and time frame are provided for restoration of riparian vegetation damaged as a result of the work done.** The applicant submitted a restoration plan which is included in this packet. Staff has not had time to review the plan. The applicant will provide an overview and detail out the restoration plan at the meeting.

 ? 4. **New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such**

plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, beb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle. The applicant submitted a restoration plan which is included in this packet. Staff has not had time to review the plan. The applicant will provide an overview and detail out the restoration plan at the meeting.

5. **Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.** The application materials to the Army Corps and IDWR contain a signed Engineer "No Rise" certification stating that the proposed bridge will not increase the 100 year floodplain elevations, floodway elevations and floodway widths on Warm Springs Creek in this vicinity.

6. **Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.** Due to the "No Rise" certification, no long term impacts are anticipated to aquatic life, recreation and water quality. Short term impacts may occur during construction. The applicant has stated that best management practices will be utilized. Additional details for the best management practices proposed are outlined on pages 4 and 5 of the Army Corps/IDWR submittal, Attachment 1.

7. **Building setback in excess of minimum required along waterways is encouraged.** No buildings are proposed at this time. In their previous review of the proposed annexation and PUD, the Commission recommended (pursuant to the Area of City Impact Agreement) that the County's more restrictive building setback of fifty (50) feet apply to this property. For this reason, Staff recommends that construction fencing be installed at the fifty (50) foot mark. (Note that construction fencing will not limit the majority of the construction activities for this project but will ensure that no additional encroachments occur.)

N/A 8. **The bottom of the lowest floor in the floodplain is a minimum of one (1) foot above the I.R.F.**

N/A 9. **The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent.**

10. **Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for.** The proposed bridge is a two-lane bridge 65 feet long by 30 feet wide. The bridge will be constructed to AASHTO standards.

Comments from the Ketchum Fire Department and the City Engineer will be brought to the meeting.

 ? 11. **Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.** The applicant has stated that natural rock will be employed to face the sides of the bridge to meet visual objectives. A graphic depiction of this rock facing will be brought to the meeting. The applicant submitted a restoration plan which is included in this packet. Staff has not had time to review the plan. The applicant will provide an overview and detail out the restoration plan at the meeting.

 12. **(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.** The applicant has submitted the materials to the appropriate technical agencies for review and consideration.

 13. **(Stream Alteration) No increase to the 100-year floodplain upstream or downstream has been certified by a registered Idaho engineer.** The application materials to the Army Corps and IDWR contain a signed Engineer "No Rise" certification stating that the proposed bridge will not increase the 100 year floodplain elevations, floodway elevations and floodway widths on Warm Springs Creek in this vicinity.



 14. **(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.** The completed project will allow for some fisherman's access under the bridge. The bridge is elevated one (1) foot above the 100 year floodway and will create an average in-stream head clearance of approximately three (3) feet above water level.

 15. **Wetlands are not diminished.** No designated wetlands exist in the construction area. The application materials submitted states that wetlands will not be diminished.

 16. **(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.** Fish habitat will be maintained as no construction is planned during spring high flows, fish spawning and incubation periods. Erosion control measures will be utilized and other best management practices will be employed.

 17. **(Stream Alteration) The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.** The proposed work will not alter recreation and access to public lands.

 18. **(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole**

access to areas of habitation. The proposed bridge will replace an existing failing bridge which provides vehicular access to the golf course property. The bridge will allow thinning operations within the Forest Service managed area and facilitate elk trapping this fall/winter.

FOR MOTION PURPOSES:

1. This project, Sun Valley Ventures Replacement Bridge, **does not** meet the standards for approval under Chapter 17.88 of Ketchum Zoning Code Title 17 **because of the following standards** (Commission to insert reasons for denial); or,
2. This project, Sun Valley Ventures Replacement Bridge, **does** meet the standards for approval under Chapter 17.88 of Ketchum Code Title 17 only if the following conditions of approval are met.

PROPOSED CONDITIONS:

1. Ketchum Water, Sewer, Fire and Building Department requirements shall be met;
2. Design review approval shall expire six (6) months from the date of approval;
3. Construction fencing shall be located at the fifty (50) foot setback line prior to issuance of a building permit and shall remain in place for the duration of construction to limit the disturbance to the riparian areas;
4. Prior to issuance of a building permit and prior to any on-site excavation, a construction mitigation plan shall be submitted to the Planning Department pursuant to Resolution Number 785;
5. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
6. All other permits from agencies with jurisdiction shall be obtained prior to the start of any construction;
7. Riparian vegetation and other landscaping is maintained in perpetuity as shown on approved plans; and,
8. Restoration of damaged riparian vegetation within riparian zone shall be required prior to completion of the proposed project. A bond to assure such restoration may be required prior to commencement of such work.

**DO NOT START WORK UNTIL YOU
 RECEIVE PERMITS FROM BOTH THE
 CORPS AND THE STATE**

This application may be used to apply for both a Department of the Army permit from the U.S. Army Corps of Engineers (Corps) and for State of Idaho permits. Department of the Army permits are required by Section 10 of the Rivers and Harbors Act of 1899 for any structures or work in or affecting navigable waters of the United States and by Section 404 of the Clean Water Act for discharges of dredged or fill material into waters of the United States, including their adjacent wetlands. State permits are required under the State of Idaho, Stream Channel Protection Act (Title 42, Chapter 38, Idaho Code) and the Idaho Lake Protection Act, Section 58-142 et. seq., Idaho Code. **Route Uses: Information provided on this form will be used in evaluating the application. Disclosure of requested information is voluntary. If information is not provided, however, the permit application cannot be processed nor can permits be issued.** Applicants should send this completed application, along with one set of good reproducible drawings showing the location and character of the proposed project, to both the Corps of Engineers and the State of Idaho. NOTE: DRAWINGS NO LARGER THAN 8-1/2 X 11 INCHES IN SIZE. The Applicant Information pamphlet provides instructions and a checklist for completing the drawings.

1. Corps of Engineers # _____ Date Received _____	2a. Department of Water Resources # _____ Date Received _____ Fee Rec'd By: _____ Receipt # _____	2b. Department of Lands # _____ Date Received _____ Fee Rec'd By: _____ Receipt # _____
--	---	---

PLEASE TYPE OR PRINT

3. a. Applicant <u>Sun Valley Ventures, LLC (c/o Henry Dean, Partner)</u>	4. a. Authorized Agent <u>Will Miller Consulting, LLC</u>
b. Mailing Address <u>PO Box 5500</u> <u>Ketchum, ID 83340</u> Area _____ Area _____	b. Mailing Address <u>P.O. Box 1030</u> <u>Sun Valley, ID 83353</u> Area _____ Area _____
c. Work Phone (208) <u>726-4830</u> Home () _____	c. Work Phone (208) <u>788-0099</u> Home () _____
d. Fax Number <u>(208) 726-1659</u>	d. Fax Number <u>(208) 788-0075</u>
e. Email Address <u>henrywdean@cox-internet.com</u>	e. Email Address <u>williamcmiller@cox.net</u>

5. Location where proposed activity exists or will occur.	5. e. Tax Assessor's Description <u>RP -</u> <u>04N17011658C</u>
a. Waterway <u>Warm Springs Creek</u> Tributary of <u>Big Wood River, Malad, Snake River</u>	Distance/Direction from nearest city/town <u>1 mile west of Ketchum, ID</u>
b. Distance/Direction from nearest city or town <u>83340</u> <u>City of Ketchum and Blaine County</u>	f. 1/4 <u>1/4</u> Section <u>11,12 & 13</u> Township <u>Twp. 4 N</u> Range <u>Rng. 17 E</u>
c. Zip Code <u>Local jurisdiction (city or county)</u>	g. UTM Coordinate Grid _____ Zone _____ Northing _____ Easting _____
d. Directions to the site <u>1 mile west of Ketchum, ID on Warm Springs Rd. Property located on the south side of the road between the road and mountain side.</u>	

6. a. Describe Project (Work below the ordinary high water mark or in wetlands).
The proposed activity is a replacement bridge located on the Warm Springs Ranch. The project will replace an existing railroad car bridge with failing abutments with two new abutments and a new bridge deck. The replacement bridge deck will be 30-feet in width and 65-feet in length. Both new bridge abutments will be located outside the OHWM.

b. Construction methods and equipment Typical construction methods and equipment (excavator, bull dozer, and front end loader) will be utilized to clear, excavate, fill, and grade within the construction zone.
Best management practices (BMPs) will be utilized to ensure natural resource protection and conservation.
 c. Length of project along the stream or extension into lake or reservoir: Approximately 50 linear feet along Warm Springs Creek.
 d. Size and flow capacity of proposed bridge or culvert and area of drainage served (sq. miles): (Idaho Department of Water Resources requirement.)
The discharge capacity of the bridge is in excess of the FEMA 100 year discharge of 1,250 cfs. The watershed area is approximately 96.9 square-miles.

COMPLETE THE FOLLOWING FOR DISCHARGES OF DREDGED OR FILL MATERIAL

7. a. Volume dredged or fill material to be placed waterward of the ordinary high water mark (BOTH TEMPORARY AND PERMANENT)?	<u>100</u> (cubic yards)
b. Will fill be placed in wetlands? <u>NO</u> If yes, area: _____ (acres) Type of fill material: _____ (i.e. rock and gravel)	
c. Will dredging be required waterward of the ordinary high water mark or in wetlands? <u>YES</u> If yes, volume <u>145</u> (cubic yards)	
d. Type of dredged material <u>Earth, rock, concrete (with steel reinforcement)</u>	
e. Disposal site for dredged material: <u>Approved off-site</u> Method of dredging: <u>Track hoe excavator</u>	
f. Method to control turbidity and sedimentation: <u>Water filled coffer damn and silt fencing. BMP's in accordance with Idaho DEQ and NWP Conditions.</u>	
g. Is project located in a mapped floodway? <u>YES</u> If yes, complete the Engineering "No-Rise" certification form.	

8.a. Purpose and intended use: Commercial _____ Public _____ Private X Other _____ Describe _____

b. Reason for project Replacement of existing structure that provides vehicular access to the Waiprings Golf Course.

9. Proposed Starting Date November 2005 Estimated Duration Approximately 1-2 months

10. List portions of the project that are complete with month and year of completion
Label this work on your drawings.

11. Names, addresses, and telephone numbers of all adjoining property owners, lessees, etc.

Please see attached list of adjoining landowners
in Project Overview

Check here if the alteration is located on endowment lands administered by the Idaho Department of Lands

12. LEGAL OWNER IF OTHER THAN APPLICANT

a. Name _____ d. Phone Work () _____
b. Mailing Address _____ Home () _____
c. City, State, Zip Code _____

13. List applications, approvals, or certifications from other Federal, state, or local agencies for work described in this application.

Issuing Agency	Type of Approval	Identification No.	Date of Application	Date of Approval
<u>Idaho Dept of Water Resources</u>	<u>Stream Alteration Permit</u>	_____	_____	_____
<u>Blaine County</u>	<u>CUP - Floodplain, SAP</u>	_____	_____	_____
<u>City of Ketchum</u>	<u>CUP - Floodplain, Riparian</u>	_____	_____	_____

14. Has any agency denied approval for the proposed activity? Yes _____ No X (If "Yes" explain)

15. Other comments/information:

Please see attached Project Overview and attachments.

16. Application is hereby made for a permit or permits to authorize the activities described herein. I certify that I am familiar with the information contained in this application and that to the best of my knowledge and belief, such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities. I hereby grant to the agencies to which this application is made, the right to come upon the above-described location to inspect the proposed and completed work.

[Signature] Henry Dean (Partner and Project Manager) 9/21/05
Signature of Applicant (ORIGINAL SIGNATURE REQUIRED) Printed Name Date

17. If you wish to designate an authorized agent, complete item 4, item 16 and the following information.

I hereby designate Will Miller to act as my agent in matters related to this permit application. I understand that if a Federal permit is issued, I must sign the permit.

[Signature] 9/21/05 [Signature] 9/21/05
Original Signature of Authorized Agent Date Original Signature of Applicant Date

18 U.S.C. Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious, or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than 5 years or both.

DO NOT SEND CORPS PROCESSING FEE WITH APPLICATION
SEND IDAHO DEPARTMENT OF WATER RESOURCES OR IDAHO DEPARTMENT OF LANDS FILING FEE WITH APPLICATION

PROJECT OVERVIEW

NATIONWIDE PERMIT #3 and #33 REPLACEMENT BRIDGE CROSSING OF WARM SPRINGS CREEK

WARM SPRINGS RANCH CITY OF KETCHUM AND BLAINE COUNTY, IDAHO

September 20, 2005

Introduction

This Project Overview is for work on the Warm Springs Ranch located in the City of Ketchum and Blaine County, Idaho. The proposed activity is a replacement bridge crossing of Warm Springs Creek. The existing bridge structure is structurally unsound due to failing abutments and will be replaced with new abutments, superstructure, and decking.

The proposed activity is a single and complete project. The bridge provides sole vehicular access to the Warm Springs golf course for maintenance and operations.

The replacement bridge abutments and approaches will be located outside the Ordinary High Water Mark (OHWM) of Warm Springs Creek. The project will not result in the fill or excavation of special aquatic sites including wetlands. The project is located within the FEMA mapped floodway.

Warm Springs Ranch is located one mile west of downtown Ketchum in T4N, R17E, Sections 11, 12 and 13, Blaine County, Idaho as shown on Sheet 1. The existing Warm Springs Ranch consists of a restaurant, nine-hole golf course, eight tennis courts, an artificial waterway with several fish ponds, and various equipment/storage sheds and service outbuildings as shown on Sheet 2. The 77-acre Ranch property is bordered by U.S. Forest Service and Bureau of Land Management public lands and residential subdivisions.

Existing environmental conditions and jurisdictional information for the Project Area are shown on Sheets 3 and 4 including: County and City Riparian Setbacks, Property Boundary, Ordinary High Water Marks, Ketchum/Blaine County Boundary, and the 100 year FIRM Floodplain.

Description of Project Activity

The proposed activity will replace the existing bridge crossing of Warm Springs Creek located at River Station 36+58. The existing railroad car bridge is structurally unsound due to failing abutments.

Existing site conditions are shown on Sheets 4 and 6. The existing bridge deck is 10-feet in width and 38-feet in length. The replacement bridge will be 30-feet in width and 65-feet in length. The increase in deck width is needed to bring the bridge into safety code for fire access and the increase in length is necessary to remove the abutments from within the OHWM. The existing abutments and wing walls are 30-feet in width and the proposed replacement abutments will be 30-feet in width.

The increased span length and location of the new abutments outside the OHWM will improve the hydraulic conveyance of the bridge opening. Fill from the existing abutments that is within the OHWM will be removed and the existing stream banks pulled back and re-vegetated.

Bridge construction will consist of structural steel grinders/beams supported on cast-in-place concrete footings/stem walls. The bridge footing/stem wall structures will be constructed outside of the OHWM of Warm Springs Creek and protected with buried rip-rap material. The bridge and approaches will meet current American Association of State Highway and Transportation Officials (AASHTO) standards.

Project Purpose

The purpose of the proposed activity is to replace the existing failing bridge structure and to make necessary changes in design, materials, and safety standards. The project will provide vehicular access necessary to operate the Warm Spring golf course. In addition, the replacement bridge will help facilitate the Warm Springs Fuel Reduction Project by the US Forest Service and the Elk Relocation Project by the Idaho Fish and Game to occur.

The existing and proposed bridge and its access are located on Warm Springs Ranch property in both the City of Ketchum and Blaine County, Idaho as shown on Sheet 4 and 5.

The Warm Springs Ranch property accessed by the bridge has a long history of use as a golf course during summer months. In addition to the existing vehicular bridge the Warm Springs Ranch property has an existing pedestrian/golf cart bridge located downstream. Currently, there is no bridge access to the Golf Course property that meets operational needs, construction codes or safety standards for fire access. The only upland access alternative is across private property not owned by Sun Valley Ventures, bordering the Warm Springs Ranch property to the West.

Jurisdictional Delineations

On-site investigations and surveys were conducted by Trent Stumph of Sawtooth Environmental during 2004 and 2005 to identify areas on the Warm Springs Ranch project site that are considered "waters of the US" including jurisdictional wetlands and special aquatic sites which are given federal protection under

Section 404 of the federal Clean Water Act (CWA). The process of identifying, delineating and mapping aquatic sites involved on-the-ground surveys over the project site to determine the range of conditions present.

During the surveys the location of aquatic sites, including "potential jurisdictional wetlands" and other waters of the US were noted and mapped by Benchmark Associates. The report Jurisdictional Wetland Delineation – Warm Springs Ranch Development was approved by the U.S. Army Corps of Engineers on December 13, 2004. The approval letter and the Jurisdictional Map are attached. The Map shows 8.9 acres of jurisdictional waters of the United States. Jurisdictional areas on the Warm Springs Ranch include the following habitat cover types:

- **Riverine Upper Perennial Unconsolidated Bottom Permanently Flooded (R3UBH).** This habitat cover type occupies the identified stream channel associated with Warm Springs Creek.
- **Riverine Upper Perennial Unconsolidated Shoreline Seasonally Flooded (R3USC).** This habitat cover type occupies the identified stream channel and floodway associated with Warm Springs Creek.
- **Palustrine Forested Temporarily Flooded (PFOA).** This habitat cover type occupies small pockets of undisturbed ground within the lower segment of the property where hydrologic inputs are sufficient enough to support forested wetland characteristics.
- **Palustrine Scrub-Shrub Seasonally Flooded (PSSC).** This habitat cover type occupies a portion of the southern end of the lower segment in areas where hydrologic inputs are sufficient enough to support shrub wetland characteristics.

Project Area and Work Actions

Work actions for the replacement bridge project will include:

- Work Action 1: Two new bridge abutments (north and south sides of Warm Springs Creek)
- Work Action 2: Buried riprap protection for the two bridge abutments
- Work Action 3: Removal of the existing bridge deck, abutments, and riprap.
- Work Action 4: Temporary water-filled dams during construction

Jurisdictional Impacts

Removal of the existing bridge abutments and riprap (WA-3), construction of the replacement bridge abutments (WA-1), buried rip rap protection (WA-2), and use of temporary water-filled dams (WA-4), will require work within the OHWM. The following table summarizes the jurisdictional impacts of the proposed work actions by area and volume of fill material placed and excavated.

PROJECT SUMMARY FOR JURISDICTIONAL IMPACTS

WORK	FILL IN	FILL WITHIN	FILL WITHIN	EXCAVATION	PROJECT
ACTIONS	WETLANDS	OHWM	OHWM	WITHIN	DETAILS
	ACRES	ACRES	YDS 3	YDS 3	
WA-1	0.0	0.00	0.0	70.0	C-8, C-9
WA-2	0.0	0.01	40.0	40.0	C-8, C-9
WA-3	0.0	0.00	0.0	35.0	C-6, C-7
WA-4	0.0	0.01	60.0	0.0	
TOTALS	0.0	0.02	100.0	145.0	

Alternatives Assessment

The proposed bridge crossing is located at the same crossing as the existing bridge that has been historically used to gain access to the Warm Springs golf course. The bridge is currently accessed off Bald Mountain Road using an unimproved access road owned by Warm Springs Ranch.

Alternatives evaluated included: (1) No action which would not allow vehicular access to the property for golf course operations, fire safety, fuels reduction or elk relocation; (2) the Proposed Alternative; and (3) Replacement of the deck only.

The proposed alternative to replace the abutments, superstructure, and deck was selected in order to meet current construction and safety code and to improve the hydraulic conveyance thru the proposed bridge opening by removing the unsound abutments from within the OHWM and pulling the stream banks back. The replacement structure will significantly improve the channel geometry. Creek flow velocities are maintained within acceptable levels, and no adverse impacts exist associated with the hydraulic function and performance of the Creek at the proposed bridge crossing location. HEC-RAS computer modeling was used to provide the parameters incorporated in the design of the bridge structure.

Mitigation Measures/Minimize Impact

The project has been designed and planned to avoid and minimize jurisdictional impacts wherever possible. To comply with mitigation sequencing, it has been determined that no other practicable upland alternative exists, and that no alternative exists with less adverse impact. The bridge structure will be steel beam construction to minimize its height and aesthetic impact. As a result of design and planning efforts impacts have either been eliminated or significantly reduced.

A variety of construction measures to minimize and/or mitigate impact from this project will be implemented. The following list provides a summary of the measures that will be undertaken:

- The project will be implemented during the time specified to avoid spring high flows and fish spawning and egg incubation periods.
- Prior to initiating construction activities all erosion control measures shall be installed at the project site.
- Prior to initiating construction activities all spill prevention measures shall be implemented at the site.
- Petroleum storage or refueling areas will not be allowed within 100 feet of Warm Springs Creek.
- A temporary coffer dam along the banks of Warm Springs Creek during construction and silt fence will be installed along all construction areas prior to the bridge installation to minimize the potential of sediment and debris being introduced into flowing water of the Creek.
- The condition and function of project BMP's will be monitored daily and repaired as necessary throughout the duration of the project.
- A qualified Engineer and/or representative will be on-site to oversee construction activities during critical operations.
- The phased excavation of materials with separate storage for lower (finer) and upper (coarser) materials, in addition to reverse replacement of the materials will collectively minimize the potential for introducing sediment into Warm Springs Creek.
- Vegetation will be re-established over all disturbed areas to reduce short term and long term soil erosion, and to align with the natural landscape of the project. All landscaping and revegetation activities will be managed by a certified landscape architect.
- For compensatory mitigation, the project will revegetate 20 linear feet of streambank and riparian area 10 feet back from the OHWM downstream of the proposed activity along the south bank.

Hydrology and Hydraulic Design

The Federal Emergency Management Agency (FEMA) has identified the Floodplain and Floodway of Warm Springs Creek with a detailed hydraulic study. The boundaries of these flood limits are presented on the FEMA Flood Insurance Rate Maps (FIRMs) Panels 434B and 442B of 1950, for Blaine County, Idaho, Community Number 165167, as revised March 17, 1997. The areas of flooding concern along Warm Springs Creek are located in both Blaine County and the City of Ketchum and are shown on these maps even though the maps indicate the areas are "unincorporated areas". These maps show the maximum water elevation of the 100-year flood and the horizontal limits of the 100-year floodplain and floodway.

The flood attributes presented on the FEMA FIRMs are generated with computer models that utilize a creek's topography and discharges to approximate the

stream's hydraulic characteristics and flood limits. The FEMA flood analysis of the Warm Springs Ranch was based upon 11 creek and valley cross-sections. The 100-year discharge used in the FEMA model is 1,250 cfs.

The FEMA 100-year floodplain boundaries, as published, and as determined by the graphic representation shown on the Flood Insurance Rate Map (FIRM) and by the elevations of the Intermediate Regional Flood (I.R.F.) contained in the Flood Insurance Study are indicated on the existing condition maps Sheets 4 and 6. These floodplain boundaries along the bridge crossing project reach of the Warm Springs Creek are known to be inaccurate; with acknowledgement and concurrence provided by Scott Van Hoff, Idaho Department of Water Resources – National Flood Insurance Program State Coordinator.

The precise 100-year flood elevation has been determined by site specific river survey cross sections and HEC-RAS hydraulic computer modeling by GeoEngineers, Inc., project consulting engineers. The HEC-RAS computer model of the creek was used to validate the true 100-year flood elevation, and to ensure that the proposed bridge crossing will span the floodway and provide a minimum of 1.0-ft of freeboard above the 100-year flood elevation. The model provides the parameters to facilitate detailed design of the bridge crossing span, and the location of the supporting structural abutment/footing systems.

The new hydraulic model developed for the existing creek condition employed 36 cross-sections which were surveyed and used for this bridge crossing modeling effort. Based on this model, the 100-year water surface elevation at the upstream face of the existing 33.5-ft span bridge centered at creek station 36+65 is 5825.57.

The hydraulic model was adjusted to account for the new configuration of the proposed 65-ft span replacement bridge centered at creek station 36+58. The 100-year water surface elevation at the upstream face of this proposed bridge is 5825.28. This new bridge results in a 0.29-ft reduction in the 100-year water surface elevation. The low chord of the proposed bridge will be located at least 1.0-ft above the calculated elevation of 5825.28 to provide adequate freeboard. The conclusions relative to the 100-year flood elevation made by the HEC-RAS modeling for the bridge crossing project are supported by an Engineering "No-Rise" Certification prepared specifically for this bridge project site, and sealed by GeoEngineers, Inc.

Fish and Wildlife

Information on the location of endangered, threatened, proposed, and/or candidate species or critical habitat for the project site was obtained from the U.S. Fish and Wildlife Service on July 30, 2004 and April 4, 2005 and is referenced as the "Warm Springs Ranch Restoration and Enhancement Project – Blaine County, Idaho – Species List File #970.0700 SP #1-4-05-SP-413. Species which "may occur in the area of the proposed project" include the Gray

wolf (*Canis lupus*) which is an endangered "experimental/non-essential population" and the Yellow-billed cuckoo (*Coccyzus americanus*) which is a candidate species. There is no proposed or existing critical habitat in the area of the project. Research indicates the nearest wolf activity to the project was unconfirmed sightings of two wolves north of Bald Mountain in January 2003. Field survey and assessments on the Warm Springs Ranch property have not identified the presence or evidence of either the Gray wolf or the Yellow-billed cuckoo.

A database review of the property by the Idaho Conservation Center for plant and animal species contained no known occurrences of "species of special concern" within the project area. A Streamnet Data search by Idaho Fish and Game indicates the documented presence of the Wood River sculpin (*Cottus leiopomus*) in the Big Wood River. Idaho Fish and Game and others have surveyed for the species in Warm Springs Creek and they do occur in varying densities up and downstream of the Warm Springs Ranch property. Field survey and stream assessments on the Warm Springs Ranch study area did not identify the presence of the Wood River Sculpin.

Cultural Resources

A cultural resources survey of the Warm Springs Ranch property was completed during the summer 2004. The objectives of the survey were to document any prehistoric and historic cultural material on the site through the review of archival sources and on-site surface examination in accordance with 36 CFR 800.

The report "Cultural Resources Survey for Warm Springs Ranch, Ketchum, Idaho" by Madeline Buckendorf and Laurie Mauser was submitted to the Idaho State Historic Preservation Office and the Ketchum Historical Preservation Commission on March 24, 2005 for review and concurrence. Nine cultural resources on the Warm Springs Ranch were recorded during the survey. Though most of the buildings and structures on the property are less than 50 years old, they were still recorded as individual properties for the purposes of the survey. Of the nine cultural resources recorded during survey none are eligible for the National Register of Historic Places as they do not meet the criteria for eligibility. The Section 106 Evaluation and Identification of Historic Properties Evaluation by SHPO dated April 24, 2005 is attached and states that: 1) no historic properties were identified within the project area, 2) the properties are not eligible, and 3) no historic properties will be affected within the project area.

The Warm Springs Creek Bridge (WS-08) is discussed in the Report as follows: "The simple one-span bridge is located across the Creek approximately 800 feet southwest from the Warm Springs Ranch Inn. The bridge's wood decking is closed, and is composed of wood planks supported by steel beams. The beams spanning the creek lie on top of deteriorating concrete wing walls projecting from the banks. The beams have the following inscription painted on them: "USA 3347 4 US Army T C Lt. Wt. 34,000." The beams spanning the creek are reinforced

underneath by steel I-beams. The bridge was built from salvaged parts to provide maintenance access to the golf course in the 1960s. The bridge does not meet the 50-year age criteria for consideration for the NRHP, and therefore is not eligible.”

Regulatory Permits, Reviews, and Approvals

Sun Valley Ventures, LLC is applying for and/or complying with the following federal, state, and local regulatory requirements.

Federal:

- Nationwide Permit #3: Maintenance (replacement bridge) – US Army Corps of Engineers
- Nationwide Permit #33: Temporary Construction, Access, and Dewatering – US Army Corps of Engineers

State:

- Stream Alteration Permit – Idaho Department of Water Resources
- 401 Water Quality Certification – Idaho Department of Environmental Quality

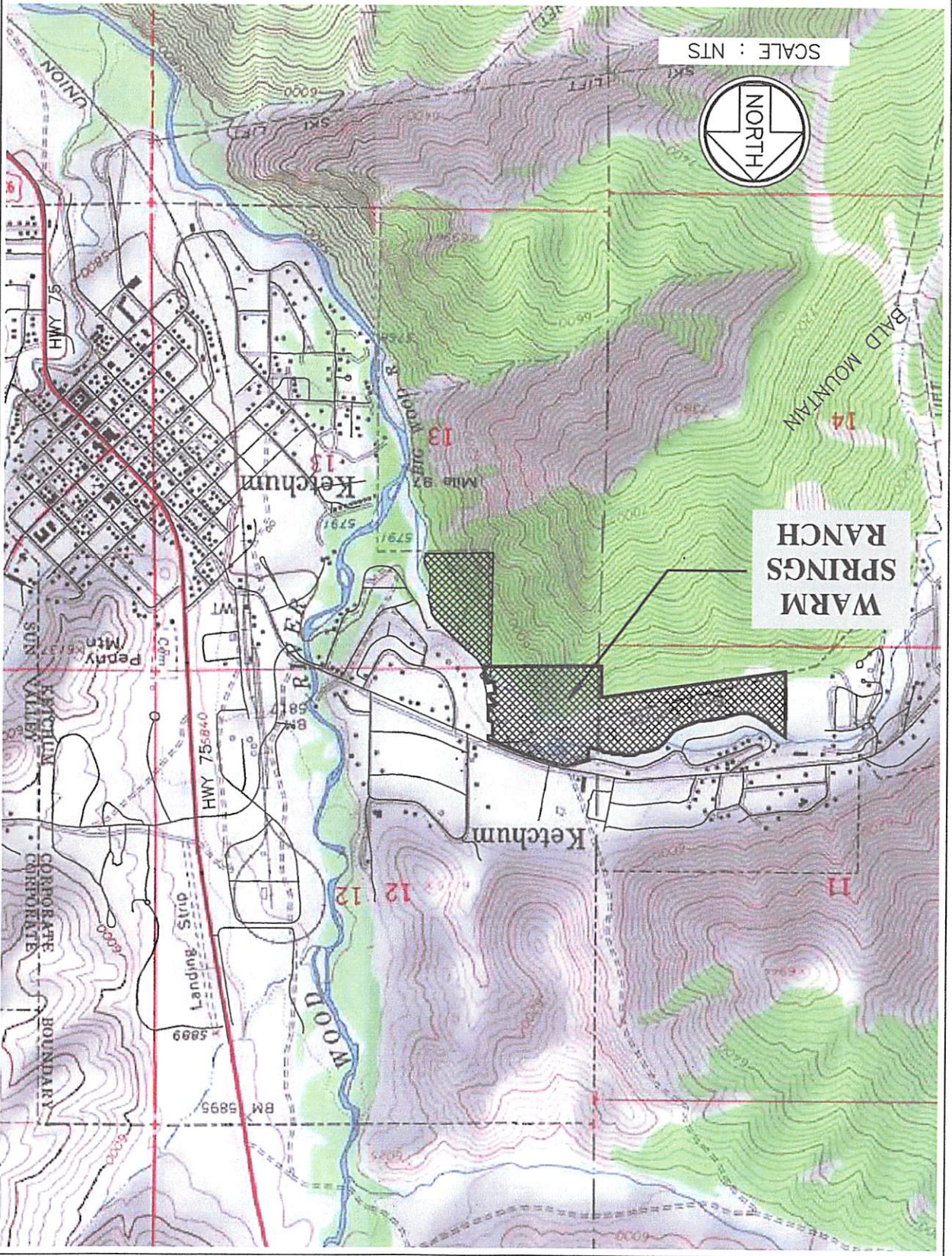
Local:

- Stream Alteration Permit – Blaine County
- Conditional Use Permit: Floodplain and Riparian - Blaine County
- Conditional Use Permit: Floodplain and Riparian - City of Ketchum

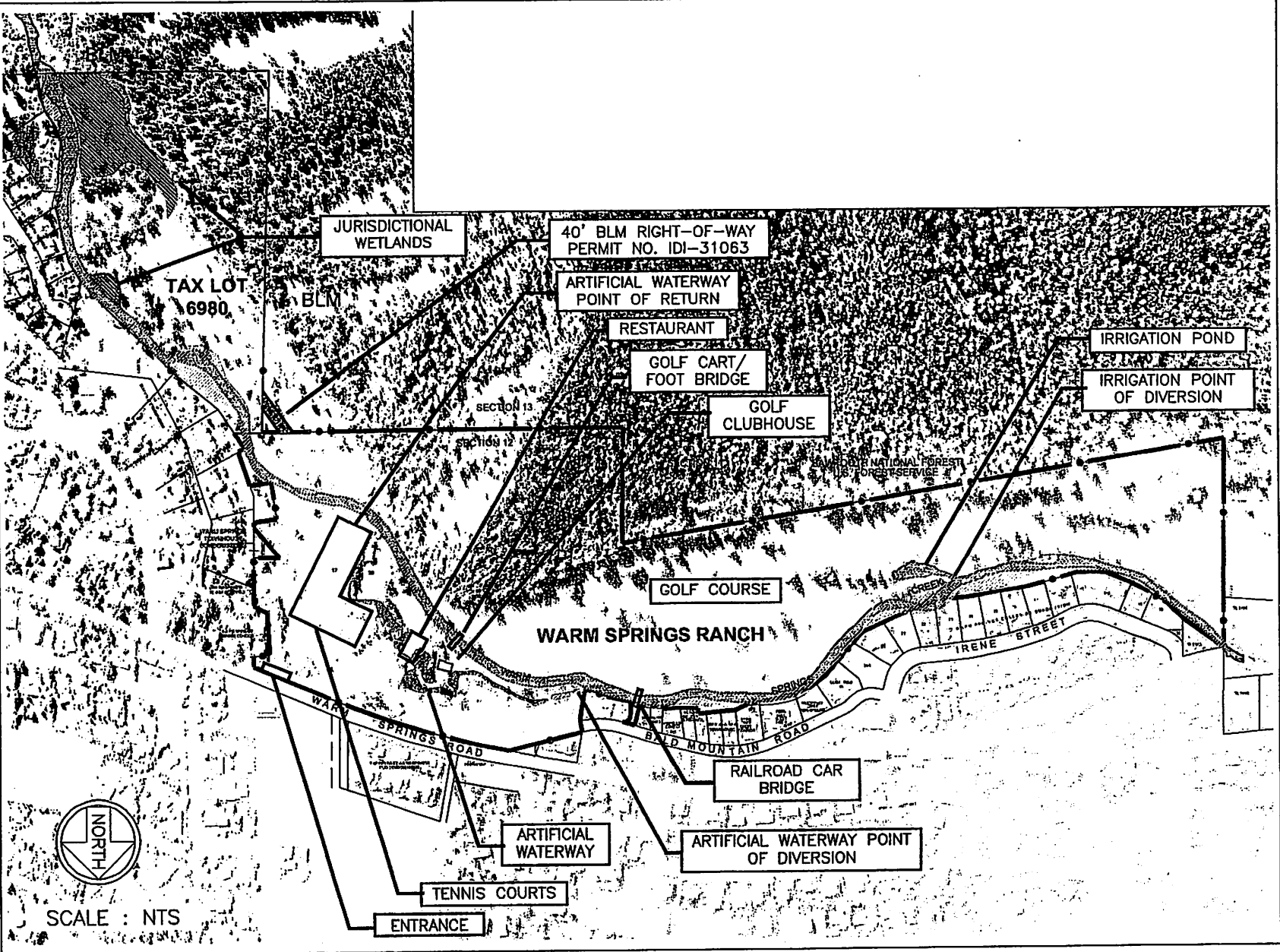
Interagency meetings and communications on the Warm Springs Ranch property have occurred with the following Federal and state agents.

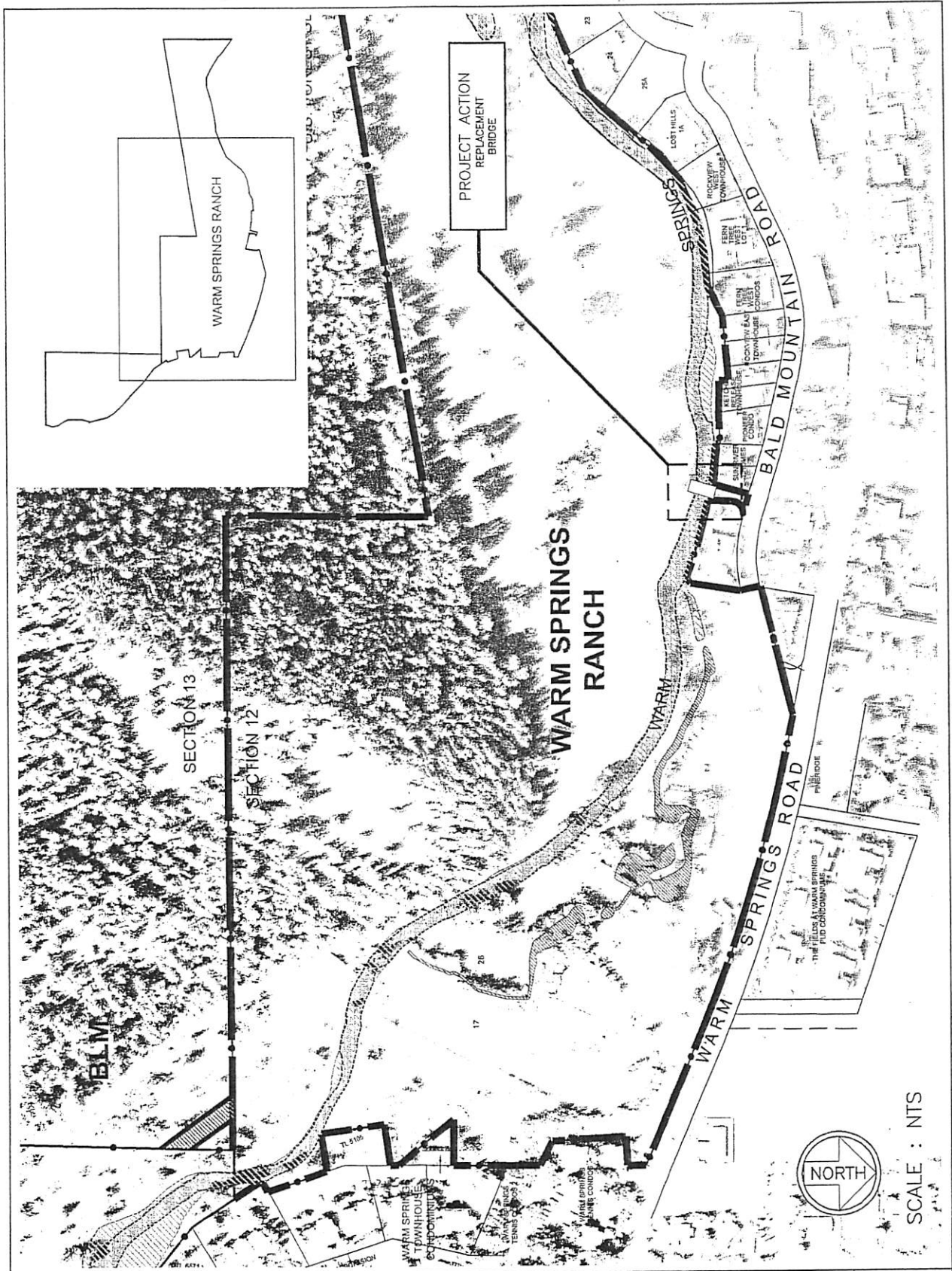
- Terry Blau, Idaho Department of Water Resources
- Scott Van Hoff, Idaho Department of Water Resources – National Flood Insurance Program State Coordinator
- Eric Gerkhe, US Army Corps of Engineers
- Mike McDonald, Idaho Fish and Game
- Chuck Warren, Idaho Fish and Game
- Roger Olsen, Idaho Fish and Game
- Lee Garwood, Idaho Fish and Game
- Scott Stanton, Idaho Department of Environmental Quality
- Greg Martinez, US Army Corps of Engineers
- John Olsen, US Environmental Protection Agency
- Rob Brochu, US Army Corps of Engineers
- Suzie Neitzel, Deputy SHPO, Idaho Historic Preservation Office

Revision No:	Date:	Description:	Initials:	Designed:	Drawn:	Checked:	Date:	Project No:	Warm Springs Ranch Sun Valley Ventures, LLC	Warm Springs Creek Replacement Bridge Blaine County, Idaho	Sheet	Of
					JEL		09/20/05	02337	P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340		1	1
BENCHMARK												
VICINITY MAP												
Drawing:												



Revision No:	Date:	Description:	Initials:	Drawn:	Checked:	Date:	Project No:
				JEL		08/20/05	02337
BENCHMARK ASSOCIATES P.A. P.O. BOX 735, 100 BELL DR. KETCHIKAN, IDAHO 83340				EXISTING CONDITIONS			
Warm Springs Ranch Sun Valley Ventures, LLC				Warm Springs Creek Replacement Bridge Sun Valley Ventures, LLC			
Drawing: 1-2 Sheet: OF							



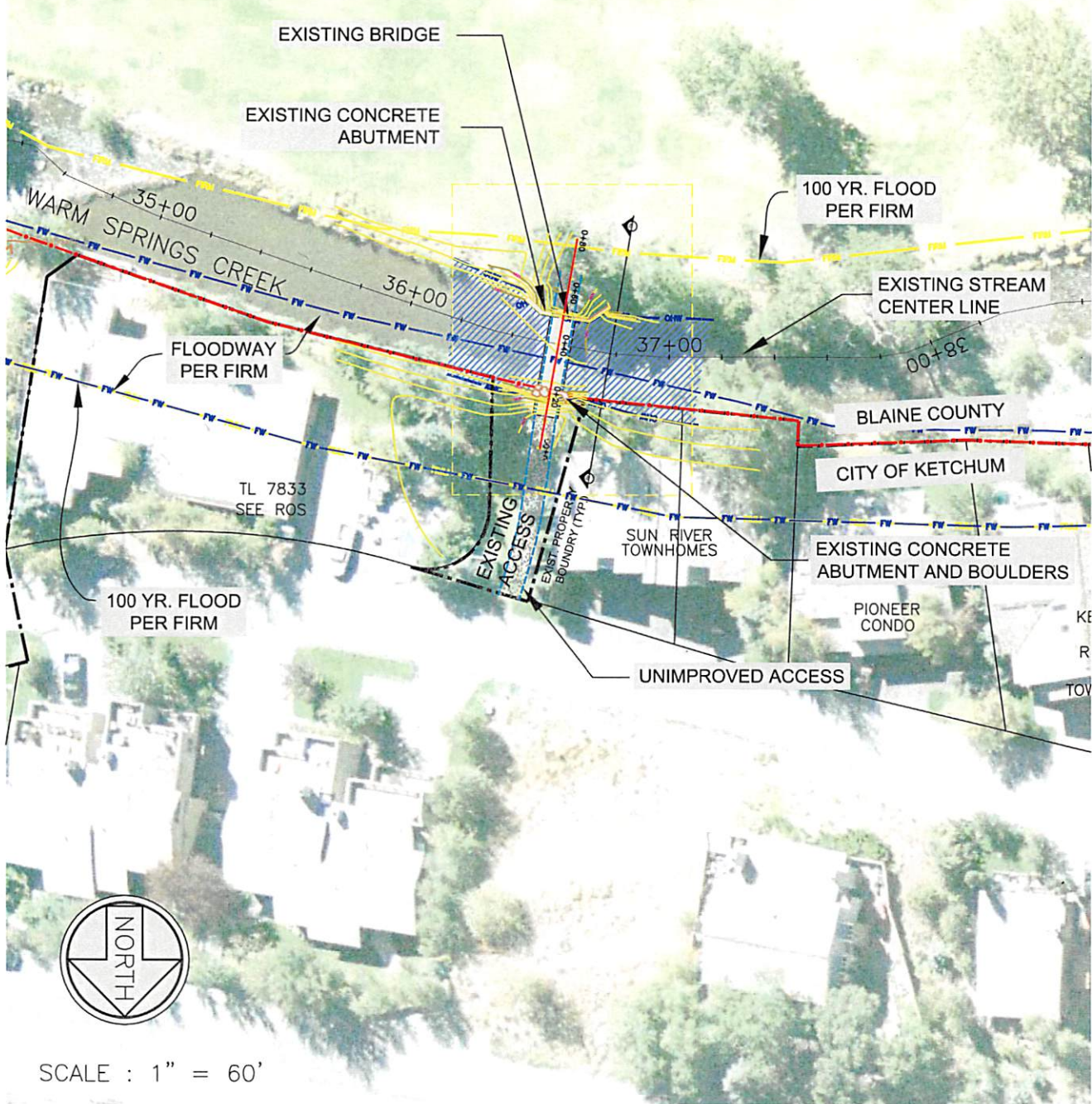


Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340 Warm Springs Ranch Sun Valley Ventures, LLC	PROPOSED ACTION LOCATION Warm Springs Creek Replacement Bridge Blaine County, Idaho	Drawing:
				Drawn: JEL			1-3
				Checked:			Sheet:
				Date: 09/20/05			- OF -
				Project No: 02337			

PROJECT ACTION

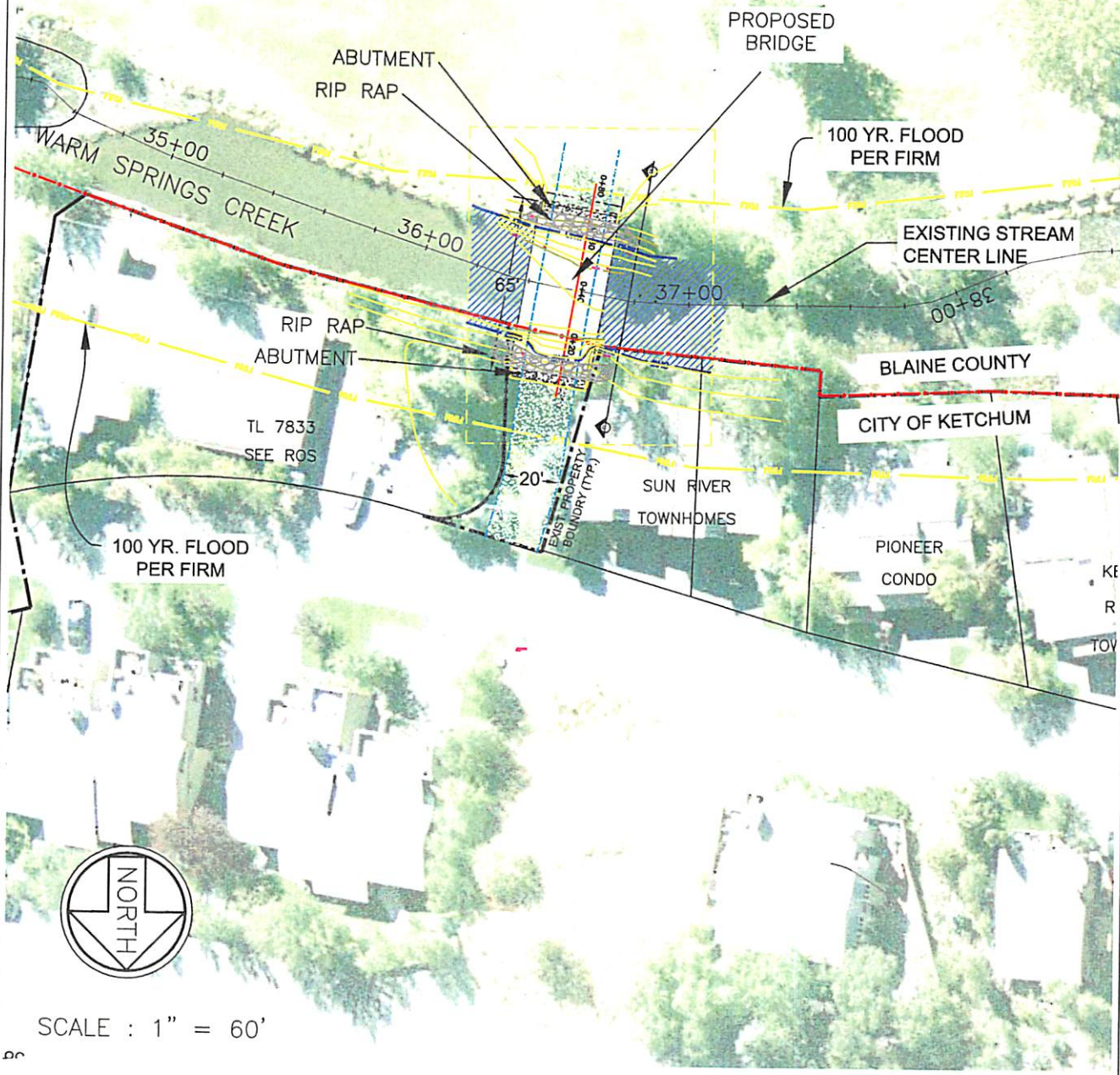
REPLACEMENT BRIDGE

RIVER STATION 36+58



Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340	EXISTING CONDITIONS REPLACEMENT BRIDGE	Drawing:
				Drawn:			1-4
				Checked:			
				Date: 09/21/05	Warm Springs Ranch Sun Valley Ventures, LLC	Warm Springs Creek Blaine County, Idaho	Sheet:
				Project No: 02337			_ of _

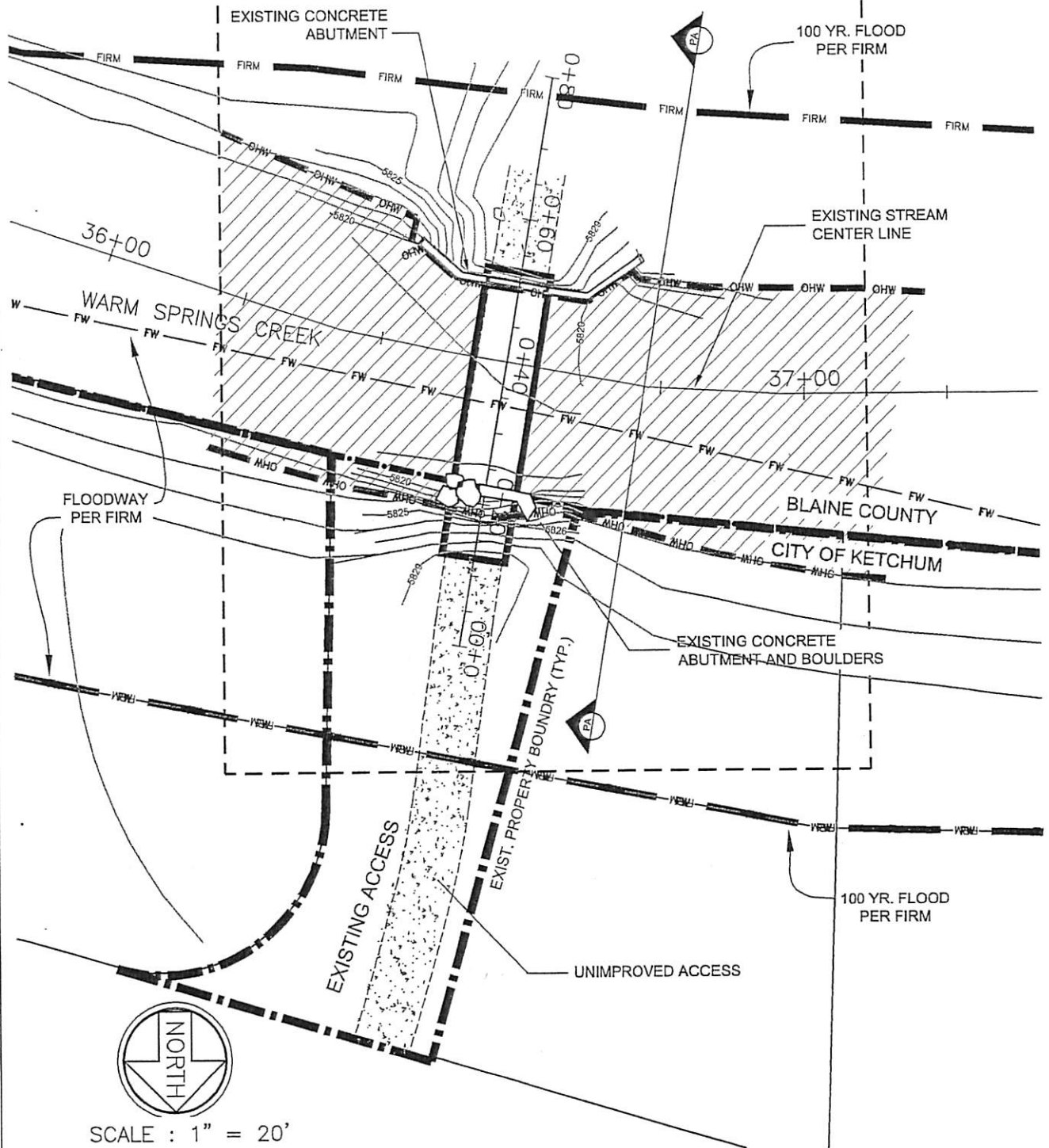
PROJECT ACTION
REPLACEMENT BRIDGE
RIVER STATION 36+58



SCALE : 1" = 60'

Revision No:	Date:	Description:	Initials:	Designed:	BENCHMARK ASSOCIATES P.A. P.O. BOX 733 100 BELL DR. KETCHUM, IDAHO 83340	PROPOSED ACTION REPLACEMENT BRIDGE	Drawing:		
				Drawn:			Warm Springs Ranch Sun Valley Ventures, LLC	Warm Springs Creek Blaine County, Idaho	Sheet: 1-5 of
				Checked:					
				Date: 09/21/05					
				Project No: 02337					

PROJECT ACTION
REPLACEMENT BRIDGE
RIVER STATION 36+58



SCALE : 1" = 20'

DESIGNED BY:	CHECKED BY:				
DRAWN BY: JEL	APPROVED BY:				
LAST EDIT:	PLOT DATE: 09/20/05				
DATE	BY	REV	REVISION	CK'D	APPR.

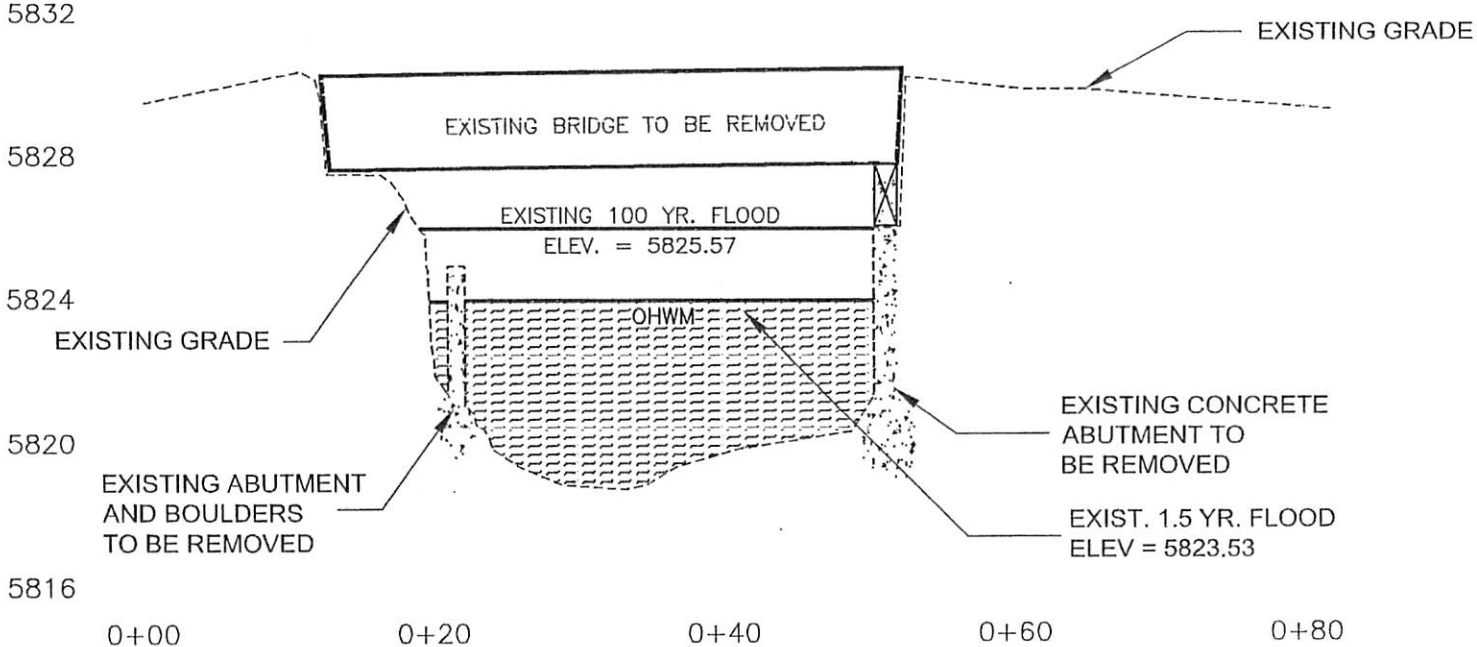


3130 S. Owyhee St.
Boise, Idaho
83705-4768
(208)342-6400
(208)342-5352 Fax
svpe@sv.com


SUN VALLEY VENTURES, LLC
WARM SPRINGS RANCH
PROJECT ACTION - RIVER STA 36+58
BRIDGE REPLACEMENT

SUN VALLEY/BLAINE COUNTY				IDAHO
SCALE:	PROJECT NO. 02337	DRAWING FILE NAME:	SHEET	C-6

PROJECT ACTION
 EXISTING BRIDGE
 RIVER STATION 36+58



DESIGNED BY:	CHECKED BY:
DRAWN BY: JEL	APPROVED BY:
LAST EDIT:	PLOT DATE: 09/20/05
DATE BY REV	REVISION
	OK/DIAPHR



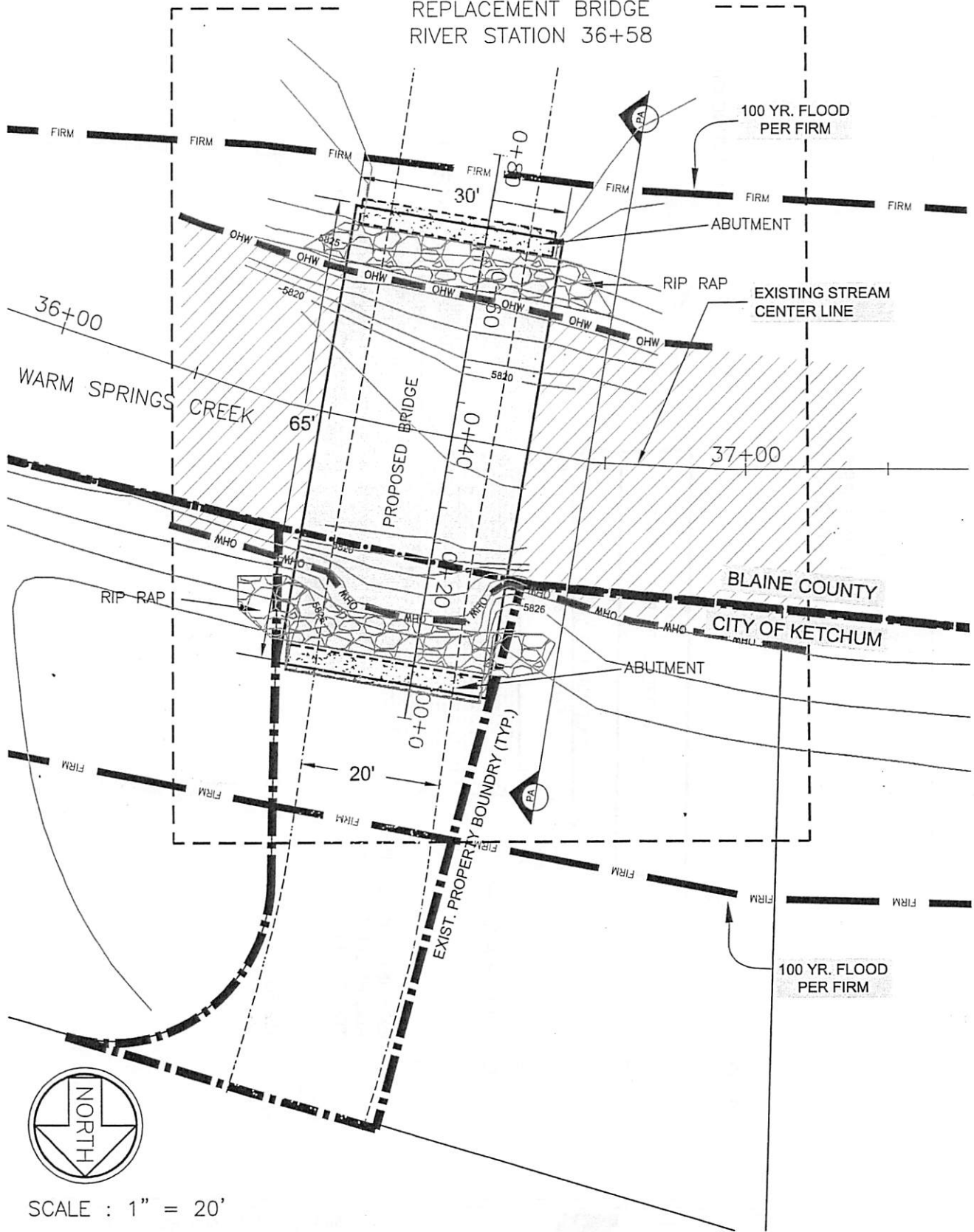
3100 S. Olympic St.
 Boise, Idaho
 83700-4728
 (208) 344-4400
 (208) 344-2000 Fax
 wvi@wvi.com

SUN VALLEY VENTURES, LLC
 WARM SPRINGS RANCH
PROJECT ACTION - RIVER STA 36+58
BRIDGE REPLACEMENT

SUN VALLEY/BLAINE COUNTY
 SCALE: PROJECT NO. 02337 DRAWING FILE NAME: SHEET C-7
 IDAHO

PROJECT ACTION

REPLACEMENT BRIDGE
RIVER STATION 36+58



SCALE : 1" = 20'

DESIGNED BY: _____ CHECKED BY: _____
 DRAWN BY: JEL APPROVED BY: _____
 LAST EDIT: _____ PLOT DATE: 09/21/05

DATE	BY	REV#	REVISION	CK'D	APPR



3130 S. Owyhee St.
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83705-4768
(208)342-5400
(208)342-5353 Fax
w&hpec.com

SUN VALLEY VENTURES, LLC
WARM SPRINGS RANCH
PROJECT ACTION - RIVER STA 36+58
BRIDGE REPLACEMENT

SUN VALLEY/BLAINE COUNTY

SCALE:

PROJECT NO.
02337

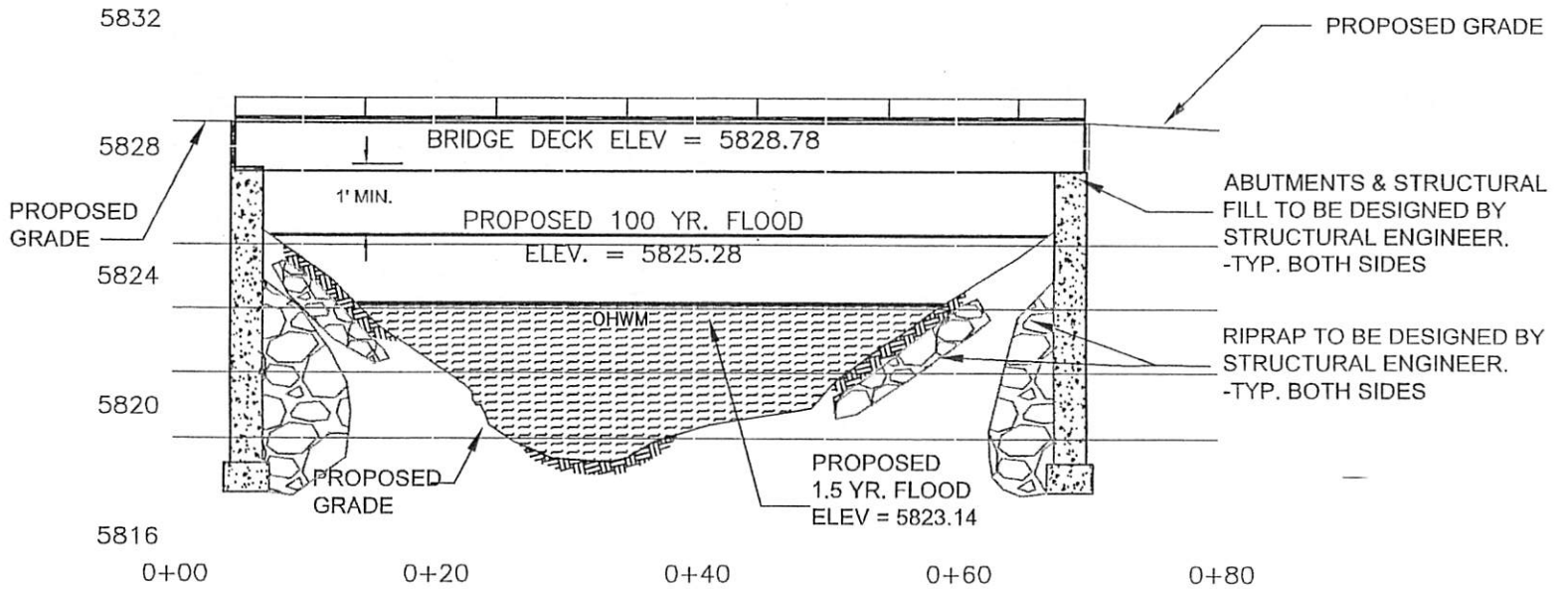
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SHEET

C-8

IDAHO

PROJECT ACTION
REPLACEMENT BRIDGE
RIVER STATION 36+58



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DRAWN BY:		APPROVED BY:	
LAST EDIT:		PLOT DATE:	09/20/05
DATE	BY	REVISION	CK'D/APP'R

5100 S. Orange St.
Pocatello, Idaho 83201-4788
www.warmvalley.com

SUN VALLEY VENTURES, LLC
WARM SPRINGS RANCH
PROJECT ACTION - RIVER STA 36+58
BRIDGE REPLACEMENT

SUN VALLEY/BLAINE COUNTY
SCALE: PROJECT NO. 02337 DRAWING FILE NAME: SHEET C-9

IDAH0

Engineering "No-Rise" Certification

(for projects located in a mapped floodway)

This is to certify that I am a duly qualified engineer licensed to practice in the State of Idaho.
(Name of State)

This further certifies that the attached data supports the fact that the proposed 65' Span Replacement Bridge @ 36+58 will not increase
(Name of Development)
the 100-year flood elevations, floodway elevations and floodway widths on Warm Springs Creek at published sections in the Flood Insurance Study for Blaine Co, Idaho dated March 17, 1997 and will not increase the 100-year flood elevations, floodway elevations, and floodway widths at unpublished cross-sections in the vicinity of the proposed development.

September 15, 2005
(Date)

McHoneza
(Signature)

Engineer
(Title)

GeoEngineers, Inc.
(Address)

Boise, ID 83702

seal:



Mail completed form to your local planning office or to Idaho Department of Water Resources along with the Joint Application for Permits



Our mission: to educate through the identification, preservation, and interpretation of Idaho's cultural heritage.

Dirk Kempthorne
Governor of Idaho

Steve Guerber
Executive Director

Administration
1109 Main Street, Suite 250
Boise, Idaho 83702-5642
Office: (208) 334-2682
Fax: (208) 334-2774

Archaeological Survey
210 Main Street
Boise, Idaho 83702-7264
Office: (208) 334-3847
Fax: (208) 334-2775

Capitol Education Center
Statehouse/P.O. Box 83720
Boise, Idaho 83720-0001
Office: (208) 334-5174

Historical Museum and
Education Programs
610 North Julia Davis Drive
Boise, Idaho 83702-7695
Office: (208) 334-2120
Fax: (208) 334-4059

Historic Preservation Office
210 Main Street
Boise, Idaho 83702-7264
Office: (208) 334-3861
Fax: (208) 334-2775

Historic Sites Office
2445 Old Penitentiary Road
Boise, Idaho 83712-8254
Office: (208) 334-2844
Fax: (208) 334-3225

Library/Historical and
Genealogical Collection
450 North Fourth Street
Boise, Idaho 83702-6027
Office: (208) 334-3356
Fax: (208) 334-3198

Oral History
450 North Fourth Street
Boise, Idaho 83702-6027
Office: (208) 334-3863
Fax: (208) 334-3198

Memberships and
Outreach and Development
1109 Main Street, Suite 250
Boise, Idaho 83702-5642
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Fax: (208) 334-2774

Publications
450 North Fourth Street
Boise, Idaho 83702-6027
Office: (208) 334-3428
Fax: (208) 334-3198

State Archives/Manuscripts
2205 Old Penitentiary Road
Boise, Idaho 83712-8250
Office: (208) 334-2620
Fax: (208) 334-2626

DATE: April 24, 2005

TO: Laurie Mauser, Archaeological and Historical Resource Consulting
FEDERAL AGENCY: MISC

PROJECT NAME: *Cultural Resource Survey for Warm Springs Ranch, Ketchum, Idaho*
by Laurie Mauser and Madeline Buckendorf, Boise, Idaho

Section 106 Evaluation

	The field work and documentation presented in this report meet the Secretary of the Interior's Standards.
X	No additional investigations are recommended; project can proceed as planned.
	Additional information is required to complete the project review. (See comments.)
	Additional investigations are recommended. (See comments.)

Identification of Historic Properties (36 CFR 800.4):

X	No historic properties were identified within the project area.
X	Properties are not eligible. Reason: Alterations (WS01-WS10); lack of historical integrity
	Property is listed in National Register of Historic Places.
	Property is eligible for listing in the National Register of Historic Places. Criterion: A B C D Context for evaluation:
X	No historic properties will be affected within project area.

Assessment of Adverse Effects (36 CFR 800.5):

	Project will have <i>no adverse effect</i> on historic properties.
	Project will have an <i>adverse effect</i> on historic properties; further consultation is recommended.

If you have any questions, feel free to contact Suzi Neitzel at 208-334-3847.

Comments:

Susan Pengilly Neitzel

Susan Pengilly Neitzel, Deputy SHPO
State Historic Preservation Office

April 24, 2005

Date



The Idaho State Historical Society is an Equal Opportunity Employer.



United States Department of the Interior

FISH AND WILDLIFE SERVICE

Snake River Fish and Wildlife Service
1387 S. Vinnell Way, Room 368
Boise, Idaho 83709
Telephone (208) 378-5243
<http://IdahoES.fws.gov>



APR 04 2005

Will Miller
Environmental Planner
Will Miller Consulting, LLC
P.O. Box 1030
Sun Valley, Idaho 83353

**Subject: Warm Springs Ranch Restoration and Enhancement Project, Blaine County,
Idaho – Species List
File #970.0700 SP #1-4-05-SP-413**

Dear Mr. Miller:

The Fish and Wildlife Service (Service) is providing you with an updated list of endangered, threatened, proposed, and/or candidate species, and proposed critical habitat which may occur in the area of the proposed restoration and enhancement project. You requested this list by facsimile on March 21, 2005. There are no changes from the previous list. This list fulfills the requirements for a species list under section 7(c) of the Endangered Species Act of 1973 (Act), as amended. If the project decision has not been made within 180 days of this letter, regulations require that you request an updated list. Please refer to the species list (SP) number shown above in all correspondence and reports.

Section 7 of the Act requires Federal agencies to assure that their actions are not likely to jeopardize the continued existence of endangered or threatened species. Federal funding, permitting, or land use management decisions are considered to be Federal actions subject to section 7. If the proposed action may affect a listed species, consultation with the Service is required. Formal consultation must be initiated for any project that is likely to adversely affect a threatened or endangered species. If a project involves a major construction activity and may affect listed species, Federal agencies are required to prepare a Biological Assessment. If a proposed species is likely to be jeopardized or if proposed critical habitat will be adversely modified by a Federal action, regulations require a conference between the Federal agency and the Service. A Federal agency may designate, in writing, you or another non-Federal entity to represent them in an informal consultation.

March 2005

If you have any questions about your responsibilities under section 7 of the Act, or require further information, please contact Brian Davis of this office at (208) 685-6954. Thank you for your continued interest in endangered species conservation.

Sincerely,

Dusan A. Burch

for Jeffery L. Foss, Field Supervisor
Snake River Fish and Wildlife Office

March 2005



WILL MULLER CONSULTING LLC – WAP SPRINGS RANCH
BLAINE COUNTY, IDAHO
SPECIES LIST #1-4-05-SP-413

LISTED SPECIES

COMMENTS

Gray wolf (*Canis lupus*)

XN - Experimental/Non-essential
population

PROPOSED SPECIES/CRITICAL HABITAT

None

CANDIDATE SPECIES¹

Yellow-billed cuckoo (*Coccyzus americanus*)

C

¹Candidate species have no protection under the Act, but are included for your early planning consideration. Candidate species could be proposed or listed during the project planning period, and would then be covered under Section 7 of the Act. The Service advises an evaluation of potential effects on candidate species that may occur in the project area.

Warm Springs Ranch Adjoining Property Owners 26-Aug-05						
OWNER	STREET ADDRESS	MAILING ADDRESS	CITY	ST	ZIP	PHONE (H)
Jim Cimino	2419 Warm Springs Road	PO Box 448	Sun Valley	ID	83353	(208)726-3485
David and Tara Martin	106 Irene Street	PO Box 710	Sun Valley	ID	83353	(208)726-5453
Mary Lou Simpson	112 Irene Street	PO Box 4912	Sun Valley	ID	83353	(208)726-3249
Annette Frehling	116 Irene Street	4102 Hackenberry	Boise	ID	83702	(208)727-1085
Christopher and Marsh Ingham	118 Irene Street	PO Box 1158	Sun Valley	ID	83353	(208)726-4917
Jay and Linda Cooper	126 Irene Street	7729 Vin Capri	LaJolla	CA	92037	(208)726-4683
Allen and Patricia Morgan	130 Irene Street	2133 Webster St	Palo Alto	CA	94301	(208)727-1632
Robert and Frances Davidson	134 Irene Street	1523 Parkside Dr. E	Seattle	WA	98112	(208)726-9064
Henry and Helen Dean	138 Irene Street	PO Box 5500	Ketchum	ID	83340	(208)726-9484
Frank and Susan Countner	Irene Street	4892 Denaro Drive	Las Vegas	NV	89135	(702)562-4942
Mrs. George (Dinah) Hutchinson	146 Irene Street	The Highlands	Seattle	WA	98177	(206)365-9376
Michel Lalanne	150 Irene Street	PO Box 1597	Sun Valley	ID	83353	(208)726-9751
LAD Ventures	154 Irene Street	PO Box 6256	Sun Valley	ID	83354	(208)622-3144
Rick and Jacque Doane	158 Irene Street	4405 91st Ave. NE	Yarrow Point	WA	98004	(425)454-6903
Mary Lou Simpson	162 Irene Street	PO Box 336	Ketchum	ID	83340	(208)726-3249
Dick Metz	307 Bald Mountain Drive	PO Box 2205	Ketchum	ID	83340	(208)726-3089
Penelope Ashkenazy	305 A Bald Mountain Drive	3308 81st Place SE	Mercer Island	WA	98040	(208)726-8044
Earl and Shirley Feiwell	305 B Bald Mountain Drive	6085 Eagle Crest Drive	Huntington Beach	CA	92648	(208)726-5771
M.C. Horning Jr	301 Bald Mountain Drive	4425 Jamboree Road #250	Newport Beach	CA	92660	
Viginia Clements	271 -1 Bald Mountain Drive	PO Box 27506	Tucson	AZ	85726	(208)726-9819
CLL Integrated Holding Corp	271 -2 Bald Mountain Drive	859 Cowan Road, Suite 300	Burlingame	CA	94010	
Landon and Deborah Exley	231 A Bald Mountain Drive	1130 Marine Drive	Laguna Beach	CA	92651	(208)726-1929
David and Lynn Pyle	231 B Bald Mountain Drive	200 Baker Street	Costa Mesa	CA	92626	(208)726-9806
Wallace Limburg	229 A Bald Mountain Drive	PO Box 5834	Ketchum	ID	83340	(208)726-4445
Clark Graves	229 B Bald Mountain Drive	1620 Glen Canyon Rd	Santa Cruz	CA	95060	(208)726-6861
James Todd	221 - 1 Bald Mountain Drive	875 Fifth Ave	New York	NY	10021	(208)726-9788
Sun Rivers Partners LLC	221 - 2 Bald Mountain Drive	30050 Chagrin Blvd, Suite 100	Pepper Pike	OH	44124	
Sun Rivers Partners LLC	215 - 1 Bald Mountain Drive	30050 Chagrin Blvd, Suite 100	Pepper Pike	OH	44124	
Michale MacButch	215 - 2 Bald Mountain Drive	2201 N Jana	Pocatello	ID	83204	(208)726-8422
Sun Valley Ventures	Existing Bridge Access	PO Box 5500	Ketchum	ID	83340	(208)726-4830
Martin and Lisa Albertson	Bald Mountain Drive	24351 Rolling View Road	Hidden Hills	CA	91302	UL
Sun Valley Ventures	Warm Springs Ranch	PO Box 5500	Ketchum	ID	83340	(208)726-4830
Premier Resorts c/o Charlie Donaldson	Warm Springs Townhomes 3	PO Box 659	Sun Valley	ID	83353	(208)727-4000
Premier Resorts c/o Charlie Donaldson	Warm Springs Townhomes 4	PO Box 659	Sun Valley	ID	83353	(208)727-4000
US Forest Service	Section 11	PO Box 2356	Ketchum	ID	83340	(208)622-0082
Bureau of Land Management	Section 13	400 West F Street	Shoshone	ID	83352	(208)732-7200

Warm Springs Creek Neighbors	311 River Run Drive	PO Box 6489	Ketchum	ID	83340	
Warm Springs Creek Neighbors	315 River Run Drive	PO Box 6489	Ketchum	ID	83340	
Kathleen Phelan	319 River Run Drive	PO Box 3068	Ketchum	ID	83340	(208)726-8611
Paul Hauermale	323 River Run Drive	1579 Calle De Cinco	La Jolla	CA	92037	
Tobin Dougherty	415 River Run Drive	PO Box 14001-303	Ketchum	ID	83340	(208)726-8112
Don Bauermeister	417 River Run Drive	4115 E Galen Street	Seattle	WA	98112	(208)726-2767
Roy Shaub	419 River Run Drive	3367 Highlawn Drive	Twin Falls	ID	83301	(208)726-8636
William Warberg	421 River Run Drive	PO Box 6249	Ketchum	ID	83340	
Theresa Higdon	423 River Run Drive	PO Box 2280	Ketchum	ID	83340	(208)726-8484
Theresa Higdon	425 River Run Drive	PO Box 2280	Ketchum	ID	83340	(208)726-2117
Richard Walcott	525 Broadway Blvd	PO Box 7071	Ketchum	ID	83340	(208)726-3560
Jane Suzich	521 Broadway Blvd	302 Lakeside Ave. South #302	Seattle	WA	98144	(208)725-5705
Jim Conger	517 Broadway Blvd	PO Box 62	Sun Valley	ID	83353	(208)726-3278
Linda Morton	513 Broadway Blvd	PO Box 720	Sun Valley	ID	83353	(208)726-2045
Jim Milgard	509 Broadway Blvd	9304 96th Street NW	Gig Harbor	WA	98332	
Richard and Leslie Gadsby	505 Broadway Blvd	PO Box 281	Sun Valley	ID	83353	(208)726-4373
John Melin	501 Broadway Blvd	PO Box 6889	Ketchum	ID	83340	(208)726-5505
GM LLC	445 Broadway Blvd	PO Box 757	Hailey	ID	83333	
Ed Honest Properties	441 Broadway Blvd	PO Box 737	Ketchum	ID	83340	
Doug Aanestad	437 Broadway Blvd	PO Box 737	Ketchum	ID	83340	(208)726-7519
Steve Wingard	433 Broadway Blvd	PO Box 835	Ketchum	ID	83340	(208)726-5873



PYLE, DAVID A &
LYNN E

EXLEY, LONDON M
& DEBORAH L

LIMBURG, WALLACE R

PINERIDGE

CONDOMINIUMS
THE FIELDS AT WARM SPRINGS

TL 7796

HOMES
MOUNTAIN
BALD

BALD

MOUNTAIN

ROAD

WARM

SPRINGS

TL 7638

SUN VALLEY
VENTURES LLC

TL 7833
SEE ROS
INST #268626

GRAVES, W
CLARK
TRUSTEE

PIONEER
CONDO
OWNERS

SUN RIVER
PARTNERS
LLC

ALBERTSON,
MARTIN &
LISA-TRSTE

MACBUTCH,
MICHAEL
BRUCE &

TL 7639

SUN VALLEY
VENTURES LLC

TL 7643
SUN VALLEY
VENTURES LLC

TL 7640

SUN VALLEY
VENTURES LLC

TL 7642

SUN VALLEY
VENTURES LLC

Warm Springs Ranch -- Replacement Bridge						
Adjoining Property Owners (1,000' downstream and 300' upstream)						
26-Aug-05						
OWNER	STREET ADDRESS	MAILING ADDRESS	CITY	ST	ZIP	PHONE (H)
Landon and Deborah Exley	231 A Bald Mountain Drive	1130 Marine Drive	Laguna Beach	CA	92651	(208)726-1929
David and Lynn Pyle	231 B Bald Mountain Drive	200 Baker Street	Costa Mesa	CA	92626	(208)726-9806
Wallace Limburg	229 A Bald Mountain Drive	PO Box 5834	Ketchum	ID	83340	(208)726-4445
Clark Graves	229 B Bald Mountain Drive	1620 Glen Canyon Rd	Santa Cruz	CA	95060	(208)726-6861
James Todd	221 - 1 Bald Mountain Drive	875 Fifth Ave	New York	NY	10021	(208)726-9788
Sun Rivers Partners LLC	221 - 2 Bald Mountain Drive	30050 Chagrin Blvd, Suite 100	Pepper Pike	OH	44124	
Sun Rivers Partners LLC	215 - 1 Bald Mountain Drive	30050 Chagrin Blvd, Suite 100	Pepper Pike	OH	44124	
Michale MacButch	215 - 2 Bald Mountain Drive	2201 N Jana	Pocatello	ID	83204	(208)726-8422
Sun Valley Ventures	Existing Bridge Access	PO Box 5500	Ketchum	ID	83340	(208)726-4830
Martin and Lisa Albertson	Bald Mountain Drive	24351 Rolling View Road	Hidden Hills	CA	91302	UL
Sun Valley Ventures	Warm Springs Ranch	PO Box 5500	Ketchum	ID	83340	(208)726-4830
US Forest Service	Section 11	PO Box 2356	Ketchum	ID	83340	(208)622-0082
Bureau of Land Management	Section 13	400 West F Street	Shoshone	ID	83352	(208)732-7200



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
WALLA WALLA DISTRICT, CORPS OF ENGINEERS
BOISE REGULATORY OFFICE
304 NORTH EIGHTH STREET, ROOM 140
BOISE IDAHO 83702-5820

December 13, 2004

Regulatory Division

SUBJECT: NWW No. 042600087

Mr. Will Miller
Will Miller Consulting, LLC
PO Box 1030
Sun Valley, Idaho 83353

Dear Mr. Miller:

Our approved jurisdictional determination indicates Warm Springs Golf Course, located near Ketchum, Idaho contains waters of the United States that are regulated under Section 404 of the Clean Water Act. A copy of our determination is enclosed. We reviewed your wetland delineation map dated June 2, 2004 entitled: *Warm Springs Ranch Development: Wetland Delineation*, prepared by Mr. Trent Stumph, and have determined the map accurately delineates the extent of waters of the United States---including wetlands. A copy of the approved map is enclosed. The map shows Warm Springs Creek and 8.90 acres of wetlands adjacent to Warm Springs Creek are waters of the United States. This jurisdictional determination is valid for a period of five (5) years from the date of this letter unless new information warrants revision of the determination before the expiration date.

We are enclosing an appeals form that explains the options you have if you do not agree with this approved jurisdictional determination: -If you decide to appeal this determination, you need to send the form to the Division Engineer, Northwestern Division, so he receives it within 60 days of this letter. If you have new information you want us to consider, you may send it to the Regulatory Division, Walla Walla District, at the letterhead address before you file the appeal.

Section 404 of the Clean Water Act (33 U.S.C. 1344) requires a Department of the Army permit be obtained for the discharge of dredged or fill material into waters of the United States, including wetlands. This includes excavation activities, which result in the discharge of dredged material and destroy or degrade waters of the United States. If your proposed project will involve discharging dredged or fill material into Big Wood River or adjacent wetlands, you will need to obtain a Department of the Army permit before you start work. We are enclosing an application form and pamphlet containing instructions for completing your application.

If you have any questions, telephone Mr. Eric M. Gerke at (208) 345-2286. A copy of this letter is being sent to: Mr. John Olson, Environmental Protection Agency, 1435 North Orchard Street, Boise, Idaho 83706; Mr. Trent Stumph, Sawtooth Environmental, LLC, PO Box 2707, Ketchum, Idaho 83340; and Mr. Harold Moniz, City of Ketchum Planning & Zoning Department, PO Box 2315, Ketchum, Idaho 83340.

Sincerely,



Gregory J. Martinez
Regulatory Project Manager

) Enclosures

DISTRICT OFFICE: Walla Walla (CENWW)
FILE NUMBER: NWW No. 042600087

PROJECT LOCATION INFORMATION:

State: Idaho
County: Blaine
Center coordinates of site (UTM): Zone: 11 North: 4840578 East: 711696
Approximate size of area (parcel) reviewed, including uplands: 76.0 acres.
Name of nearest waterway: Warm Springs Creek
Name of watershed: Big Wood River Watershed

JURISDICTIONAL DETERMINATION

Completed: Desktop determination Date: 12/13/04
Site visit(s) Date(s): 7/13/04

Jurisdictional Determination (JD):

- Preliminary JD - Based on available information, there appear to be (or) there appear to be no "waters of the United States" and/or "navigable waters of the United States" on the project site. A preliminary JD is not appealable (Reference 33 CFR part 331).
- Approved JD - An approved JD is an appealable action (Reference 33 CFR part 331).
Check all that apply:
- There are "navigable waters of the United States" (as defined by 33 CFR part 329 and associated guidance) within the reviewed area. Approximate size of jurisdictional area:
- There are "waters of the United States" (as defined by 33 CFR part 328 and associated guidance) within the reviewed area. Approximate size of jurisdictional area: 8.90 acres.
- There are "isolated, non-navigable, intra-state waters or wetlands" within the reviewed area.
 Decision supported by SWANCC/Migratory Bird Rule Information Sheet for Determination of No Jurisdiction.

BASIS OF JURISDICTIONAL DETERMINATION:

- A. Waters defined under 33 CFR part 329 as "navigable waters of the United States":
- The presence of waters that are subject to the ebb and flow of the tide and/or are presently used, or have been used in the past, or may be susceptible for use to transport interstate or foreign commerce.
- B. Waters defined under 33 CFR part 328.3(a) as "waters of the United States":
- (1) The presence of waters, which are currently used, or were used in the past, or may be susceptible to use in interstate or foreign commerce, including all waters which are subject to the ebb and flow of the tide.
- (2) The presence of interstate waters including interstate wetlands¹.
- (3) The presence of other waters such as intrastate lakes, rivers, streams (including intermittent streams), mudflats, sandflats, wetlands, sloughs, prairie potholes, wet meadows, playa lakes, or natural ponds, the use, degradation or destruction of which could affect interstate commerce including any such waters (check all that apply):
- (i) which are or could be used by interstate or foreign travelers for recreational or other purposes.
- (ii) from which fish or shellfish are or could be taken and sold in interstate or foreign commerce.
- (iii) which are or could be used for industrial purposes by industries in interstate commerce.
- (4) Impoundments of waters otherwise defined as waters of the US.
- (5) The presence of a tributary to a water identified in (1) - (4) above.
- (6) The presence of territorial seas.
- (7) The presence of wetlands adjacent² to other waters of the US, except for those wetlands adjacent to other wetlands.

Rationale for the Basis of Jurisdictional Determination (applies to any boxes checked above). *If the jurisdictional water or wetland is not itself a navigable water of the United States, describe connection(s) to the downstream navigable waters. If B(1) or B(3) is used as the Basis of Jurisdiction, document navigability and/or interstate commerce connection (i.e., discuss site conditions, including why the waterbody is navigable and/or how the destruction of the waterbody could affect interstate or foreign commerce). If B(2, 4, 5 or 6) is used as the Basis of Jurisdiction, document the rationale used to make the determination. If B(7) is used as the Basis of Jurisdiction, document the rationale used to make adjacency determination:*

Warm Springs Creek is a Category (5) tributary because it flows into the Big Wood River, which flows into the Malad River, which flows into the Snake River, which is a Category (1) interstate waterway. 8.90 acres of wetlands (forested and scrub shrub) wetlands were identified as being hydraulically connected and adjacent to Warm Springs Creek. The identified wetlands have been delineated, using the 1987 Wetland Delineation Manual. Positive field indicators of hydrology, hydric soils and wetland plants were confirmed. These wetlands, therefore, are considered Category (7) wetlands.

Lateral Extent of Jurisdiction: (Reference: 33 CFR parts 328 and 329)

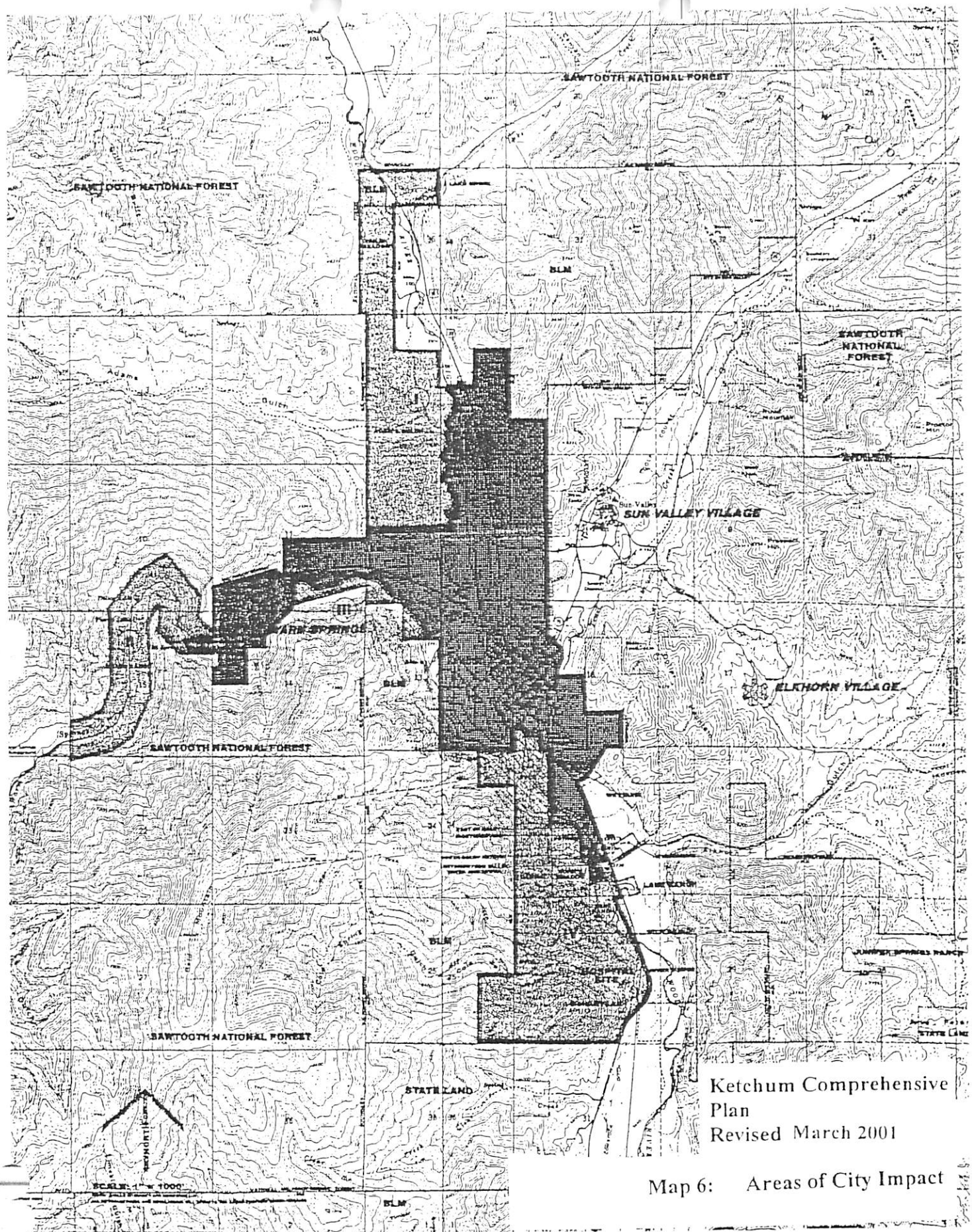
- Ordinary High Water Mark indicated by:
- clear, natural line impressed on the bank
 - the presence of litter and debris
 - changes in the character of soil
 - destruction of terrestrial vegetation
 - shelving
 - other:
- High Tide Line indicated by:
- oil or scum line along shore objects
 - fine shell or debris deposits (foreshore)
 - physical markings/characteristics
 - tidal gages
 - other:
- Mean High Water Mark indicated by:
- survey to available datum; physical markings; vegetation lines/changes in vegetation types.
- Wetland boundaries, as shown on the attached wetland delineation map and/or in a delineation report prepared by:

Basis For Not Asserting Jurisdiction:

- The reviewed area consists entirely of uplands.
- Unable to confirm the presence of waters in 33 CFR part 328(a)(1, 2, or 4-7).
- Headquarters declined to approve jurisdiction on the basis of 33 CFR part 328.3(a)(3).
- The Corps has made a case-specific determination that the following waters present on the site are not Waters of the United States:
 - Waste treatment systems, including treatment ponds or lagoons, pursuant to 33 CFR part 328.3.
 - Artificially irrigated areas, which would revert to upland if the irrigation ceased.
 - Artificial lakes and ponds created by excavating and/or diking dry land to collect and retain water and which are used exclusively for such purposes as stock watering, irrigation, settling basins, or rice growing.
 - Artificial reflecting or swimming pools or other small ornamental bodies of water created by excavating and/or diking dry land to retain water for primarily aesthetic reasons.
 - Water-filled depressions created in dry land incidental to construction activity and pits excavated in dry land for the purpose of obtaining fill, sand, or gravel unless and until the construction or excavation operation is abandoned and the resulting body of water meets the definition of waters of the United States found at 33 CFR 328.3(a).
 - Isolated, intrastate wetland with no nexus to interstate commerce.
 - Prior converted cropland, as determined by the Natural Resources Conservation Service. Explain rationale:
 - Non-tidal drainage or irrigation ditches excavated on dry land. Explain rationale:
 - Other (explain):

DATA REVIEWED FOR JURSDICTIONAL DETERMINATION (mark all that apply):

- Maps, plans, plots or plat submitted by or on behalf of the applicant.
- Data sheets prepared/submitted by or on behalf of the applicant.
- This office concurs with the delineation report, dated July, 2004, prepared by (company): Sawtooth Environmental Consulting, LLC
- This office does not concur with the delineation report, dated _____, prepared by (company): _____
- Data sheets prepared by the Corps.
- Corps' navigable waters' studies:
- U.S. Geological Survey Hydrologic Atlas:
- U.S. Geological Survey 7.5 Minute Topographic maps: Griffin Butte, 1967
- U.S. Geological Survey 7.5 Minute Historic quadrangles:
- U.S. Geological Survey 15 Minute Historic quadrangles:
- USDA Natural Resources Conservation Service Soil Survey:
- National wetlands inventory maps: Griffin Butte, 1992
- State/Local wetland inventory maps:
- FEMA/FIRM maps (Map Name & Date):
- 100-year Floodplain Elevation is: _____ (NGVD)
- Aerial Photographs (Name & Date):
- Other photographs (Date):
- Advanced Identification Wetland maps:
- Site visit/determination conducted on: July 13, 2004
- Applicable/supporting case law:
- Other information (please specify):



Ketchum Comprehensive
Plan
Revised March 2001

Map 6: Areas of City Impact

Harold Moniz

From: Steven Yearsley [syearsley@forsgren.com]
Sent: Monday, November 28, 2005 5:05 PM
To: Harold P. Moniz
Subject: Warm Springs Bridge



Warm Springs
Bridge.pdf (21 KB...

Harold,

Attached is our comments to the warm springs bridge. Our comments are based off an Idaho Statute regarding bridge widths. This Statute is as follows:

Idaho Statutes

TITLE 40

HIGHWAYS AND BRIDGES

CHAPTER 23

MISCELLANEOUS PROVISIONS

40-2312. WIDTH OF HIGHWAYS. All highways, except bridges and those located within cities, shall be not less than fifty (50) feet wide, except those of a lesser width presently existing, and may be as wide as required for proper construction and maintenance in the discretion of the authority in charge of the construction and maintenance. Bridges located outside incorporated cities shall be the same width to and across the river, creek or stream as the highway leading to it.

Although this statutes does not apply directly to the City, The City may want to adopt an ordnance which requires the same width as the roadway leading up to the bridge. Please call if you have any questions.

Thanks

Steven R. Yearsley, P.E.
Project Manager
Forsgren Associates, Inc.
1444 West Bannock
Boise, Idaho 83702
Phone 208-342-3144
Fax 208-383-0819

syearsley@forsgren.com
www.forsgren.com



FORSGREN
ASSOCIATES / INC.
A COMPANY OF ENGINEERS AND SCIENTISTS

November 28, 2005

Harold P. Moniz
Planning Director
City of Ketchum
P.O. Box 2315
Ketchum, Idaho 83340

RE: Warm Springs Ranch Subdivision East Bridge

Dear Harold:

Forsgren Associates has reviewed the Warm Springs Ranch U.S. Army Corps of Engineer's 404 Permit Application for the East Bridge and have the following comments:

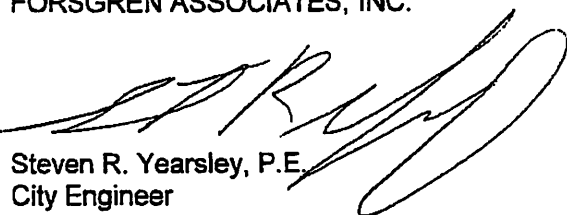
The proposed bridge width of 30 feet is too narrow. For safety, the bridge should match the roadway width plus bridge railings. According to the plans, the minimum bridge width should be 40 feet wide plus bridge rail.

If Creekside Drive will connect to Bald Mountain Road the bridge and access road will need located in the center of the right-of-way.

If you have any questions please give me a call.

Sincerely,

FORSGREN ASSOCIATES, INC.



Steven R. Yearsley, P.E.
City Engineer



United States
Department of
Agriculture

Forest
Service

Sawtooth National Forest
Ketchum Ranger District

P.O. Box 2356
Ketchum, ID. 83340
208-622-5371
Fax: 208-622-3923

File Code: 5150/3100
Date: November 28, 2005

Commissioners
Ketchum Planning and Zoning Commission
PO Box 2315
Ketchum, ID 83340

Dear Commissioners:

I am writing in support of an application submitted by Sun Valley Ventures, LLC for approval by the commission to construct a bridge across Warm Springs Creek just downstream from private residences on Bald Mountain Road. The purpose of the bridge is to provide an access for heavier vehicles to cross the stream channel to the west side of the private property owned by SVV, LLC.

The Forest Service has been working with the private landowner over the past year to secure access to National Forest system land at the base of Bald Mountain in order to conduct a fuels reduction project along the wildland-urban interface. The project entails thinning of mature trees on 13 acres of forest with a small timber sale, and hand thinning of smaller trees on 48 acres on forested land. This project should reduce the chance of crown fire adjacent to existing residences and future development that may occur on the Warm Springs Ranch, and is part of a cooperative effort with the City of Ketchum and Blaine County in the Fire Mitigation Plan. The fuel reduction project would require access for logging equipment and to remove approximately 10-15 truckloads of logs.

The areas to be treated have been surveyed and are ready to be contracted out, pending construction of an access bridge capable of supporting heavy equipment.

If I can be of further assistance in answering questions, please give me a call at 622-5371.

Sincerely,

KURT J. NELSON
Ketchum District Ranger

Cc: Sun Valley Ventures, LLC





FORSOREN
ASSOCIATES / INC.
A COMPANY OF ENGINEERS AND SCIENTISTS

received
12-5-05

November 28, 2005

Harold P. Moniz
Planning Director
City of Ketchum
P.O. Box 2315
Ketchum, Idaho 83340

RE: Warm Springs Ranch Subdivision East Bridge

Dear Harold:

Forsgren Associates has reviewed the Warm Springs Ranch U.S. Army Corps of Engineer's 404 Permit Application for the East Bridge and have the following comments:

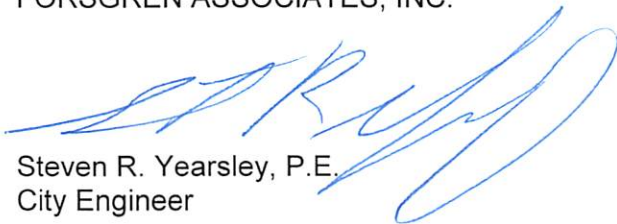
The proposed bridge width of 30 feet is too narrow. For safety, the bridge should match the roadway width plus bridge railings. According to the plans, the minimum bridge width should be 40 feet wide plus bridge rail.

If Creekside Drive will connect to Bald Mountain Road the bridge and access road will need located in the center of the right-of-way.

If you have any questions please give me a call.

Sincerely,

FORSGREN ASSOCIATES, INC.


Steven R. Yearsley, P.E.
City Engineer

received



COPY

Ketchum Fire Department

P.O. Box 966 · 480 East Avenue North · Ketchum, ID 83340

Phone: (208) 726-7805 · Fax: (208) 726-7812

Sun Valley Ventures
Attention: Dennis Wheeler
P.O. Box 5500
Ketchum, Idaho 83340

October 19, 2005

Re: Replacement Bridge, Warms Springs Golf Course

Dennis,

Regarding our meeting on this date, let me clarify the Ketchum Fire Department's position on the above mentioned bridge. The replacement bridge driving surface was required to be twenty-six feet (26) feet wide because of the proposed residential units on the mountain side of Warm Springs Creek. Since that application was withdrawn, the City of Ketchum and the Ketchum Rural Fire District are unaware of what may be developed on the mountain side of Warm Springs in the future therefore the Ketchum Fire Department will continue to require the replacement bridge to be constructed as originally required with a twenty-six (26) foot wide driving surface along the entire length. This requirement will ensure that any future development of any kind will have the required bridge width and will not require replacing or modifying the currently proposed replacement bridge.

Please feel free to contact me with any questions you may have.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Elle".

Mike Elle
Fire Marshal

Cc: Harold Moniz, Planning Director
Greg Schwab, Fire Chief

COPY

Ketchum Building Department



Projects: Warm Springs Bridge

Date: 10/6/2005

From: Dennis Keierleber, Building Official

CC: Harold Moniz, Planning Director; Mike Elle, Fire Marshal

The review of this project is preliminary, all comments relate to items that may affect the design review process, and does not constitute a full building department review.

Design Review Comments:

Warm Springs Bridge:

- I spoke with Dennis Wheeler who is currently working for Sun Valley Ventures. He said that they (Sun Valley Ventures) are willing to post a bond for the bridge providing they know what they are bonding for (the bridge, the landscaping, etc). Further, they would accept a final inspection sign-off.
- Also per Dennis Wheeler, they would like to start demolition of the old bridge as soon as they get their permit. I don't see a problem with this as long as they have all the state and federal permits.
- I recommend issuing a joint letter (from the Building Dept & P&Z) stipulating the criteria to be met and that a final inspection and sign-off will be required. I don't, however, know how enforceable that would be. The bond is probably the only enforceable incentive.
- The fact that the proposal only mentions access for current uses (golf course maintenance, fish & game use and forest service wildfire fuel mitigation) and does not address future uses, troubles me a little. I question whether the guard rails for a private bridge would meet the same criteria as for a bridge that is the access to a subdivision and/or a publicly available nature park.

Project / Date	Phone Conference	Comments
JC 10/6/05 @ 12:20	<p> DENNIS WHEELER - SUN VALLEY VENTURES WOULD LIKE DESIGN REVIEW APPROVAL MON. NIGHT & WOULD LIKE TO GET THEIR BUILDING PERMIT & START DEMO 2 WKS LATER - (10/24 ?) </p> <p> WE TALKED BRIEFLY ABOUT HOW TO ENSURE THAT P&E REQ'S WERE MET. </p> <p> PER WHEELS - BAND'S NOT A PROBLEM FROM THEIR STAND POINT - HE (WHEELS) ALSO SAID THEY HAVE NO PB W/ WHATEVER FINAL INSPECTION / SIGN OFF WE WANT TO REQUIRE. </p>	



IDAHO FISH & GAME
MAGIC VALLEY REGION

319 South 417 East
Jerome, ID 83338

September 30, 2005

Dirk Kempthorne / Governor
Steven M. Huffaker / Director

Robert Brochu
Army Corps of Engineers
900 Skyline Dr., Suite A
Idaho Falls, ID 83402

Re: Warm Springs Ranch, Golf Course Bridge Replacement – Sun Valley Ventures, LLC

Dear Robert:

Idaho Department of Fish and Game (IDFG) has toured the site and reviewed the proposal from Sun Valley Ventures, LLC (Applicant) to replace the Warm Springs Ranch golf course bridge in Blaine County. It is our understanding the existing bridge is structurally unsound due to failing abutments. The proposal includes replacing the existing structure with new abutments, rip rap, and decking. The new bridge abutments will be constructed outside the ordinary high water mark and the bridge is designed to accommodate flows in excess of the 100-year discharge (1,250 cfs). The project should have minimal negative impacts on fish and wildlife resources if the work is completed as described in the application and the following issues are addressed.

1. No in-stream construction activities should occur between April 1 and July 15 to avoid disrupting salmonid fish spawning and juvenile rearing.
2. The proposal states vegetation will be re-established over all disturbed areas. We recommend use of native vegetation, including woody perennial species, in re-establishment efforts. Native plants most successfully replace impacted fish and wildlife habitats and are highly effective in reducing erosion and maintaining bank stability.
3. Post-project monitoring should be required to evaluate bank stabilization efforts and to identify and treat noxious weed infestations.

Timely replacement of the bridge would help IDFG implement a plan to reduce wintering elk numbers in the Warm Springs area. Prior to the recent change in ownership, a private winter elk feeding operation had occurred on the Applicant's property over the past 2+ decades. The feeding operation resulted in elk numbers inconsistent with available natural winter habitat. IDFG, in cooperation with the Applicant, has initiated a plan to trap and transplant elk, possibly starting in early December of this year. The plan will require vehicle access across Warm Springs Creek to transport trapping materials and personnel. In addition, a large vehicle, likely a semi-trailer truck, will be needed to transport elk. In order to carry out our plans to relocate elk this winter, improved access across Warm Springs Creek prior to early December is needed.

Thank you for the opportunity to comment. Please contact Mike McDonald, Environmental Staff Biologist, in this office if you have any questions.

Sincerely,

David Parrish
Magic Valley Regional Supervisor

Cc: Will Miller Consulting, LLC (Authorized Agent)
IDFG (NRPB)
ECc: IDFG (R4 staff)

Keeping Idaho's Wildlife Heritage

CERTIFICATION OF MAILING

I, JANE JACOBUS, the Office Administrator of the City of Ketchum, Idaho, hereby certify that the Notice concerning the design review application of SUN VALLEY VENTURES for the Planning and Zoning Commission meeting on October 10, 2005 was mailed to the following property owners on the 27th day of September, 2005:

Applicant	Lot 2
Sun Valley Ventures Box 5500 Ketchum, Idaho 83340	Thomas & Lisa Lampl Box 991 Ketchum, Idaho 83340
Representative	Incline Townhouse Villas #2
Will Miller Box 1030 Sun Valley, Idaho 83353	Lot 3
Bald Mountain Townhouses (all)	Paul & Janet MacGregory 6325 Beach Dr. SW Seattle, WA 98136
Sublot 1	Lot 4
Bald Mountain Townhouses, LLC 2737 78th Ave. SE, Ste. 103 Mercer Island, WA 98040	Spencer & Carol Hall, Jr. 10042 Riviera Pl. NE Seattle, WA 98125
Sublot 2	Ketch & Release Townhouse Subdivision (all)
Mountain River Ranch, LLC Box 52 Sun Valley, Idaho 83353	Sublot 2A
Incline Townhouse Villas #1	Wallace Limburg Box 5834 Ketchum, Idaho 83340
Lot 1	Sublot 2B
Judith Verge Box 681 Ketchum, Idaho 83340	Clark Graves 1921 Port Bristol Circle Newport Beach, CA 92660

Lot 2, Owen Simpson Subdivision

Herbert & Dianne Schweitzer
Box 1864
La Jolla, CA 92038

Pioneer Condominiums (all)

Unit 1

James Todd
875 Fifth Ave.
New York, NY 10021

Unit 2

Sun River Partners, LLC
c/o Chess Financial Corp.
30050 Chagrin Blvd., Ste. 100
Pepper Pike, OH 44124

Rockview East Townhouses (all)

Sublot A

Landon & Deborah Exley
1130 Marine Dr.
Laguna Beach, CA 92651

Sublot B

David & Lynn Pyle
3700 Newport Blvd., Ste. 306
Newport Beach, CA 92663

Sun River Townhomes (all)

Sublot 1

Sun River Partners, LLC
c/o Chess Financial Corp.
30050 Chagrin Blvd., Ste. 100
Pepper Pike, OH 44124


Sublot 2

Michael MacButch
Scott MacButch
2201 N. Jana
Pocatello, Idaho 83204

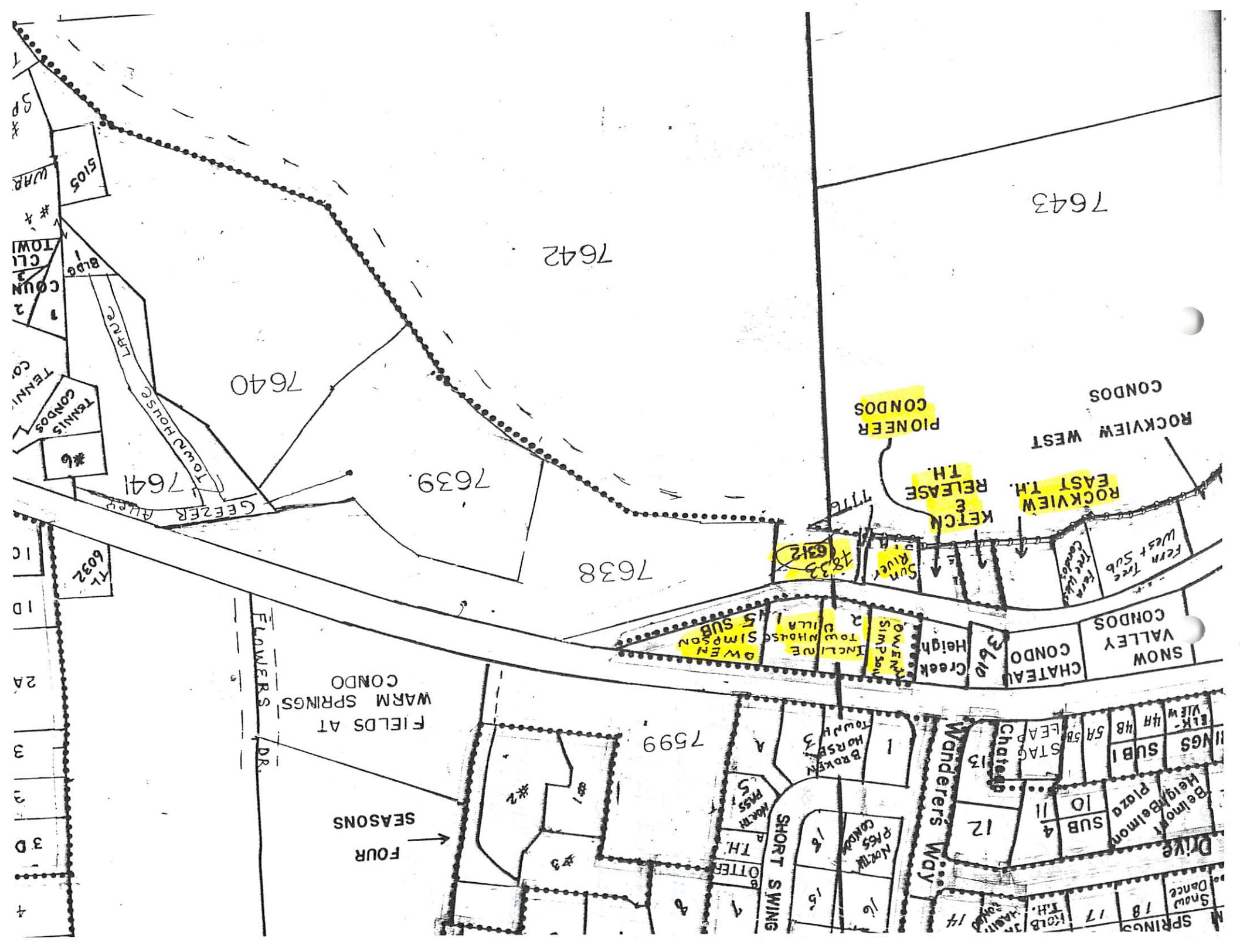
Tax Lot 7833

Martin & Lisa Albertson
24351 Rolling View Rd.
Hidden Hills, CA 91302

CERTIFIED this 27th day of September, 2005.



Jane Jacobus
Office Administrator



7643

7642

7640

7639

7638

TL 6032

PIONEER CONDOS

ROCKVIEW WEST CONDOS

KETCHIN RELEASE T.H.

ROCKVIEW EAST T.H.

SNOW VALLEY CONDOS

CHATEAU CONDO

WARM SPRINGS CONDOS

SEASONS FOUR

7599

SHORT SWING

Wanderers Way

Chateaub

Belmont Heights Plaza

DRIVE

SNOW SPRINGS

5105

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Sun Valley Ventures
PO Box 5500
Ketchum

FP OR

Will Miller
PO Box 1030
Sun Valley

- Bald Mountain TH
- Incline TH Villa I+II
- Sun River TH
- Pioneer Condos
- Ketch & Relesse TH
- Rockview East TH

- Owen Simpson Sub
Lot 2

- Tax Lot 7833

CITY OF KETCHUM
REGULAR PLANNING AND ZONING COMMISSION MEETING
Monday, October 10, 2005, 5:30 p.m.
City Hall, Ketchum, Idaho

1. PUBLIC COMMENT - opportunity for the public to talk with the Commission about issues and ideas.
2. Consideration upon the application of BLAZING SADDLES, LLC for the replat of The Hemingways Condominiums (221 Picabo Street) located in the Tourist (T), Pedestrian Overlay (PA) and Floodplain (FP) Zones - the final plat of Unit 8, The Hemingways Condominiums.
3. Consideration upon the application of VALERIE ASHBAUGH to convert the existing See View Condominiums (115 Latigo Lane) into a two (2) subplot townhouse subdivision located in the General Residential - Low Density (GR-L) Zone - the preliminary plat of See View Townhomes.
4. Warm Springs Ranch Bridge floodplain design review - Rep: Will Miller - Tax Lots 6980, 7640 and 7642 - 1801 Geezer Alley - T Zone - new bridge construction to access private lot (continued from September 26, 2005)
5. Sun Valley Ventures - Rep: Will Miller - Tax Lots 7642, 7642 & 7776 - 1801 Geezer Alley - T & FP Zones - replacement bridge for access
6. Ferreira design review - Rep: Kurt Eggers - Sublot 2, Hillside Ventures Townhomes - 122 Sage Road - GR-L & MO Zones - scenic overlook
7. The Rivers (formerly Sierra Condominiums) design review - Rep: Steve Pruitt - Lots 3 & 4, Block 60, Ketchum Townsite - 171 S. First Avenue & 131 W. River Street - CC Zone - new 28,853 square foot, 19 unit residential building
8. Discussion of revisions to the Subdivision Ordinance.
9. Consideration of the draft Findings of Fact regarding:
 - a. Wright - Design Review - approval;
 - b. Heinz - Design Review - approval;
 - c. Apples Bar & Grill - Conditional Use Permit - approval;
 - d. Trail Creek Crossing - Preliminary Plat - approval; and,
 - e. Gray - Design Review - approval.
10. Discussion of any other business.
11. Discussion item for next meeting: October 24, 2005
12. Approval of the minutes of the regular Planning and Zoning Commission meeting of September 26, 2005.

If you would like to know the estimated time that an agenda item will be heard or if you need more information on an agenda item, contact the Planning Department (726-7801).