



PLANNING AND ZONING COMMISSION AGENDA

Monday, September 10, 2018
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

1. **4:00 – SITE VISIT – Felker Residence Mountain Overlay Design Review: 255 Hillside Dr (Lot 33, Block 2, Warm Springs Subdivision #5)**
2. **4:30 PM – SITE VISIT - Light Industrial Tour: Rotary Park**
3. **5:15 PM - SITE VISIT – 760 N Washington Ave Mixed-Use Building Pre-Application Design Review: 760 N. Washington Ave. (Ketchum Townsite, Block 13, Lot 6)**
4. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**
5. **PUBLIC COMMENT** - Communications from the public for items not on the agenda.
6. **CONSENT CALENDAR—ACTION ITEMS**
 - a. **Minutes:** August 13, 2018
7. **PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS**
 - a. **Argyros Performing Arts Center Sign Variance:** Argyros Performing Arts Center, 120 S. Main St.: (Lot 4A, Block 1). The Commission will take action to *continue* review of the Variance request to October 8, 2018.
 - b. **Long Solar Energy Project Mountain Overlay Design Review:** 420 Sage Road #2: (Winter Sun Condominiums: Lot 25: Unit 2). (Continued from August 13th). The Commission will take action to *continue* review of the Mountain Overlay Design Review Application to October 8, 2018.
 - c. **ACTION – Accepting Record of the Decision of the Administrator:** Regarding Floodplain Development Permit Application 18-068 approving the construction of a scour pad by the City of Ketchum within Warm Springs Creek, and to schedule a hearing date for the appeal.
 - d. **ACTION - Design Review Administrative Authority:** The Commission will consider City-initiated amendments to Chapter 17.96: Design Review, Section 17.08.020: Terms Defined, and Chapter 17.04: Mountain Overlay Zoning District to modify the authority of the Administrator to review and approve certain Design Review application projects.
 - e. **ACTION - Zoning Code Amendment:** Residential Use in the Light Industrial Districts. (*Continued from March 6, March 27th, April 9th, May 14, May 29, June 11, June 25, July 9, August 13, 2018.*) The Commission will consider City-initiated amendments to Title 17, Section 17.124.090, Residential, Light Industrial Districts, and Section 17.12.020, District Use Matrix.
 - f. **ACTION – 760 N. Washington Mixed-Use Building Pre-Application Design Review:** 760 N. Washington Ave.: (Ketchum Townsite: Block 13: Lot 6). The Commission hear public comment, consider, and provide feedback on a Pre-Application Design Review for a new three-story, mixed-use building containing commercial/retail space and one (1) community housing unit on the first-floor and one (1) residential unit on the second and third floors.
 - g. **ACTION – Felker Residence Mountain Overlay Design Review:** 255 Hillside Dr. (Lot 33, Block 2, Warm Springs Subdivision #5) The Commission will consider and take action on a Mountain Overlay Design Review Application for a single-family residence in the Mountain Overlay.
8. **STAFF REPORTS & CITY COUNCIL MEETING UPDATE**
 - a. **Felker Residence Mountain Overlay Findings of Fact and Conclusions of Law**
9. **COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE**
10. **ADJOURNMENT**

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



Planning and Zoning

Regular Meeting

~ Minutes ~

480 East Avenue North
Ketchum, ID 83340

<http://ketchumidaho.org/>

Maureen Puddicombe
208-726-7801

Monday, August 13, 2018

5:30 PM

Ketchum City Hall

1. **5:00 PM – SITE VISIT: 420 Sage Road #2: Solar Energy Project Mountain Overlay Design Review**
2. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**
3. **Call to Order**

Attendee Name	Title	Status	Arrived
Jeff Lamoureux	Chair	Present	
Tim Carter	Commissioner	Present	
Neil Morrow	Vice-Chair	Present	
Matthew Mead	Commissioner	Present	
Kurt Eggers	Commissioner	Present	

4. **PUBLIC COMMENT - Communications from the public for items not on the agenda.**

No public comments were given.

5. **CONSENT CALENDAR—ACTION ITEMS**

- a. **Minutes:** July 9, 2018

No additions or corrections were made.

Motion to: Approve minutes of July 9, 2018

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Matthew Mead, Commissioner
SECONDER:	Kurt Eggers, Commissioner
AYES:	Lamoureux, Carter, Morrow, Mead, Eggers

6. **PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF**

- a. **ACTION – Long Solar Energy Project Mountain Overlay Design Review:** 420 Sage Road #2 (Winter Sun Condominiums: Lot 25: Unit 2), The Commission will consider and take action on a Mountain Overlay Design Review application by Mitch Long & Margit Donhowe, represented by Alex McKinley of Empowered Solar, for the installation of a 598 sq. ft. ground mounted solar array and a roof mounted solar thermal water heating system.
Applicant was unable to attend. Staff recommends continuance to Sept 10, 2018.

Public comment: Tom Pitman, 3110 Warm Springs Road, commented that this project is unsightly and shouldn't allow further development in the Mountain Overlay. He proposed the project be placed on the roof, instead of hillside.

Commissioner Matthew Mead questioned the placement of the panels above the allowable height. Planner Abby Rivin responded that it was within the Dimensional Standards.

Commissioner Kurt Eggers requested a recall of questions from the site visit to be addressed at the next meeting:

1. Applicant will install story poles.
2. Staff will request a Construction Management Plan for access to site.
3. Staff to request view shots of the story poles.
4. Staff to request topographical survey of the site.
5. Staff to request an assessment of reflectivity at the site.
6. Staff to request a proposal of restoration of the site.

Commissioner Neal Morrow questioned if Commission should have a guide for these types of installation, as it is probable there will be other installations in the future. Senior Planner Brittany Skelton said she felt a study of the issue was appropriate and will bring the matter to the Team Meeting to start the review and discussion process.

Motion to: Continue to September 10, 2018.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Neil Morrow, Vice-Chair
SECONDER:	Matthew Mead, Commissioner
AYES:	Lamoureux, Carter, Morrow, Mead, Eggers

- b. **ACTION - Long Term Rental in Avalanche Areas Text Amendment:** The Commission will consider and take action on a City-initiated amendment to allow long-term winter season rentals within the City of Ketchum Avalanche District for non-engineered single-family dwellings.

Senior Planner Brittany Skelton presented the text amendment regarding long-term rentals of un-engineered buildings in the Avalanche Zone.

Commissioner Neil Morrow asked about notice for long-term rentals. Skelton said there is a notice requirement for long-term rentals. Commissioner Matthew Mead thought the residences should be available for long-term rental. Most of the houses are older and not engineered, but still doesn't want to see the rental pool reduced.

Chair Jeff Lamoureux asked if the amendment would be in violation of the state rental housing laws by allowing short-term, but not long term. Skelton replied it has been reviewed by the City Attorney.

Motion to: Recommend approval to City Council the proposed text amendment to Title 17.92.010.D of the Ketchum Municipal Code.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Matthew Mead, Commissioner
SECONDER:	Kurt Eggers, Commissioner
AYES:	Lamoureux, Carter, Morrow, Mead, Eggers

- c. **ACTION -- Design Review Administrative Authority:** The Commission will consider City-initiated amendments to Chapter 17.96: Design Review, Section 17.08.020: Terms

Defined, and Chapter 17.04: Mountain Overlay Zoning District to modify the authority of the Administrator to review and approve certain Design Review application projects.

Associate Planner Abby Rivin presented the text amendment regarding Administrative Approval of minor modifications. Projects in the Mountain Overlay would still require full Design Review.

Approval of Design Review would be approved during the Building Permit review process. Commissioner Matthew Mead questioned if ADU's would be subject to review. Rivin responded that they would be subject to administrative review, regardless of size.

Commissioner Kurt Eggers asked about projects in the Mountain Overlay or the Floodplain. Senior Planner Brittany Skelton clarified that all projects in the Floodplain are subject to Design Review. Chair Jeff Lamoureux suggested parameters be included as to when the administrator would recommend full Design Review.

Motion to: Continue to September 10, 2018.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Matthew Mead, Commissioner
SECONDER:	Neil Morrow, Vice-Chair
AYES:	Lamoureux, Carter, Morrow, Mead, Eggers

- d. **ACTION: Zoning Code Amendment:** Residential Use in the Light Industrial Districts. (Continued from March 6, March 27th, April 9th, May 14, May 29, June 11, June 25, July 9, 2018.) The Commission will consider City-initiated amendments to Title 17, Section 17.124.090, Residential, Light Industrial Districts, and Section 17.12.020, District Use Matrix.

The Zoning Code Amendment was presented by Senior Planner Brittany Skelton. The emphasis for this meeting was on residential standards. Types of uses and typical hours of operation were presented. Sections of the Code to be modified were presented.

Commissioner Neal Morrow liked the changes. Commissioner Matthew Mead agreed. Mead questioned the lack of addressing technology-based business in the LI-2 and but is listed in the LI-1. Mead asked for a definition of "Cottage Industry" which Skelton related as hand-made goods.

Skelton presented the changes to the work/live definition and the definitions of other uses. Standards for a work/live space as to height, setbacks, floor area ratio were presented.

Planning Director John Gaeddert discussed the purpose of the modifications to the Matrix. He discussed building height options and the key elements of conflict between residential and LI uses as to how zoning can mitigate this conflict. A model of the existing LI and possible changes under the new code were presented. He anticipated additional pictures of possible heights to be ready for the next meeting. Parking requirements and possibilities were discussed. Chair Jeff Lamoureux asked to see a mock-up of a typical building.

Commissioner Tim Carter asked if a project is feasible under these standards and would a developer be interested in doing such a project. Gaeddert expressed a willingness to explore the question with a developer.

Neal commented on market-rate housing in LI. He referred to Aspen's housing regulations and warned against it for Ketchum. Matthew also expressed doubts. Commissioner Kurt Eggers urged underground parking to be considered. He thought the view of a 5-story building was horrid but building into the hillside might be an option. Parking would still be a constraint. Eggers was hesitant about introducing families into the LI. Commissioner Neal Morrow expressed doubts about the mix of deed-restricted and market-rate housing. He urged maintaining the view of the mountain. Matthew Mead commented on the view over the LI and the need for the addition of landscaping at the northern gateway.

Chairman Jeff Lamoureux asked if a 5-story all industrial building would be allowed. Planning Director John Gaeddert said at this time it would not but could be written in to accommodate such a building.

Gaeddert indicated there would be more visuals available for the next meeting. The amendment may be ready for noticing for public input for next month and then recommend to Council. Commissioner Eggers was interested in seeing the proposed building height relative to the highway elevation.

Motion to: Continue to September 10, 2018

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Neil Morrow, Vice-Chair
SECONDER:	Tim Carter, Commissioner
AYES:	Lamoureux, Carter, Morrow, Mead, Eggers

7. STAFF REPORTS & CITY COUNCIL MEETING UPDATE

Community Library Appeal Planner Abby Rivin reported the City Council upheld the Commission's decision. Chairman Jeff Lamoureux asked about the Commission's approval requirement to work with the neighbor on landscaping, but the appellant has not been willing to discuss the changes. Planning Director John Gaeddert related that while the parties are not talking, the attorneys have been working on the points of contention. The 2nd Building Permit was issued for the Children's Wing and the 3rd phase will be next year for landscaping. They will be required to come back before the Commission before the landscaping permit can be issued. No conclusion has been reached. Martins can still appeal to State court, but it is not known if that will happen.

8. Commission reports and ex parte discussion disclosure

Chairman Jeff Lamoureux announced he is stepping down as Chair. He will serve during the transition period and stay to complete the LI project. October will probably be his last meeting.

9. ADJOURNMENT

Motion to: Adjourn at 8:07 PM

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Kurt Eggers, Commissioner
SECONDER:	Tim Carter, Commissioner
AYES:	Lamoureux, Carter, Morrow, Mead, Eggers

Jeff Lamoureux
Chairman



City of Ketchum

September 10, 2018

Ketchum Planning & Zoning Commission

Recommendation to accept the record of the decision of the Administrator regarding Floodplain Development Permit Application 18-068 approving the construction of a scour pad by the City of Ketchum within Warm Springs Creek, and to schedule a hearing date for the appeal.

Recommendation and Summary

Consistent with the requirements of Ketchum City Code §17.144.010 and direction from the City Attorney, Staff recommends the Commission accept the record of proceedings regarding Floodplain Development Permit Application 18-068 approving the construction of a scour pad by the City of Ketchum's within Warm Springs Creek project, schedule a hearing date for the appeal, and set deadlines for the submittal of appellant and applicant briefs with the following motion:

"I move to accept the record of the administrative determination regarding Floodplain Development Permit Application 18-068 and schedule the appeal hearing date for **November 12, 2018** at 5:30pm."

The reasons for the recommendation are as follows:

- On August 24th, 2018, Miles Stanislaw submitted an appeal of the Planning and Zoning Administrator's approval of Floodplain Development Permit Application 18-068 for the construction of a scour pad within Warm Springs Creek by the City of Ketchum.
- Per Ketchum City Code §17.144.010, the Commission shall, following receipt of the record, set a hearing date for the appeal.

During the meeting staff will describe the procedural components of an appeal.

Attached please find a complete record of the Administrator's determination on this matter. The materials are organized in the following eight (8) attachments:

- **Attachment A:** Findings of Fact, Conclusions of Law, and Decision and attachments, permit number P18-068
- **Attachment B:** Permit number P18-068 application
- **Attachment C:** Public notice and public comment
- **Attachment D:** Emergency Permit application to the City of Ketchum, permit number 17-113, and file documents
- **Attachment E:** Idaho Department of Water Resources approval S37-20472, permit number 17-113
- **Attachment F:** U.S. Army Corps of Engineers approval NWW-2017-500-I02, permit number 17-113
- **Attachment G:** Construction management reports, permit number 17-113
- **Attachment H:** Notice of Appeal

Record of Administrator's Determination

Attachment A:

Findings of Fact, Conclusions of Law, and Decision and attachments, permit number P18-068

Attachment B:

Permit number P18-068 application

Attachment C:

Public notice and public comment

Attachment D:

Emergency Permit application to the City of Ketchum, permit number 17-113, and file documents

Attachment E:

Idaho Department of Water Resources approval S37-20472, permit number 17-113

Attachment F:

U.S. Army Corps of Engineers approval NWW-2017-500-I02, permit number 17-113

Attachment G:

Construction management reports, permit number 17-113

Attachment H:

Notice of Appeal

Attachment A

Findings of Fact, Conclusions of Law, and Decision and attachments, permit number P18-068



City of Ketchum
Planning & Building

**CITY OF KETCHUM
ZONING CODE TITLE 17, CHAPTER 17.88, FLOODPLAIN MANAGEMENT
ADMINISTRATIVE FLOODPLAIN DEVELOPMENT PERMIT –
WATERWAYS, FLOODPLAIN, AND STREAMBANK ALTERATION**

PROJECT: Warm Springs Scour Pad at Aspen Drive

FILE NUMBER: #18-068

OWNER: City of Ketchum

REPRESENTATIVE: Samantha Stahlnecker, Galena Engineering

REQUEST: Installation of a scour pad around sewer main

LOCATION: Warm Springs Creek creekbed parallel to Georgia Road, downstream from Aspen Drive bridge (Ketchum FR SESW TL 3296 K4N 17E Sec 11 Creek Bed)

ZONING: Underlying zoning N/A – creekbed

OVERLAYS: Avalanche Overlay and Floodplain Management Overlay (FP) –Waterways Design Review, Floodplain, and Floodway subdistricts

REVIEWERS: Brittany Skelton, CFM

NOTICING: Property owners within 300' were noticed by mail on June 14, 2018

ATTACHMENTS:

- No Rise Certification for Aspen Drive Sewer Main Scour Pad – City of Ketchum, Galena Engineering, dated May 1, 2018
- Warm Springs Sewer Line Review memo, SPF Water Engineering, dated August 2nd, 2018
- IDWR permit S37-20523
- Army Corps of Engineers permit NWW-2017-500-I02

BACKGROUND

1. The subject property is an approximately 1,500' in length portion of the creek bed of Warm Springs Creek, owned by the City of Ketchum, located downstream from the bridge crossing Warm Springs Creek at Aspen Drive. Because the majority of the parcel aligns with the channel of Warm Springs Creek the majority of the parcel is located within the regulatory floodway.
2. During the 2017 flood event the sewer main crossing Georgia Road to Aspen Drive via Warm Springs Creek was compromised. The sewer main had been in place since 1968. Because flows into the wastewater treatment plant were significantly higher than normal during the flood event, city public works staff utilized cameras to inspect main lines for excess infiltration. During this process public works staff discovered the sewer main crossing Warm Springs Creek at Aspen Drive was failing.
3. After discovering the main was failing the main was then capped on both the Georgia Road and Aspen Drive sides of the main and a temporary bypass sewer line was installed above grade in the right-of-way of Aspen Drive.
4. On August 15, 2017 Galena Engineering, on behalf of the City of Ketchum, submitted a Joint Application for Permits to the U.S. Army Corps of Engineers and the Idaho Department of Water Resources. The application was also forwarded to the Idaho Department of Environmental Quality for review and comment. The scope of work proposed was to construct a first phase of emergency repairs to the sewer main.

The proposed scope of work included removing the existing damaged sleeve and concrete cap located in the stream, installing a new sewer pipe encased in steel, and stabilizing the bank with angular riprap to be top dressed with mixed cobble and restorative vegetation.

5. This permit application represents a second phase of work to install a scour pad constructed of riprap, designed to protect the main from being compromised and failing in the future, upstream and downstream of the crossing. The main is currently installed at the grade of the bed of the channel. The proposed scope of work is to install 12" diameter riprap 4' upstream of the existing pipe and extending 8' downstream of the existing pipe. No riprap is proposed to be installed directly on top of the main; rather, the upstream and downstream riprap will slope upward from existing grade to the top of the main.
6. On behalf of the City of Ketchum the scour pad was designed by Brockway Engineering, PLLC and the No Rise Certification was prepared by Galena Engineering.
7. On behalf of the City of Ketchum SPF Water Engineering conducted an independent, third-party review of the proposed scope of work and the No Rise Certification, agreeing with the No-Rise analysis and finding the scour pad design to be adequate.
8. This proposal is intended to be a permanent and stable solution. No future work is anticipated.

Table 1: Floodplain Design Review Requirements

Floodplain Design Review Requirements				
1. EVALUATION STANDARDS: 17.88.050(E)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)1 FLOODPLAIN DEVELOPMENT /WATERWAYS DESIGN REVIEW	<p>Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.</p> <p><i>Staff Comments</i></p> <p>The scope of work consists of installing a scour pad to protect a sewer main that crosses Warm Springs Creek. A sewer main has existed in the subject location since 1968. However, during the spring 2017 flood event the 1968-era main was compromised. During October 2017 the compromised main was replaced with a new main, with the new main encased in steel.</p> <p>The scour pad is 12' in length with 4' upstream of the main and 8' downstream of the main. Approximately 26 cubic yards of riprap will comprise the scour pad, with the majority of the riprap installed below grade of the creek bed. Above the grade of the creekbed the riprap will slope upward to the top of the main.</p> <p>The scope is a minimal intervention and minimal change to the creek and floodplain; existing conditions are largely preserved. A No Rise Certification has been submitted documenting no rise to the 100-year floodplain.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)2	<p>Preservation or enhancement of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone. No construction activities, encroachment or other disturbance into the twenty five foot (25') riparian zone shall be allowed at any time without written City approval per the terms of this ordinance.</p> <p><i>Staff Comments</i></p> <p>No development within or alteration to the riparian area is proposed. However, any riparian vegetation disturbed during construction will be repaired.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)3	<p>No development, other than development by the City of Ketchum or development required for emergency access, shall occur within the twenty five foot (25') riparian zone with the exception of approved stream stabilization work. The Administrator may approve access to property where no other primary access is available. Private pathways and staircases shall not lead into or through the riparian zone unless deemed necessary by the Administrator.</p> <p><i>Staff Comments</i></p> <p>Temporary access through the riparian area will occur during construction in order to access the project area, which is located within the channel of Warm Springs Creek. No permanent development will occur in the riparian area.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)4	<p>A landscape plan and time frame shall be provided to restore any vegetation within the twenty five foot (25') riparian zone that is degraded, not natural or which does not promote bank stability.</p> <p><i>Staff Comments</i></p> <p>No alteration to the riparian area is proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)5	<p>New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing</p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
				<p>damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, beb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle.</p> <p><i>Staff Comments</i> No alteration to the riparian area is proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)6	<p>Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.</p> <p><i>Staff Comments</i> Floodwater carrying capacity is not diminished by this proposal, as demonstrated in the No Rise Certification dated May 1, 2018.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)7	<p>Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.</p> <p><i>Staff Comments</i> The scope of work consists of installing approximately 26 cubic yards of 12" diameter riprap 4' upstream and 8' downstream of a sewer main installed in 2017 in the location of a sewer main that was installed in 1968 and removed because it was compromised. In effect, the change to existing conditions are minimal. No adverse impacts to aquatic life, recreation, or water quality upstream, downstream, or across the stream are anticipated.</p> <p>Further, because the intervention is designed to protect the integrity of the sewer main, the intervention facilitates the protection of water quality, aquatic life, and recreation.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)8	<p>Building setback in excess of minimum required along waterways is encouraged.</p> <p><i>Staff Comments</i> N/A, a new building is not being constructed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)9	<p>The top of the lowest floor of a building located in the 1% annual chance floodplain shall be a minimum of twenty-four inches (24") above the base flood elevation of the subject property.</p> <p><i>Staff Comments</i> N/A, a new building is not being constructed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)10	<p>The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. A LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.</p> <p><i>Staff Comments</i> N/A, a new building is not being constructed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)11	<p>All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.</p> <p><i>Staff Comments</i> N/A, a new building is not being constructed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)12	<p>Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for.</p> <p><i>Staff Comments</i> N/A, a new driveway is not being constructed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)13	<p>Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.</p> <p><i>Staff Comments</i> The scope of work consists of installing a riprap scour bed below Mean High Water in the channel of the river. Cuts and fills will not occur.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)14	<p>(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.</p> <p><i>Staff Comments</i> The first phase of a permanent solution to create a stable situation occurred on an emergency basis in the fall of 2017 when a new sewer</p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<p>pipe, encased in steel, was installed in the location of the compromised pipe that had been in place since 1968.</p> <p><i>This second phase of work consists of installation of a scour pad to protect the integrity of the main.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)15	<p>(Stream Alteration) No increase to the 100-year floodplain upstream or downstream has been certified by a registered Idaho engineer.</p> <p><i>Staff Comments</i> Galena Engineering has submitted a No Rise analysis certifying that no increase to the 100-year floodplain will occur (No Rise Certificated dated May 1, 2018). The No Rise has been independently reviewed and affirmed on behalf of the City by SPF Water Engineering (memo dated August 2nd, 2018)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)16	<p>(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.</p> <p><i>Staff Comments</i> Recreational use of the stream will not be impeded. The scour pad will be installed below Mean High Water, therefore, the aesthetic beauty of the stream is not obstructed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)17	<p>Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with a comparable amount and/or quality of new wetland area or riparian habitat improvement.</p> <p><i>Staff Comments</i> N/A, no wetlands have been identified on the subject property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)18	<p>(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.</p> <p><i>Staff Comments</i> A sewer main has existing at this location in Warm Springs Creek since 1968. The proposed scour pad construction does not significantly alter fish habitat and largely maintains existing conditions.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)19	<p>(Stream Alteration) The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.</p> <p><i>Staff Comments</i> The proposed scope of work is necessary to protect public infrastructure – a sewer main – and has been designed to be a permanent and stable solution with a minimal visual impact. The stability of the intervention is in the public's interest as the main carries sewage to the wastewater treatment facility. Property values, fish and wildlife habitat, aquatic life, recreation, the beauty of the stream and water quality are protected by this intervention.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)20	<p>(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.</p> <p><i>Staff Comments</i> The proposed scope of work is specifically to protect a public sewer distribution line and therefore is for the protection of public health, safety, and welfare.</p>

CONDITIONS

1. In addition to the conditions stated below, all conditions of approval included in IDWR permit S37-20523 and Army Corps of Engineers permit NWW-2017-500-I02 shall be adhered to;

2. The approved scope of work is limited to the scope of work described in the No Rise Certification dated May 1, 2018;
3. Any riparian vegetation disturbed during construction shall be repaired by October 1, 2019;
4. Floodplain Development Permit approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.050.G, Terms of Approval;
5. Pursuant to KMC 17.88.040.C.8, it shall be unlawful to dump, deposit or otherwise cause any trash, landscape debris or other material to be placed in any stream, channel, ditch, pond or basin that regularly or periodically carries or stores water;

Decision: Approved, subject to conditions above.

DATED this

10th day of August, 2018



Brittany Skelton, CFM

GALENA ENGINEERING

317 North River Street
Hailey, ID 83333
208.788.1705

No Rise Certification

For

Aspen Drive Sewer Main Scour Pad- City of Ketchum

May 1, 2018



ENGINEER OF RECORD
Samantha Stahlnecker

Section 1: Introduction

Galena Engineering has prepared this report for the Stream Alteration Permit request for Aspen Drive and Georgia Road to protect an existing sewer main crossing in Warm Springs Creek for the City of Ketchum. We have visited the site and reviewed the design by Brockway Engineering on behalf of the City of Ketchum for stream channel work along Warm Springs Creek.

This report summarizes the process used to consider if the proposed project will cause a net increase to the one percent (1%) annual chance floodplain elevation based upon the assumptions and analyses contained herein.

This is a minor project consisting of not more than approximately 15-20 linear feet of river bank impact. Therefore, this is a conveyance analysis ONLY and is not a full flood study with multiple cross sections and locations evaluating extensive flooding characteristics up or down stream. A full flood study is warranted for the entirety of the water shed because the current study is nearly obsolete; but a project of the nature proposed herein cannot reasonably be required to undertake an effort of that magnitude. Instead, eight cross sections have been used to evaluate approximate conveyance capacity in the immediate project area. Flow rates, and roughness coefficients from the adopted FIS were applied to the current cross section and the resulting Base Flood Elevation was compared to published information. This approach recognizes the current channel characteristics are likely not represented by the FIS, and second, focuses on the key point of whether or not the current/design cross section can convey the anticipated flow without exceeding the published flood elevation - regardless of where the flow now takes place within the cross section.

Section 2: Project Background

Project location

The proposed project is located between Georgia Road and Aspen Drive east of Aspen Drive. Stream work was conducted in the Fall of 2017 to repair the existing sewer main which was damaged during the Spring 2017 flood event. To avoid future damage to the sewer main, it is Galena Engineering's understanding that the intent of the proposed project is to install a scour pad upstream and downstream of the pipe crossing to protect the integrity of the main. The site is located adjacent to the Warm Springs Creek between mapped cross sections L and M from the November 26, 2010 FEMA Flood Insurance Study (F.I.S.). The FEMA FIRM panel representing the project site is 0434. Refer to *Appendix A* for a map of the proposed project site and design information by others.

Type of Work

Brockway Engineering is proposing to install 12" riprap 8 feet downstream and 4 feet upstream of the existing pipe location up to the top of the pipe. No bank stabilization work is proposed, and any riparian landscaping that is damaged during the construction process will be repaired.

Schedule

The proposed bank stabilization project will be scheduled and managed by the City of Ketchum, Brockway Engineering, and Galena Engineering.

Brief Flood Study History and Relationship to Existing Conditions Discussion

The survey data used to determine the 1997 F.I.S. flood limits for Warm Springs was previously surveyed from 1970-1974 by the U.S. Army Corps of Engineers. The same survey data was utilized for the 2010 F.I.S. without modification. Aside from a LOMR, effective July 2, 2015, which impacted cross section AE-AO on Warm Spring Creek, no updates to Warm Spring Creek geometry have been made since 1994. It is difficult to compare existing vs. adopted flood limits along Warm Springs Creek because of the outdated data utilized by FEMA.

Section 2: Methods, Calculations, and Results

Flood Insurance Study Site Reference Data

Table 1: F.I.S. Study Reference Data

F.I.S. FIRM Panel	F.I.S. Flood Profile	Adjacent F.I.S. Cross Sections
0434	091P	L & M

Refer to *Appendix B: F.I.S. Study Reference Data*, for the project F.I.S. profile, firm panel, and associated floodway data.

Field Data Collection

Eight cross sections both upstream and downstream of the repaired sewer main crossing were surveyed on December 15, 2017. The cross sections extended beyond the 2010 FEMA mapped floodway, through a majority of the mapped floodplain, and captured the existing ground elevations and river bottom elevations.

Computer Modeling

The surveyed cross sections were modeled in AutoCAD Civil 3D and exported to HEC-RAS. Once in HEC RAS, upstream and downstream channel slopes were applied based upon the surveyed cross sections, and the cross sections impacted by the riprap scour pad were adjusted accordingly. The proposed channel bottom was sloped up to the top of pipe beginning 4' upstream of the pipe and sloped down starting at the pipe and ending 8' downstream. No fill is proposed over the existing pipe, so no elevation changes at the pipe were modeled.

The model was allowed to utilize the full width of the surveyed cross sections for the flow analysis with no horizontal constraints regarding the published floodplain or floodway. Given the deficiencies in the current FIS model stated previously, this approach represents current conditions most closely.

Results

The table below summarizes the results from the previously described calculations.

Table 2: Model Input Variables & Results

Description	River Station (feet above mouth)	2010 FIS								Project Calculations					
		Flow Rate (cfs)	Slope	Manning's N- Values*			BFE	Section Area (sq. ft)	Flow Velocity (ft/s)	BFE	Section Area (sq. ft)	Flow Velocity (ft/s)			
				LOB	Channel	ROB									
Upstream Cross Section "M"	76+30	1,250	1.4%	0.2	0.065	0.2	5858.1	187**	6.7						
Project Cross Section (Upstream of Pipe)	74+15		-							5856.0	-	-	5853.22	182.37	6.85
Project Cross Section (@ Pipe)	74+11		-							5855.9	-	-	5852.87	156.44	7.84
Project Cross Section (Downstream of Pipe)	74+02		-							5855.9	-	-	5852.99	193.33	6.47
Downstream Cross Section "L"	72+90		0.5%							5854.6	199**	6.3			

*Manning's N-Values were assigned based upon *Table 5. Range of Manning's Roughness Values* in the 2010 FEMA F.I.S.

**2010 F.I.S. Floodway Area

Refer to *Appendix C: Results*, for raw exported results from HEC-RAS.

The calculations shown in Table 2 indicate base flood elevations that vary between 2.78-3.03 feet lower than the mapped B.F.E. published in the 2010 F.I.S. The calculated flood plain flow area is shown in the color blue on the vicinity map.

The average velocities exported from the HEC-RAS model upstream and downstream of the pipe resulted in minimal increases of approximately 0.15 feet/second when compared to upstream and downstream cross sections "M" and "L". The model results at the existing pipe showed a localized increase in average flow velocity of over 1 feet per second. Because fill is not proposed beyond the elevation of the top of the pipe, these increase velocities are expected under existing conditions as well. By installing channel bed material upstream and downstream of the pipe that is larger than existing, the bed load is less likely to transport under faster velocities. The proposed rip rap scour pad should decrease erosive conditions in Warm Springs Creek at the existing sewer pipe crossing.

Section 3: Conclusions

Based on the information discussed in this report, Galena Engineering's calculations show that the proposed stream bank stabilization work will not cause a net increase to the one percent (1%) annual chance floodplain elevation at the studied location. No adverse impacts on other property or persons are foreseen as a result of this project. While no guarantee can be provided that the adjacent properties will not be negatively impacted by the random forces at work along the river, historically these projects have little effect outside of the immediate project area. If you have any questions or require additional information, please contact the professional engineer of record listed on the cover sheet of this report.

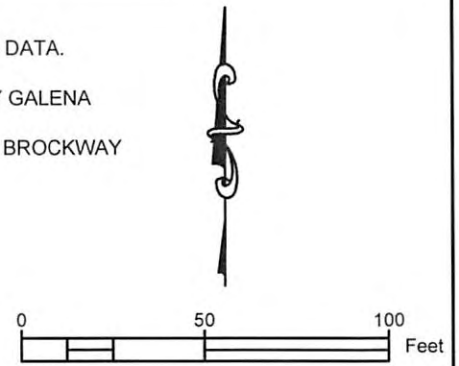
Appendix A: Site Map & Design Information

NOTES:

1. PARCEL BOUNDARIES SHOWN HEREON ARE PER FOUND MONUMENTATION.
2. MAPPED FLOOD INFORMATION SHOWN HEREON IS APPROXIMATE PER BLAINE COUNTY GIS DATA.
3. PHOTO DATE: MAY 2017 (BLAINE COUNTY)
4. EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER A SURVEY CONDUCTED BY GALENA ENGINEERING ON DECEMBER 15, 2017.
5. PROPOSED SCOUR PAD DESIGN SHOWN HEREON IS BASED UPON DESIGN DOCUMENTS BY BROCKWAY ENGINEERING DATED MARCH 30, 2018.

LEGEND

- — — — — Adjoining Property Line
- — — — — Base Flood Elevation
- — — — — FEMA Cross Section
- — — — — River/Creek Centerline
- FP — — — FEMA Floodplain
- FW — — — FEMA Floodway
- MHW — — — Mean High Water

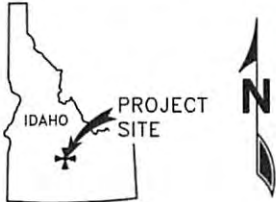


REUSE OF DRAWINGS
 These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

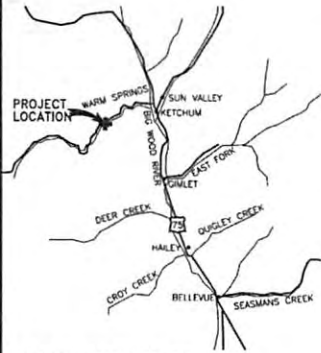
Galena Engineering Inc.
 Civil Engineers & Land Surveyors
 317 North River Street
 Halley, Idaho 83333
 (208) 788-1705
 (208) 788-4612 fax
 email galena@galena-engineering.com

VICINITY MAP FOR
ASPEN WAY SEWER CROSSING RIPRAP SCOUR PAD
 WITHIN S 11, T.4N., R.17E., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR THE CITY OF KETCHUM

PROJECT INFORMATION
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ESRI WORLD IMAGERY



(SCALES FOR 8.5 X 11 DWGS ONLY)

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REV	DESCRIPTION	DATE	APPRO. BY
A	ISSUE FOR REVIEW	3/30/18	

DESIGNED BY
GEP
DRAFTED BY
ICB

BROCKWAY ENGINEERING, PLLC
HYDRAULICS - HYDROLOGY - WATER RESOURCES
2010 NORTH WASHINGTON, SUITE 4
TWIN FALLS, ID 83301
(208) 736-8543

DRAWING INDEX	
TITLE	DWG No.
COVER SHEET AND VICINITY MAP	0
SITE PLAN	1
PROFILE & CROSS-SECTION	2
DETAIL	3

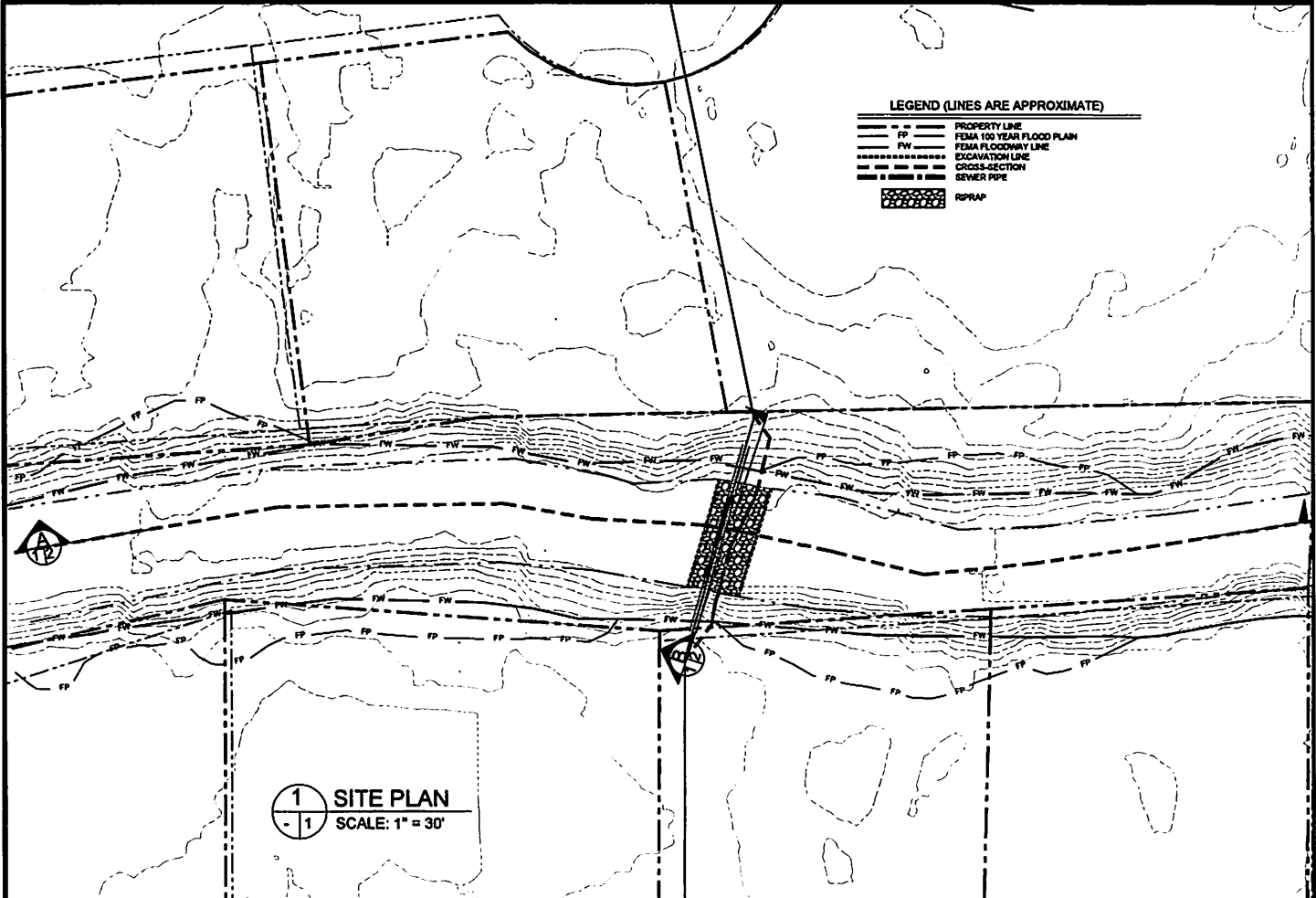


CITY OF KETCHUM
ASPEN WAY SEWER

PROJECT #
XXXX-XX-2018
DWG #
0

COVER SHEET & VICINITY MAP

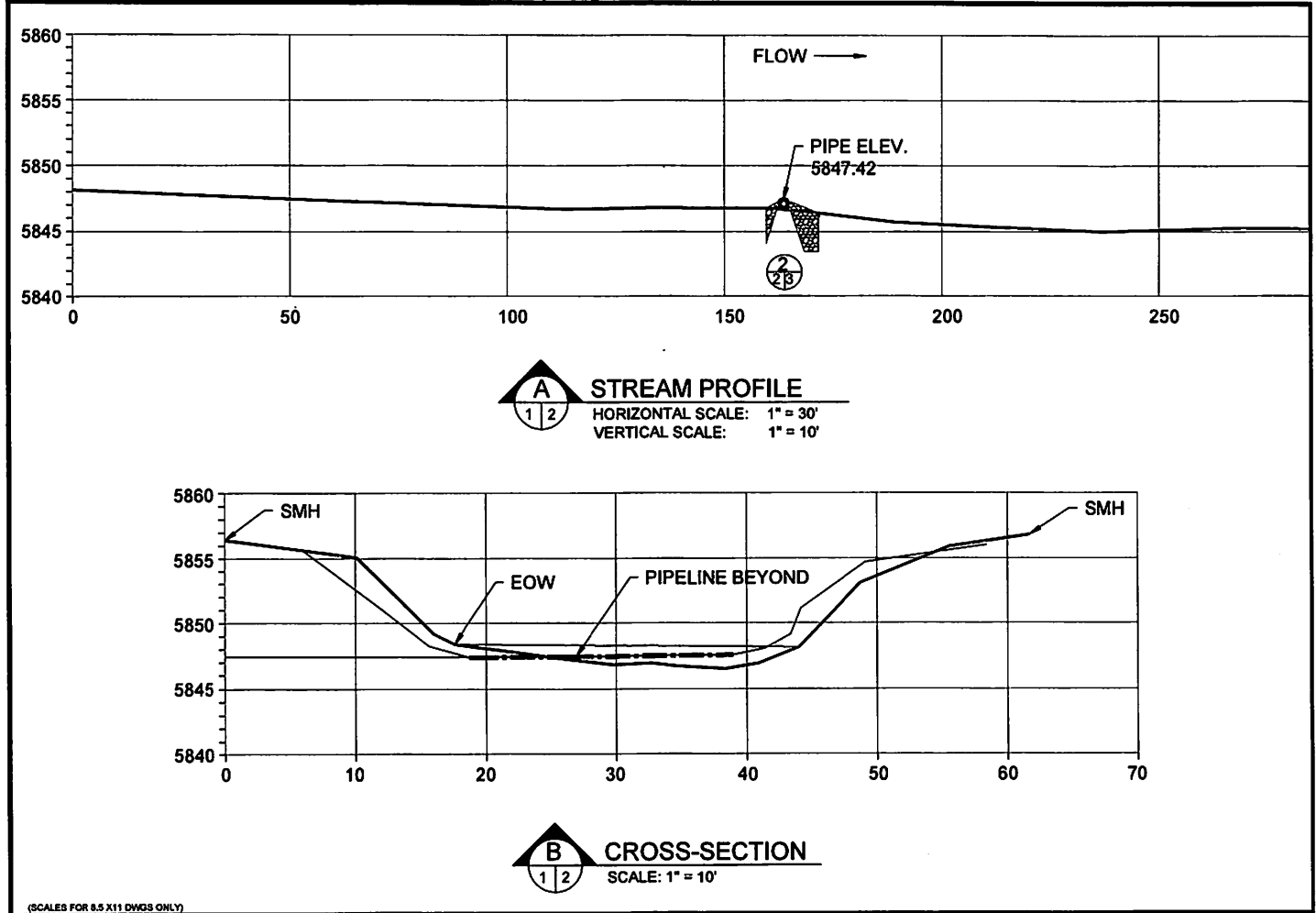




1" = 30' (SCALES FOR 8.5 X 11 DWGS ONLY)

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	GEP	HYDRAULICS - HYDROLOGY - WATER RESOURCES		ASPEN WAY SEWER		XXXX-XX-2017												
	DRAFTED BY	2018 NORTH WASHINGTON, SUITE 4				DWG #												
	ICB	TWIN FALLS, ID 83301		SITE PLAN		REV												
		(206) 736-8543				1												
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A	ISSUE FOR REVIEW	3/5/18	

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GEP

DRAFTED BY
ICB

BROCKWAY ENGINEERING, PLLC
 HYDRAULICS - HYDROLOGY - WATER RESOURCES
 2018 NORTH WASHINGTON, SUITE 4
 TWIN FALLS, ID 83301
 (208) 736-8543

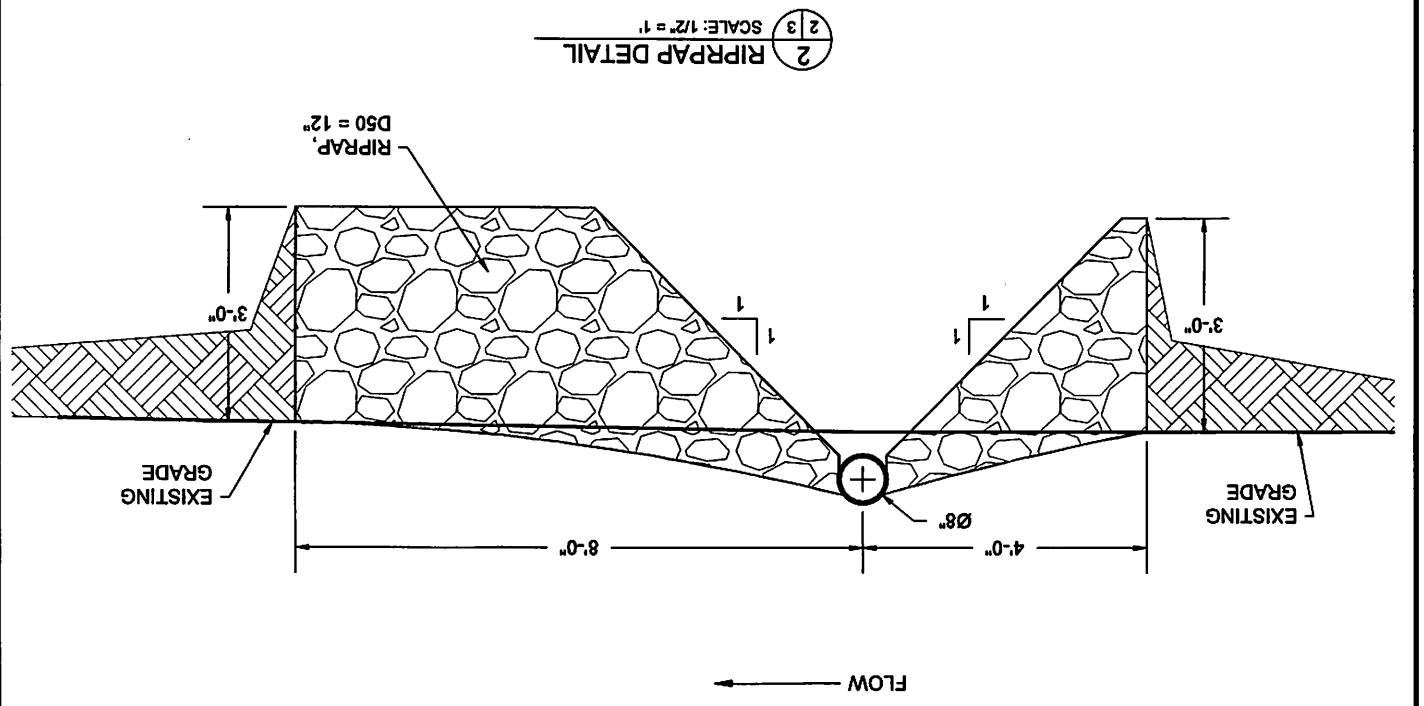
CITY OF KETCHUM
ASPEN WAY SEWER

PROFILE AND CROSS-SECTION

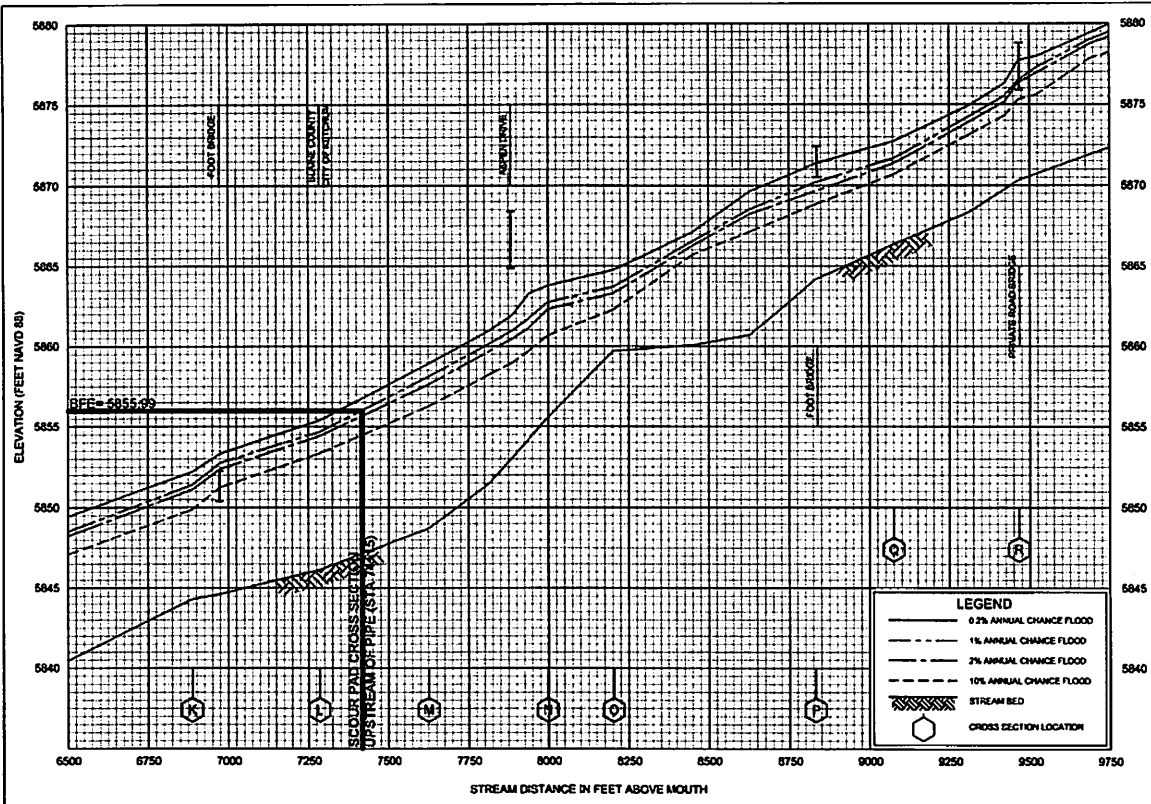
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	DWD # 3	PROFILE AND CROSS-SECTION ASPEN WAY SEWER	BROCKWAY ENGINEERING, PLLC 2018 NORTH WASHINGTON, SUITE 4 TWIN FALLS, ID 83301 (208) 736-8543	DESIGNED BY DEP	DRAFTED BY RCB	REV A	ISSUE FOR REVIEW	DATE APPRO. BY	DESCRIPTION
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(SCALES FOR 0.5 X 11 DWGS ONLY)



Appendix B: F.I.S. Study Reference Data



FLOOD PROFILES
WARM SPRINGS CREEK

FEDERAL EMERGENCY MANAGEMENT AGENCY
BLAINE COUNTY, ID
 AND INCORPORATED AREAS

091P

FIRM
FLOOD INSURANCE RATE MAP
BLAINE COUNTY, IDAHO
AND ADJACENT AREAS
PANEL 2002

MAP NUMBER
NOVEMBER 2015
REVISION DATE

BLAINE COUNTY, IDAHO
AND ADJACENT AREAS
FLOOD INSURANCE RATE MAP
PANEL 2002

LEGEND

1. FLOOD ZONES

2. SPECIAL STUDY AREAS

3. OTHER FEATURES

4. CITY OF METEORUS

5. ADJACENT AREAS

6. UNDEVELOPED AREAS

7. DEVELOPED AREAS

8. WATER BODIES

9. ELEVATION

10. ROADWAYS

11. RAILROADS

12. UTILITIES

13. BOUNDARIES

14. OTHER FEATURES

15. UNDEVELOPED AREAS

16. DEVELOPED AREAS

17. WATER BODIES

18. ELEVATION

19. ROADWAYS

20. RAILROADS

21. UTILITIES

22. BOUNDARIES

23. OTHER FEATURES

24. UNDEVELOPED AREAS

25. DEVELOPED AREAS

26. WATER BODIES

27. ELEVATION

28. ROADWAYS

29. RAILROADS

30. UTILITIES

31. BOUNDARIES

32. OTHER FEATURES

33. UNDEVELOPED AREAS

34. DEVELOPED AREAS

35. WATER BODIES

36. ELEVATION

37. ROADWAYS

38. RAILROADS

39. UTILITIES

40. BOUNDARIES

41. OTHER FEATURES

42. UNDEVELOPED AREAS

43. DEVELOPED AREAS

44. WATER BODIES

45. ELEVATION

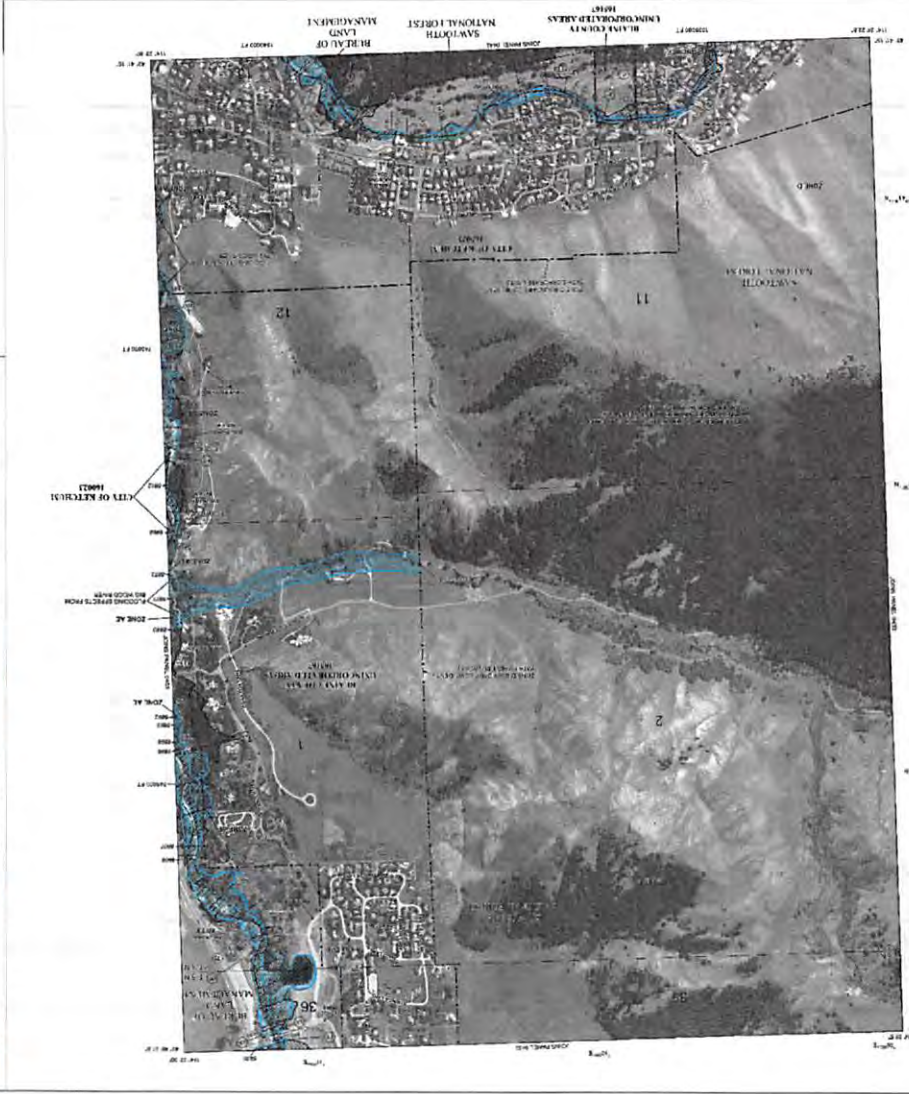
46. ROADWAYS

47. RAILROADS

48. UTILITIES

49. BOUNDARIES

50. OTHER FEATURES



NOTES TO USERS

This map is a Flood Insurance Rate Map (FIRM) prepared by the Federal Emergency Management Agency (FEMA) for the Blaine County, Idaho, and adjacent areas. The map is based on the best available data and is intended to provide information for flood insurance purposes. The map is not a warranty of accuracy and is not intended to be used for any other purpose.

The map shows the following features:

- Flood Zones:** The map displays various flood zones, including Special Flood Hazard Areas (SFHAs) and other flood-prone areas. The zones are color-coded and labeled according to the legend.
- Special Study Areas:** The map includes Special Study Areas (SSAs) which are areas of particular concern due to their unique characteristics.
- Other Features:** The map also shows other features such as roads, railroads, utilities, and boundaries.

The map is subject to change and is updated as new information becomes available. Users should consult the legend and other documentation for more information.

FLOODING SOURCE		FLOODWAY			1-PERCENT-ANNUAL-CHANCE FLOOD WATER SURFACE ELEVATION			
CROSS SECTION	DISTANCE ¹	WIDTH (FEET)	SECTION AREA (SQ. FEET)	MEAN VELOCITY (FEET/SEC)	REGULATORY (FEET NAVD)	WITHOUT FLOODWAY (FEET NAVD)	WITH FLOODWAY (FEET NAVD)	INCREASE (FEET)
Warm Springs Creek								
A	1,240	175	254	4.9	5,801.3	5,800.2 ²	5,800.4 ²	0.2
B	1,820	58	254	4.9	5,805.7	5,805.7	5,806.1	0.4
C	2,320	58	292	4.3	5,809.9	5,809.9	5,810.8	0.7
D	2,900	72	264	4.7	5,815.4	5,815.4	5,815.7	0.3
E	3,310	53	220	5.7	5,818.7	5,818.7	5,819.1	0.4
F	3,790	46	208	6.0	5,823.5	5,823.5	5,823.8	0.3
G	4,220	50	222	5.6	5,826.7	5,826.7	5,827.3	0.6
H	4,800	43	220	5.7	5,832.7	5,832.7	5,833.0	0.3
I	5,860	52	267	4.7	5,841.7	5,841.7	5,842.3	0.6
J	6,180	56	178	7.0	5,844.2	5,844.2	5,844.6	0.4
K	6,890	32	188	6.7	5,851.4	5,851.4	5,851.7	0.3
L	7,290	30	199	6.3	5,854.6	5,854.6	5,855.2	0.6
M	7,630	30	187	6.7	5,858.1	5,858.1	5,858.4	0.3
N	8,000	59	319	3.9	5,862.9	5,862.9	5,862.9	0.0
O	8,210	96	284	4.4	5,863.7	5,863.7	5,863.8	0.1
P	8,840	58	274	4.6	5,870.0	5,870.0	5,870.2	0.2
Q	9,080	55	212	5.9	5,871.7	5,871.7	5,871.8	0.1
R	9,470	35	205	6.1	5,876.5	5,876.5	5,876.6	0.1
S	10,810	67	175	7.1	5,890.0	5,890.0	5,890.2	0.2
T	11,330	37	180	7.0	5,896.3	5,896.3	5,896.8	0.5
U	11,930	60	320	3.9	5,902.2	5,902.2	5,902.4	0.2
V	12,330	48	154	8.1	5,904.8	5,904.8	5,905.0	0.2
W	12,990	30	192	6.5	5,911.0	5,911.0	5,911.3	0.3
X	13,385	55	260	4.8	5,913.9	5,913.9	5,914.7	0.8
Y	13,913	41	196	6.4	5,919.3	5,919.3	5,919.4	0.1
Z	14,282	91	380	3.3	5,922.9	5,922.9	5,923.7	0.8

¹Feet above mouth

²Elevation computed without consideration of backwater effects from Big Wood River

TABLE 7

FEDERAL EMERGENCY MANAGEMENT AGENCY

BLAINE COUNTY, IDAHO
AND INCORPORATED AREAS

FLOODWAY DATA

WARM SPRINGS CREEK

Table 4. Summary of Discharges (continued)

<u>Flooding Source and Location</u>	<u>Drainage Area (square miles)</u>	<u>Peak Discharges (cfs)</u>			
		<u>10-percent- annual-chance</u>	<u>2-percent- annual-chance</u>	<u>1-percent- annual-chance</u>	<u>0.2-percent- annual-chance</u>
Quigley Creek					
At Mouth	17.3	180	- ¹	500	- ¹
At Bellevue Northern Corporate Limit	46.6	620	920	1,030	1,255
Seamans Creek					
At Cross Section A	24	350	770	1,050	1,850
Slaughterhouse Creek					
At Canyon Mouth	14	- ¹	- ¹	730	- ¹
Trail Creek					
At Mouth	69	600	900	1,020	1,300
Warm Spring Creek					
At Mouth	99	750	1,100	1,250	1,650

¹Data not available

Channel and overbank roughness factors (Manning's "n") used in the hydraulic computations were chosen by engineering judgment and based on field observations of the streams and floodplain areas and aerial photographs. The backwater computations on Trail Creek, Warm Springs Creek, and the East Fork Big Wood River were previously determined by the USACE (References 12, 9, and 11, respectively). On Trail Creek and the East Fork Big Wood River, a single value of 0.065 for the entire reach studied on each stream was used for the channels, and 0.200 was used for the overbanks. On Warm Springs Creek, a single value of 0.065 for the entire reach was used for the channel, while overbank roughness coefficients varied between 0.070 and 0.200. Values selected for these roughness factors were very conservative (high), reflecting the USACE policy at the time that the Floodplain Information Reports were written, which called for using very conservative roughness values in all Floodplain Information Studies. Using these conservative values helps to account for debris accumulation or other localized channel obstructions which might occur at any point along the stream.

The range of roughness values used for all flooding sources is shown in Table 5. The acceptability of all assumed data was checked by computations that duplicated historic floodwater profiles.

Table 5. Range of Manning's Roughness Values

<u>Flooding Source</u>	<u>Main Channel</u>	<u>Floodplain</u>
Big Wood River		
Below Bellevue	0.042-0.065	0.060-0.200
Above Eagle Creek	0.045-0.065	0.080-0.200
Croy Creek	0.055-0.150	0.040-0.200
Deer Creek	0.0450	0.050-0.075
Eagle Creek	0.024-0.055	0.024-0.060
East Fork Big Wood River	0.0650	0.2000
Indian Creek	0.050-0.070	0.070-0.100
Quigley Creek	0.0500	0.0500
Seamans Creek	0.030-0.090	0.030-0.100
Trail Creek	0.0650	0.2000
Warm Springs Creek	0.0650	0.070-0.200

Water-surface elevations for floods of the selected recurrence intervals, except for Quigley Creek, were computed through use of the USACE HEC-2 step-backwater computer program (References 19, 20, and 21). Starting water-surface elevations for all floods on each stream studied in detail were found by using a normal depth analysis at the farthest downstream cross section. Exceptions include Eagle Creek, for which computations began with critical depth at U.S. Highway 93, and the 1-percent-annual-chance flood on the Big Wood River above Eagle Creek, East Fork Big Wood River, Trail Creek, and Warm Springs Creek, for which computations began at the elevation previously used by the USACE in their Floodplain Information Reports of these streams (References 3, 9, 11, and 12).

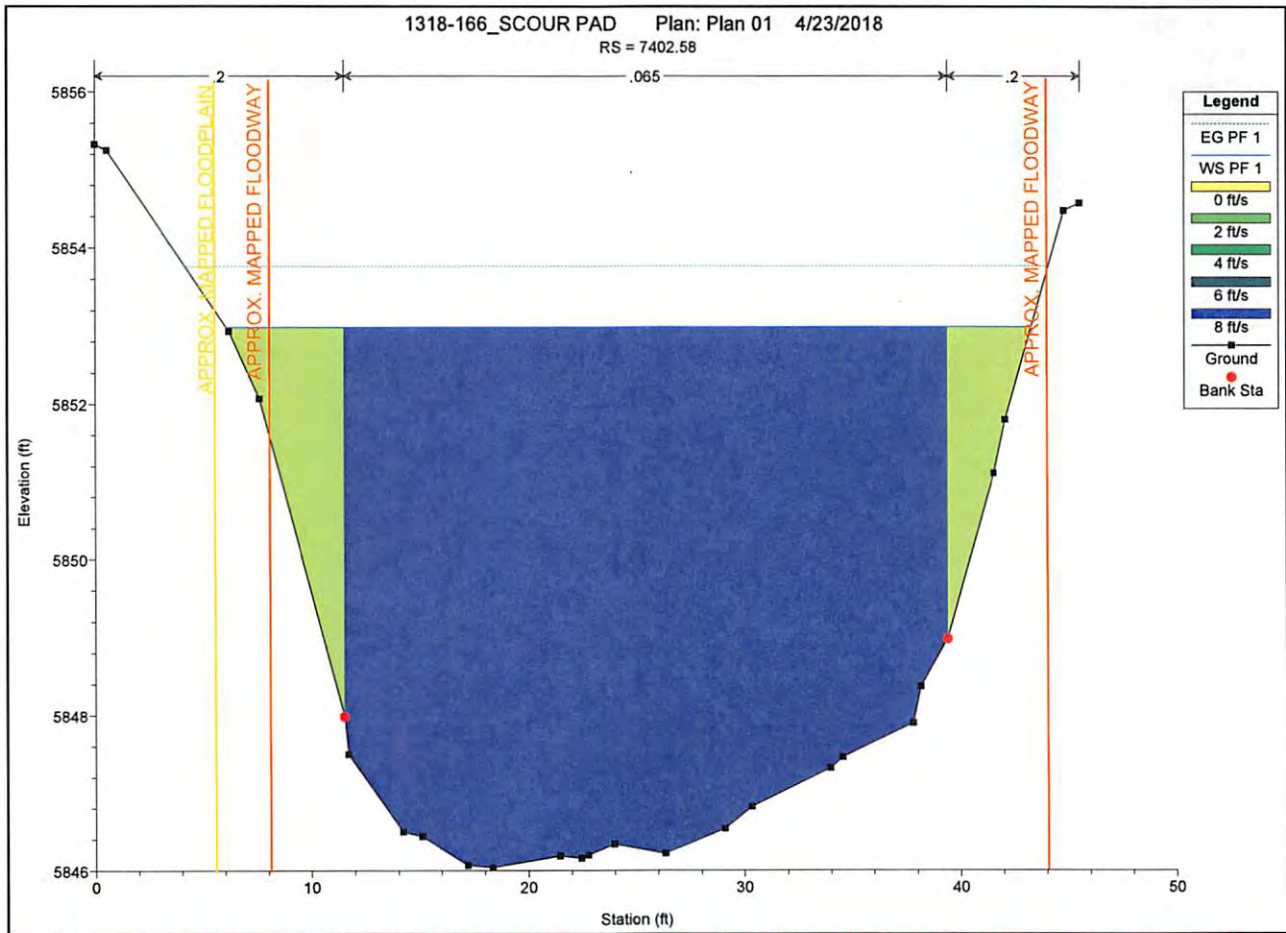
Flood profiles were drawn showing computed water-surface elevations to an accuracy of 0.5 foot for floods of the selected recurrence intervals.

Appendix C: HEC-RAS Results

Plan: Plan 01 WARM SPRINGS CRE WARM SPRINGS CL RS: 7402.58 Profile: PF 1

E.G. Elev (ft)	5853.76	Element	Left OB	Channel	Right OB
Vel Head (ft)	0.77	Wt. n-Val.	0.200	0.065	0.200
W.S. Elev (ft)	5852.99	Reach Len. (ft)	18.19	18.19	18.19
Crit W.S. (ft)		Flow Area (sq ft)	12.30	173.14	7.89
E.G. Slope (ft/ft)	0.008915	Area (sq ft)	12.30	173.14	7.89
Q Total (cfs)	1250.00	Flow (cfs)	12.05	1231.00	6.96
Top Width (ft)	37.24	Top Width (ft)	5.46	27.87	3.90
Vel Total (ft/s)	6.47	Avg. Vel. (ft/s)	0.98	7.11	0.88
Max Chl Dpth (ft)	6.95	Hydr. Depth (ft)	2.25	6.21	2.02
Conv. Total (cfs)	13238.8	Conv. (cfs)	127.6	13037.5	73.7
Length Wtd. (ft)	18.19	Wetted Per. (ft)	7.45	28.96	5.60
Min Ch El (ft)	5846.04	Shear (lb/sq ft)	0.92	3.33	0.78
Alpha	1.19	Stream Power (lb/ft s)	0.90	23.66	0.69
Frctn Loss (ft)	0.16	Cum Volume (acre-ft)	0.04	0.32	0.03
C & E Loss (ft)	0.01	Cum SA (acres)	0.02	0.05	0.01

1318-166_SCOUR PAD Plan: Plan 01 4/23/2018
RS = 7402.58



Legend	
.....	EG PF 1
-----	WS PF 1
Yellow	0 ft/s
Light Green	2 ft/s
Medium Green	4 ft/s
Dark Green	6 ft/s
Blue	8 ft/s
Black Square	Ground
Red Dot	Bank Sta

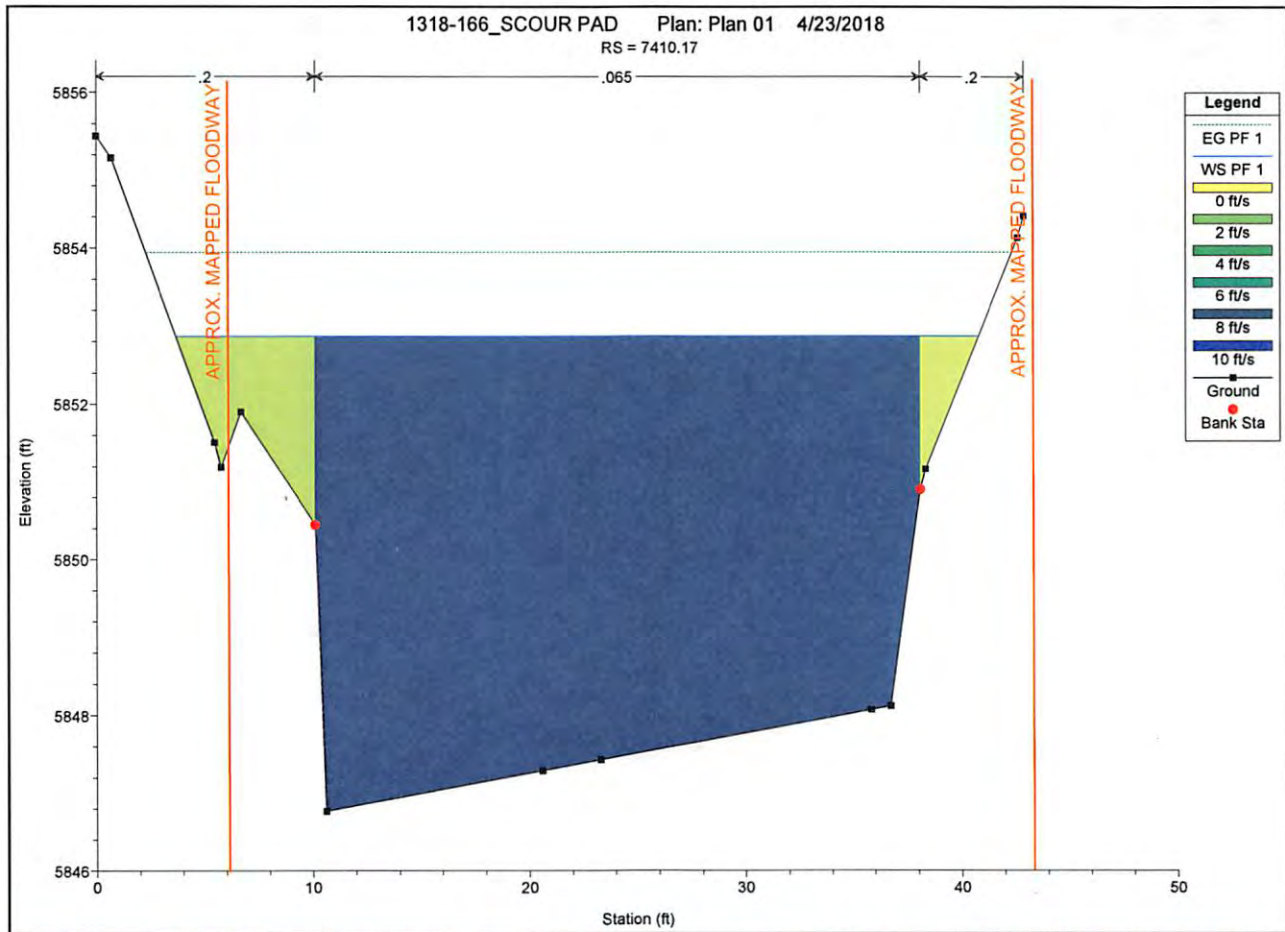
NOTE: PROPERTY LINES ARE PER FOUND MONUMENTATION, AND FLOOD INFORMATION SHOWN HEREON ARE APPROXIMATE PER BLAINE COUNTY GIS DATA.

Plan: Plan 01 WARM SPRINGS CRE WARM SPRINGS CL RS: 7410.17 Profile: PF 1

E.G. Elev (ft)	5853.94	Element	Left OB	Channel	Right OB
Vel Head (ft)	1.08	Wt. n-Val.	0.200	0.065	0.200
W.S. Elev (ft)	5852.87	Reach Len. (ft)	7.59	7.59	7.59
Crit W.S. (ft)		Flow Area (sq ft)	8.70	148.18	2.56
E.G. Slope (ft/ft)	0.017997	Area (sq ft)	8.70	148.18	2.56
Q Total (cfs)	1250.00	Flow (cfs)	9.52	1238.36	2.13
Top Width (ft)	37.10	Top Width (ft)	6.43	27.96	2.71
Vel Total (ft/s)	7.84	Avg. Vel. (ft/s)	1.09	8.36	0.83
Max Chl Dpth (ft)	6.10	Hydr. Depth (ft)	1.35	5.30	0.94
Conv. Total (cfs)	9317.8	Conv. (cfs)	70.9	9231.0	15.8
Length Wtd. (ft)	7.59	Wetted Per. (ft)	7.57	32.94	3.35
Min Ch El (ft)	5846.77	Shear (lb/sq ft)	1.29	5.05	0.86
Alpha	1.13	Stream Power (lb/ft s)	1.41	42.24	0.71
Frcin Loss (ft)	0.09	Cum Volume (acre-ft)	0.04	0.35	0.03
C & E Loss (ft)	0.09	Cum SA (acres)	0.02	0.06	0.01

1318-166_SCOUR PAD Plan: Plan 01 4/23/2018

RS = 7410.17

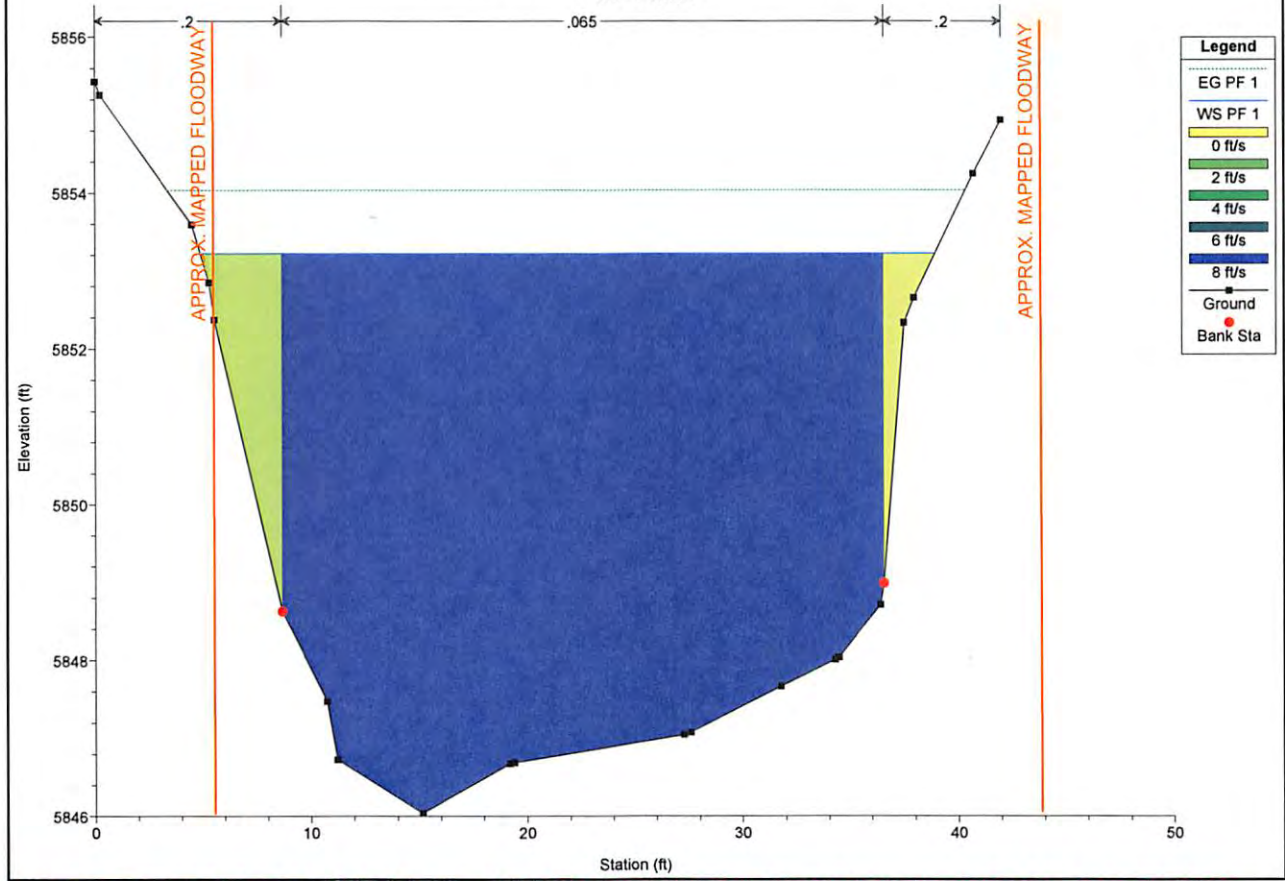


NOTE: PROPERTY LINES ARE PER FOUND MONUMENTATION, AND FLOOD INFORMATION SHOWN HEREON ARE APPROXIMATE PER BLAINE COUNTY GIS DATA.

Plan: Plan 01 WARM SPRINGS CRE WARM SPRINGS CL RS: 7415.76 Profile: PF 1

E.G. Elev (ft)	5854.04	Element	Left OB	Channel	Right OB
Vel Head (ft)	0.82	Wt. n-Val.	0.200	0.065	0.200
W.S. Elev (ft)	5853.22	Reach Len. (ft)	4.59	4.59	4.59
Crit W.S. (ft)		Flow Area (sq ft)	8.75	170.59	3.03
E.G. Slope (ft/ft)	0.009553	Area (sq ft)	8.75	170.59	3.03
Q Total (cfs)	1250.00	Flow (cfs)	8.20	1240.25	1.54
Top Width (ft)	34.04	Top Width (ft)	3.77	27.89	2.38
Vel Total (ft/s)	6.85	Avg. Vel. (ft/s)	0.94	7.27	0.51
Max Chl Dpth (ft)	7.18	Hydr. Depth (ft)	2.32	6.12	1.27
Conv. Total (cfs)	12788.9	Conv. (cfs)	83.9	12689.2	15.8
Length Wtd. (ft)	4.59	Wetted Per. (ft)	5.96	29.06	5.17
Min Ch El (ft)	5846.04	Shear (lb/sq ft)	0.88	3.50	0.35
Alpha	1.12	Stream Power (lb/ft s)	0.82	25.45	0.18
Frcn Loss (ft)	0.05	Cum Volume (acre-ft)	0.04	0.37	0.03
C & E Loss (ft)	0.00	Cum SA (acres)	0.02	0.06	0.01

1318-166_SCOUR PAD Plan: Plan 01 4/23/2018
RS = 7415.76



NOTE: PROPERTY LINES ARE PER FOUND MONUMENTATION, AND FLOOD INFORMATION SHOWN HEREON ARE APPROXIMATE PER BLAINE COUNTY GIS DATA.

August 2, 2018

Brittany Skelton, Senior Planner
Department of Planning and Building
City of Ketchum
PO Box 2315
480 East Avenue North
Ketchum, ID 83340



Subject: Warm Springs Sewer Line Review (SPF Project #1201.0050)

Dear Brittany,

We have reviewed the provided documentation for the Warm Springs Creek Sewer Line Crossing and Scour Pad and have the following summary and comments.

Summary

A sewer main crossing Warm Springs Creek was damaged by flooding in the spring of 2017 and subsequently repaired in the fall of 2017. The repair consisted of installing new sewer pipe encased in a steel sleeve across the creek. To protect the future integrity of the crossing, the City of Ketchum is installing a scour pad across the width of the creek at the crossing. The City would like SPF to provide an independent technical review of the proposed design and no-rise certification.

Documents Reviewed

- No-Rise Certification for Aspen Drive Sewer Main Scout Pad – City of Ketchum prepared and stamped by Samantha Stahlnecker of Galena Engineering on 5/1/18
- Floodplain Development / Waterways Design Review / Streambank Alteration Requirements Form (Evaluation Standards) prepared by City of Ketchum
- Application and supporting materials for emergency sewer line crossing replacement (2017)

No-Rise

We agree with the statement in Section 1 “a project of the nature proposed herein cannot reasonably be required to undertake an effort of that (full flood study) magnitude”. According to the responses in the design requirements form, this sewer main crossing has existed at this location since 1968; it is reasonable to presume that the sewer main crossing influence (if any) was reflected in previous Flood Insurance Studies. We presume the new sewer crossing top of pipe was constructed at approximately the same elevation as the previous pipe based on the provided 2017 emergency application documentation.

Hydraulic Model

It is concerning to us that the modeled water surface elevation is 2.78 to 3.03 ft lower than the BFE shown in the FIS. The report doesn't appear to elaborate on the difference. Correspondence with the engineer of record clarified that Warm Springs Creek has experienced significant down-cutting in recent years and as a result, their experience has shown the BFE from the 2010 study is no longer representative.

We identified a typo in Table 2 of the report. The section area for station 74+11 should be 159.44, not 156.44 as shown.

Model Boundary Conditions

No mention of model boundary conditions was found in the report. A conversation with the engineer of record confirmed that the model used normal depth downstream boundary condition with a slope of 0.5% based on collected survey data. They did not use a fixed water surface elevation to match the BFE because as stated earlier, their experience shows the BFE is inaccurate.

Model setup

Appendix A of the report contains a plan view of the site showing the model cross sections. The extents appear appropriate for the scale and scope of the model. The Manning's roughness coefficients appear well documented and appropriate for the channel from what we can see in the construction progress photos.

Design

The overall design of the scour pad appears adequate in area and depth. We reviewed the sizing of the riprap and found the proposed rip-rap size of D50=12" to be adequate based on the existing model. We confirmed this by using the computed main channel velocity (8.36 ft/s) at the crossing (RS: 7410.17) and the ISBASH method to calculate a minimum required D50 rip-rap size of 11.12 inches.

Vegetation

We agree with the decision not to plant vegetation on or around the scour pad as rip-rap will likely not support it. We agree as stated in the Evaluation Standards form that vegetation will be restored/repared in areas of disturbance outside of the scour pad. However, we did not find any information on what species of vegetation would be used to restore the disturbed areas.

Sincerely,

A handwritten signature in black ink, appearing to read "Ron Manning". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Ron Manning, P.E., CFM

cc: Terry Scanlan, P.E., P.G.

From: sam@galena-engineering.com
To: [Ron Manning](#)
Subject: RE: Warm Springs Phone Conversation Follow up
Date: Thursday, July 19, 2018 1:46:32 PM

Thanks for the summary, Ron. Let me know if you have any other questions.

Samantha Stahlnecker, P.E.
Galena Engineering Inc.
317 N. River Street, Hailey, ID 83333
(208) 788-1705 office

From: Ron Manning <RManning@spfwater.com>
Sent: Thursday, July 19, 2018 1:43 PM
To: sam@galena-engineering.com
Subject: Warm Springs Phone Conversation Follow up

Hey Sam,

Nice talking with you today. Thanks for answering my questions. Here is a summary of the main points.

Q. The modeled water surface is ~3ft lower than BFE, please elaborate.

A. We've done numerous models on Warm Springs Creek. The channel has experienced significantly down-cutting. This down-cutting has not been distributed evenly throughout the reach, which explains why the bottom of channel is similar model and the FIS in this section. In our experience, the modeled WSE is below the BFE.

Q. What was downstream boundary condition?

A. We used survey information to calculate a slope of 0.5% and used normal depth. We did not try to set a downstream water surface elevation based on the FIS because it's no longer representative. Refer to Answer 1.

Q. I checked the flows at each cross section and there appears to be a discrepancy in the flows.

A. There was a grammatical error in table 2 of the report. The HEC-RAS tables in the report attachment show the correct section area. The section area for cross section 74+11 should be 159.44, not 156.44 as shown.

Thanks,

-Ron

Ron Manning, M.S. P.E. CFM | Project Engineer

SPF Water Engineering, LLC

300 E Mallard Drive, Suite 350 | Boise, ID 83706

p. 208.383.4140 | **f.** 208.383.4156 | **d.** 916.225.9167

e. rmanning@spfwater.com | **w.** www.spfwater.com

[LinkedIn](#)





State of Idaho

DEPARTMENT OF WATER RESOURCES

322 East Front Street • P.O. Box 83720 • Boise, Idaho 83720-0098

Phone: (208) 287-4800 • Fax: (208) 287-6700 • Website: www.idwr.idaho.gov

C.L. "BUTCH" OTTER
Governor

GARY SPACKMAN
Director

May 17, 2018

Suzanne Frick
City of Ketchum
PO Box 2315
Ketchum, ID 83340

RE: Joint Application for Permit No. S37-20523
Warm Springs Creek – Sewer Crossing Scour Pad

Dear Mrs. Frick:

The Idaho Department of Water Resources (IDWR) has reviewed your above referenced application for a permit to alter Warm Springs Creek and has prepared a decision as provided for in Section 42-3805, Idaho Code. The conditions set forth in this permit are intended to prevent degradation of water quality, protect fish and wildlife habitat, and protect the long-term stability of the stream channel. If you cannot meet the conditions set forth in the permit, please contact this office for further consideration.

Your project has been determined to meet the Stream Channel Alteration Rules, IDAPA 37.03.07 Minimum Standards (Rule 55). You may consider this letter a permit to construct your project according to your attached application, dated April 18, 2018 including diagrams. Project activities include the excavation of approximately 23 cubic yards of streambed material and the discharge of approximately 26 cubic yards of large angular rock to construct a hardened scour pad around a sewer pipe crossing Warm Springs Creek. The project location is within Section 11, Township 04 North, Range 17 East, Boise Meridian, Blaine County, Idaho.

Failure to adhere to the conditions as set forth herein can result in legal action as provided for in Section 42-3809, Idaho Code. This project is subject to the following Minimum Standards, Special and General Conditions.

MINIMUM STANDARDS:

These standards are established in the Administrative Rules of the Idaho Water Resource Board; Stream Channel Alteration Rules, IDAPA 37.03.07 dated July 1, 1993 and are enclosed with this permit.

Rule 56 - Construction Procedures

SPECIAL CONDITIONS:

[1] All construction shall be completed in accordance with the descriptions and methods on the attached application and diagrams. This office must approve any changes prior to construction.

[2] All construction activities shall be conducted in such a manner as to minimize turbidity and comply with Idaho water quality standards. Construction shall take place during low flow to minimize turbidity and protect water quality.

[3] Construction shall take place during low flow between July 15 and March 1.

[4] Woody stream bank vegetation shall be protected to the extent practical during construction.

[5] Silt fencing or other erosion and sedimentation control measures shall be installed between any area of earth disturbance and the water. Erosion and sedimentation control measures shall be installed according to the manufacturer's specifications, during construction, and must be maintained until construction is completed and the disturbed ground is revegetated and stable.

[6] All temporary structures, excess excavated material, and vegetative or construction debris shall be disposed of out of the stream channel where it cannot reenter the channel. All construction debris shall be removed from the site and disposed of properly.

[7] All fuel, oil and other hazardous materials shall be stored and equipment refueled away from the stream channel to ensure that a spill will not enter the waterway. Equipment must be free of fuel and lubricant leaks.

[8] Permittee is responsible for all work done by any contractor or sub-contractor and shall ensure any contractor who performs the work is informed of and follows all the terms and conditions of this authorization.

[9] This permit shall expire December 31, 2019.

GENERAL CONDITIONS:

1. This permit does not constitute any of the following:
 - a. An easement or right-of-way to trespass or work upon property belonging to others.
 - b. Other approval that may be required by Local, State or Federal Government, unless specifically stated in the special conditions above.
 - c. Responsibility of the IDWR for damage to any properties due to work done.
 - d. Compliance with the Federal Flood Insurance Program, FEMA regulations or approval of the local Planning and Zoning authority.

2. In accordance with Sections 55-2201 - 55-2210, Idaho Code, the applicant and/or contractors must contact Digline statewide phone number 1-800-342-1585 (Boise area 208-342-1585) not less than three working days prior to the start of any excavation for this project.

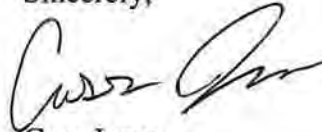
3. The permit holder or operator must have a copy of this permit at the alteration site, available for inspection at all times.
4. The IDWR may cancel this permit at any time that it determines such action is necessary to minimize adverse impact on the stream channel.

Conditions and construction procedures approved under this permit may not coincide with the proposal as submitted. Failure to adhere to conditions as set forth herein can result in legal action as provided for in Section 42-3809, Idaho Code.

If you object to the decision issuing this permit with the above conditions, you have 15 days in which to notify this office in writing that you request a formal hearing on the matter. If an objection has not been received within 15 days, the decision will be final under the provisions of IDAPA 37.03.07 (Rule 70).

Please contact Cass Jones (208) 287-4897 or cass.jones@idwr.idaho.gov if you have any questions regarding this matter.

Sincerely,



Cass Jones

Stream Channel Protection Specialist
Idaho Department of Water Resources

cc: Brittany Skelton, City of Ketchum
Kiley Mulholland, Idaho Department of Environmental Quality, Twin Falls
Balthasar Buhidar, Idaho Department of Environmental Quality, Twin Falls
Meribeth Lomkin, Idaho Department of Lands, Jerome
Mike McDonald, Idaho Department of Fish and Game, Jerome
Kevin Lewis, Idaho Rivers United, Boise
Rob Brochu, US Army Corps of Engineers, Idaho Falls
Aaron Golart, Idaho Department of Water Resources, Boise

056. CONSTRUCTION PROCEDURES (RULE 56).

01. Conformance to Procedures. Construction shall be done in accordance with the following procedures unless specific approval of other procedures has been given by the Director. When an applicant desires to proceed in a manner different from the following, such procedures should be described on the application. (7-1-93)

02. Operation of Construction Equipment. No construction equipment shall be operated below the existing water surface without specific approval from the Director except as follows: Forging the stream at one (1) location only will be permitted unless otherwise specified; however, vehicles and equipment will not be permitted to push or pull material along the streambed below the existing water level. Work below the water which is essential for preparation of culvert bedding or approved footing installations shall be permitted to the extent that it does not create unnecessary turbidity or stream channel disturbance. Frequent forging will not be permitted in areas where extensive turbidity will be created. (7-1-93)

03. Temporary Structures. Any temporary crossings, bridge supports, cofferdams, or other structures that will be needed during the period of construction shall be designed to handle high flows that could be anticipated during the construction period. All structures shall be completely removed from the stream channel at the conclusion of construction and the area shall be restored to a natural appearance. (7-1-93)

04. Minimizing Disturbance of Area. Care shall be taken to cause only the minimum necessary disturbance to the natural appearance of the area. Streambank vegetation shall be protected except where its removal is absolutely necessary for completion of the work adjacent to the stream channel. (7-1-93)

05. Disposal of Removed Materials. Any vegetation, debris, or other material removed during construction shall be disposed of at some location out of the stream channel where it cannot reenter the channel during high stream flows. (7-1-93)

06. New Cut of Fill Slopes. All new cut or fill slopes that will not be protected with some form of riprap shall be seeded with grass and planted with native vegetation to prevent erosion (7-1-93)

07. Fill Material. All fill material shall be placed and compacted in horizontal lifts except as provided for in Rule Subsection 060.05 for uncompacted dike and levee construction. Areas to be filled shall be cleared of all vegetation, debris and other materials that would be objectionable in the fill. (7-1-93)

08. Limitations on Construction Period. The Director may limit the period of construction as needed to minimize conflicts with fish migration and spawning, recreation use, and other uses. (7-1-93)

JOINT APPLICATION FOR PERMITS

U.S. ARMY CORPS OF ENGINEERS - IDAHO DEPARTMENT OF WATER RESOURCES - IDAHO DEPARTMENT OF LANDS

Authorities: The Department of Army Corps of Engineers (Corps), Idaho Department of Water Resources (IDWR), and Idaho Department of Lands (IDL) established a joint process for activities impacting jurisdictional waterways that require review and/or approval of both the Corps and State of Idaho. Department of Army permits are required by Section 10 of the Rivers & Harbors Act of 1899 for any structure(s) or work in or affecting navigable waters of the United States and by Section 404 of the Clean Water Act for the discharge of dredged or fill materials into waters of the United States, including adjacent wetlands. State permits are required under the State of Idaho, Stream Protection Act (Title 42, Chapter 38, Idaho Code and Lake Protection Act (Section 58, Chapter 13 et seq., Idaho Code). In addition the information will be used to determine compliance with Section 401 of the Clean Water Act by the appropriate State, Tribal or Federal entity.

Joint Application: Information provided on this application will be used in evaluating the proposed activities. Disclosure of requested information is voluntary. Failure to supply the requested information may delay processing and issuance of the appropriate permit or authorization. **Applicant will need to send a completed application, along with one (1) set of legible, black and white (8 1/2"x11"), reproducible drawings that illustrate the location and character of the proposed project / activities to both the Corps and the State of Idaho.**

See Instruction Guide for assistance with Application. Accurate submission of requested information can prevent delays in reviewing and permitting your application. Drawings including vicinity maps, plan-view and section-view drawings must be submitted on 8-1/2 x 11 papers.

Do not start work until you have received all required permits from both the Corps and the State of Idaho

FOR AGENCY USE ONLY										
USACE NWW-	Date Received:	<input type="checkbox"/> Incomplete Application Returned			Date Returned:					
Idaho Department of Water Resources No. 537-20523	Date Received: APR 23 2018	<input checked="" type="checkbox"/> Fee Received DATE: APR 23 2018			Receipt No.:	C104997				
Idaho Department of Lands No.	Date Received:	<input type="checkbox"/> Fee Received DATE:			Receipt No.:					
INCOMPLETE APPLICATIONS MAY NOT BE PROCESSED										
1. CONTACT INFORMATION - APPLICANT Required:					2. CONTACT INFORMATION - AGENT:					
Name: Suzanne Frick					Name: Samantha Stahlnecker					
Company: City of Ketchum					Company: Galena Engineering, Inc.					
Mailing Address: PO Box 2315					Mailing Address: 317 N. River St.					
City: Ketchum			State: ID	Zip Code: 83340	City: Hailey			State: ID	Zip Code: 83333	
Phone Number <i>(include area code)</i> : 208-727-5086		E-mail: sfrick@ketchumidaho.org			Phone Number <i>(include area code)</i> : 208.788.1705		E-mail: sam@galena-engineering.com			
3. PROJECT NAME or TITLE: Warm Springs Creek Sewer Crossing Scour Pad					4. PROJECT STREET ADDRESS: 101 Aspen Dr.					
5. PROJECT COUNTY: Blaine		6. PROJECT CITY: Ketchum			7. PROJECT ZIP CODE: 83340		8. NEAREST WATERWAY/WATERBODY: Warm Springs Creek			
9. TAX PARCEL ID#: RPK4N17011046A		10. LATITUDE: 43.68983 LONGITUDE: -114.39665			11a. 1/4: SW	11b. 1/4: SE	11c. SECTION: 11		11d. TOWNSHIP: 4N	11e. RANGE: 17E
12a. ESTIMATED START DATE: 8/1/2018		12b. ESTIMATED END DATE: 9/15/2018			13a. IS PROJECT LOCATED WITHIN ESTABLISHED TRIBAL RESERVATION BOUNDARIES? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES Tribe:					
13b. IS PROJECT LOCATED IN LISTED ESA AREA? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES					13c. IS PROJECT LOCATED ON/NEAR HISTORICAL SITE? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES					
14. DIRECTIONS TO PROJECT SITE: Include vicinity map with legible crossroads, street numbers, names, landmarks. 101 Aspen Dr., Ketchum										
15. PURPOSE and NEED: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> Other Describe the reason or purpose of your project; include a brief description of the overall project. Continue to Block 16 to detail each work activity and overall project. An existing City Sewer Main crossing Warm Springs Ck. was repaired in Fall 2017 after flood damage that occurred in May 2017. The proposed plan is to stabilize the existing sleeved pipe with rip rap to prevent further channel erosion and scour. No bank stabilization is proposed. Existing landscaping damaged by construction will be re-vegetated with similar materials.										

SCANNED

16. DETAILED DESCRIPTION OF EACH ACTIVITY WITHIN FULL PROJECT. Specifically indicate portions that take place in waters of the United States, including wetlands: Include dimensions; equipment, construction, methods; erosion, sediment and turbidity controls; hydrological changes: general stream/su water flows, estimated winter/summer flows; borrow sources, disposal locations etc.:

The work will include excavating the existing channel down to approximately 3 feet and replacing the native material with D50 (12") rip rap up to the top of the existing pipe. Landscape damaged during construction will be re-vegetated with similar materials.

17. DESCRIBE ALTERNATIVES CONSIDERED to AVOID or MEASURES TAKEN to MINIMIZE and/ or COMPENSATE for IMPACTS to WATERS of the UNITED STATES, INCLUDING WETLANDS: See Instruction Guide for specific details.

The alternative to installing the proposed scour pad is to take no action. The concern with taking no action is if the channel bottom erodes below the pipe and the pipe is suspended in the creek, there is a chance the pipe will fail as a result of the lack of support.

Concrete was considered as an alternate material to rip rap; however, the construction challenges associated with pouring concrete in an un-diverted channel lead to the use of rip rap as the preferred material.

18. PROPOSED MITIGATION STATEMENT or PLAN: If you believe a mitigation plan is not needed, provide a statement and your reasoning why a mitigation plan is NOT required. Or, attach a copy of your proposed mitigation plan.

This is a required maintenance project that could result in another failure of the sewer main if no action is taken. No mitigation is proposed because the impacts are minimal to the aquatic environment.

19. TYPE and QUANTITY of MATERIAL(S) to be discharged below the ordinary high water mark and/or wetlands:

Dirt or Topsoil: _____ cubic yards
 Dredged Material: _____ cubic yards
 Clean Sand: _____ cubic yards
 Clay: _____ cubic yards
 Gravel, Rock, or Stone: 26 cubic yards
 Concrete: _____ cubic yards
 Other (describe): _____ : _____ cubic yards
 Other (describe): _____ : _____ cubic yards
 TOTAL: _____ 26 cubic yards

20. TYPE and QUANTITY of impacts to waters of the United States, including wetlands:

Filling: _____ acres _____ sq ft. 26 cubic yards
 Backfill & Bedding: _____ acres _____ sq ft. _____ cubic yards
 Land Clearing: _____ acres _____ sq ft. _____ cubic yards
 Dredging: _____ acres _____ sq ft. _____ cubic yards
 Flooding: _____ acres _____ sq ft. _____ cubic yards
 Excavation: _____ acres _____ sq ft. 23 cubic yards
 Draining: _____ acres _____ sq ft. _____ cubic yards
 Other: _____ : _____ acres _____ sq ft. _____ cubic yards
 TOTALS: _____ 0 acres _____ 0 sq ft. 49 cubic yards
 Net fill = 3 CY

21. HAVE ANY WORK ACTIVITIES STARTED ON THIS PROJECT? NO YES If yes, describe ALL work that has occurred including dates.

22. LIST ALL PREVIOUSLY ISSUED PERMIT AUTHORIZATIONS:

A Joint Application for installation of a sewer main pipe sleeve, and channel rip rap was approved during Summer of 2017. Work associated with that permit was completed in Fall of 2017.

23. YES, Alteration(s) are located on Public Trust Lands, Administered by Idaho Department of Lands

24. SIZE AND FLOW CAPACITY OF BRIDGE/CULVERT and DRAINAGE AREA SERVED: NA Square Miles

25. IS PROJECT LOCATED IN A MAPPED FLOODWAY? NO YES If yes, contact the floodplain administrator in the local government jurisdiction in which the project is located. A Floodplain Development permit and a No-rise Certification may be required.

26a. WATER QUALITY CERTIFICATION: Pursuant to the Clean Water Act, anyone who wishes to discharge dredge or fill material into the waters of the United States, either on private or public property, must obtain a Section 401 Water Quality Certification (WQC) from the appropriate water quality certifying government entity.
See *Instruction Guide for further clarification and all contact information.*

The following information is requested by IDEQ and/or EPA concerning the proposed impacts to water quality and anti-degradation:

- NO YES Is applicant willing to assume that the affected waterbody is high quality?
 NO YES Does applicant have water quality data relevant to determining whether the affected waterbody is high quality or not?
 NO YES Is the applicant willing to collect the data needed to determine whether the affected waterbody is high quality or not?

26b. BEST MANAGEMENT PRACTICES (BMP's): List the Best Management Practices and describe these practices that you will use to minimize impacts on water quality and anti-degradation of water quality. All feasible alternatives should be considered - treatment or otherwise. Select an alternative which will minimize degrading water quality

All applicable Best Management Practices, such as silt fence and straw wattles, will be used to protect resources and ensure compliance with local, state, and federal Water Quality Standards. Work will take place during times of low flow. All equipment shall be free of leaks and in good working order. Storage, fueling, and unexpected repairs of equipment shall be completed a minimum of 100 feet from the MHW of the channel.

Through the 401 Certification process, water quality certification will stipulate minimum management practices needed to prevent degradation.

27. LIST EACH IMPACT to stream, river, lake, reservoir, including shoreline: Attach site map with each impact location.

Activity	Name of Water Body	Intermittent Perennial	Description of Impact and Dimensions	Impact Length Linear Feet
Rip rap and cobble	Warm Springs Creek	Perennial	Install rip rap scour pad to protect existing sewer main.	12
TOTAL STREAM IMPACTS (Linear Feet):				12

28. LIST EACH WETLAND IMPACT include mechanized clearing, fill excavation, flood, drainage, etc. Attach site map with each impact location.

Activity	Wetland Type: Emergent, Forested, Scrub/Shrub	Distance to Water Body (linear ft)	Description of Impact Purpose: road crossing, compound, culvert, etc.	Impact Length (acres, square ft linear ft)
TOTAL WETLAND IMPACTS (Square Feet):				

<p>Name: CHADBAND, CONSTANCE L</p> <p>Mailing Address: PO Box 975</p> <p>City: Ketchum State: ID Zip Code: 83340</p> <p>Phone Number (include area code): E-mail:</p>	<p>Name: FREDRICKSON, LYNDA S</p> <p>Mailing Address: PO Box 3857</p> <p>City: Ketchum State: ID Zip Code: 83340</p> <p>Phone Number (include area code): E-mail:</p>
--	--

<p>Name: HULL, MARSON BLAIR</p> <p>Mailing Address: 141 W JACKSON BLVD STE 1650</p> <p>City: Chicago State: IL Zip Code: 60604-3070</p> <p>Phone Number (include area code): E-mail:</p>	<p>Name: VH2SV, LLC</p> <p>Mailing Address: 02004 SW MILITARY RD</p> <p>City: Portland State: OR Zip Code: 97219</p> <p>Phone Number (include area code): E-mail:</p>
---	--

<p>Name:</p> <p>Mailing Address:</p> <p>City: State: Zip Code:</p> <p>Phone Number (include area code): E-mail:</p>	<p>Name:</p> <p>Mailing Address:</p> <p>City: State: Zip Code:</p> <p>Phone Number (include area code): E-mail:</p>
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<p>Name:</p> <p>Mailing Address:</p> <p>City: State: Zip Code:</p> <p>Phone Number (include area code): E-mail:</p>	<p>Name:</p> <p>Mailing Address:</p> <p>City: State: Zip Code:</p> <p>Phone Number (include area code): E-mail:</p>
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30. SIGNATURES: STATEMENT OF AUTHORIZATION / CERTIFICATION OF AGENT / ACCESS

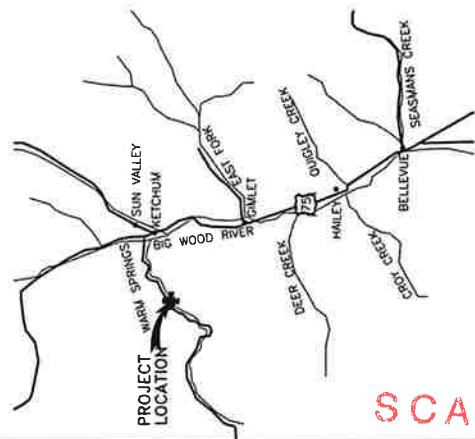
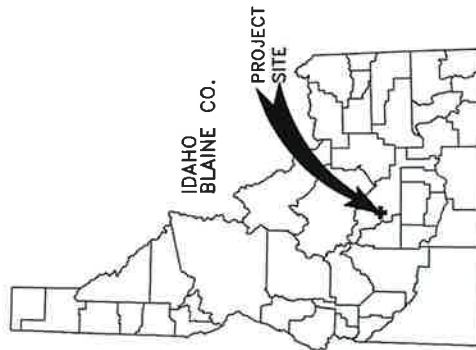
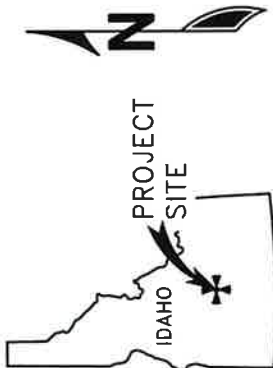
Application is hereby made for permit, or permits, to authorize the work described in this application and all supporting documentation. I certify that the information in this application is complete and accurate. I further certify that I possess the authority to undertake the work described herein; or am acting as the duly authorized agent of the applicant (Block 2). I hereby grant the agencies to which this application is made, the right to access/come upon the above-described location(s) to inspect the proposed and completed work/activities.

Signature of Applicant: _____ Date: _____

Signature of Agent: Samuel Johnson Date: 4/18/18

This application must be signed by the person who desires to undertake the proposed activity AND signed by a duly authorized agent (see Block 1, 2, 30). Further, 18 USC Section 1001 provides that: "Whoever, in any manner within the jurisdiction of any department of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry, shall be fined not more than \$10,000 or imprisoned not more than five years or both".

SCANNED



ESRI World Imagery © OpenStreetMap contributors, and the GIS User community. Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNR/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

ESRI WORLD IMAGERY



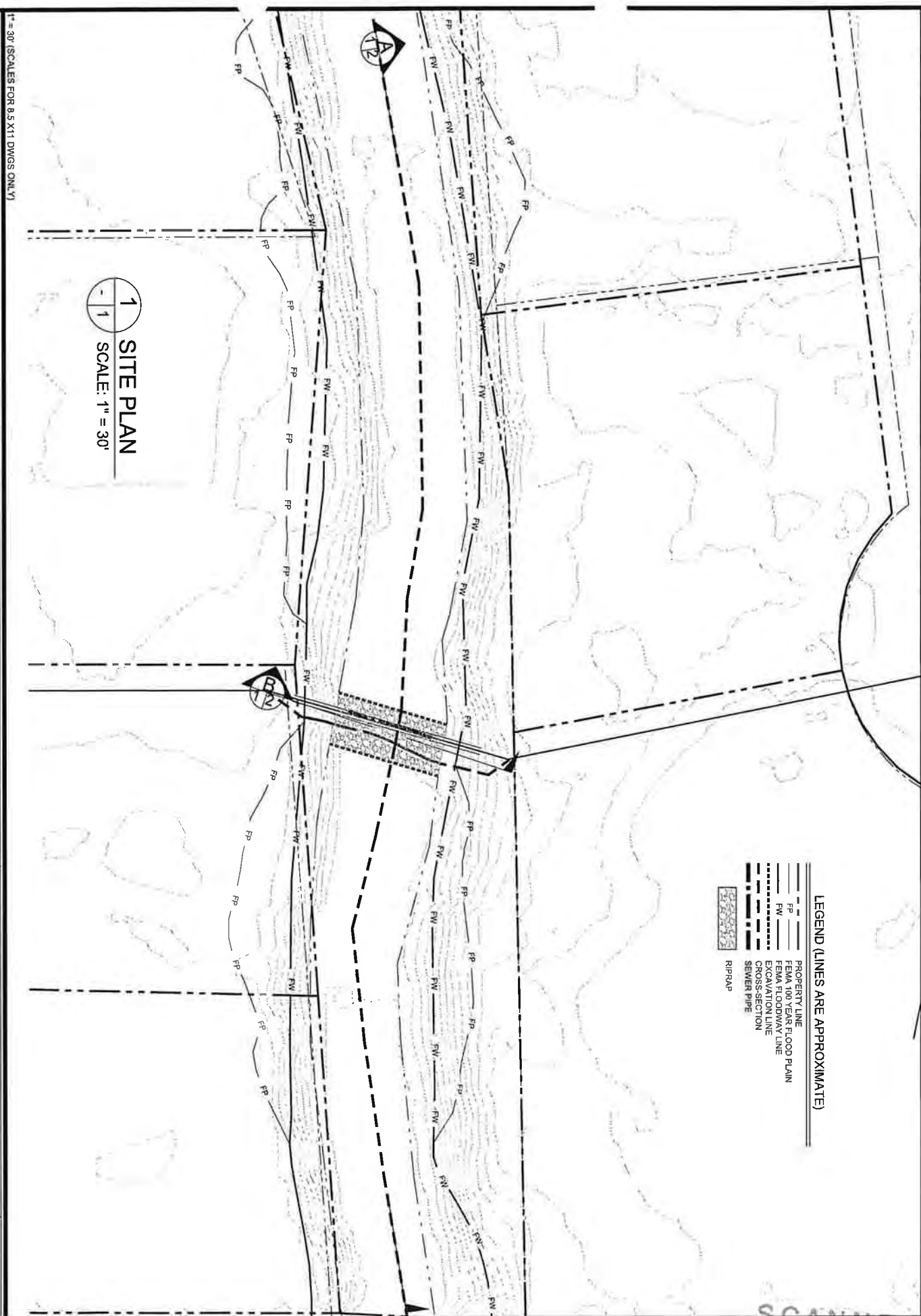
DRAWING INDEX	
TITLE	DWG No.
COVER SHEET AND VICINITY MAP	0
SITE PLAN	1
PROFILE & CROSS-SECTION	2
DETAIL	3

DESIGNED BY GEP DRAFTED BY ICB	APPRO. BY DATE DESCRIPTION	BROCKWAY ENGINEERING, PLLC HYDRAULICS - HYDROLOGY - WATER RESOURCES 2016 NORTH WASHINGTON, SUITE 4 TWIN FALLS, ID 83301 (208) 736-8543	CITY OF KETCHUM ASPEN WAY SEWER COVER SHEET & VICINITY MAP	PROJECT # XXXX-XX-2018
				REV 0

SCANNED

APR 30 2018

ALL SCALES FOR 8.5 X 11 DWGS ONLY!



1 SITE PLAN
SCALE: 1" = 30'

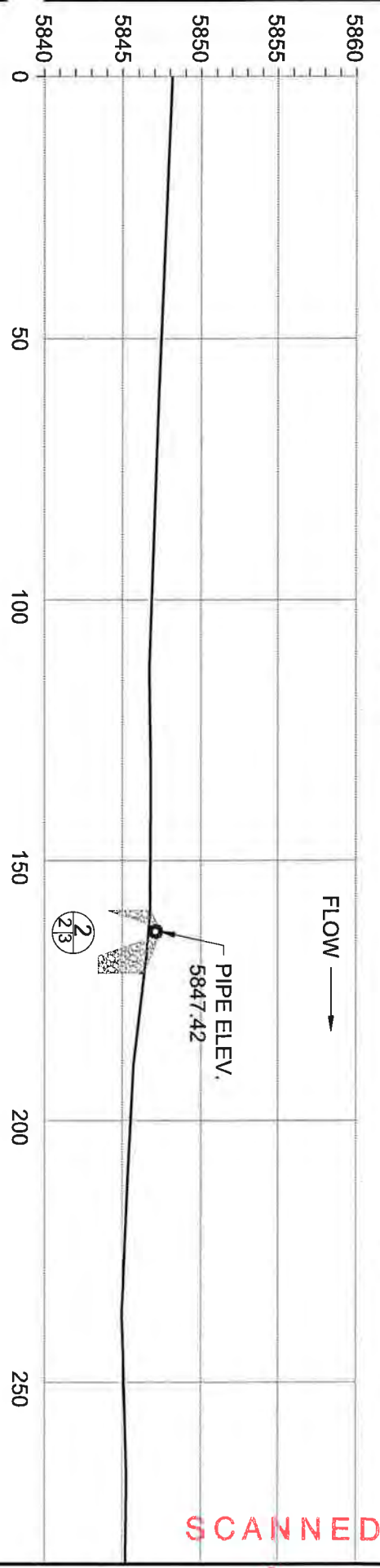
- LEGEND (LINES ARE APPROXIMATE)
- FP — PROPERTY LINE
 - - - FEMA 100 YEAR FLOOD PLAIN
 - FN EXCAVATION LINE
 - - - - CROSS SECTION
 - SEWER PIPE
 - [Hatched Box] RIPRAP

THIS DRAWING HAS BEEN PREPARED BY THE ENGINEER AND HIS FIRM FOR THE SPECIFIC PROJECT NAMED AND ACCORDING TO THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. IT IS NOT TO BE REPRODUCED OR COPIED FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

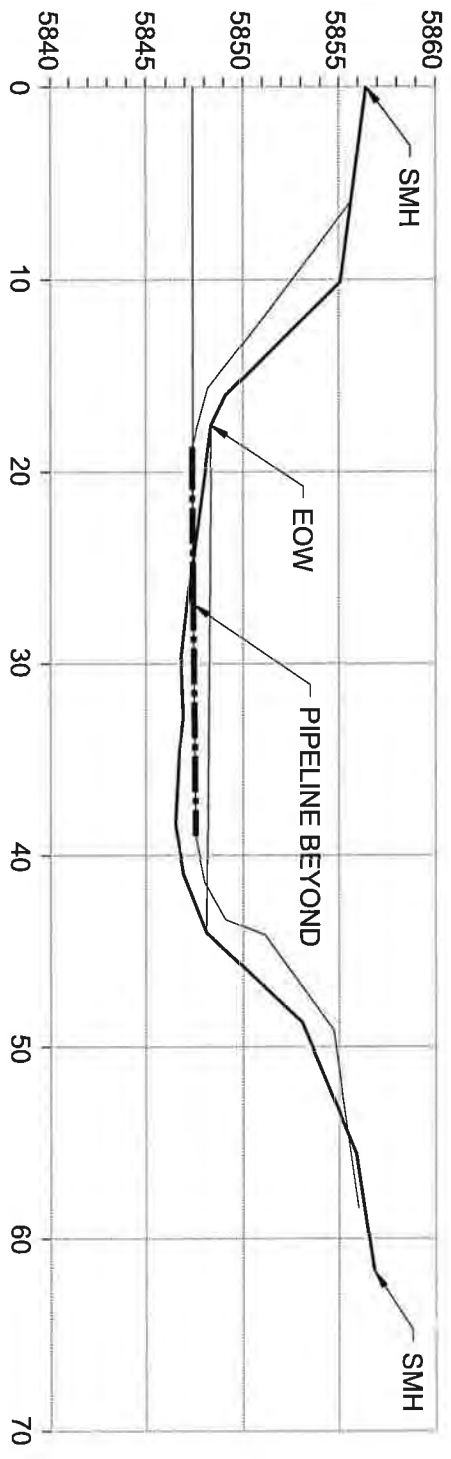
REV	DESCRIPTION	DATE	APPRO. BY	DESIGNED BY GEP	DRAFTED BY ICB	BROCKWAY ENGINEERING, PLLC HYDRAULICS - HYDROLOGY - WATER RESOURCES 2016 NORTH WASHINGTON, SUITE 4 TWIN FALLS, ID 83301 (208) 736-8543	CITY OF KETCHUM ASPEN WAY SEWER	PROJECT # XXXXXX-2017
A	ISSUE FOR REVIEW	3/30/18					SITE PLAN	DWG # 1

SCANNED

APR 30 2018



A
1 | 2
STREAM PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 10'

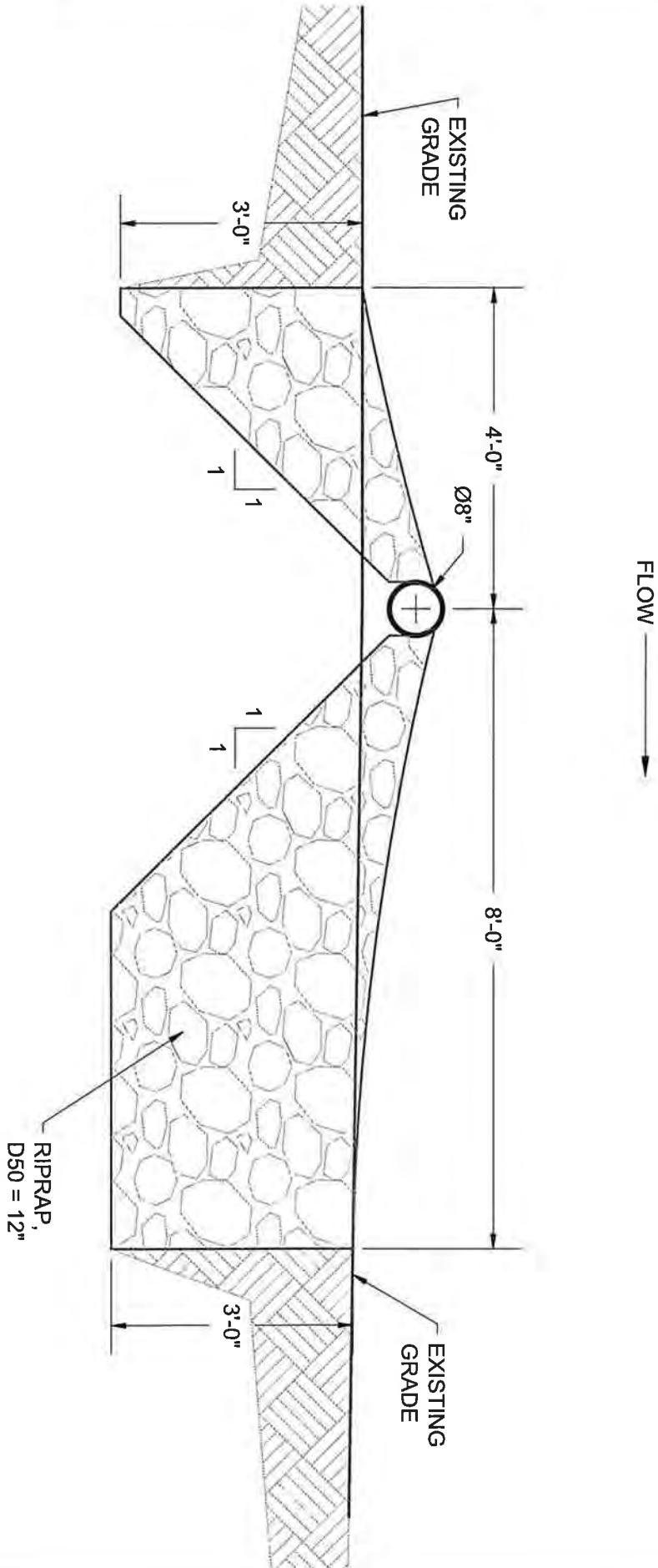


B
1 | 2
CROSS-SECTION
SCALE: 1" = 10'

(SCALES FOR 8.5 X11 DWGS ONLY)

THIS DRAWING HAS BEEN PREPARED BY BROCKWAY ENGINEERING, PLLC FOR THE CITY OF KETCHUM, ID. IT IS THE PROPERTY OF BROCKWAY ENGINEERING, PLLC. THE SPECIFIC AND UNIQUE REQUIREMENTS OF THIS PROJECT ARE IDENTIFIED IN THE DRAWING. NO OTHER USES ARE PERMITTED UNLESS WRITTEN PERMISSION IS OBTAINED FROM BROCKWAY ENGINEERING, PLLC. THE DESIGN IS OWNED BY BROCKWAY ENGINEERING, PLLC.

DESIGNED BY GEP	DRAFTED BY ICB	BROCKWAY ENGINEERING, PLLC HYDRAULICS - HYDROLOGY - WATER RESOURCES 2016 NORTH WASHINGTON, SUITE 4 TWIN FALLS, ID 83301 (209) 736-6543	CITY OF KETCHUM ASPEN WAY SEWER	PROJECT # XXXX-XX-2017
DATE 3/30/16	APPRO. BY		PROFILE AND CROSS-SECTION	DWG # 2
REV A	DESCRIPTION ISSUE FOR REVIEW			REV



2 RIPRAP DETAIL
 2 | 3 SCALE: 1/2" = 1'

(SCALES FOR 8.5 X 11 DWGS ONLY)

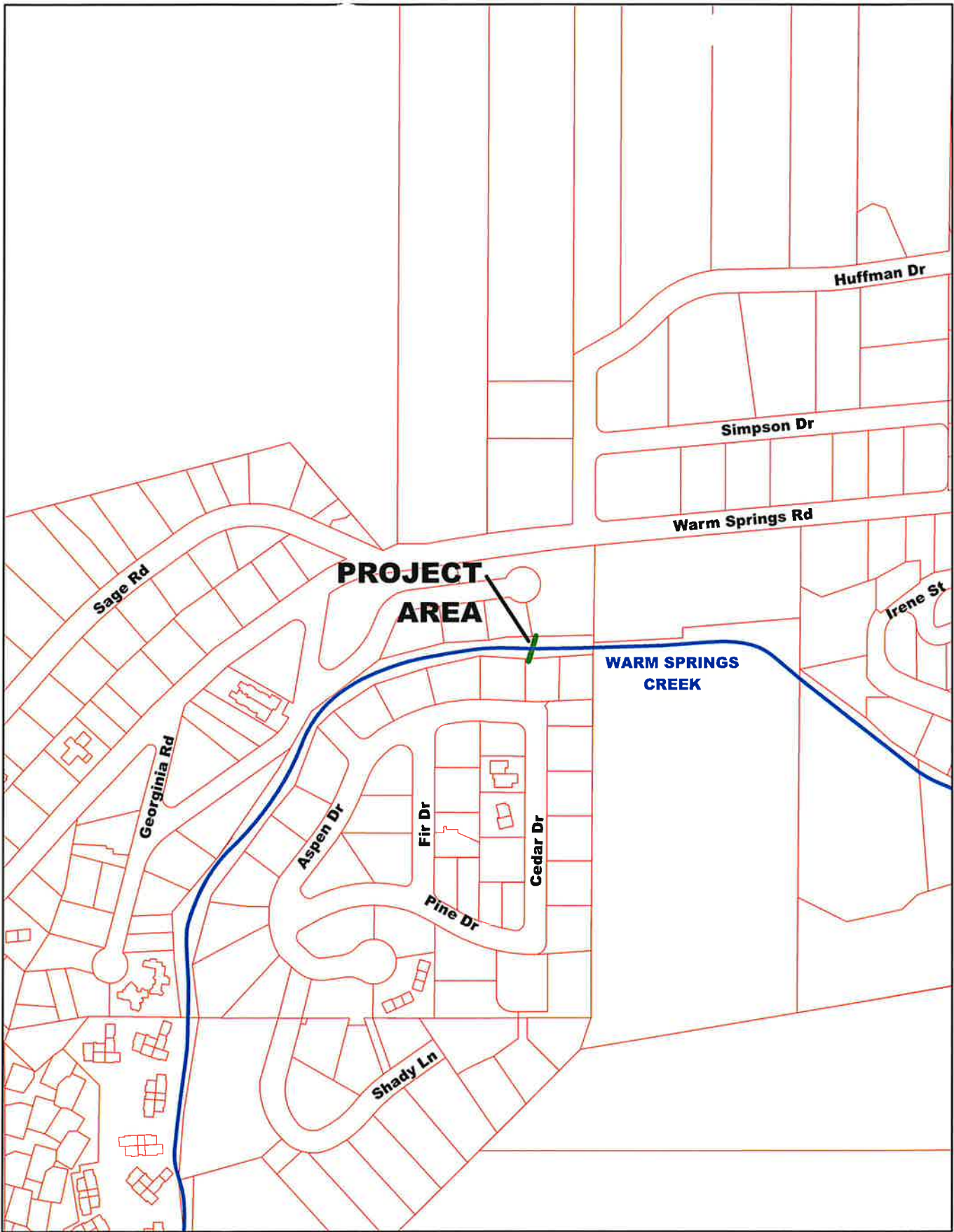
THIS DRAWING HAS BEEN PREPARED BY
 SPECIFIC PROJECTS, INCORPORATING
 THE SPECIFIC AND UNIQUE REQUIREMENTS
 OF THE PROJECT. A REUSE OF THIS
 DRAWING FOR ANY OTHER PROJECT IS
 PROHIBITED UNLESS WRITTEN PERMISSION
 FROM BROTHERWAY ENGINEERING &
 THE CLIENT IS OBTAINED.

REV	DESCRIPTION	DATE	APPRO. BY
A	ISSUE FOR REVIEW	3/30/18	

DESIGNED BY: GEP
 DRAFTED BY: ICB
 BROCKWAY ENGINEERING, PLLC
 HYDRAULICS - HYDROLOGY - WATER RESOURCES
 2016 NORTH WASHINGTON, SUITE 4
 TWIN FALLS, ID 83301
 (208) 736-9543

CITY OF KETCHUM
 ASPEN WAY SEWER
 PROFILE AND CROSS-SECTION

PROJECT #
 XXXX-XX-2017
 DWG #
 3
 REV



Legend

- Warm Springs Creek
- Sewer Crossing
- City Property Lines

VICINITY MAP FOR A JOINT APPLICATION FOR PERMIT
WARM SPRINGS CREEK
SEWER CROSSING REPAIR
KETCHUM IDAHO
GALENA ENGINEERING
08/16/17

TO
KETCHUM
 →



SCANNED
 1 inch equals 300 feet
APR 30 2018

GALENA ENGINEERING, INC.

CIVIL ENGINEERING & LAND SURVEYING

TRANSMITTAL LETTER

RECEIVED

APR 23 2018

DEPARTMENT OF
WATER RESOURCES

DATE: April 18, 2018

TO: Aaron Golart
State Coordinator, Stream Protection Program
Idaho Department of Water Resources
322 E. Front St.
PO Box 83720
Boise, ID 83720-0098

SUBJECT: City of Ketchum Aspen Way Sewer Crossing Joint Application

TRANSMITTED: X Herewith
Separate Cover
By Carrier

REMARKS:

Dear Aaron,

Attached please find the following information for the City of Ketchum Aspen Way Sewer Crossing Joint Application:

- Joint Application
- Riprap scour pad Conceptual Design
- Vicinity Map
- Joint Application Fee, \$20.00

Please feel free to contact me if you have any questions or comments regarding this application.

Sincerely,



Samantha Stahlnecker, P.E.
GALENA ENGINEERING, INC.



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS
IDAHO FALLS REGULATORY OFFICE
900 NORTH SKYLINE DRIVE, SUITE A
IDAHO FALLS, IDAHO 83402-1718

June 28, 2018

Regulatory Division

SUBJECT: NWW-2017-500-102, Warm Springs Creek Sewer Crossing Scour Pad

Ms. Suzanne Frick
City of Ketchum
PO Box 2315
Ketchum, Idaho 83340

Dear Ms. Frick:

We have determined that your proposed project "Warm Springs Creek Sewer Crossing Scour Pad" is authorized in accordance with Department of Army (DA) **Nationwide Permit (NWP) No. 03: Maintenance**. This project is located at 101 Aspen Drive, within Section 11 of Township 4 North, Range 17 East, near latitude 43.689849° N and longitude -114.39658° W, in Blaine County, Ketchum, Idaho. Please refer to File Number NWW-2017-500-102 in all future correspondence with our office regarding this project.

Project activities include the discharge of approximately 26 cubic yards of rock fill below the ordinary high water mark of Warm Springs Creek associated with stabilizing a an exposed sewer line with riprap. All work shall be done in accordance to the information provided in and drawings attached to your April 18, 2018, Joint Application for Permits.

AUTHORITY

DA permit authorization is necessary because your project would involve the discharge of dredged and/or fill material into Waters of the U.S., including wetlands. This authorization is outlined in Section 404 of the Clean Water Act (33 U.S.C. 1344).

PERMIT CONDITIONS

You must comply with all regional, general, and special conditions for this verification letter to remain valid and to avoid possible enforcement actions. The regional and general permit conditions for *NWP No. 03: Maintenance* are available online at <http://www.nww.usace.army.mil/Business-With-Us/Regulatory-Division/Nationwide-Permits/>. If you are unable to access this website or would prefer a hard copy of the regional and general conditions please notify us and we will provide you a copy. In addition you must also comply with the special conditions listed below.

The following Special Conditions include:

- a. In-water work shall be accomplished during periods of low flow to reduce turbidity.
- b. Riprap shall be clean, angular, and durable rock that is free of fine material.
- c. Remove equipment and machinery from the vicinity of the waterway, to an upland location prior to refueling, repair or maintenance.
- d. The permittee is responsible for all work done by any contractor. Permittee shall ensure any contractor who performs the work is informed of and follows all the terms and conditions of this authorization, including any Special Conditions listed above. Permittee shall also ensure these terms and conditions are incorporated into engineering plans and contract specifications.

WATER QUALITY CERTIFICATION

You must also comply with the conditions detailed in the Section 401 Water Quality Certification (WQC) issued by the Idaho Department of Environmental Quality (IDEQ) on March 3, 2017. For your review, a copy of this 401 WQC is available on the IDEQ's website at: <http://www.deq.idaho.gov/media/60179758/nationwide-permits-2017-401-certification-0317.pdf>. If you have any questions regarding the conditions set forth in the Water Quality Certification, please contact IDEQ directly at 208-736-2190, Twin Falls Regional Office

COMPLIANCE CERTIFICATION

Further, Nationwide Permit General Condition 30 (*Compliance Certification*) requires that every permittee who has received NWP verification must submit a signed certification regarding the completed work and any required mitigation. The enclosed Compliance Certification form is enclosed for your convenience and must be completed and returned to us.

LIMITATIONS OF THIS VERIFICATION

This letter of authorization does not convey any property rights, or any exclusive privileges and does not authorize any injury to property or excuse you from compliance with other Federal, State, or local statutes, ordinances, regulations, or requirements which may affect this work.

EXPIRATION OF THIS VERIFICATION

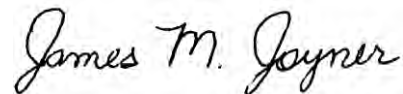
This verification is valid until **March 18, 2022**, unless the NWP is modified, suspended or revoked. If your project, as permitted under this NWP verification is changed and/or modified, you must contact our office prior to commencing any work activities. In the event you have not completed construction of your project by March 18, 2022, please contact us at least 60-days prior to this date. A new application and verification may be required.

CUSTOMER SERVICE

We actively use feedback to improve our delivery and provide you with the best possible service. Please take our online customer service survey to tell us how we are doing. Follow this link to take the survey: http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey. If you have questions or if you would like a paper copy of the survey, call our office at 208-433-4464. For more information about the Walla Walla District Regulatory program, visit us online at <http://www.nww.usace.army.mil/Business-With-Us/Regulatory-Division/>.

If you have any questions or need additional information about this permit, you can contact me at (208) 522-1676, by mail at the address in the letterhead, or email at james.m.joyner@usace.army.mil. For informational purposes, a copy of this letter will be sent to: Ms. Samantha Stalnecker (Galena Engineering), Ms. Kiley Mulholland (IDEQ), and Mr. Cass Jones (IDWR).

Sincerely,



James M. Joyner
Sr. Project Manager
Regulatory Division

Enclosures
Transfer of Nationwide Permit Form

Attachment B

Permit number P18-068 application



City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File #	P18-068
Date Received	6-4-18
By:	MP
Fees Paid:	—
Approved Date:	
Denied Date:	
By:	

Floodplain Management Overlay Application

OWNER INFORMATION			
Project Name: Warm Spring Creek Sewer Main Scour Pad			
Owner Name: City of Ketchum			
Mailing Address: PO Box 2315, Ketchum, ID 83340			
Phone:			
Email:			
PROJECT INFORMATION			
Architect/Representative: Samantha Stahnecker			
Phone: 208-788-1705			
Mailing Address: 317 N. River Street, Hailey, ID 83333			
Email: sam@galena-engineering.com			
Engineer of Record: Samantha Stahnecker & Erick Powell (Brockway Engineering)			
Engineer Email: sam@galena-engineering.com			
Legal Land Description: Warm Springs Creek			
Project Address: 101 Aspen Dr.			
Lot Area:			
Zoning District:			
Anticipated Use: N/A			
Value of Construction: \$ N/A			
TYPE OF CONSTRUCTION			
<input type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
<input checked="" type="checkbox"/> Waterways Design Review	<input type="checkbox"/> Floodplain Development	<input checked="" type="checkbox"/> Stream Alteration	
TOTAL FLOOR AREA			
Proposed		Existing	
Basement:			
1 st Floor:			
2 nd Floor:			
3 rd Floor:			
Decks:			
Mezzanine:			
Total:			
Building Coverage:	SF	%	Curb Cut: SF %
PROPOSED SETBACKS			
Front:	Side:	Side:	Rear:
ADDITIONAL INFORMATION			
Building Height:		Parking Spaces Provided:	
Will Fill or Excavation Be Required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If Yes, Amount in Cubic Yards		Fill: 26 cy	Excavation: 23 cy
Will Existing Trees or Vegetation Be Removed? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Samantha Stahnecker
Signature of Owner/Representative

5/1/18
Date

Attachment C

Public notice and public comment



City of Ketchum
Planning & Building

Notice of Floodplain Development Permit Application – Streambank Alteration

The City of Ketchum Department of Planning and Building is in receipt of an application made under Title 17, Chapter 17.88, Floodplain Management Overlay Zoning District, concerning streambank alteration.

The subject property is a parcel of land containing Warm Springs Creek (FR SESW TL 3296 K4N 17E SEC 11 CREEK BED) bordered by 100 and 101 Georgia Rd to the north and 102 and 106 Aspen Drive to the south in Ketchum, Idaho.

The property owner, the City of Ketchum, conducted emergency repair work to a sewer main that crosses the creek from in the fall of 2017. The City has now applied to install one scour pad 4' upstream of the sewer main and one scour pad 8' downstream of the sewer main in order to protect the integrity of the sewer main. Applications for review and approval of this project have also been submitted to the Army Corps of Engineers and the Idaho Department of Water Resources.

Property owners within three hundred feet (300') are hereby noticed of the application as described. Comment on the application will be taken until June 25, 2018 after which final action on the application will be taken.

A complete application is available for review upon request to the City of Ketchum Department of Planning and Building.

Written comments regarding this application should be addressed to the City of Ketchum Department of Planning and Building, Attn: Floodplain Administrator, P.O. Box 2315, Ketchum, ID 83340 or via e-mail to participate@ketchumidaho.org. **Please reference permit #18-068 with your comments.**

Dated this 13th day of June, 2018.

Parcel Number	Owner 1	Owner 2	Mail Address Line 1	Mail Address Line 2	Mail Address Line 3
RPK06000020090	ALEMAC PROPERTIES LLC - A WASHINGTON LLC		P O BOX 5	SPANAWAY WA 98387-0000	
RPK03460000020	AVERY SHANNON		P O BOX 5245	KETCHUM ID 83340-0000	
RPK06000010080	BRUFFEY ALAN TRUSTEE	ALAN BRUFFEY & BARBARA BRUFFEY 2000 REVOC LIVING TRUST	3213 W WHEELER ST # 84	SEATTLE WA 98199-2725	
RPK0600002001A	BUXTON NANCY T	BUXTON MATTHEW J	BOX 5271	KETCHUM ID 83340-0000	
RPK06000010070	CARROLL EMILY TRUSTEE	EMILY CARROLL REVOCABLE TRUST	18 MIRABEL AVE	MILL VALLEY CA 94941-0000	
RPK07470000000	CEDARS HOMEOWNERS ASSOC		219 S 1ST AVE STE 101	HAILEY ID 83333-0000	
RPK05900020140	CHADBAND CONSTANCE L TRUSTEE	BAXTER TRUST	BOX 975	KETCHUM ID 83340-0000	
RPK03170000010	EKER ANDREW H TRUSTEE	HUGHES MARY K TRUSTEE	1592 COFFEY LN	ANCHORAGE AK 99501-4977	
RPK06000030010	FISHER ROBERT V	FISHER JUDITH M	629 PASEO DE LOS REYES	REDONDO BEACH CA 90277-0000	
RPK03460000010	FREDRICKSON LYNDA S		PO BOX 3857	KETCHUM ID 83340-0000	
RPK03620000020	GALILEY C JEROME TRUSTEE	ELLIOTT DEBORAH A TRUSTEE	PO BOX 1312	SUN VALLEY ID 83353-0000	
RPK06000010220	HARMON TIMOTHY JAMES TRUSTEE	HARMON KATRINA GISELLE TRUSTEE	835 5TH AVE	SAN RAFAEL CA 94901-3204	
RPK06000010010	HIGGINS ALEX	HIGGINS PATRICIA	BOX 552	KETCHUM ID 83340-0000	
RPK03170000020	HILL CHARLES L	HILL CARMEN	1208 W LAKE SAMMAMISH RD SE	BELLEVUE WA 98006-0000	
RPK06000010030	HULL M BLAIR JR TRUST	HULL M BLAIR TRUSTEE	141 W JACKSON BLVD STE 1650	CHICAGO IL 60604-3070	
RP04N17011658F	JAMES AND BARBARA CIMINO FOUNDATION INC		PO BOX 448	SUN VALLEY ID 83353-0000	
RPK05900020130	JARVIS SCOT B		3825 ISSAQUAH PINE LAKE RD SE	SAMMAMISH WA 98075-0000	
RPK05900020160	LABOW RONALD	CORNELL LAURI	341 PERUVIAN AVE	PALM BEACH FL 33480-0000	
RPK07470000010	LINDSLEY SKYLER KAREN	FINSTAD JULIE ANN	2360 43RD AVE E APT 113	SEATTLE WA 98112-2703	
RPK06000010100	LORENZ INGE E	C/O INGE HANS	BOX 1094	SUN VALLEY ID 83353-0000	
RPK06000010230	MAST LAWRENCE E TRUSTEE	MAST CAROL A TRUSTEE	5211 148TH AVE SE	BELLEVUE WA 98006-0000	
RPK08750000000	PINE TREE CONDO OWNES		219 S 1ST AVE STE 101	HAILEY ID 83333-0000	
RPK06000030040	POLAK TRAVERS HILL	POLAK VASEK JR	3133 SW FAIRMONT BLVD	PORTLAND OR 97239-0000	
RPK06000020040	ROBERTS DUPLEX #1 LLC		PO BOX 303	TWIN FALLS ID 83303-0000	
RPK06000030030	ROBERTS JOHN C		2643 E 3800 NORTH	TWIN FALLS ID 83301-0000	
RPK0314000007B	RUDY ROBERT C		BOX 3197	SUN VALLEY ID 83353-0000	
RPK06000020080	SEARS SHARI		80 MAUKANANI RD	KULA HI 96790-0000	
RPK03620000010	SOMERS R JAMES II TRUSTEE	R JAMES SOMERS II TRUST	1418 GALAXY DR	NEWPORT BEACH CA 92660-0000	
RPK05900020390	STANISLAW R MILES	STANISLAW JEAN JENSEN	PO BOX 5749	KETCHUM ID 83340-0000	
RPK08750000010	UFH KETCHUM LLC		BOX 417	KETCHUM ID 83340-0000	
RPK05900020150	VH2SV LLC		02004 SW MILITARY RD	PORTLAND, OR 97219	
RPK06000010090	VORSE KIMBERLY A		PO BOX 5000	KETCHUM ID 83340-0000	
RPK07470000020	WATERS WILMA A		4115 SW BEACH DR #B	SEATTLE WA 98116-0000	
RPK0314000007A	WEBSTER CHARLES H		BOX 4608	KETCHUM ID 83340-0000	
RPK06000010020	WIEDEMANN HARALD J A TRUSTEE	WIEDEMANN LUDMILA M TRUSTEE	PO BOX 2290	KETCHUM ID 83340-0000	

R Miles Stanislaw
105 Georgia
Ketchum Idaho , 83340
206-399-0198
milesstanislaw@msn.com

City of Ketchum
Department of Planning & Bldg.
Attn.: Floodplain Administrator
PO Box 2315
Ketchum Idaho 83340

Re:Permit#18-068

Dear Sir or Madam,

I hereby protest the City of Ketchum's application to install "scour pads" in Warm Springs Creek. The application makes clear that the so-called "scour pad" is nothing more than dumping an undisclosed quantity of unconstrained rip rap upstream and downstream from a sewer main the City installed in 2017 that crosses on top of the streambed of Warm Springs Creek.

As a result of the City's unpermitted and unauthorized dumping of rip rap into the creek in May 2017, slightly upstream from the proposed project but in the immediate vicinity of the proposed project, the City has already drastically altered the direction, flow and hydrology of the creek in the exact area where the City now wants to dump additional riprap. My property is immediately adjacent to the proposed project area on the upstream side and just downstream from the rip rap the City dumped into the creek in May 2017. A lawsuit addressing the City's prior unpermitted and unauthorized work and the destructive effect that work had on my property either has been or will be immediately filed in the Circuit Court sitting in Blaine County. A copy of that lawsuit is enclosed herewith and each paragraph thereof is incorporated herein by reference.

The No Rise Certification on which the current application is based is fatally flawed and has no value or meaning. Galena Engineering used 2010 floodplain data published by FEMA—Flood Insurance Study/FIS-- on which to base its No Rise Certification analysis, computer modeling and conclusions. Because of the City's unpermitted and unauthorized upstream riprapping done in May 2017 the flow and direction of the creek as well as the location and slope of the streambank was drastically altered in 2017 in the immediate vicinity and adjacent to the proposed project area. The 2010 FIS floodplain data relied on by Galena is no longer an accurate or reliable source of information to describe the current elevations, stream dimensions and locations, hydrology, flow and other important data on which to base a No Rise Certification. By relying on outdated 2010 floodplain data the computer modeling done by Galena is classic garbage in garbage out.

Galena admits right in its No Rise Certification that the FIS 2010 data it used is no longer accurate or reliable. Galena states "A full flood study is warranted for the entirety of this water shed because the current study [FIS] is nearly obsolete." Galena also admits it has used a garbage in garbage out computer model when stating "This approach [Galena's computer modeling] recognizes that the current channel characteristics are likely not represented by the FIS."

In fact Galena even admits that the 2010 FEMA data used by Galena was not accurate at the time it was prepared by FEMA in 2010. Galena states, "It is difficult to compare existing vs. adopted floodplain limits along Warm Springs Creek because of the OUTDATED DATA utilized by FEMA [in 2010] (Emphasis added).

Particularly telling is the cya language used by Galena in the conclusion of Galena's no rise certificate which states, "While no guarantee can be provided that the adjacent properties will not be negatively impacted...historically these projects [scour pads] have LITTLE EFFECT outside of the immediate project area." (emphasis added) Because my property is immediately adjacent to "the immediate project area" and because my stream bank has already been destroyed by the City's unpermitted and unauthorized riprapping done in May 2017 my property can no longer withstand even the undefined and unkown "LITTLE EFFECT" that Galena predicts would result if the City is allowed to proceed with the proposed project. Just how much and how big is this "LITTLE EFFECT"?

The truth is there is simply no way to accurately predict with a reasonable degree of engineering certainty if there will be no rise in the creek if the applicants project proceeds without having accurate datum fixing the elevations of the stream bed and the locations and slopes of the stream banks. Galena, in a clear attempt to avoid engineering responsibility, admits that accurate datum was not used by Galena in preparing Galena's No Rise Certification because, as Galena states, that datum does not currently exist.

Galena's efforts to rely in its conclusion on what has occurred "historically" to justify its conclusions is also meaningless. Galena fails to cite or identify a single project where "scour pads" have been installed without impacting adjacent property.

Even more telling is the failure of the application to make even a single reference to any government literature (e.g. FEMA, COE, BOR), a textbook or a published paper that defines or describes a "scour pad". A google search indicates that no such writings exist and that the term "scour pad" has no meaning except when describing a kitchen cleaning item i.e. Brillo pad.

From a hydrologic standpoint, scour is a process by which there is a localized loss of soil often around a foundation element. But there is apparently no such thing as a "scour pad" when referring to waterways. A look at the applicant's proposed design clearly indicates that what is being proposed is not a "pad" but is instead simply the dumping of rip rap into the creek in order to divert water over and around the newly installed sewer pipe that traverses the creek. A more accurate term to describe the project would be a partial or mini dam. However the term dam has such negative connotations in waterway discussions the applicant did not dare use the word dam. The fact is this project will result in a partial damming of the creek.

A further glaring omission in the City's application is the City's failure to include any geotechnical data indicating the type(s) or classification of the soil the rip rap will be dumped onto. Will it be clay, silt, gravel, sand or some combination thereof? That information is essential to perform an accurate engineering analysis to determine how the rip rap will react after placement and the corresponding effect on stream characteristics once the rip rap is placed.

In addition there is no mention in the application of how the City intends to handle debris accumulation that will result from the installation of the proposed "scour pads".

When the City installed the new sewer line on top of the creek bed in August 2017, the potential for the phenomenon of scour to occur was just as likely then as it is today. The purpose of the proposed project is to protect the sewer line from scour or erosion occurring around it. The city had the option in 2017 to use microtunnelling and install the new sewer line under the bed of the creek instead of installing the sewer line on top of the creek bed. Had the City elected to install the sewer pipe under the creek in 2017 instead of on top of the creek bed there would be no risk of scouring and no need to dump more rip rap into the creek to protect the above grade sewer line from scour. The City should be required to live with the consequences of the above grade option it selected in 2017. If the above grade option selected by the City requires more maintenance of the sewer line without "scour pads" that increased maintenance risk and cost should be on the City. Otherwise, if "scour pads" are installed, the risk of loss will be on me and on my property which will experience even more damage and loss of real estate due to further erosion, disappearance and damage to my streambank.

Sincerely

A handwritten signature in black ink, appearing to read 'RM Stanislaw', with a long horizontal flourish extending to the right.

R Miles Stanislaw

Cc: Aaron Golert IDWR
Rob Brochau COE

R. Miles Stanislaw, ISB No. 4912
 Law Offices of R. Miles Stanislaw
 2711 S. Ocean Drive, Suite 2201
 Hollywood, Florida 33019
 P: 206-399-0198
 E: milesstanislaw@msn.com

IN THE DISTRICT COURT FOR THE FIFTH JUDICIAL DISTRICT
 FOR THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE

<p>R. MILES STANISLAW,</p> <p style="text-align: center;">Plaintiff,</p> <p>v.</p> <p>CITY OF KETCHUM, a municipality,</p> <p style="text-align: center;">Defendant.</p>	<p>Case No. _____</p> <p>COMPLAINT FOR RIPARIAN PROPERTY DAMAGE</p>
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COMES NOW, Plaintiff, R. Miles Stanislaw, and complains as follows:

1. Plaintiff, R. Miles Stanislaw (Stanislaw) owns real property bearing the address of 105 Georginia, Ketchum, Idaho. Stanislaw's property abuts the north side of Warm Springs Creek (Creek), approximately 200 feet downstream from the Aspen Drive Bridge, which crosses the Creek.
2. Defendant, City of Ketchum (Ketchum) is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50 Idaho Code.
3. Stanislaw filed a claim with Ketchum on June 28, 2017, a copy of which is attached as Exhibit A and incorporated herein by reference. Stanislaw has met all prerequisites to maintain this cause of action.
4. In April and May 2017, a flood condition existed in the Creek.

5. On Saturday night, May 6, 2017, Ketchum received notification from a concerned person that the northern side of the Creek near the Warm Springs Bridge “is getting eroded.”

6. It is Ketchum’s practice to retain outside engineers to assist Ketchum with construction projects. James Zarubica, P.E. was consulted by Ketchum as an outside engineer to address the Creek issue. Sometime before 9:20 a.m. on May 9, 2017, “Jim Z [Zarubica] passed me [City] off to Stephanie Eisenbarth.” Ms. Eisenbarth is a consultant, not an engineer. She does not work in the engineering firm that employs Mr. Zarubica nor does Ms. Eisenbarth work under the direction or supervision of an engineer.

7. During the days immediately preceding May 11, 2017, Ketchum, acting by and through Burks Excavation Corporation (Burks), undertook certain construction work on the Creek immediately downstream from the Aspen Drive Bridge and upstream from Stanislaw’s property.

8. Ketchum’s construction work was all performed on or before May 11, 2017. The work consisted primarily of backfilling and rip rapping along the northern bank of the Creek. The rip rapping consisted of placing approximately 100 c/yd of angular rock along a 100-foot-long section of the Creek bank and into the Creek itself.

9. Sometime between May 9, 2017 and May 11, 2017, Burks was given verbal instructions to proceed with the construction work prior to Ketchum obtaining permits, approvals and authorizations that were legally required to be obtained prior to performing construction work in or on the Creek.

10. Burks performed the construction work without being provided any construction drawings, specifications or even a letter of instruction. It is a material deviation from accepted engineering standards to proceed with road construction work or riparian construction work without any design documents and/or without a licensed professional overseeing the work.

11. All of Ketchum’s backfilling and rip rapping work was completed on or before May 11, 2017.

12. Under Chapter 65, Title 67 of the Idaho Code, Ketchum is required to pass certain ordinances regarding land use, including zoning.

13. Pursuant to this statutory mandate, Ketchum passed Emergency Ordinance 1172 in April 2017. This ordinance states requirements for landowners, including Ketchum, who wish to take action in the event of a flood emergency.

14. Article IV of Emergency Ordinance 1172 is entitled "Emergency City Initiated Actions." Article IV, Sec. 17.88.290 states, "The City shall complete and submit emergency bank alteration and/or repair alteration applications in order to document the work PROPOSED to be undertaken." (Emphasis added.) Ketchum failed to comply with Ordinance 1172. Ketchum failed to submit any applications or obtain the legally required permits, approvals and authorizations until after all of the construction work of backfilling and rip rapping was fully completed.

15. On May 11, 2017 Ms. Eisenbarth, on behalf of Ketchum, prepared an application "for a permit to alter Warm Springs Creek." She submitted the application to Idaho Department of Water Resources (IDWR). Ketchum's application was received by IDWR on May 12, 2017 and approved by IDWR on May 16, 2017. May 12, 2017 and May 16, 2017 are after the date that all of the construction work was completed. Ketchum performed all of the construction work prior to obtaining a permit required by IDWR.

16. On May 11, 2017, Ms. Eisenbarth, on behalf of Ketchum, prepared a "Flood Plain Management Overlay Application..." and submitted it to Ketchum's Planning and Building Department. This Application was deemed complete on May 12, 2017. In compliance with Ordinance 1172, Ketchum must prepare written findings of fact and conclusions of law granting or denying the Application. Ketchum issued its findings and conclusions granting the Application on May 15, 2017. Ketchum violated its own procedures and Ordinance 1172 by proceeding with all the construction work prior to obtaining approval. May 12, 2017 and May 15, 2017 are after the date that all of the construction work was completed. Ketchum also failed to post an approved permit on-site throughout the duration of the work, as required by Ordinance 1172, because Ketchum did not have an approved or permit prior to or while the construction work was being completed.

17. On May 15, 2017, Ms. Eisenbarth, on behalf of Ketchum, submitted an Emergency Permit Application to the U.S. Army Corps of Engineers. This permit was necessary because Ketchum's construction work involved "the discharge of dredged and/or fill material into waters of the U.S." Sec. 404 of the Clean Water Act (33 U.S.C. 1344.) The Corps of Engineers did not provide its authorization to proceed until June 25, 2017. June 25 and June 28, 2017 are after the date that all of the construction work was completed. Ketchum performed all of the construction work before obtaining the permit required by the U.S. Army Corps of Engineers.

18. Ketchum improperly and unlawfully proceeded with stream and riparian, alteration construction work without first having obtained the legally required permits, approvals and authorizations from Idaho Department of Water Resources, the City of Ketchum and the U.S. Army Corps of Engineers. These failures by Ketchum to obtain the permits, approvals and authorizations required by law prior to commencement of construction work is a material deviation from accepted engineering standards.

19. As a result of the unapproved, non-permitted, unauthorized construction work that Ketchum caused to have performed without any design documents or oversight by a licensed professional engineer, the course of the Creek was altered. By altering the course of the Creek, Ketchum caused damage to Stanislaw's property.

20. Prior to the construction work undertaken by Ketchum, the course of the Creek ran in a straight line past the Stanislaw property. As a result, the bank in front of the Stanislaw property withstood degradation in prior high water years. Ketchum's construction work changed the course of the Creek in such a way that the Stanislaw property was damaged by the altered course of the Creek.

21. After Ketchum received Stanislaw's claim, Ketchum did nothing to investigate the merits of Stanislaw's claim or conduct a self-critical analysis that would have or should have disclosed Ketchum's multiple violations of Ordinance 1172.

22. Ketchum turned Stanislaw's claim over to its insurers, Idaho Counties Risk Management Program (ICRMP) which is a risk pool owned by its member municipalities, including Ketchum.

23. Other than collect documents from Ketchum, the very documents that disclose Ketchum's failures alleged above, ICRMP did not conduct an investigation. What ICRMP did do was instruct Ketchum to take the position "It was just a flood" and to obtain a certificate from an engineer that certifies the construction work was properly done in accordance with the permits.

24. Because Ms. Eisenbarth was not an engineer, no such certificates could be obtained from Ms. Eisenbarth. Instead, Ketchum obtained a letter dated August 3, 2017 that was signed, but not professionally sealed, by Mr. Zarubica. Mr. Zarubica was not present during construction, did not prepare any applications for permits, did not perform any design work and had as his only role to "pass off" the Creek assignment to Ms. Eisenbarth, all such events occurred before any construction or design work of any kind was done. Mr. Zarubica is barred by law from affixing his seal to any document "unless the work thereon was done by him or under his responsible charge." Ms. Eisenbarth, not Mr. Zarubica, did the "work" related to the construction work performed in and on the Creek. On September 1, 2017, Ketchum asked Mr. Zarubica to professionally seal his August 3, 2017 letter to make it appear as if Mr. Zarubica's letter was actually sealed on August 3, 2017. Mr. Zarubica complied with Ketchum's request and back-dated his seal to make it appear as if his letter was sealed on August 3, 2017. In fact, Mr. Zarubica did not seal his August 3, 2017 letter until sometime on or after September 1, 2017.

25. As a result of Ketchum's conduct heretofore alleged, Stanislaw has been damaged in the amount of approximately \$100,000.

WHEREFORE, Stanislaw prays for judgment against Ketchum as follows:

1. For a money judgment equal to the amount of damages proven at trial, plus interest.
2. For attorneys' fees as allowed by statute and/or law.
3. For such other and further relief as this Court deems just and proper.

DATED this _____ day of _____, 2017.

LAW OFFICES OF R. MILES STANISLAW

By _____
R. Miles Stanislaw, ISB #4912

RMS

Ex "A"

Law Offices of R. Miles Stanislaw

2711 South Ocean Drive, Suite 2201
Hollywood, Florida 33019
206.399.0198
milesstanislaw@msn.com

June 28, 2017

VIA U.S. MAIL and
VIA EMAIL: bchristiansen@ketchumidaho.org

Brian Christiansen
City of Ketchum Department of Public Works
P.O. Box 2315
Ketchum ID 83340

Dear Mr. Christiansen:

I am the owner of the real property and affixed residence located at 105 Georginia in the City of Ketchum. Warm Springs Creek (Creek) abuts my property. I am writing to advise you of the damage done to the subject property as a result of major Creek alteration work performed by the City of Ketchum. I am also hereby making demand to the City of Ketchum for the cost of repairing the damage done to the subject property as a result of the City's stream alteration work, including the diminution of property value. That damage is in the approximate amount of \$100,000.00.

On or about the several days preceding and following May 11, 2017, the City of Ketchum, acting by and through Burks Excavation, undertook certain construction work downstream from the Aspen Drive Bridge that crosses Warm Springs Creek. Exhibits 1 and 2, enclosed, illustrate the work being performed. The City's work consisted primarily of backfilling and rip rapping along the bank of the Creek. As a result of the City's work, the natural and historical flow and course of the Creek was altered. The City's alteration of the Creek caused damage to the subject property that I own.

Exhibits 3, 4 and 5, enclosed, illustrate the flow and course of the Creek and the condition of the bank prior to the City performing any backfilling and rip rap work. Exhibits 6 and 7, enclosed, illustrate the post construction work conditions. At various points along the bank of the subject property that abuts the Creek, 3 to 5 feet of bank along the entire length of the subject property and a stone stairway were lost. This damage was proximately caused to the subject property by the fact that the City's work caused the Creek to no longer flow with a straight course. Instead, the Creek now flows with a more meandering course resulting in water being directed toward the bank of the subject property instead of flowing directly past the subject property.

If there are any additional steps that I, as a claimant, need to take to perfect this claim please advise. Otherwise we look forward to a prompt resolution of this claim.

Sincerely,


R. Miles Stanislaw

Encls.

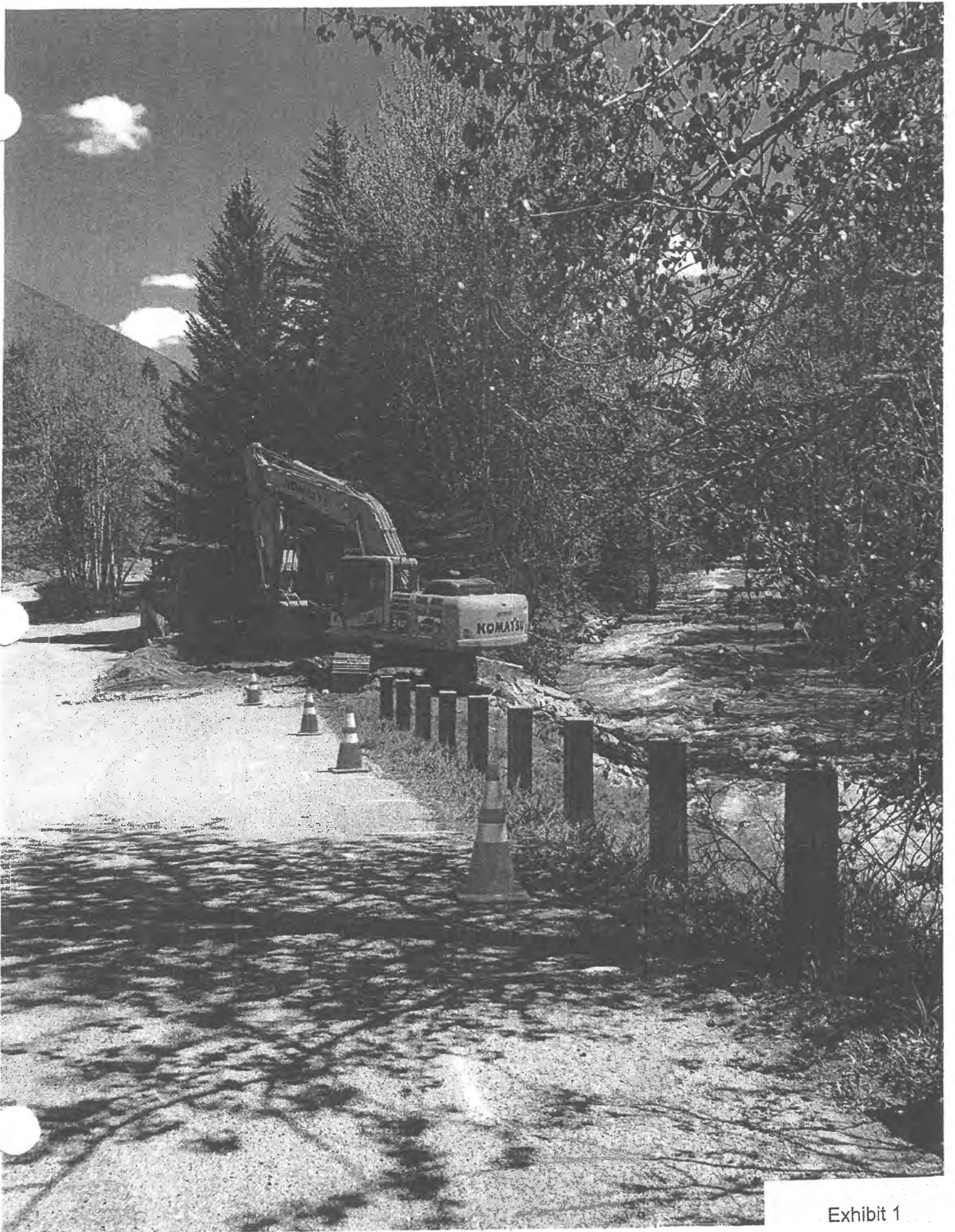


Exhibit 1

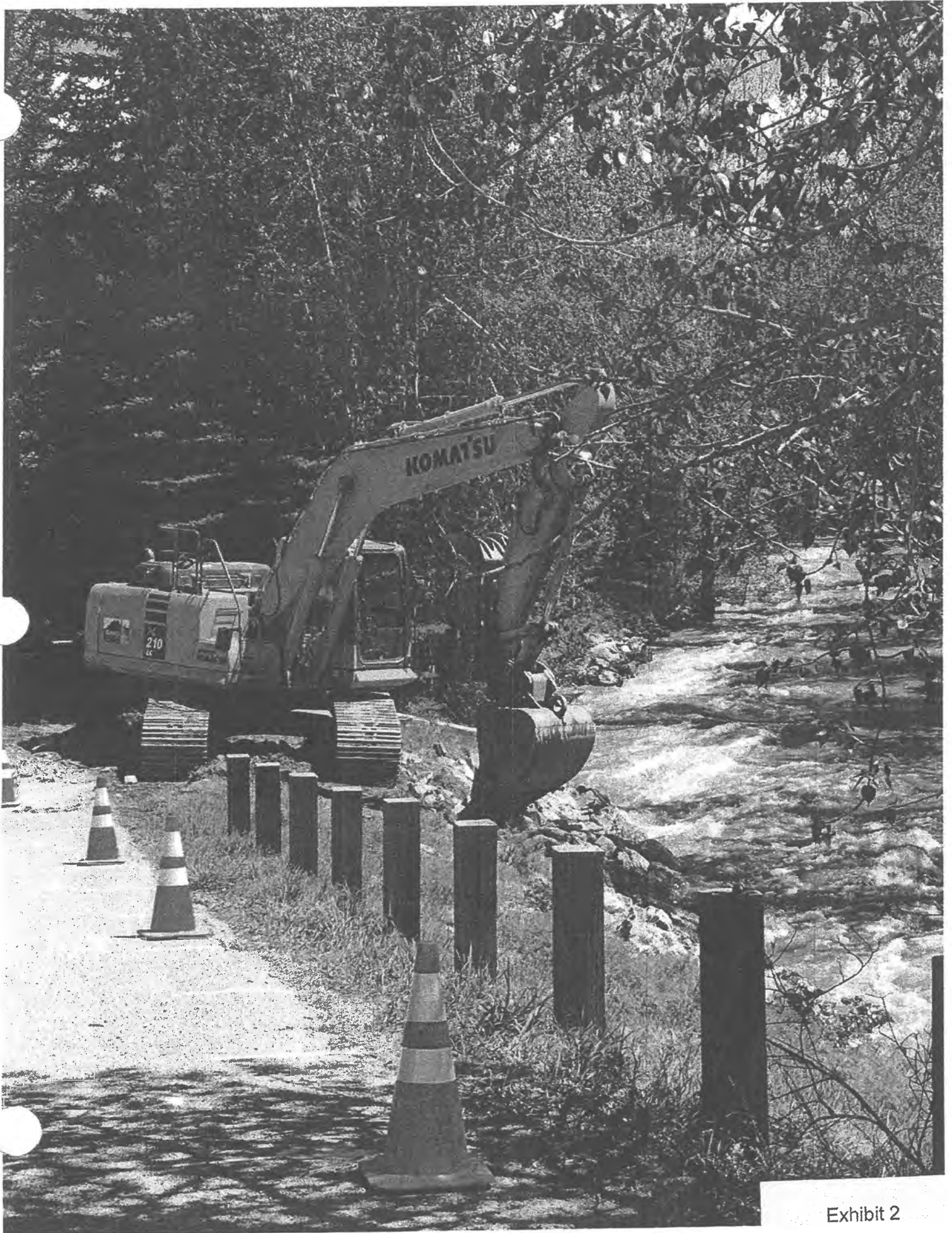


Exhibit 2



Exhibit 3

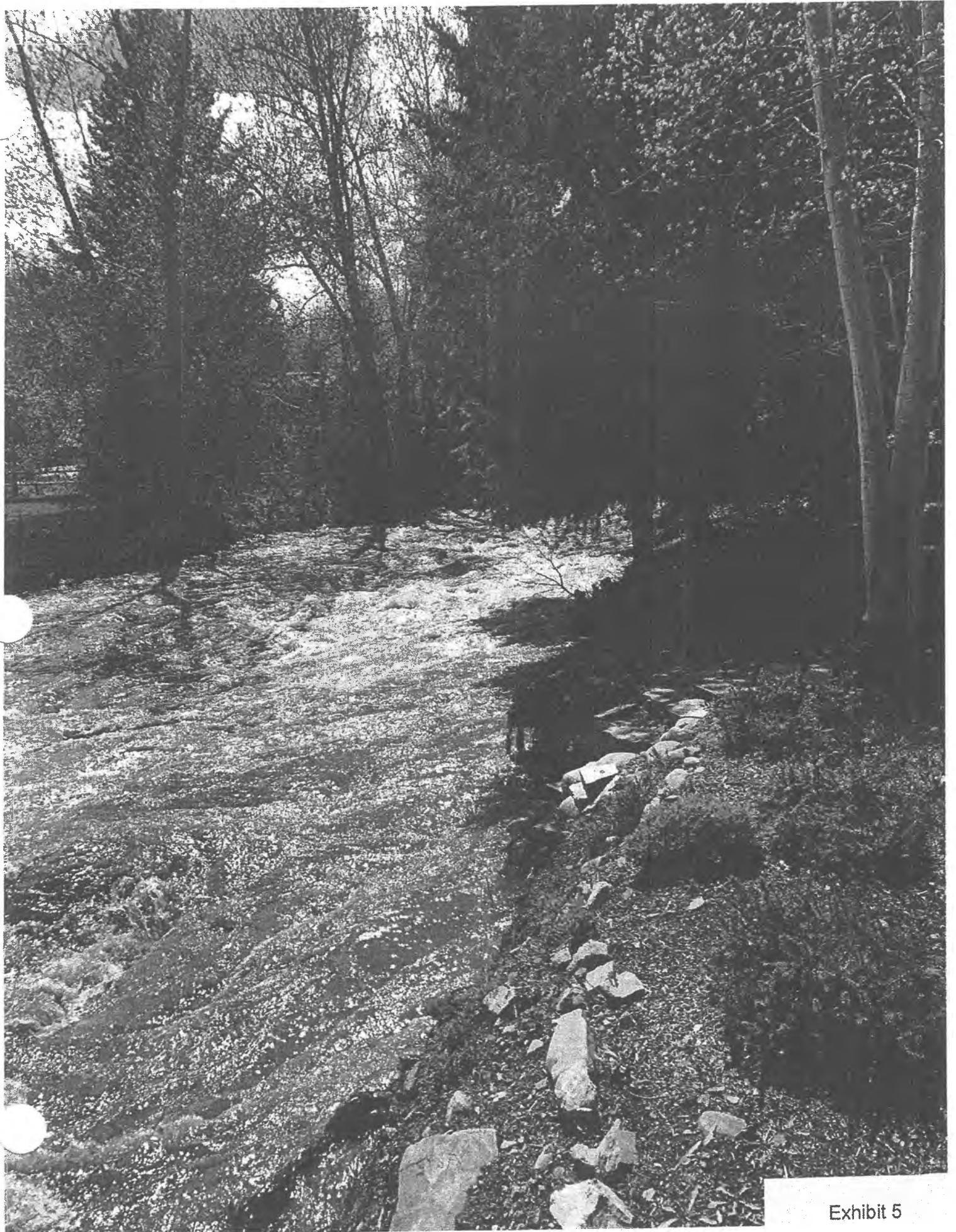


Exhibit 5

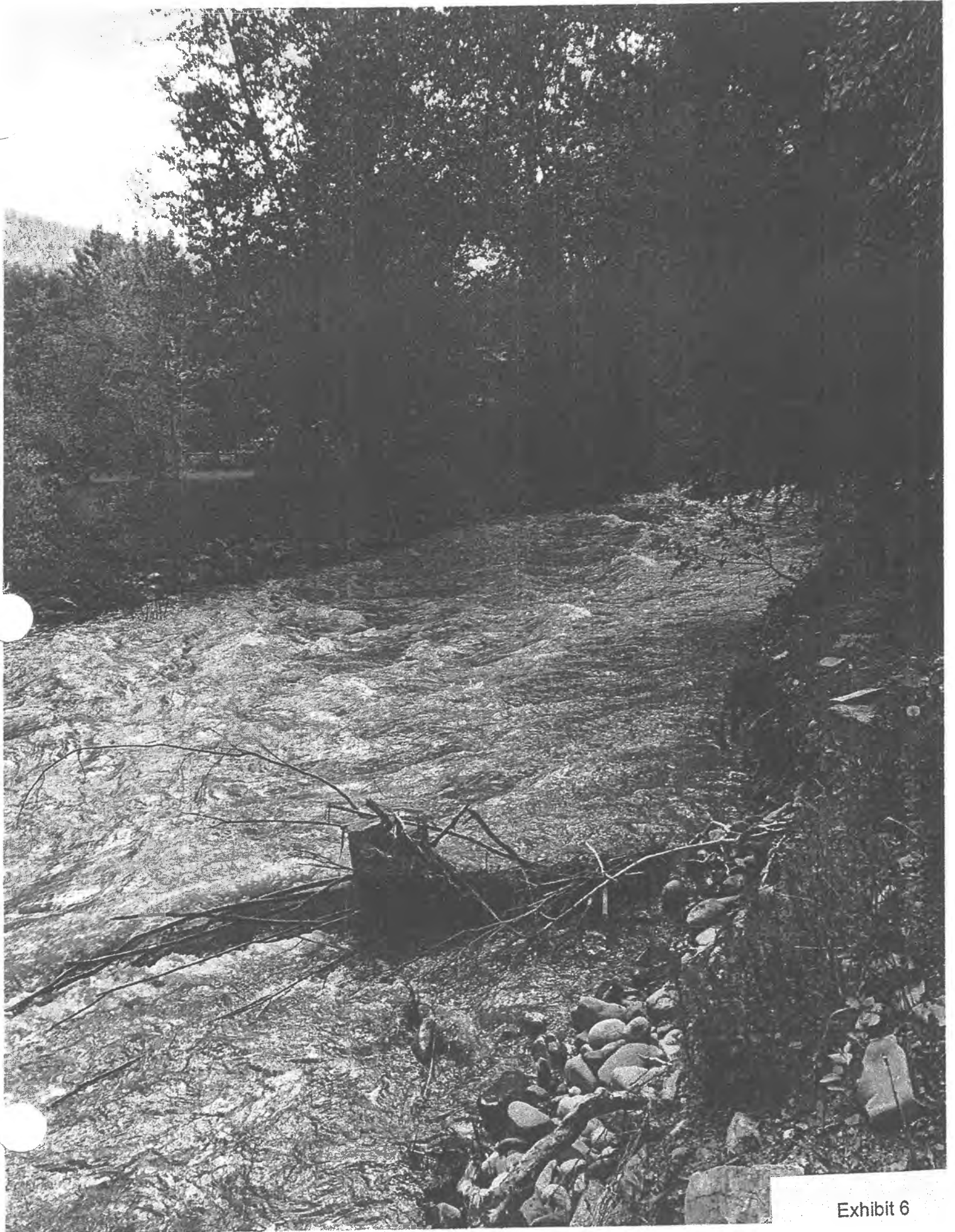


Exhibit 6



Exhibit 7

Attachment D

Emergency Permit application to the City of Ketchum, permit number 17-113, and file documents



**City of Ketchum
Planning & Building**

OFFICIAL USE ONLY	
File Number:	
Date Received:	
By:	
Fee Paid:	
Approved Date:	
Denied Date:	
By:	

Floodplain Management Overlay Application

OWNER INFORMATION			
Project Name: Warm Spring Creek Sewer Main Crossing Repair			
Owner Name: City of Ketchum			
Mailing Address: POB 2315, Ketchum, ID 83340			
Phone:			
Email:			
PROJECT INFORMATION			
Architect/Representative: Sean Flynn			
Phone: 208-788-1705			
Mailing Address: 317 N. River Street, Hailey, ID 83333			
Email: sflynn@galena-engineering.com			
Engineer of Record: Sean Flynn			
Engineer Email: sflynn@galena-engineering.com			
Legal Land Description: Warm Springs Creek			
Project Address: 101 Aspen Dr.			
Lot Area:			
Zoning District:			
Anticipated Use: N/A			
Value of Construction: \$ N/A			
TYPE OF CONSTRUCTION			
<input type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
<input checked="" type="checkbox"/> Waterways Design Review	<input type="checkbox"/> Floodplain Development	<input checked="" type="checkbox"/> Stream Alteration	
TOTAL FLOOR AREA			
Proposed		Existing	
Basement:			
1 st Floor:			
2 nd Floor:			
3 rd Floor:			
Decks:			
Mezzanine:			
Total:			
Building Coverage:	SF	%	Curb Cut: SF %
PROPOSED SETBACKS			
Front:	Side:	Side:	Rear:
ADDITIONAL INFORMATION			
Building Height:		Parking Spaces Provided:	
Will Fill or Excavation Be Required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If Yes, Amount in Cubic Yards		Fill: 15 cy	Excavation: 15 cy
Will Existing Trees or Vegetation Be Removed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Sean Flynn
Signature of Owner Representative

8/11/17
Date

Floodplain Development / Waterways Design Review / Streambank Alteration Requirements

1. EVALUATION STANDARDS: 17.88.050(E)	
17.88.050(E)1 FLOODPLAIN DEVELOPMENT/WATERWAYS DESIGN REVIEW	Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.
<i>Comments</i>	<i>This action proposes to repair the City sewer main that crosses Warm Springs Creek. Restoration of the stream bank and vegetation is a major goal of this project.</i>
17.88.050(E)2	Preservation or enhancement of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone. No construction activities, encroachment or other disturbance into the twenty five foot (25') riparian zone shall be allowed at any time without written City approval per the terms of this ordinance.
<i>Comments</i>	<i>All disturbance in the riparian area will be rehabilitated.</i>
17.88.050(E)3	No development other than development by the City of Ketchum or development required for emergency access shall occur within the twenty-five (25) foot riparian zone with the exception of approved stream stabilization work. The Planning and Zoning Commission may approve access to property where no other primary access is available. Private pathways and staircases shall not lead into or through the riparian zone unless deemed necessary by the Planning and Zoning Commission.
<i>Comments</i>	<i>This action is for the City of Ketchum</i>
17.88.050(E)4	Plan and time frame are provided for restoration of riparian vegetation damaged as a result of the work done.
<i>Comments</i>	<i>Work needs to be completed by October or the sewer bypass will freeze.</i>
17.88.050(E)5	New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, bebb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle.
<i>Comments</i>	<i>Rip rap will be top dressed with mixed cobble and planted with willows on 3-4 foot spacing.</i>
17.88.050(E)6	Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.
<i>Comments</i>	<i>N/A</i>
17.88.050(E)7	Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.
<i>Comments</i>	<i>No adverse impacts are anticipated as a result of this action. This sewer crossing has existed in this location since 1968.</i>
17.88.050(E)8	Building setback in excess of minimum required along waterways is encouraged.
<i>Comments</i>	<i>N/A</i>
17.88.050(E)9	The top of the lowest floor of a building located in the 1% annual chance floodplain shall be a minimum of twenty-four inches (24") above the base flood elevation of the subject property.
<i>Comments</i>	<i>N/A</i>
17.88.050(E)10	The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. A LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.
<i>Comments</i>	<i>N/A</i>
17.88.050(E)11	All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.
<i>Comments</i>	<i>N/A</i>
17.88.050(E)12	Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for.
<i>Comments</i>	<i>N/A</i>
17.88.050(E)13	Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.
<i>Comments</i>	<i>N/A</i>

17.88.050(E)14	(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.
<i>Comments</i>	<i>The goals of the project are to repair the sewer main and restore the bank and vegetation in a manner that will provide a long term solution</i>
17.88.050(E)15	(Stream Alteration) No increase to the 100-year floodplain upstream or downstream has been certified by a registered Idaho engineer.
<i>Comments</i>	<i>The stream channel was severely eroded in this location and is now about 2' deeper than at the time of sewer construction in 1968. As long as the bank repair does not exceed the location of the pre flood bank location, the cross sectional area of the creek will not decrease, therefore, there will be no net rise in floodplain elevations.</i>
17.88.050(E)16	(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.
<i>Comments</i>	<i>No change to bank access will occur as a result of this action.</i>
17.88.050(E)17	Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with a comparable amount and/or quality of new wetland area or riparian habitat improvement.
<i>Comments</i>	<i>The property does not contain any identified wetlands.</i>
17.88.050(E)18	(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.
<i>Comments</i>	<i>This action should have minimal impacts to aquatic habitat.</i>
17.88.050(E)19	(Stream Alteration) The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
<i>Comments</i>	<i>It is in the public interest to complete the repair work on this sewer.</i>
17.88.050(E)20	(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
<i>Comments</i>	<i>This work is necessary to protect property, the public health, and repair the sewer collection main.</i>

JOINT APPLICATION FOR PERMITS

U.S. ARMY CORPS OF ENGINEERS - IDAHO DEPARTMENT OF WATER RESOURCES - IDAHO DEPARTMENT OF LANDS

Authorities: The Department of Army Corps of Engineers (Corps), Idaho Department of Water Resources (IDWR), and Idaho Department of Lands (IDL) established a joint process for activities impacting jurisdictional waterways that require review and/or approval of both the Corps and State of Idaho. Department of Army permits are required by Section 10 of the Rivers & Harbors Act of 1899 for any structure(s) or work in or affecting navigable waters of the United States and by Section 404 of the Clean Water Act for the discharge of dredged or fill materials into waters of the United States, including adjacent wetlands. State permits are required under the State of Idaho, Stream Protection Act (Title 42, Chapter 38, Idaho Code and Lake Protection Act (Section 58, Chapter 13 et seq., Idaho Code). In addition the information will be used to determine compliance with Section 401 of the Clean Water Act by the appropriate State, Tribal or Federal entity.

Joint Application: Information provided on this application will be used in evaluating the proposed activities. Disclosure of requested information is voluntary. Failure to supply the requested information may delay processing and issuance of the appropriate permit or authorization. **Applicant will need to send a completed application, along with one (1) set of legible, black and white (8 1/2"x11"), reproducible drawings that illustrate the location and character of the proposed project / activities to both the Corps and the State of Idaho.**

See Instruction Guide for assistance with Application. Accurate submission of requested information can prevent delays in reviewing and permitting your application. Drawings including vicinity maps, plan-view and section-view drawings must be submitted on 8-1/2 x 11 papers.

Do not start work until you have received all required permits from both the Corps and the State of Idaho

FOR AGENCY USE ONLY

USACE NWW-	Date Received:	<input type="checkbox"/> Incomplete Application Returned	Date Returned:
Idaho Department of Water Resources No. 537-20472	Date Received: 8/21/17	<input checked="" type="checkbox"/> Fee Received DATE: 8/21/17	Receipt No.: C104010
Idaho Department of Lands No.	Date Received:	<input type="checkbox"/> Fee Received DATE:	Receipt No.:

INCOMPLETE APPLICATIONS MAY NOT BE PROCESSED

1. CONTACT INFORMATION - APPLICANT Required:	2. CONTACT INFORMATION - AGENT:
Name: City of Ketchum	Name: Sean Flynn
Company:	Company: Galena Engineering, Inc.
Mailing Address: PO Box 2315	Mailing Address: 317 N. River St.
City: Ketchum	City: Hailey
State: ID	State: ID
Zip Code: 83340	Zip Code: 83333
Phone Number (include area code): 208.861.7593	Phone Number (include area code): 208.788.1705
E-mail: snewland@sandcassociates.com	E-mail: sflynn@galena-engineering.com

RECEIVED
AUG 21 2017
DEPARTMENT OF
WATER RESOURCES

3. PROJECT NAME or TITLE: Warm Springs Creek Sewer Crossing Repair		4. PROJECT STREET ADDRESS: 101 Aspen Dr.			
5. PROJECT COUNTY: Blaine	6. PROJECT CITY: Ketchum	7. PROJECT ZIP CODE: 83340		8. NEAREST WATERWAY/WATERBODY: Warm Springs Creek	
9. TAX PARCEL ID#: RPK4N17011046A	10. LATITUDE: 43.68983 LONGITUDE: -114.39665	11a. 1/4: SW	11b. 1/4: SE	11c. SECTION: 11	11d. TOWNSHIP: 4N 11e. RANGE: 17E
12a. ESTIMATED START DATE: 9/5/2017	12b. ESTIMATED END DATE: 10/31/2017	13a. IS PROJECT LOCATED WITHIN ESTABLISHED TRIBAL RESERVATION BOUNDARIES? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES Tribe:			
13b. IS PROJECT LOCATED IN LISTED ESA AREA? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		13c. IS PROJECT LOCATED ON/NEAR HISTORICAL SITE? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			

14. DIRECTIONS TO PROJECT SITE: Include vicinity map with legible crossroads, street numbers, names, landmarks.
101 Aspen Dr., Ketchum

15. PURPOSE and NEED: Commercial Industrial Public Private Other

Describe the reason or purpose of your project; include a brief description of the overall project. Continue to Block 16 to detail each work activity and overall project.

An existing City Sewer Main crossing Warm Springs Ck. was destroyed during May 2017 flooding. The proposed plan is to repair the crossing, by tying into the existing manholes on each side of the creek and installing a sleeved sewer main across the creek, matching existing line and grades. The sleeve will have concrete anchor blocks that will be landward of MHW. Bank stabilization with riprap, mixed cobble, and revegetation will be used to repair the banks.

16. DETAILED DESCRIPTION OF EACH ACTIVITY WITHIN OVERALL PROJECT. Specifically indicate portions that take place within waters of the United States, including wetlands: Include dimensions; equipment, construction, methods; erosion, sediment and turbidity controls; hydrological changes: general stream/surface water flows, estimated winter/summer flows; borrow sources, disposal locations etc.:

This is an extremely time sensitive project. A temporary bypass has been setup (see attached photo page), but due to cold weather, and the likelihood of freezing, the work must be completed by October 31, 2017.

The work will include removing existing damaged sleeve and concrete cap in the stream. Install new sewer pipe, matching existing lines and grades, in a steel sleeve. Complete bank stabilization with angular riprap. Top dress with mixed cobble. Install restorative vegetation.

17. DESCRIBE ALTERNATIVES CONSIDERED to AVOID or MEASURES TAKEN to MINIMIZE and/ or COMPENSATE for IMPACTS to WATERS of the UNITED STATES, INCLUDING WETLANDS: See Instruction Guide for specific details.

Pumping was considered. The City currently does not have any operating pumps/lift stations. The construction of pump stations was rejected by the City because of maintenance, prohibitive costs, and the questionable feasibility of directional drilling under the creek in soils that contain cobbles and boulders.

The City also considered rerouting the sewer, but due to the time required to obtain entitlements and easements, this option was rejected because it could not be completed by the onset of freezing temperatures.

18. PROPOSED MITIGATION STATEMENT or PLAN: If you believe a mitigation plan is not needed, provide a statement and your reasoning why a mitigation plan is NOT required. Or, attach a copy of your proposed mitigation plan.

This is a required maintenance project. No mitigation is proposed because the impacts are minimal to the aquatic environment.

19. TYPE and QUANTITY of MATERIAL(S) to be discharged below the ordinary high water mark and/or wetlands:

Dirt or Topsoil: _____ cubic yards
Dredged Material: _____ cubic yards
Clean Sand: _____ cubic yards
Clay: _____ cubic yards
Gravel, Rock, or Stone: 5 cubic yards
Concrete: _____ cubic yards
Other (describe): _____ : _____ cubic yards
Other (describe): _____ : _____ cubic yards

TOTAL: _____ 5 cubic yards

20. TYPE and QUANTITY of impacts to waters of the United States, including wetlands:

Filling: _____ acres _____ sq ft. 5 cubic yards
Backfill & Bedding: _____ acres _____ sq ft. _____ cubic yards
Land Clearing: _____ acres _____ sq ft. _____ cubic yards
Dredging: _____ acres _____ sq ft. _____ cubic yards
Flooding: _____ acres _____ sq ft. _____ cubic yards
Excavation: _____ acres _____ sq ft. _____ cubic yards
Draining: _____ acres _____ sq ft. _____ cubic yards
Other: _____ : _____ acres _____ sq ft. _____ cubic yards

TOTALS: _____ acres _____ sq ft. 5 cubic yards

21. HAVE ANY WORK ACTIVITIES STARTED ON THIS PROJECT? NO YES If yes, describe ALL work that has occurred including dates.

22. LIST ALL PREVIOUSLY ISSUED PERMIT AUTHORIZATIONS:

23. YES, Alteration(s) are located on Public Trust Lands, Administered by Idaho Department of Lands

24. SIZE AND FLOW CAPACITY OF BRIDGE/CULVERT and DRAINAGE AREA SERVED: NA Square Miles

25. IS PROJECT LOCATED IN A MAPPED FLOODWAY? NO YES If yes, contact the floodplain administrator in the local government jurisdiction in which the project is located. A Floodplain Development permit and a No-rise Certification may be required.

26a WATER QUALITY CERTIFICATION: Pursuant to the Clean Water Act, anyone who wishes to discharge dredge or fill material into the waters of the United States, either on private or public property, must obtain a Section 401 Water Quality Certification (WQC) from the appropriate water quality certifying government entity.
See Instruction Guide for further clarification and all contact information.

The following information is requested by IDEQ and/or EPA concerning the proposed impacts to water quality and anti-degradation:

- NO YES Is applicant willing to assume that the affected waterbody is high quality?
 NO YES Does applicant have water quality data relevant to determining whether the affected waterbody is high quality or not?
 NO YES Is the applicant willing to collect the data needed to determine whether the affected waterbody is high quality or not?

26b. BEST MANAGEMENT PRACTICES (BMP's): List the Best Management Practices and describe these practices that you will use to minimize impacts on water quality and anti-degradation of water quality. All feasible alternatives should be considered - treatment or otherwise. Select an alternative which will minimize degrading water quality

All applicable Best Management Practices, such as silt fence and straw wattles, will be used to protect resources and ensure compliance with local, state, and federal Water Quality Standards. Work will take place during times of low flow. All equipment shall be free of leaks and in good working order. Storage, fueling, and unexpected repairs of equipment shall be completed a minimum of 100 feet from the MHW of the channel.

Through the 401 Certification process, water quality certification will stipulate minimum management practices needed to prevent degradation.

27. LIST EACH IMPACT to stream, river, lake, reservoir, including shoreline: Attach site map with each impact location.

Activity	Name of Water Body	Intermittent Perennial	Description of Impact and Dimensions	Impact Length Linear Feet
Rip rap and cobble	Warm Springs Creek	Perennial	Place bank stabilization materials	15
Install new sewer main	Warm Springs Creek	Perennial	Place pipe across creek	2
TOTAL STREAM IMPACTS (Linear Feet):				17

28. LIST EACH WETLAND IMPACT include mechanized clearing, fill excavation, flood, drainage, etc. Attach site map with each impact location.

Activity	Wetland Type: Emergent, Forested, Scrub/Shrub	Distance to Water Body (linear ft)	Description of Impact Purpose: road crossing, compound, culvert, etc.	Impact Length (acres, square ft linear ft)
TOTAL WETLAND IMPACTS (Square Feet):				

29. ADJACENT PROPERTY OWNERS NOTIFICATION REQUIREM: Provide contact information of ALL adjacent property owners below.

Name: CHADBAND, CONSTANCE L Mailing Address: PO Box 975 City: State: Zip Code: Ketchum ID 83340 Phone Number (include area code): E-mail:	Name: FREDRICKSON, LYNDA S Mailing Address: PO Box 3857 City: State: Zip Code: Ketchum ID 83340 Phone Number (include area code): E-mail:
Name: HULL, MARSON BLAIR Mailing Address: 141 W JACKSON BLVD STE 1650 City: State: Zip Code: Chicago IL 60604-3070 Phone Number (include area code): E-mail:	Name: VH2SV, LLC Mailing Address: 02004 SW MILITARY RD City: State: Zip Code: Portland OR 97219 Phone Number (include area code): E-mail:
Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail:	Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail:
Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail:	Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail:

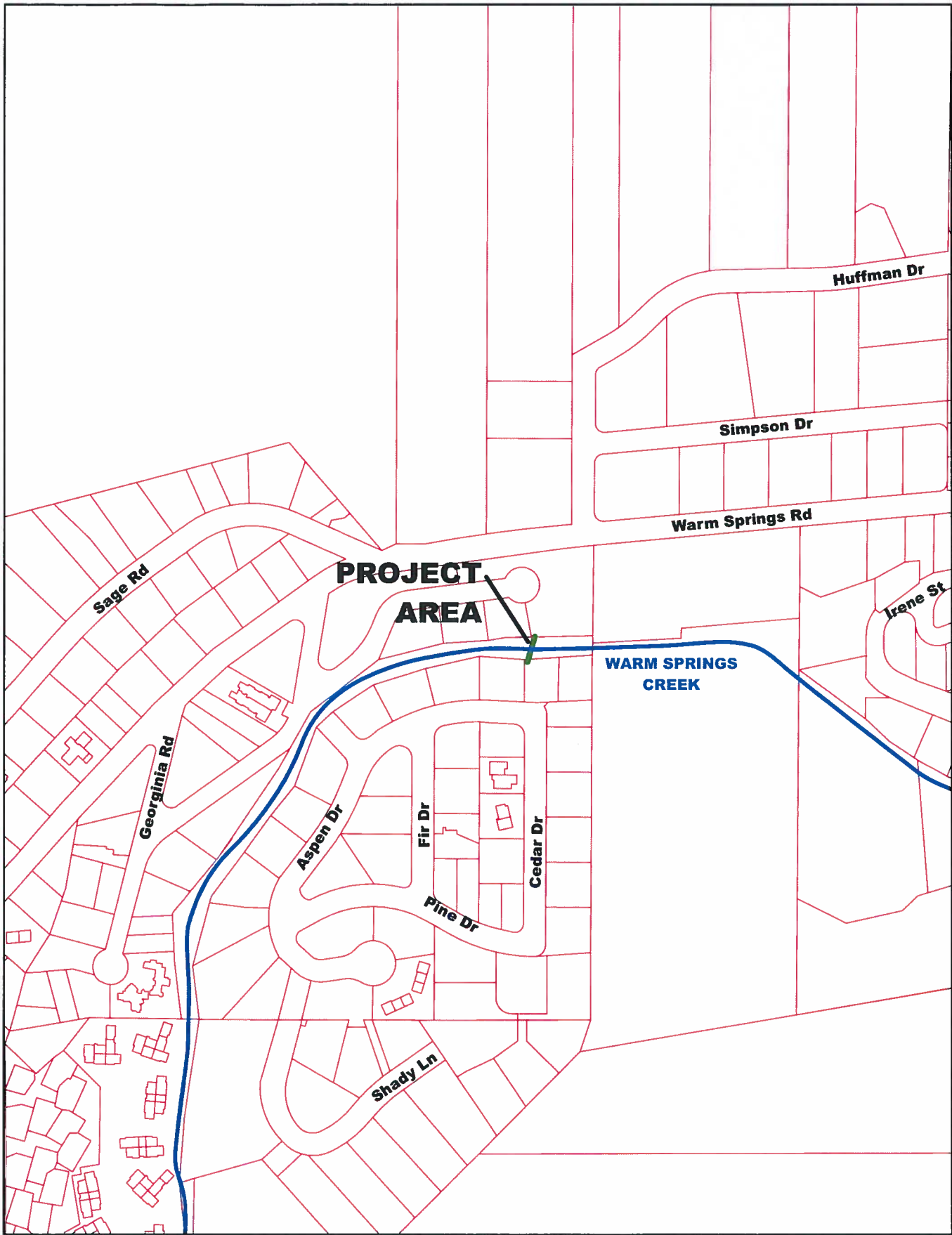
30. SIGNATURES: STATEMENT OF AUTHORIZATION / CERTIFICATION OF AGENT / ACCESS

Application is hereby made for permit, or permits, to authorize the work described in this application and all supporting documentation. I certify that the information in this application is complete and accurate. I further certify that I possess the authority to undertake the work described herein; or am acting as the duly authorized agent of the applicant (Block 2). I hereby grant the agencies to which this application is made, the right to access/come upon the above-described location(s) to inspect the proposed and completed work/activities.

Signature of Applicant: _____ Date: _____

Signature of Agent: Sean Tely Date: 8/15/17

This application must be signed by the person who desires to undertake the proposed activity AND signed by a duly authorized agent (see Block 1, 2, 30). Further, 18 USC Section 1001 provides that: "Whoever, in any manner within the jurisdiction of any department of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry, shall be fined not more than \$10,000 or imprisoned not more than five years or both".



Legend

- Warm Springs Creek
- Sewer Crossing
- City Property Lines

**VICINITY MAP FOR A JOINT APPLICATION FOR PERMIT
WARM SPRINGS CREEK
SEWER CROSSING REPAIR
KETCHUM IDAHO**

**GALENA ENGINEERING
08/16/17**

**TO
KETCHUM**
→



1 inch equals 300 feet



LOOKING SOUTH FROM NORTH BANK



LOOKING NORTH FROM SOUTH BANK

NOTES

- 1) Note portion of pervious sleeve still in channel.
- 2) Two photos not taken same on same date.

**Galena
Engineering
Inc.**

Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(808) 768-1708
(808) 768-4618 fax
email galena@galena-engineering.com

PROJECT INFORMATION

P: \sdsproj\1318-166\dwg\Boundary-Plat\404 permit drawing.dwg 8/16/2017 9:22:42 AM MDT

PHOTO EXHIBIT

WARM SPRINGS CREEK SEWER CROSSING REPAIR

LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO

APPLICANT NAME: CITY OF KETCHUM

WATERBODY: WARM SPRINGS CREEK



TEMPORARY PUMP SETUP IN ASPEN DRIVE



CROSSING OF TEMPORARY LINE IN ASPEN DRIVE

**Galena
Engineering
Inc.**

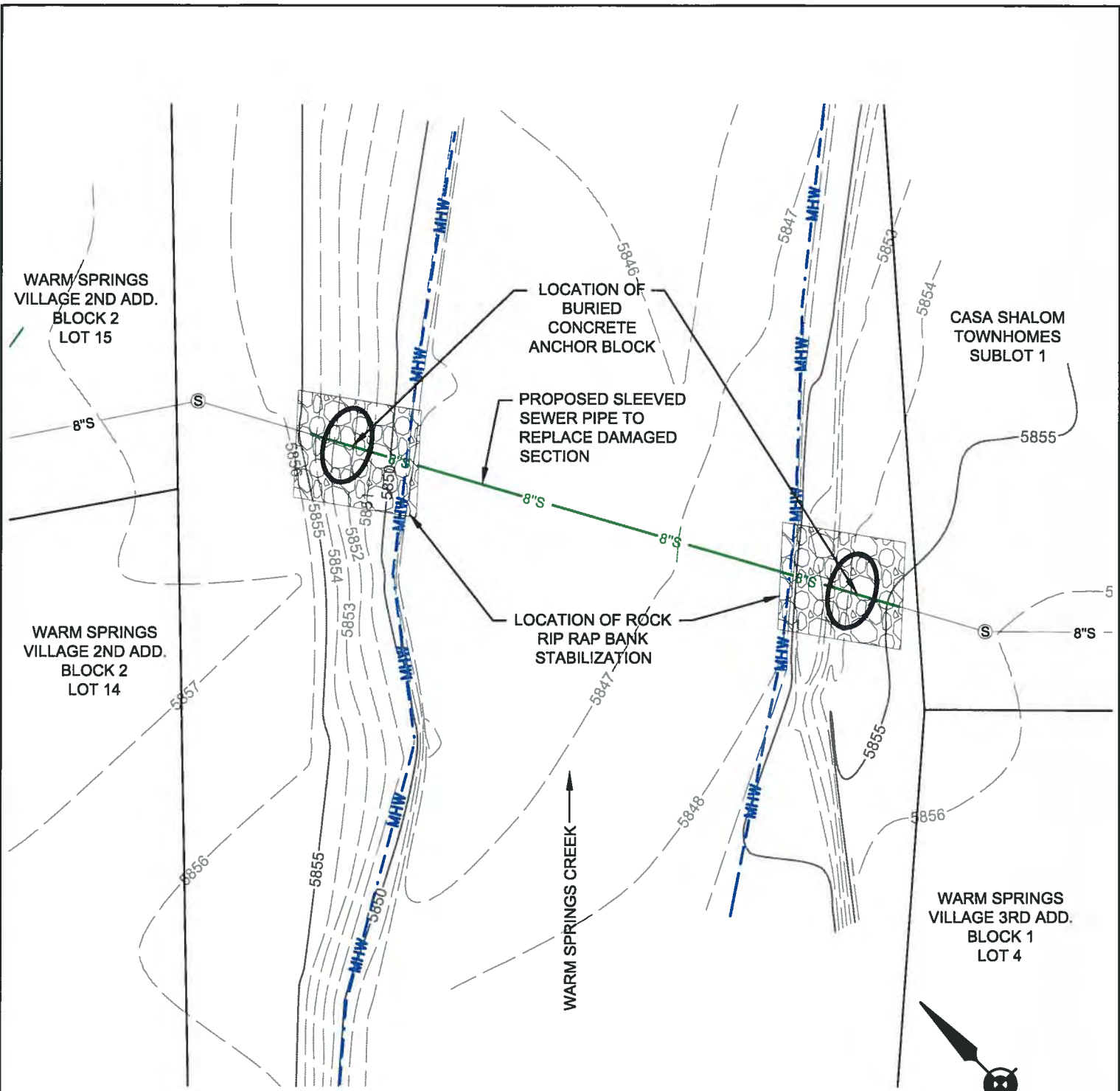
Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(208) 768-1706
(208) 768-4612 fax
email galena@galena-engineering.com

PHOTO EXHIBIT
WARM SPRINGS CREEK SEWER CROSSING REPAIR
LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
APPLICANT NAME: CITY OF KETCHUM
WATERBODY: WARM SPRINGS CREEK

PROJECT INFORMATION

P: \adskproj\1318-188\dwg\Boundary-Plat\404 permit drawing.dwg 8/16/2017 9:22:42 AM MDT

SHT 1 OF 1



LEGEND

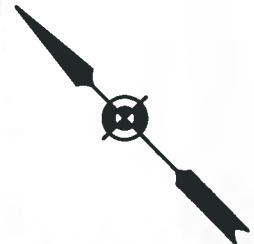
- Property Line
- 5' Contour Interval
- 1' Contour Interval
- MHW - Mean High Water
- 8"S - Existing 8" Sewer Main
- 8"S - Proposed 8" Sleeved Sewer Main
- Existing Sewer Manhole

NOTES

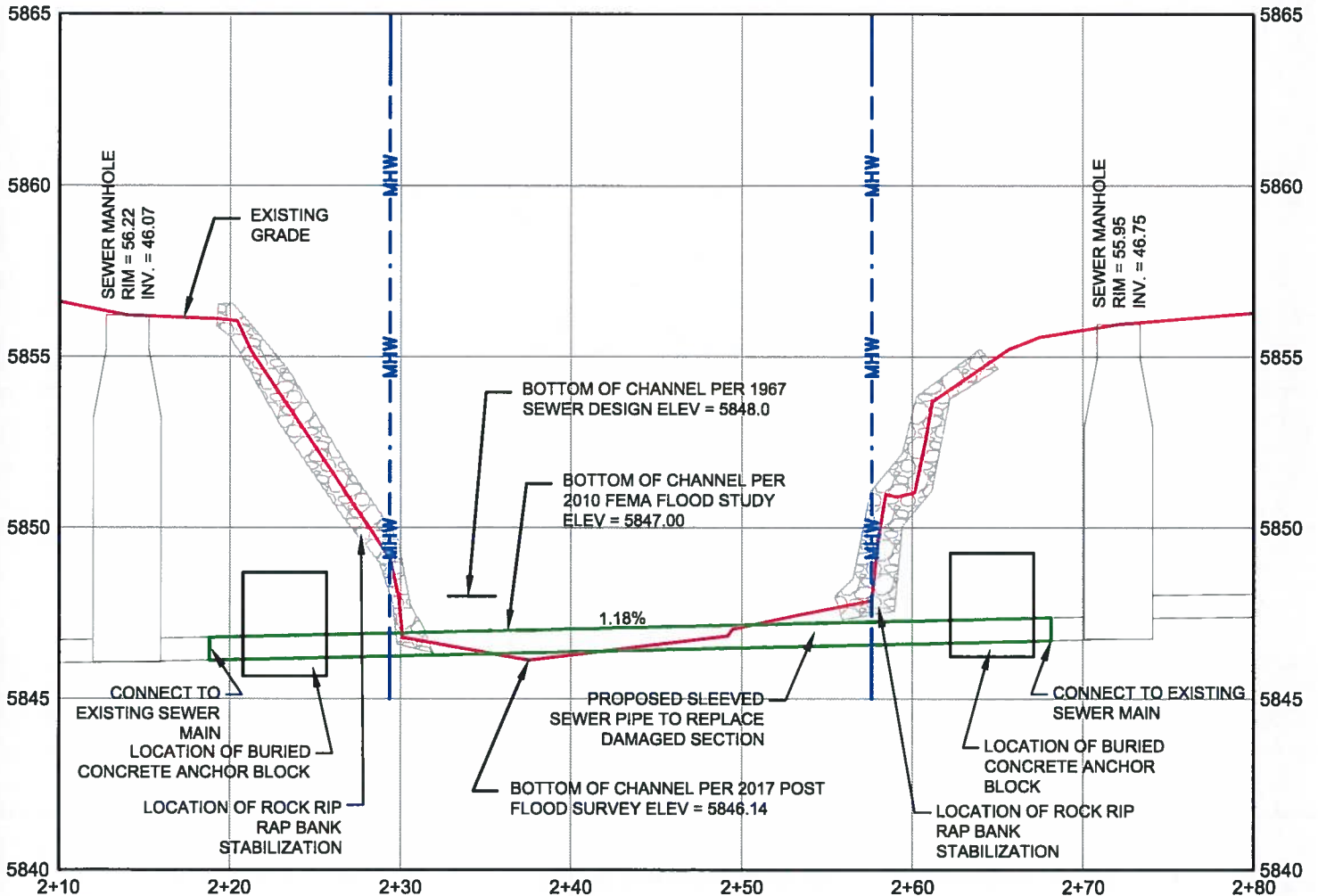
- 1) Approximate length of total rock rip rap bank stabilization work is 15' (7.5' on each bank).
- 2) Approximate volume of rock to be used below ordinary high water is 5 CY.
- 3) Install restorative vegetation (willow cuttings).

GRAPHIC SCALE

1 inch = 10 ft.



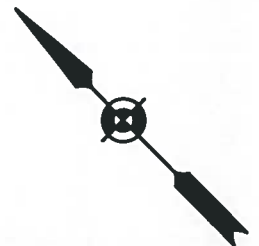
<p>Galena Engineering Inc.</p>	<p>Civil Engineers & Land Surveyors 317 North River Street Halley, Idaho 83333 (208) 788-1705 (208) 788-4612 fax email galena@galena-engineering.com</p>	<p>AN EXHIBIT MAP FOR A JOINT APPLICATION FOR PERMITS WARM SPRINGS CREEK SEWER CROSSING REPAIR LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO APPLICANT NAME: CITY OF KETCHUM WATERBODY: WARM SPRINGS CREEK</p>	
	<p>PROJECT INFORMATION P: \adskpro\1318-166\dwg\Boundary-Plat\404 permit drawing.dwg 8/16/2017 9:22:42 AM MDT</p>		
			<p>SHT 1 OF 1</p>



SEWER PROFILE
SCALE: 1" = 10' H, 1" = 5' V

LEGEND

- Existing Grade/Bottom of Channel
- - - MHW - - - Mean High Water
- Existing Sewer Main and Manhole
- Proposed 8" Sleeved Sewer Main



GRAPHIC SCALE
1 inch = 10 ft.

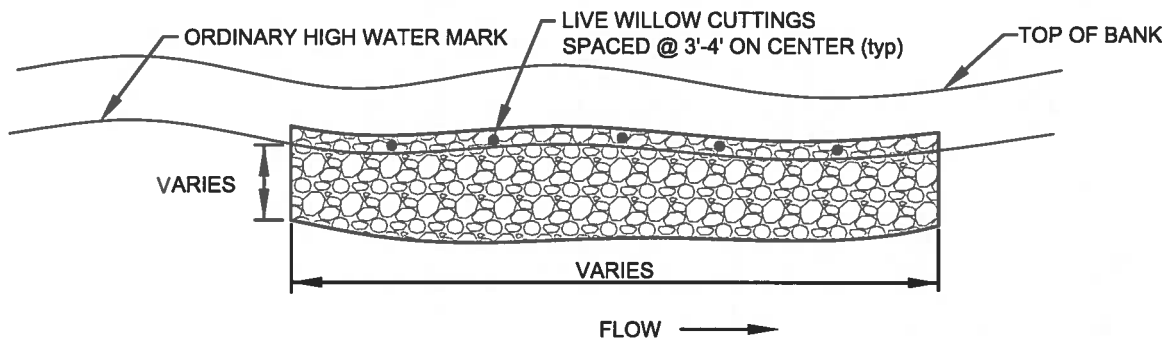
Galena Engineering Inc.

Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(208) 788-1705
(208) 788-4618 fax
email galena@galena-engineering.com

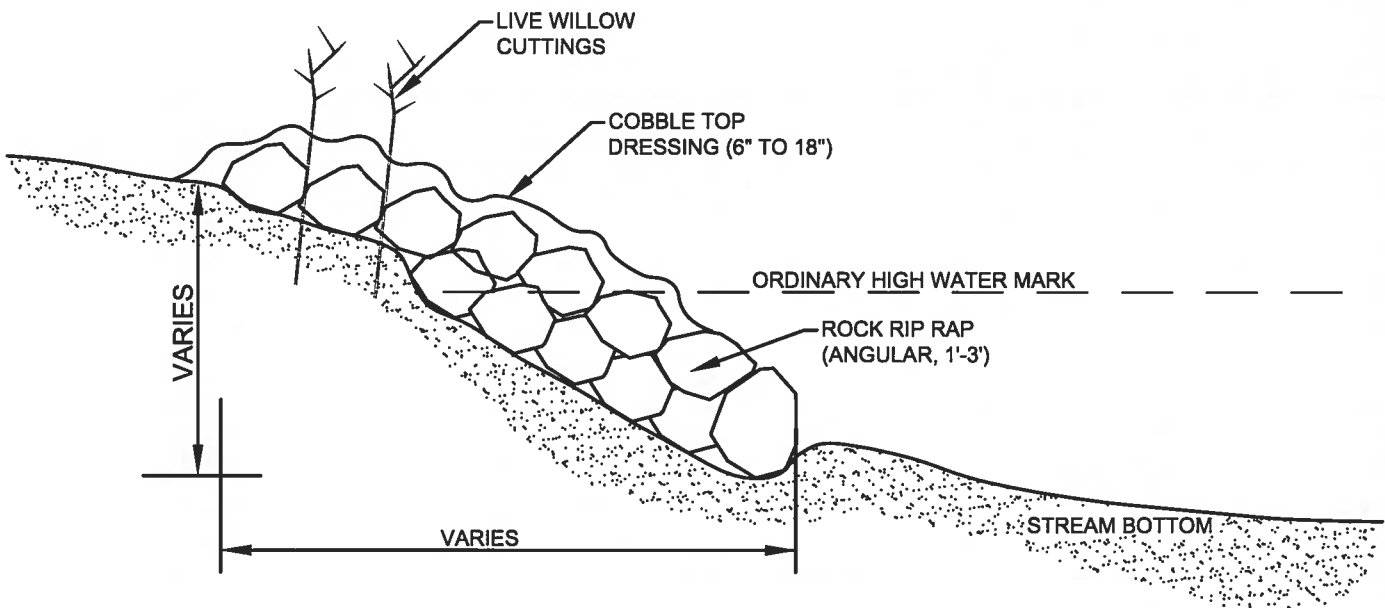
AN CROSS SECTION MAP FOR A JOINT APPLICATION FOR PERMITS
WARM SPRINGS CREEK SEWER CROSSING REPAIR
LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
APPLICANT NAME: CITY OF KETCHUM
WATERBODY: WARM SPRINGS CREEK

PROJECT INFORMATION

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PLAN VIEW
N.T.S.



SECTION VIEW
N.T.S.

NOTES:

- 1) Live willow cuttings to be planted at locations shown above, 3 to 4 feet on center.
- 2) All disturbed areas to be revegetated with native riparian plantings.

ROCK RIP RAP BANK STABILIZATION DETAIL
N.T.S.

**Galena
Engineering
Inc.**

Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(208) 788-1785
(208) 788-4612 fax
email galena@galena-engineering.com

ROCK RIP RAP DETAILS FOR A JOINT APPLICATION FOR PERMITS
WARM SPRINGS CREEK SEWER CROSSING REPAIR
LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
APPLICANT NAME: CITY OF KETCHUM
WATERBODY: WARM SPRINGS CREEK

PROJECT INFORMATION

P:\sdeskproj\1318-188\dwg\Boundary-Plat\404 permit drawing.dwg 8/10/2017 9:17:50 PM MDT

SHT 1 OF 1

Idaho Department of Water Resources Receipt

Receipt ID: C104010

Payment Amount \$40.00 Date Received 8/21/2017 11:41 AM Region STATE
Payment Type Check Check Number 4052
Payer GALENA ENGINEERING INC

Comments JOINT APPLICATION FOR PERMIT FOR CITY OF KETCHUM
20 IS FOR RIVELO PERMIT SENT IN LAST WEEK

Fee Details

Amount	Description	PCA	Fund	Fund Detail	Subsidiary	Object
\$40.00	STREAM CHANNEL PROTECTION FEES	57102	0229	21		1155

SB

Signature Line (Department Representative)

STRUCTURAL SPECIFICATION

GENERAL NOTES

The General Contractor shall verify all existing site conditions and coordinate dimensions among all drawings prior to proceeding with any work or off site fabrication.

Any discrepancies found among the drawings, specifications and notes shall be reported to the Engineer Of Record for clarification.

Contractor to submit a request to Engineer for any substitution of materials or products specified in the contract drawings or specifications.

Stream and Stream Banks shall be protected throughout the construction process as outlined by the Civil Engineering drawings and specifications.

Holes, notching or other penetrations through structural members shall not be permitted without prior Engineer approval.

It is the responsibility of the General Contractor for safety and protection within and adjacent to the job site.

See Civil Engineering Drawings and City Specifications for further information.

DESIGN CODE

Design, construction, and inspection shall conform to the AASHTO 2012 Edition and all Local Codes that may be applicable.

Concrete Design and Placement according to ACI 318-10.

Material test standards referenced shall be the edition referenced in the 2012 IBC.

SOIL & FILL

FOUNDATION/SOILS

Design soil bearing pressure = 3000 psf

All foundations shall bear on firm, undisturbed, drained, granular soil free of organic material. If soil is disturbed, compact soil in maximum 8" deep lifts to 95% maximum dry density per ASTM D698.

Contractor shall notify Engineer if soil conditions are contrary to the assumed design conditions which may require over excavation and placement of structural fill or a lower assumed soil bearing pressure such as clays, silts or organics.

STRUCTURAL FILL

Structural Fill to be GW, GP, SW, or SP soil under the unified classification system. Structural Fill shall consist of 4" minus select, clean, granular soil with no more than 12% passing the #200 sieve.

Fill shall be placed in lifts of no more than 8", moisture conditioned, and compacted to 95% of modified proctor density ASTM D1557.

Structural Fill placed below footings must extend laterally outside the perimeter of the footing for a distance equal to the thickness of the fill measured from the bottom of the footing to the underlying undisturbed soil.

Back fill stream bank with native material where disturbed. Compaction of back fill along stream bank shall be done by hand compactors.

CONCRETE & REINFORCEMENT

CONCRETE

Structural concrete shall be of normal weight concrete (145pcf) with a maximum aggregate size of 3/4" conforming to ASTM C 33, and shall meet the following criteria:

MINIMUM 28day COMPRESSIVE STRENGTH, psi	MAXIMUM WATER-CEMENT RATIO (b)	MAXIMUM SLUMP, inches (a)	AIR-ENTRAINMENT PERCENT $\pm 1.5\%$	CEMENT TYPE
4500	.45	4	6	II

a) Maximum slump based on maximum water-cementitious ratio. Mid and high range water reducing agents can be used to increase slump beyond these maximums with approval of Engineer.

b) Water shall not be added at the job site such that the water-cementitious ratio is exceeded.

CONCRETE BATCHING, MIXING, TRANSPORTATION, PLACEMENT, CONSOLIDATION, HOT & COLD WEATHER PROTECTION

Concrete Batching, mixing, and transportation shall conform to ACI 304R.

Cement to conform to ASTM C 150.

Aggregates to conform to ASTM C 33.

Water shall conform to ACI 318-34.

Placing of concrete shall conform to ACI 304R and ACI 318-5.10.

Rumping of concrete shall conform to ACI 304.2R.

No more than 90 minutes shall elapse between batching and placement of concrete.

Form work shall conform to ACI 347R and ACI 318-6.1.

Reinforcing steel and Embedded items shall be clean and free of foreign debris and be tied securely in place and care taken not to displace during concrete placement.

Conduits and Pipes shall not be embedded in concrete without Engineers written approval.

Consolidation of concrete shall conform to ACI 309R. The unconfined fall of concrete shall not exceed 5'-0".

Hot weather concreting shall conform to ACI 305R.

Cold weather concreting shall conform to ACI 306R.

Concrete shall not be placed on disturbed soil, frozen soil, or placed in water.

Forms shall not be stripped from walls and footings until concrete strength reaches a minimum of 1000psi. Forms supporting suspended slabs shall not be stripped until full 28day specified compressive strength is achieved.

REINFORCING STEEL

Reinforcing steel shall conform to ASTM A615, grade 60. Welded Wire Fabric shall conform to ASTM A185. Reinforcing steel shall be detailed, fabricated, and placed in accordance with ACI 315 and ACI 318.

Reinforcement and deformed bar anchors shall be welded shall be A706 weldable or prior approved equal. Welding of rebar to be approved by Engineer. Welding shall conform to AWS D1.4 standards.

LAP SPICES

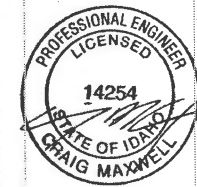
Unless otherwise noted, lap splices shall be minimum 48 x bar diameter.

Reinforcement concrete cover requirements, unless otherwise noted in drawings, as follows:

- | | |
|-----------------------------|----|
| (1) Cast against earth | 3" |
| (2) Cast against form | 2" |
| Exposed to earth or weather | 2" |

ISSUE DATE
PERMIT SET: SEPTEMBER 06, 2017

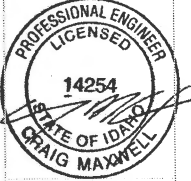
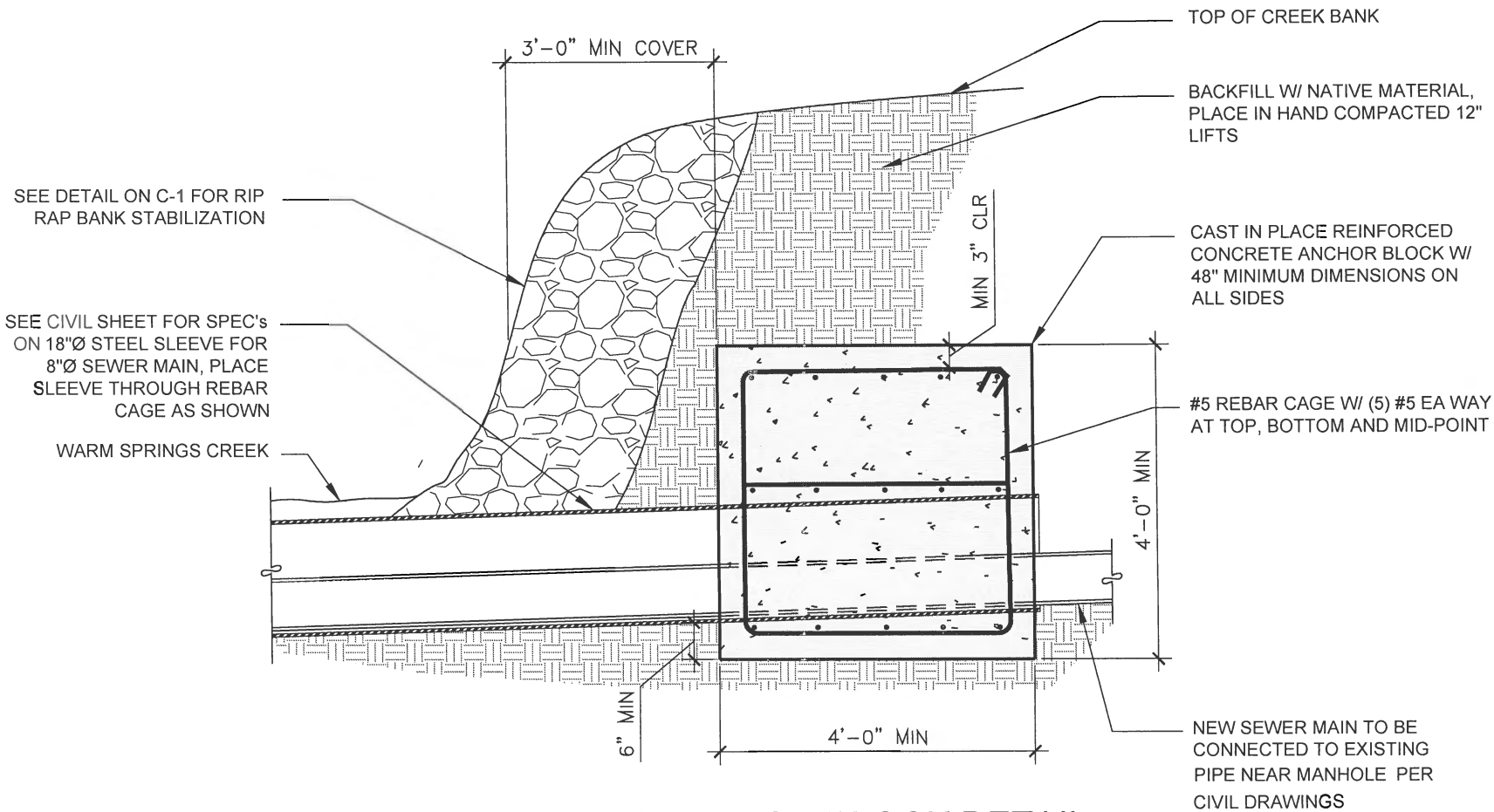
WARM SPRINGS CREEK
SEWER CROSSING REPAIR
ASPEN DRIVE
KETCHUM, IDAHO



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S1.0

WARM SPRINGS CREEK
 SEWER CROSSING REPAIR
 ASPEN DRIVE
 KETCHUM, IDAHO



MAXWELL
 STRUCTURAL DESIGN & CONSTRUCTION
 1025 Lewis Street, Unit 209 • Ketchum, Idaho 83430
 P.O. Box 1511 • Sun Valley, Idaho 83353
 Craig Maxwell, P.E. License # 14254
 www.maxwellid.com

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S2.0

1

CONCRETE ANCHOR BLOCK DETAIL

SCALE: 3/4" = 1'-0"

September 7, 2017

Brittany Skelton, Floodplain Manager
City of Ketchum
480 East Avenue North
Ketchum, ID 83340

RE: No Rise Statement - Aspen Drive Warm Springs Creeks Sewer Crossing Repair

Dear Brittany:

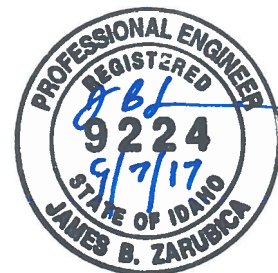
This letter is acknowledgement that we have visited the site and reviewed the plans for the proposed repair of the Warm Springs Creek sewer main crossing.

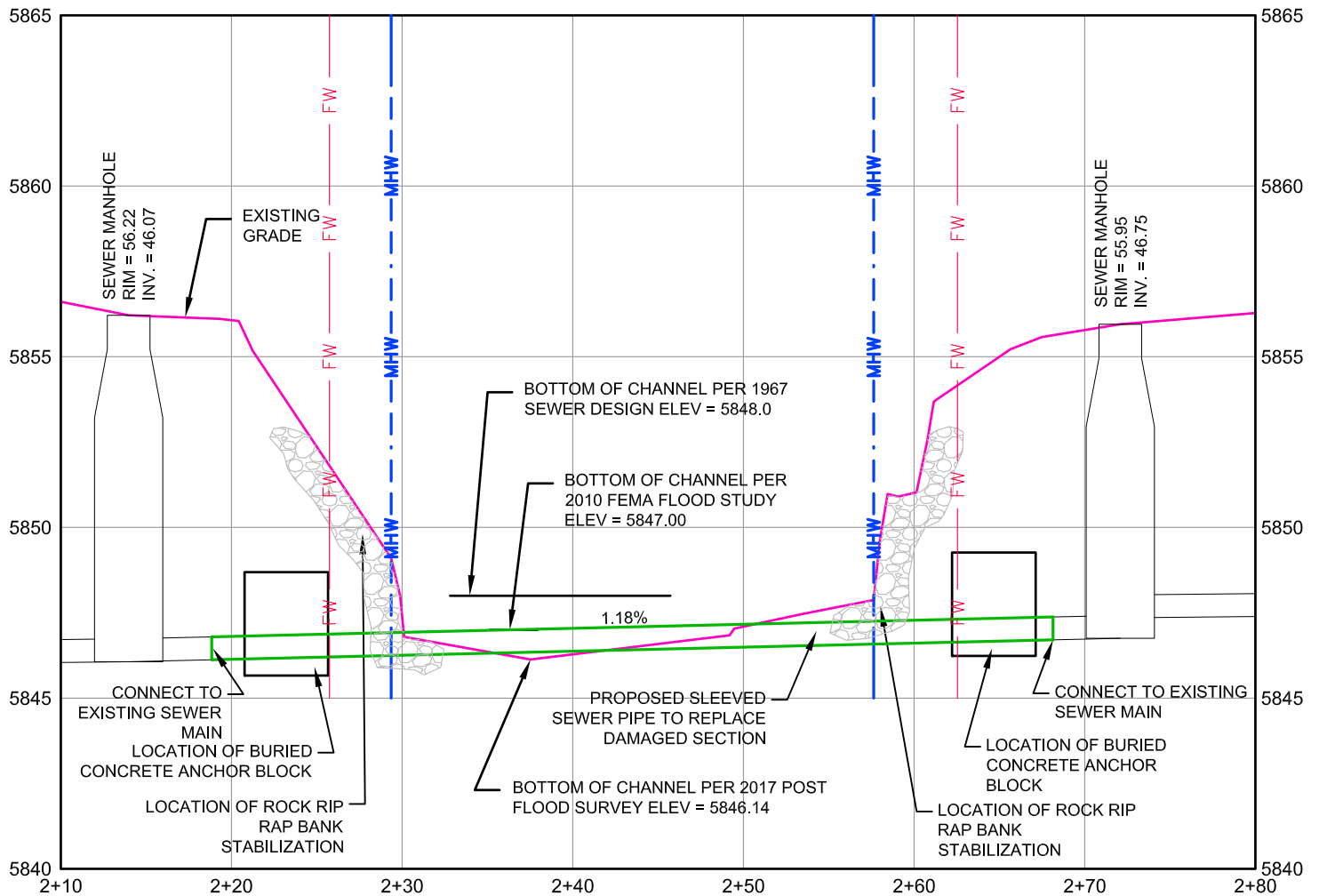
The project consists of replacing a sewer main that was damaged during May 2017 flooding. The plans show replacing the sewer main in the exact same location where it was originally constructed. No fill within the FEMA floodway is proposed as part of this action; therefore, there will be no rise in flood elevations as a result of this project.

As long as the bank is reconstructed in its existing location, no additional material is placed within the channel, and the channel cross-sectional area remains larger than the studied channel, the hydraulic conveyance of the channel will not be reduced and there will not be an increase in the water surface flood elevations, floodway elevations, and floodway widths. No adverse impacts on other property or persons are foreseen as a result of this action. While no warranty or guarantee can be provided that the adjacent properties will not be negatively impacted by the random forces at work along the river, historically these projects have little effect outside of the immediate project area. If you have any questions or require additional information, please do not hesitate to call.

Sincerely,


Jim Zarubica, P.G., P.E., CFM

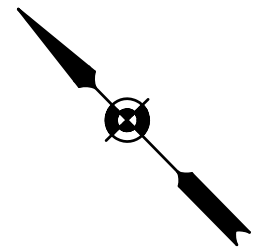




SEWER PROFILE
SCALE: 1" = 10' H, 1" = 5' V

LEGEND

- Existing Grade/Bottom of Channel
- - - MHW Mean High Water
- FW Floodway Line
- Existing Sewer Main and Manhole
- Proposed 8" Sleeved Sewer Main



GRAPHIC SCALE
1 inch = 10 ft.

Galena Engineering Inc.

Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(208) 788-1705
(208) 788-4612 fax
email galena@galena-engineering.com

A CROSS SECTION MAP FOR A JOINT APPLICATION FOR PERMITS
WARM SPRINGS CREEK SEWER CROSSING REPAIR
LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
APPLICANT NAME: CITY OF KETCHUM
WATERBODY: WARM SPRINGS CREEK

PROJECT INFORMATION

P: \sdsproj\1318-166\dwg\Boundary-Plat\404 permit drawing.dwg 9/9/2017 8:27:51 AM MDT

From: Balthasar.Buhidar@deq.idaho.gov
To: Sarah.Shaul@idwr.idaho.gov
Cc: Robert.A.Brochu@usace.army.mil; [Brittany Skelton](mailto:Brittany.Skelton@idwr.idaho.gov); Aaron.Golart@idwr.idaho.gov; Balthasar.Buhidar@deq.idaho.gov
Subject: RE: Joint Application - City of Ketchum - Warm Springs Creek
Date: Wednesday, September 06, 2017 9:39:04 PM
Importance: High

In reviewing the Sewer Profile it appears that a portion of the pipe will reside underneath the channel substrate and a portion will be exposed on the substrate at a 1.18% slope. The rip rap will only be used to stabilize the the stream channel immediately above the buried concrete anchor blocks on both sides of the stream.

Warm Springs is a high quality water that has undergone significant water quality degradation due to the effects of wildfire and more recently flooding.

No one can deny that the proposed project is necessary. However, the new pipe should have some level of protection beyond just to "lay pipe across creek". Exposure of the existing pipe does not appear to be a sufficient reason to follow suit with the new pipe in similar fashion. Would not the same issue reoccur?

Please provide an explanation that "no mitigation is proposed because the impacts are minimal to the aquatic environment" (Block 18). Please provide an explanation that supports this. There needs to be a reasonable assurance that the project activity will not violate the water quality standards for suspended sediment and turbidity of Warm Springs.

Sent from my Verizon 4G LTE smartphone

----- Original message -----

From: "Shaul, Sarah" <Sarah.Shaul@idwr.idaho.gov>
Date: 9/6/17 14:21 (GMT-07:00)
To: Balthasar Buhidar <Balthasar.Buhidar@deq.idaho.gov>
Cc: "Brochu, Robert A NWW" <Robert.A.Brochu@usace.army.mil>, bskelton@ketchumidaho.org, "Golart, Aaron" <Aaron.Golart@idwr.idaho.gov>
Subject: Joint Application - City of Ketchum - Warm Springs Creek

Sonny,

Find attached a Joint Application for Permits (IDWR #S37-20472) from the City of Ketchum proposing the repair of a city sewer main crossing along Warm Springs Creek. Please note: the application does not mention trenching for the pipe installation but seems to propose laying the pipe directly on the streambed.

Aaron is traveling to Ketchum tomorrow to visit various stream channel alteration sites, including this one, if necessary. If you could ***please provide your comments by close of business today***, so he can have them available at a potential visit and/or meeting, that would be appreciated. You can email your comments to me and/or Aaron.

Best Regards,

Sarah Shaul

Technical Records Specialist

sarah.shaul@idwr.idaho.gov

208-287-4958

Idaho Department of Water Resources (IDWR)

322 E. Front Street

P.O. Box 83720

Boise, ID 83720-0098

208-287-4800

www.idwr.idaho.gov



City of Ketchum
Public Works

September 8, 2017

Balthasar Buhidar
DEQ Twin Falls Regional Office
650 Addison Avenue West, Suite 110
Twin Falls, ID 83301

Subject: City Joint Application (IDWR #S37-20472)
City of Ketchum – Warm Springs Creek

Dear Mr. Balthasar Buhidar,

During the May 2017 flooding event an existing City of Ketchum sewer main crossing Warm Springs Creek was severely damaged and requires immediate repair to provide permanent service to the existing homes located across the creek on Aspen Drive. The City of Ketchum has been working extensively with Galena Engineers to determine the most appropriate method for repair, protection, and longevity of the pipe. The City understands DEQ's concerns and would like to provide the following responses to your questions.

No one can deny that the proposed project is necessary. However, the new pipe should have some level of protection beyond just to "lay pipe across creek". Exposure of the existing pipe does not appear to be a sufficient reason to follow suit with the new pipe in similar fashion. Would not the same issue reoccur?

Due to the exigency of the pipe repair and stream alteration permitting timeframes the City of Ketchum intends to phase this project. The first phase of the project will be to repair the pipe and provide the community with needed services prior to the onset of winter. The second phase of the project would re-establish the stream bed to flood study elevations and provide an additional 2'-3' of cover over the sleeved pipe.

The original sewer main appeared to be an asbestos cement (AC) pipe sleeved within a split section of steel pipe (i.e. 2 pipes) which was covered by a concrete cap with no structural reinforcement. The proposed sleeved pipe will be placed as one section, with structural pipe anchors and more pipe embedded in the stabilized stream bank providing more protection from the previous pipe failure.

Please provide an explanation that "no mitigation is proposed because the impacts are minimal to the aquatic environment" (Block 18). Please provide an explanation that supports this. There needs to be a reasonable assurance that the project activity will not violate the water quality standards for suspended sediment and turbidity of Warm Springs.

City of Ketchum – Warm Springs Creek

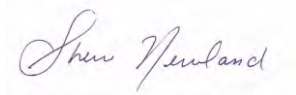
September 8, 2017

Page 2 of 2

For Phase 1 the construction activity is scheduled to occur during a period of low stream flow therefore no additional mitigation was proposed. A turbidity monitoring plan can be provided.

The City appreciates your time. If you have any additional questions please don't hesitate to contact me at (208) 861-7593.

Thank you,

A handwritten signature in cursive script that reads "Sherri Newland". The signature is written in black ink on a light-colored background.

Sherri Newland, PE

City Engineer

City of Ketchum



City of Ketchum
Public Works

September 22, 2017

Idaho Department of Water Resources
Attn: Aaron Golart
322 East Front Street
Boise, ID 83702

Subject: City Joint Application (IDWR #S37-20472)
City of Ketchum – Warm Springs Creek
Aspen Drive Emergency Sewer Repair

Dear Mr. Golart,

The City appreciates you taking the time to visit the Aspen Drive Emergency Sewer Repair Project location on September 15, 2017. During our on-site meeting IDWR requested information related to construction means and methods of measuring turbidity, dewatering of the project area, and erosion and sediment control best management practices (BMP's). In addition, IDWR requested information on the City's methods for monitoring the pipe following construction until the second phase of the project is constructed.

General Construction Methods

The following general construction guidelines will apply to this project.

- Construction will be performed during periods of lowest sensitivity,
- Trenching will be done perpendicular to the stream,
- Standard erosion and sediment control measures will be used, and spill prevention best management practices will be followed during construction,
- Debris accidentally introduced into streams will be promptly removed,
- Streambanks, vegetation, and streambeds will be restored immediately after construction. (Bank restoration is particularly important in shallowly incised streams with low banks, to prevent channel migration).

The contractor proposes to install a temporary bridge constructed utilizing 2'x2'x8' concrete blocks space every 8' across the creek with steel trench plates over the top of the blocks. Construction of the project will be done utilizing an open -wet-trench method. The pipe installed across the creek will be one solid piece placed by an excavator or crane and held in place with concrete blocks temporarily until the concrete anchors are completed. Following completion of the concrete anchors backfill and clean rip rap will be placed and the temporary bridge removed.

Construction Turbidity Monitoring

Immediately prior to construction ambient background turbidity tests will be taken 100'

upstream/up-gradient of the project area. At the commencement of construction activities that have a potential to create turbidity, turbidity monitoring will be initiated. Once sampling commences it continue twice daily until activities that have a potential to create turbidity are completed or as directed by City Staff. Construction turbidity tests will be taken 100' downstream of the project area. If over a 10% increase in background turbidity is measured construction operations will temporarily cease until background turbidity levels are measured. All turbidity results will be recorded in a site log book in Nephelometric Turbidity Units (NTU). Testing will be done with a calibrated HACH 2100Q turbidimeter, or approved equal, and verified by City Staff.

Visual Observation and Sample Collection Exemptions:

- During dangerous weather conditions such as flooding and electrical storms.
- Outside of scheduled site business hours.

Construction Site Dewatering

A combination of cofferdams and pumping will be used for dewatering. Cofferdams will divert water away from work areas. A dewatering pump will be used during excavation near the manholes for worker safety. The following methods will be utilized when using a pump:

- Water will not be pumped directly onto bank slopes
- Dewatering activities will be directed to a wooded area within the City's easement

A sandbag cofferdam will be used for low flow work on the southern bank while a jersey barrier cofferdam or small bank barb may be used for work on the northern bank. The cofferdams and barb would be removed at the end of the project.

Construction Erosion and Sediment Control

Material storage/stock piles will occur on top of banks or within the City's Right-of-Way and will not be placed within the stream channel. Silt fencing shall be installed around stock piles to contain silt and soils around the areas of excavation that take place to access the existing sewer lines and shall remain in place until all excavation and backfill is completed. All equipment will be monitored daily for leaks. A spill kit will be kept on site. Daily inspections will be performed on BMP's. BMP repair will occur immediately if needed

Pipe Monitoring Following Construction

Monitoring of the newly repaired emergency line will be performed three ways.

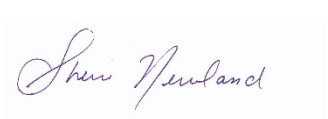
- During times of runoff or highwater City Utility crews will visually inspect the creek and manholes from both sides. Increased flows within the manholes will trigger a video check of the line with the City owned camera.
- A second method will be to monitor the incoming influent flows at the Waste Water Treatment Plant. Any spike in flows that cannot be accounted for will trigger visual and video inspection.

City of Ketchum – Warm Springs Creek
September 22, 2017

- This section of pipe will be videoed on a regular cycle with flow inspections of the downstream Georgia manhole will be performed daily for the first two weeks and then weekly for the next month or until the City is comfortable with the integrity of the repair

If you have any additional questions regarding this letter please don't hesitate to contact me at (208) 861-7593.

Thank you,

A handwritten signature in blue ink that reads "Sherri Newland". The signature is written in a cursive style.

Sherri Newland, PE
City Engineer
City of Ketchum

Brittany Skelton

From: Sherri Newland <snewland@sandcassociates.com>
Sent: Monday, October 02, 2017 2:55 PM
To: Brittany Skelton; Aaron.Golart@idwr.idaho.gov
Subject: Re: City of Ketchum - Aspen Drive/Warm Springs Creek sewer line
Attachments: Ketchum Aspen Drive Emergency Sewer Repair_Civil Drawing_090517.pdf

Aaron-

Attached are the construction drawings. To prevent the removal of mature landscaping and multiple encroachments the City was negotiating with an adjacent landowner to access the site via their property, which is shown on the the attached drawing. The adjacent landowner has denied the City use of a temporary construction easement therefore the City will utilize the existing utility easements to access the work. The original application (IDWR #S37-20472) has not changed though as a result of this access change.

If you have any additional questions, please don't hesitate to contact me.

Take care,
Sherri Newland, PE
208.861.7593

On Fri, Sep 22, 2017 at 4:33 PM, Brittany Skelton <BSkelton@ketchumidaho.org> wrote:

Aaron, Rob, James and Sonny,

Attached is a letter prepared by Ketchum's City Engineering, Sherri Newland, addressing construction means and methods of measuring turbidity, dewatering of the project area, and erosion and sediment control best management practices (BMP's). This is in reference to Joint Application IDWR #S37-20472.

If you have any additional questions Sherri can be contacted at [\(208\) 861-7593](tel:2088617593).

Thank you,

Brittany

BRITTANY SKELTON | CITY OF KETCHUM

SENIOR PLANNER

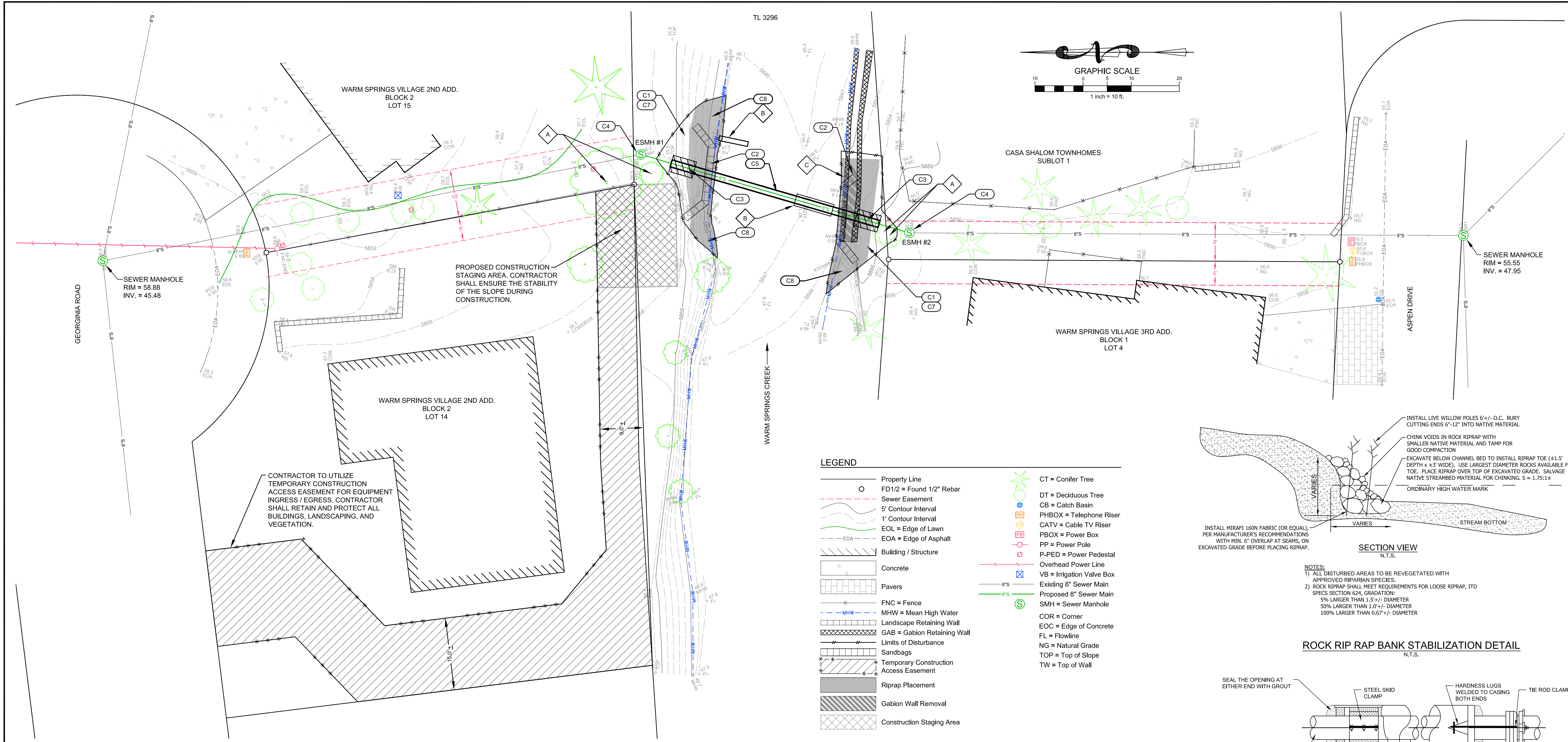
P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

office: [208-726-7801](tel:208-726-7801) | direct. [208-727-5085](tel:208-727-5085)

bskelton@ketchumidaho.org | www.ketchumidaho.org



Virus-free. www.avg.com

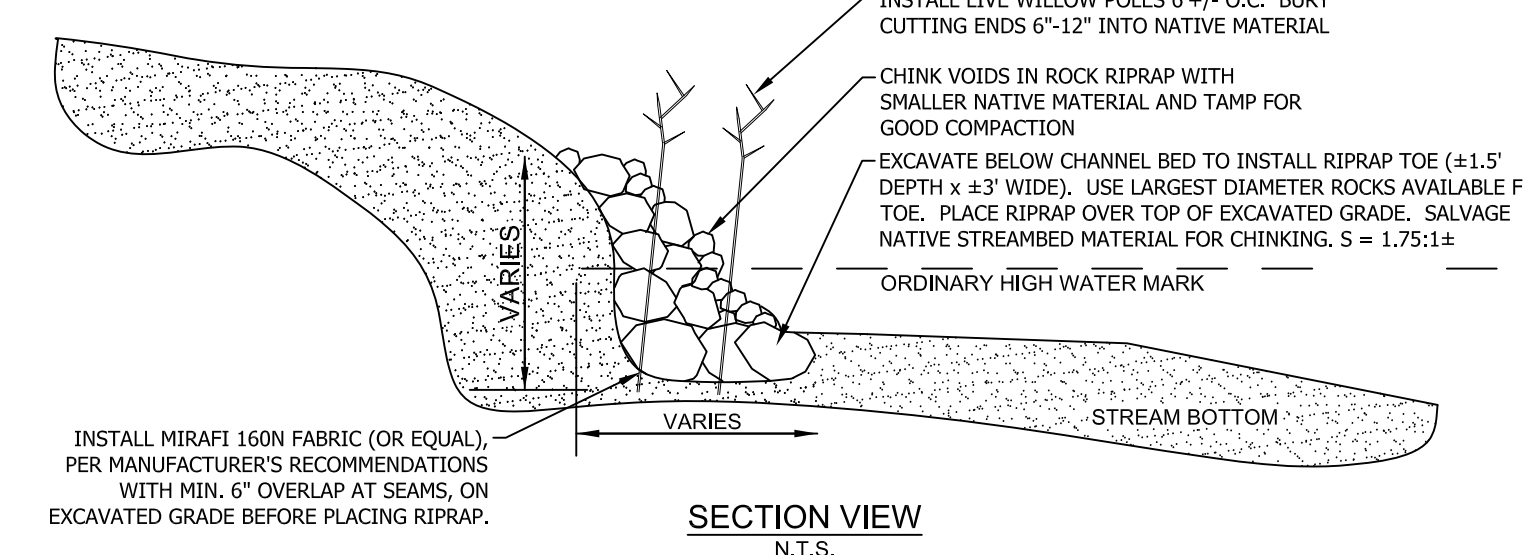


PROPOSED CONSTRUCTION STAGING AREA. CONTRACTOR SHALL ENSURE THE STABILITY OF THE SLOPE DURING CONSTRUCTION.

CONTRACTOR TO UTILIZE TEMPORARY CONSTRUCTION ACCESS EASEMENT FOR EQUIPMENT INGRESS / EGRESS. CONTRACTOR SHALL RETAIN AND PROTECT ALL BUILDINGS, LANDSCAPING, AND VEGETATION.

LEGEND

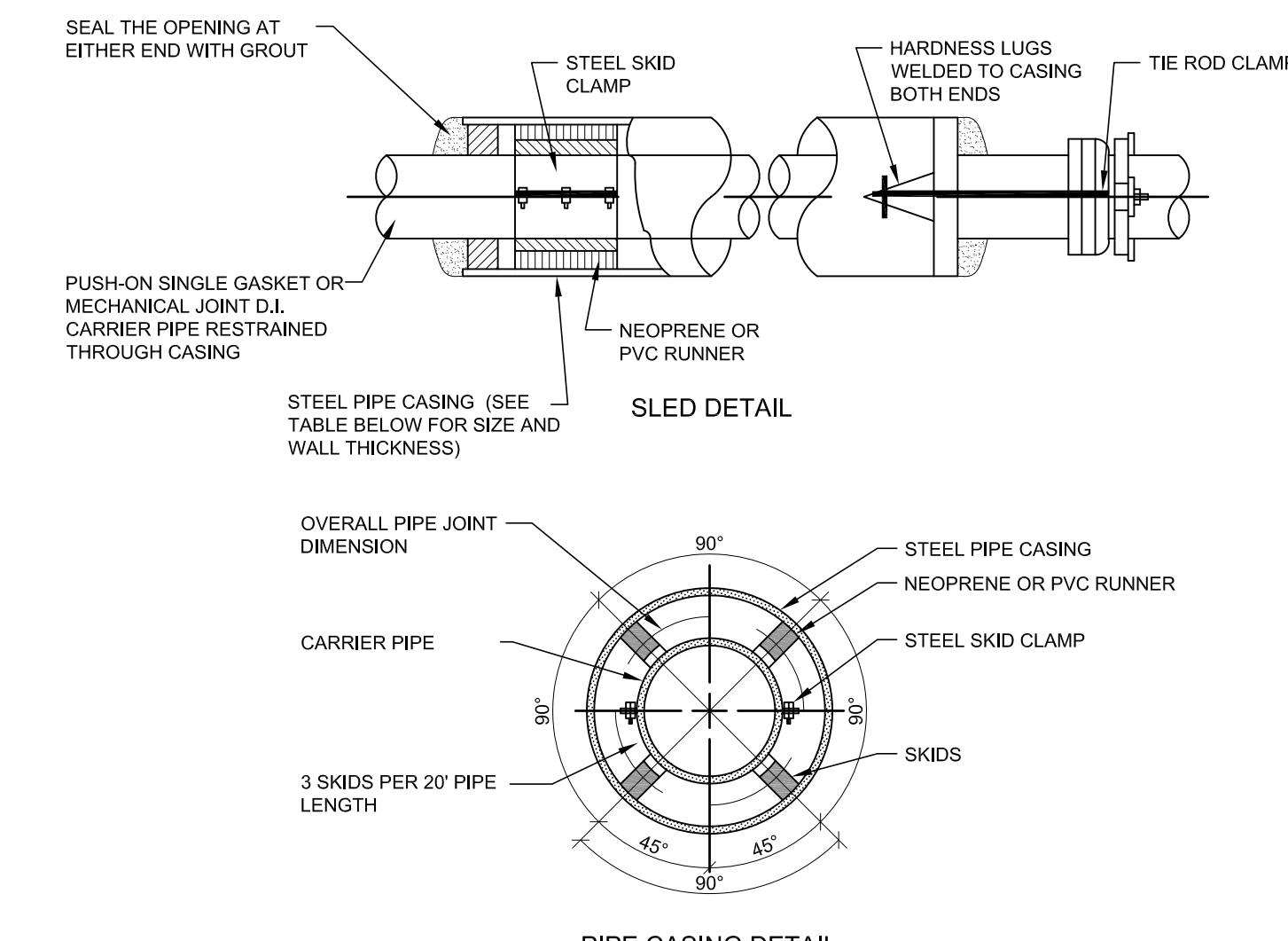
- Property Line
- FD1/2 = Found 1/2" Rebar
- Sewer Easement
- 5' Contour Interval
- 1' Contour Interval
- EOL = Edge of Lawn
- EOA = Edge of Asphalt
- Building / Structure
- Concrete
- Pavers
- FNC = Fence
- MHW = Mean High Water
- Landscape Retaining Wall
- GAB = Gabion Retaining Wall
- Limits of Disturbance
- Sandbags
- Temporary Construction Access Easement
- Riprap Placement
- Gabion Wall Removal
- Construction Staging Area
- ★ CT = Conifer Tree
- DT = Deciduous Tree
- CB = Catch Basin
- PHBOX = Telephone Riser
- CATV = Cable TV Riser
- PBOX = Power Box
- PP = Power Pole
- P-PED = Power Pedestal
- Overhead Power Line
- VB = Irrigation Valve Box
- Existing 8" Sewer Main
- Proposed 8" Sewer Main
- SMH = Sewer Manhole
- COR = Corner
- EOC = Edge of Concrete
- FL = Flowline
- NG = Natural Grade
- TOP = Top of Slope
- TW = Top of Wall



SECTION VIEW N.T.S.

- NOTES:
- 1) ALL DISTURBED AREAS TO BE REVEGETATED WITH APPROVED RIPARIAN SPECIES.
 - 2) ROCK RIPRAP SHALL MEET REQUIREMENTS FOR LOOSE RIPRAP, LTD SPEC'S SECTION 624. GRADATIONS: 5% LARGER THAN 1.5" +/- DIAMETER, 50% LARGER THAN 1.0" +/- DIAMETER, 100% LARGER THAN 0.67" +/- DIAMETER

ROCK RIP RAP BANK STABILIZATION DETAIL
N.T.S.



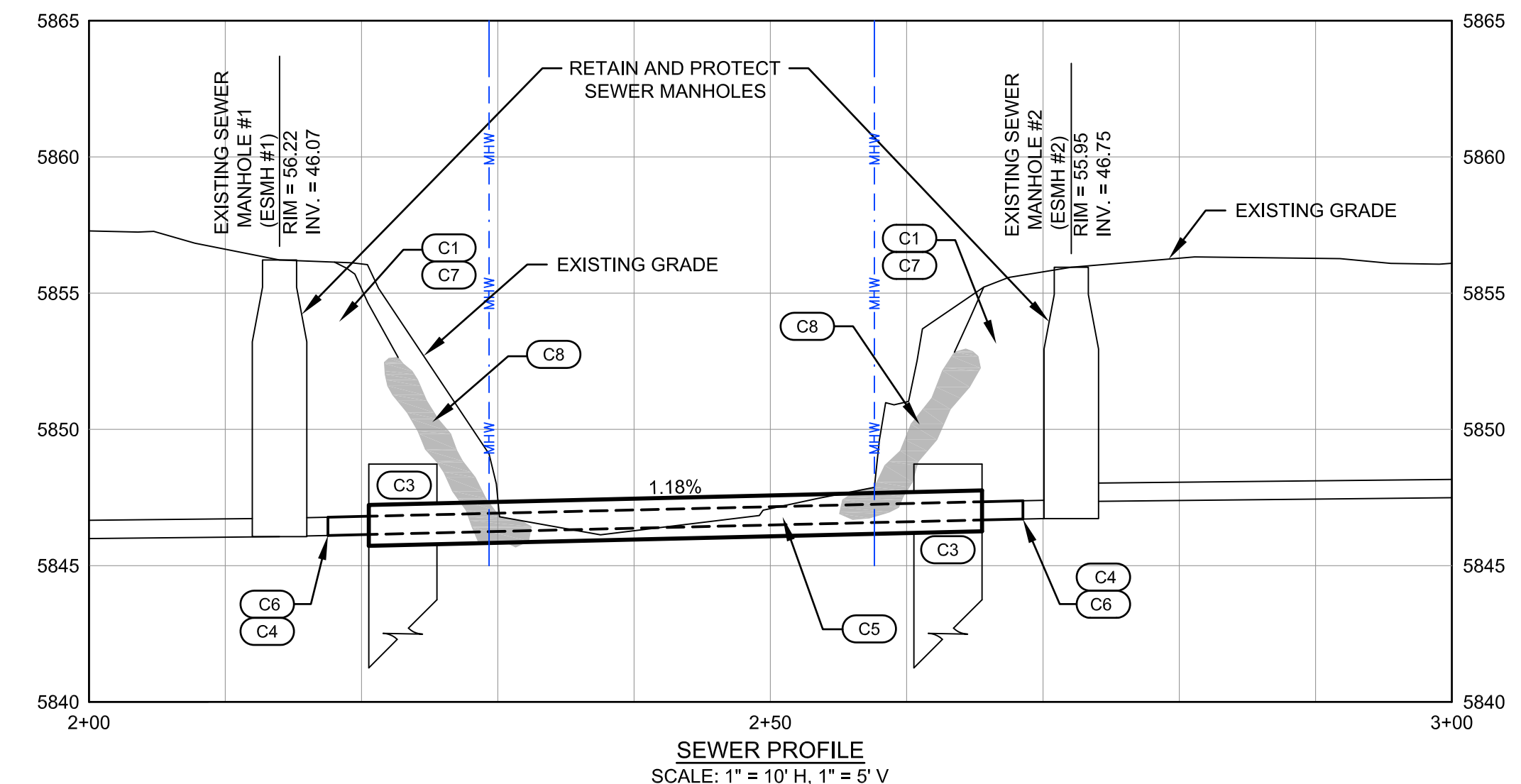
- NOTES:
1. CONTRACTOR SHALL VERIFY AND SUBMIT SHOP DRAWINGS FOR PIPE CASING SPACERS AND SLEEVE SIZE PRIOR TO CONSTRUCTION.
 2. ANNULAR SPACE SHALL BE FILLED WITH SAND, GROUT, OR 3/8" GRAVEL AND GROUT SHALL BE USED TO SEAL THE OPENING AT EITHER END NEAR THE CARRIER PIPE TERMINATION POINT.
 3. ALL WORK SHALL CONFORM TO ISPPWC SD-307.

CARRIER PIPE NOMINAL Ø	CASING PIPE	
	MIN. O.D.	MIN. WALL THICKNESS
4"	12"	0.375"
6"	16"	0.375"
8"	18"	0.375"
12"	22"	0.375"
16"	28"	0.406"
20"	32"	0.469"

PIPE CASING DETAIL N.T.S.

CONSTRUCTION SCHEDULE

- ⬡ REMOVE AND DISPOSE OF TREE
- ⬡ REMOVE AND DISPOSE OF EXISTING LOOSE CONCRETE CAPS
- ⬡ REMOVE AND DISPOSE OF PORTION OF EXISTING GABION WALLS; CUT WIRE ONLY AT GABION BASKET JOINT TO RETAIN STRUCTURAL INTEGRITY OF REMAINING GABIONS
- ⬡ EXCAVATE EXISTING BANK TO EXPOSE EXISTING SEWER PIPE
- ⬡ INSTALL TEMPORARY SANDBAG BARRIER
- ⬡ INSTALL PIPE ANCHOR PER STRUCTURAL PLANS
- ⬡ CUT EXISTING ASBESTOS CEMENT PIPE; RETAIN AND PROTECT EXISTING MANHOLE
- ⬡ INSTALL 50 L.F. OF 8" C900 PVC SEWER MAIN IN 45 L.F. OF 18" STEEL PIPE-SEE DETAIL THIS SHEET
- ⬡ CONNECT NEW PVC SEWER MAIN TO EXISTING ASBESTOS CEMENT SEWER MAIN WITH ROMAC COUPLER, OR EQUAL
- ⬡ BACKFILL EXCAVATED AREA WITH SUITABLE NATIVE MATERIAL
- ⬡ PLACE RIPRAP STREAM BANK PROTECTION PER DETAIL THIS SHEET



CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CITY OF KETCHUM AND IDAHO DEPARTMENT OF WATER RESOURCE STANDARDS, AND THE MOST CURRENT EDITIONS OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPPWC), THE IDAPA WASTEWATER RULES, AND THE IDAPA IDAHO RULES FOR PUBLIC WATER SYSTEMS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
4. THE CONTRACTOR SHALL PRESSURE TEST ALL SEWER MAINS AND SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "SUN VALLEY WATER AND SEWER DISTRICT STANDARDS" AND "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION".
5. ALL SEWER MAINS AND SEWER SERVICES SHALL BE CONSTRUCTED OF PVC PIPE CONFORMING TO ASTM D3034 SDR 35. MINIMUM PIPE DIAMETER FOR GRAVITY SEWER MAINS SHALL BE 8-INCHES. MINIMUM SLOPE FOR 8-INCH SEWER MAIN SHALL BE 0.4%. INSTALL PIPE AT SLOPES INDICATED ON PLANS.

SEWER MAIN PLAN AND PROFILE

WARM SPRINGS CREEK CROSSING NEAR GEORGIA RD, CUL-DE-SAC

PREPARED FOR THE CITY OF KETCHUM

PROJECT INFORMATION
P:\ask\proj\1318-166\dwg\Construction\1318-166Construction.dwg 9/6/2017 12:56:33 PM MDT

DESIGNED BY: _____
 CTSF
 DRAWN BY: _____
 JZ
 CHECKED BY: _____

REUSE OF DRAWINGS
 These drawings, or any portion thereof, shall not be used on any project or extension of this project except by permission of Galena Engineering, Inc.

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 Hailey, Idaho 83433
 (208) 788-1705
 (208) 788-4612 fax
 email galena@galena-engineering.com

NO. DATE BY REVISIONS

C-1

STRUCTURAL SPECIFICATION

GENERAL NOTES

The General Contractor shall verify all existing site conditions and coordinate dimensions among all drawings prior to proceeding with any work or off site fabrication.

Any discrepancies found among the drawings, specifications and notes shall be reported to the Engineer Of Record for clarification.

Contractor to submit a request to Engineer for any substitution of materials or products specified in the contract drawings or specifications.

Stream and Stream Banks shall be protected throughout the construction process as outlined by the Civil Engineering drawings and specifications.

Holes, notching or other penetrations through structural members shall not be permitted without prior Engineer approval.

It is the responsibility of the General Contractor for safety and protection within and adjacent to the job site.

See Civil Engineering Drawings and City Specifications for further information.

DESIGN CODE

Design, construction, and inspection shall conform to the AASHTO 2012 Edition and all Local Codes that may be applicable.

Concrete Design and Placement according to ACI 318-10.

Material test standards referenced shall be the edition referenced in the 2012 IBC.

SOIL & FILL

FOUNDATION/SOILS

Design soil bearing pressure = 3000 psf

All foundations shall bear on firm, undisturbed, drained, granular soil free of organic material. If soil is disturbed, compact soil in maximum 8" deep lifts to 95% maximum dry density per ASTM D698.

Contractor shall notify Engineer if soil conditions are contrary to the assumed design conditions which may require over excavation and placement of structural fill or a lower assumed soil bearing pressure such as clays, silts or organics.

STRUCTURAL FILL

Structural Fill to be GW, GP, SW, or SP soil under the unified classification system. Structural Fill shall consist of 4" minus select, clean, granular soil with no more than 12% passing the #200 sieve.

Fill shall be placed in lifts of no more than 8", moisture conditioned, and compacted to 95% of modified proctor density ASTM D1557.

Structural Fill placed below footings must extend laterally outside the perimeter of the footing for a distance equal to the thickness of the fill measured from the bottom of the footing to the underlying undisturbed soil.

Back fill stream bank with native material where disturbed. Compaction of back fill along stream bank shall be done by hand compactors.

CONCRETE & REINFORCEMENT

CONCRETE

Structural concrete shall be of normal weight concrete (145pcf) with a maximum aggregate size of 3/4" conforming to ASTM C 33, and shall meet the following criteria:

MINIMUM 28day COMPRESSIVE STRENGTH, psi	MAXIMUM WATER-CEMENT RATIO (b)	MAXIMUM SLUMP, inches (a)	AIR-ENTRAINMENT PERCENT ±1.5%	CEMENT TYPE
4500	.45	4	6	II

a) Maximum slump based on maximum water-cementitious ratio. Mid and high range water reducing agents can be used to increase slump beyond these maximums with Approval of Engineer.

b) Water shall not be added at the job site such that the water-cementitious ratio is exceeded.

CONCRETE BATCHING, MIXING, TRANSPORTATION, PLACEMENT, CONSOLIDATION, HOT & COLD WEATHER

PROTECTION

Concrete Batching, mixing, and transportation shall conform to ACI 304R. Cement to conform to ASTM C 150.

Aggregates to conform to ASTM C 33.

Water shall conform to ACI 318-34.

Placing of concrete shall conform to ACI 304R and ACI 318-5.10.

Pumping of concrete shall conform to ACI 304.2R.

No more than 90 minutes shall elapse between batching and placement of concrete.

Form work shall conform to ACI 347R and ACI 318-6.1.

Reinforcing steel and Embedded items shall be clean and free of foreign debris and be tied securely in place and care taken not to displace during concrete placement.

Conduits and Pipes shall not be embedded in concrete without Engineers written approval.

Consolidation of concrete shall conform to ACI 309R. The unconfined fall of concrete shall not exceed 5'-0".

Hot weather concreting shall conform to ACI 305R.

Cold weather concreting shall conform to ACI 306R.

Concrete shall not be placed on disturbed soil, frozen soil, or placed in water.

Forms shall not be stripped from walls and footings until concrete strength reaches a minimum of 1000psi. Forms supporting suspended slabs shall not be stripped until full 28day specified compressive strength is achieved.

REINFORCING STEEL

Reinforcing steel shall conform to ASTM A615, grade 60. Welded Wire Fabric shall conform to ASTM A185. Reinforcing steel shall be detailed, fabricated, and placed in accordance with ACI 315 and ACI 318.

Reinforcement and deformed bar anchors shall be welded shall be A706 weldable or prior approved equal. Welding of rebar to be approved by Engineer. Welding shall conform to AWS D1.4 standards.

LAP SPLICES

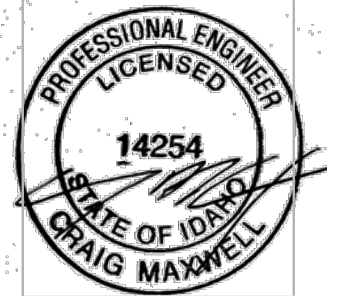
Unless otherwise noted, lap splices shall be minimum 48 x bar diameter.

Reinforcement concrete cover requirements, unless otherwise noted in drawings, as follows:

- | | |
|---|----|
| (1) Cast against earth | 3" |
| (2) Cast against form,
Exposed to earth or weather | 2" |

ISSUE DATE
PERMIT SET: SEPTEMBER 06, 2017

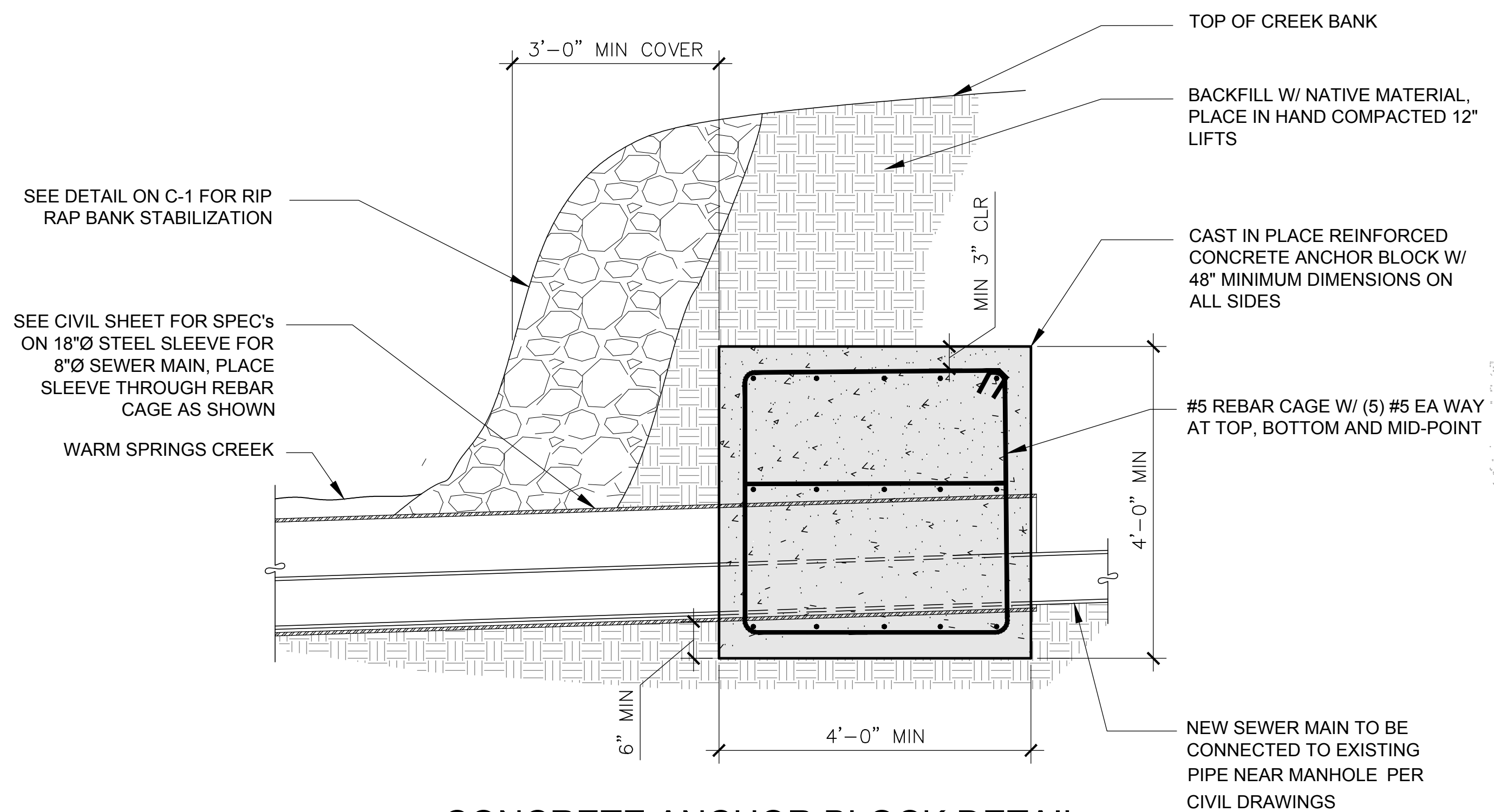
WARM SPRINGS CREEK
SEWER CROSSING REPAIR
KETCHUM, IDAHO
ASPEN DRIVE



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S1.0

WARM SPRINGS CREEK
 SEWER CROSSING REPAIR
 ASPEN DRIVE
 KETCHUM, IDAHO



SEE DETAIL ON C-1 FOR RIP RAP BANK STABILIZATION

SEE CIVIL SHEET FOR SPEC'S ON 18"Ø STEEL SLEEVE FOR 8"Ø SEWER MAIN, PLACE SLEEVE THROUGH REBAR CAGE AS SHOWN

WARM SPRINGS CREEK

TOP OF CREEK BANK

BACKFILL W/ NATIVE MATERIAL, PLACE IN HAND COMPACTED 12" LIFTS

CAST IN PLACE REINFORCED CONCRETE ANCHOR BLOCK W/ 48" MINIMUM DIMENSIONS ON ALL SIDES

#5 REBAR CAGE W/ (5) #5 EA WAY AT TOP, BOTTOM AND MID-POINT

NEW SEWER MAIN TO BE CONNECTED TO EXISTING PIPE NEAR MANHOLE PER CIVIL DRAWINGS

CONCRETE ANCHOR BLOCK DETAIL

1

SCALE: 3/4" = 1'-0"



MAXWELL
 STRUCTURAL DESIGN STUDIO
 CRAIG MAXWELL P.E.
 105 Lewis Street, Unit 205 :: Ketchum, Idaho 83340
 P.O. Box 1911 :: Sun Valley, Idaho 83353
 Craig@maxwellsds.com :: 208.721.2171
 www.maxwellsds.com

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S2.0

Attachment E

Idaho Department of Water Resources approval S37-20472, permit number 17-113



State of Idaho

DEPARTMENT OF WATER RESOURCES

322 East Front Street • P.O. Box 83720 • Boise, Idaho 83720-0098
Phone: (208) 287-4800 • Fax: (208) 287-6700 • Website: www.idwr.idaho.gov

C.L. "BUTCH" OTTER
Governor

GARY SPACKMAN
Director

October 4, 2017

City of Ketchum
C/O Sean Flynn- Galena Engineering, Inc
PO Box 2315
Ketchum, ID 83340

RE: Joint Application for Permit No. S37-20472
Warm Springs Creek- Sewer Crossing Repair

Dear Mr. Flynn:

The Idaho Department of Water Resources (IDWR) has reviewed your above referenced application for a permit to alter Warm Springs Creek and has prepared a decision as provided for in Section 42-3805, Idaho Code. The conditions set forth in this permit are intended to prevent degradation of water quality, protect fish and wildlife habitat, and protect the long-term stability of the stream channel. If you cannot meet the conditions set forth in the permit, please contact this office for further consideration.

Your project has been determined to meet the Stream Channel Alteration Rules, IDAPA 37.03.07 Minimum Standards (Rule 55). You may consider this letter a permit to construct your project according to your attached application, dated August 18, 2017 including diagrams. Project activities include discharging approximately 5 cubic yards of concrete, approximately 5 cubic yards of rock and gravel, and approximately 5 cubic yards of fill to replace an existing city sewer main across Warm Springs Creek and stabilize the bank with riprap. The project location is within Section 11, Township 04 North, Range 17 East, Boise Meridian, Blaine County, Idaho.

Failure to adhere to the conditions as set forth herein can result in legal action as provided for in Section 42-3809, Idaho Code. This project is subject to the following Minimum Standards, Special and General Conditions.

MINIMUM STANDARDS:

These standards are established in the Administrative Rules of the Idaho Water Resources Board; Stream Channel Alteration Rules, IDAPA 37.03.07 dated July 1, 1993 and are enclosed with this permit.

Rule 56 - Construction Procedures

SPECIAL CONDITIONS:

[1] All construction shall be completed in accordance with the descriptions and methods on the attached application and diagrams. This office must approve any changes prior to construction.

[2] All construction activities shall be conducted in such a manner as to minimize turbidity and comply with Idaho water quality standards. Construction shall take place during low flow and to minimize turbidity and protect water quality. No uncured concrete shall come into contact with surface water

[3] Woody stream bank vegetation shall be protected to the extent practical during construction.

[4] Silt fencing or other erosion/sedimentation control measures shall be installed between any area of earth disturbance and the water. Erosion and sediment control measures shall be installed according to the manufacturer's specifications, during construction, and must be maintained until construction is completed and the disturbed ground is revegetated and stable.

[5] All temporary structures, excess excavated material, and vegetative or construction debris shall be disposed of out of the stream channel where it cannot reenter the channel. All construction debris shall be removed from the site and disposed of properly.

[6] All fuel, oil and other hazardous materials shall be stored and equipment refueled away from the stream channel to ensure that a spill will not enter the waterway. Equipment must be free of fuel and lubricant leaks.

[7] Permittee is responsible for all work done by any contractor or sub-contractor and shall ensure any contractor who performs the work is informed of and follows all the terms and conditions of this authorization.

[8] This permit shall expire December 31, 2017.

GENERAL CONDITIONS:

1. This permit does not constitute any of the following:
 - a. An easement or right-of-way to trespass or work upon property belonging to others.
 - b. Other approval that may be required by Local, State or Federal Government, unless specifically stated in the special conditions above.
 - c. Responsibility of the IDWR for damage to any properties due to work done.
 - d. Compliance with the Federal Flood Insurance Program, FEMA regulations or approval of the local Planning and Zoning authority.

2. In accordance with Sections 55-2201 - 55-2210, Idaho Code, the applicant and/or contractors must contact Digline statewide phone number 1-800-342-1585 (Boise area 208-342-1585) not less than three working days prior to the start of any excavation for this project.

3. The permit holder or operator must have a copy of this permit at the alteration site, available for inspection at all times.
4. The IDWR may cancel this permit at any time that it determines such action is necessary to minimize adverse impact on the stream channel.

Conditions and construction procedures approved under this permit may not coincide with the proposal as submitted. Failure to adhere to conditions as set forth herein can result in legal action as provided for in Section 42-3809, Idaho Code.

If you object to the decision issuing this permit with the above conditions, you have 15 days in which to notify this office in writing that you request a formal hearing on the matter. If an objection has not been received within 15 days, the decision will be final under the provisions of IDAPA 37.03.07 (Rule 70).

Please contact Cass Jones (208) 287-4897 or cass.jones@idwr.idaho.gov if you have any questions regarding this matter.

Sincerely,



Cass Jones
Stream Channel Protection Specialist
Idaho Department of Water Resources

cc: Brittany Skelton, City of Ketchum
Kiley Mulholland, Idaho Department of Environmental Quality, Twin Falls
Balthasar Buhidar, Idaho Department of Environmental Quality, Twin Falls
Meribeth Lomkin, Idaho Department of Lands, Jerome
Mike McDonald, Idaho Department of Fish and Game, Jerome
Kevin Lewis, Idaho Rivers United, Boise
Rob Brochu, US Army Corps of Engineers, Idaho Falls
Aaron Golart, Idaho Department of Water Resources, Boise

056. CONSTRUCTION PROCEDURES (RULE 56).

01. Conformance to Procedures. Construction shall be done in accordance with the following procedures unless specific approval of other procedures has been given by the Director. When an applicant desires to proceed in a manner different from the following, such procedures should be described on the application. (7-1-93)

02. Operation of Construction Equipment. No construction equipment shall be operated below the existing water surface without specific approval from the Director except as follows: Forging the stream at one (1) location only will be permitted unless otherwise specified; however, vehicles and equipment will not be permitted to push or pull material along the streambed below the existing water level. Work below the water which is essential for preparation of culvert bedding or approved footing installations shall be permitted to the extent that it does not create unnecessary turbidity or stream channel disturbance. Frequent fording will not be permitted in areas where extensive turbidity will be created. (7-1-93)

03. Temporary Structures. Any temporary crossings, bridge supports, cofferdams, or other structures that will be needed during the period of construction shall be designed to handle high flows that could be anticipated during the construction period. All structures shall be completely removed from the stream channel at the conclusion of construction and the area shall be restored to a natural appearance. (7-1-93)

04. Minimizing Disturbance of Area. Care shall be taken to cause only the minimum necessary disturbance to the natural appearance of the area. Streambank vegetation shall be protected except where its removal is absolutely necessary for completion of the work adjacent to the stream channel. (7-1-93)

05. Disposal of Removed Materials. Any vegetation, debris, or other material removed during construction shall be disposed of at some location out of the stream channel where it cannot reenter the channel during high stream flows. (7-1-93)

06. New Cut of Fill Slopes. All new cut or fill slopes that will not be protected with some form of riprap shall be seeded with grass and planted with native vegetation to prevent erosion (7-1-93)

07. Fill Material. All fill material shall be placed and compacted in horizontal lifts except as provided for in Rule Subsection 060.05 for uncompacted dike and levee construction. Areas to be filled shall be cleared of all vegetation, debris and other materials that would be objectionable in the fill. (7-1-93)

08. Limitations on Construction Period. The Director may limit the period of construction as needed to minimize conflicts with fish migration and spawning, recreation use, and other uses. (7-1-93)

JOINT APPLICATION FOR PERMITS

U.S. ARMY CORPS OF ENGINEERS - IDAHO DEPARTMENT OF WATER RESOURCES - IDAHO DEPARTMENT OF LANDS

Authorities: The Department of Army Corps of Engineers (Corps), Idaho Department of Water Resources (IDWR), and Idaho Department of Lands (IDL) established a joint process for activities impacting jurisdictional waterways that require review and/or approval of both the Corps and State of Idaho. Department of Army permits are required by Section 10 of the Rivers & Harbors Act of 1899 for any structure(s) or work in or affecting navigable waters of the United States and by Section 404 of the Clean Water Act for the discharge of dredged or fill materials into waters of the United States, including adjacent wetlands. State permits are required under the State of Idaho, Stream Protection Act (Title 42, Chapter 38, Idaho Code and Lake Protection Act (Section 58, Chapter 13 et seq., Idaho Code). In addition the information will be used to determine compliance with Section 401 of the Clean Water Act by the appropriate State, Tribal or Federal entity.

Joint Application: Information provided on this application will be used in evaluating the proposed activities. Disclosure of requested information is voluntary. Failure to supply the requested information may delay processing and issuance of the appropriate permit or authorization. **Applicant will need to send a completed application, along with one (1) set of legible, black and white (8½"x11"), reproducible drawings that illustrate the location and character of the proposed project / activities to both the Corps and the State of Idaho.**

See Instruction Guide for assistance with Application. Accurate submission of requested information can prevent delays in reviewing and permitting your application. Drawings including vicinity maps, plan-view and section-view drawings must be submitted on 8-1/2 x 11 papers.

Do not start work until you have received all required permits from both the Corps and the State of Idaho

FOR AGENCY USE ONLY									
USACE NWW-	Date Received:	<input type="checkbox"/> Incomplete Application Returned			Date Returned:				
Idaho Department of Water Resources No. 537-20472	Date Received: 8/21/17	<input checked="" type="checkbox"/> Fee Received DATE: 8/21/17			Receipt No.: C104010				
Idaho Department of Lands No.	Date Received:	<input type="checkbox"/> Fee Received DATE:			Receipt No.:				
INCOMPLETE APPLICATIONS MAY NOT BE PROCESSED									
1. CONTACT INFORMATION - APPLICANT Required:					2. CONTACT INFORMATION - AGENT:				
Name: City of Ketchum					Name: Sean Flynn				
Company:					Company: Galena Engineering, Inc.				
Mailing Address: PO Box 2315					Mailing Address: 317 N. River St.				
City: Ketchum		State: ID	Zip Code: 83340		City: Hailey		State: ID	Zip Code: 83333	
Phone Number (include area code): 208.861.7593		E-mail: snewland@sandcassociates.com			Phone Number (include area code): 208.788.1705		E-mail: sflynn@galena-engineering.com		
3. PROJECT NAME or TITLE: Warm Springs Creek Sewer Crossing Repair					4. PROJECT STREET ADDRESS: 101 Aspen Dr.				
5. PROJECT COUNTY: Blaine		6. PROJECT CITY: Ketchum			7. PROJECT ZIP CODE: 83340		8. NEAREST WATERWAY/WATERBODY: Warm Springs Creek		
9. TAX PARCEL ID#: RPK4N17011046A		10. LATITUDE: 43.68983 LONGITUDE: -114.39665		11a. 1/4: SW	11b. 1/4: SE	11c. SECTION: 11	11d. TOWNSHIP: 4N	11e. RANGE: 17E	
12a. ESTIMATED START DATE: 9/5/2017		12b. ESTIMATED END DATE: 10/31/2017			13a. IS PROJECT LOCATED WITHIN ESTABLISHED TRIBAL RESERVATION BOUNDARIES? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES Tribe:				
13b. IS PROJECT LOCATED IN LISTED ESA AREA? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES					13c. IS PROJECT LOCATED ON/NEAR HISTORICAL SITE? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES				
14. DIRECTIONS TO PROJECT SITE: Include vicinity map with legible crossroads, street numbers, names, landmarks. 101 Aspen Dr., Ketchum									
15. PURPOSE and NEED: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> Other Describe the reason or purpose of your project; include a brief description of the overall project. Continue to Block 16 to detail each work activity and overall project. An existing City Sewer Main crossing Warm Springs Ck. was destroyed during May 2017 flooding. The proposed plan is to repair the crossing, by tying into the existing manholes on each side of the creek and installing a sleeved sewer main across the creek, matching existing line and grades. The sleeve will have concrete anchor blocks that will be landward of MHW. Bank stabilization with riprap, mixed cobble, and revegetation will be used to repair the banks.									

SEP - 6 2017

16. DETAILED DESCRIPTION OF EACH ACTIVITY WITHIN OVERALL PROJECT. Specifically indicate portions that take place within waters of the United States, including wetlands: Include dimensions; equipment, construction, methods; erosion, sediment and turbidity controls; hydrological changes: general streamflow, base water flows, estimated winter/summer flows; borrow sources, disposal locations etc.:

This is an extremely time sensitive project. A temporary bypass has been setup (see attached photo page), but due to cold weather, and the likelihood of freezing, the work must be completed by October 31, 2017.

The work will include removing existing damaged sleeve and concrete cap in the stream. Install new sewer pipe, matching existing lines and grades, in a steel sleeve. Complete bank stabilization with angular riprap. Top dress with mixed cobble. Install restorative vegetation.

17. DESCRIBE ALTERNATIVES CONSIDERED to AVOID or MEASURES TAKEN to MINIMIZE and/ or COMPENSATE for IMPACTS to WATERS of the UNITED STATES, INCLUDING WETLANDS: See Instruction Guide for specific details.

Pumping was considered. The City currently does not have any operating pumps/lift stations. The construction of pump stations was rejected by the City because of maintenance, prohibitive costs, and the questionable feasibility of directional drilling under the creek in soils that contain cobbles and boulders.

The City also considered rerouting the sewer, but due to the time required to obtain entitlements and easements, this option was rejected because it could not be completed by the onset of freezing temperatures.

18. PROPOSED MITIGATION STATEMENT or PLAN: If you believe a mitigation plan is not needed, provide a statement and your reasoning why a mitigation plan is NOT required. Or, attach a copy of your proposed mitigation plan.

This is a required maintenance project. No mitigation is proposed because the impacts are minimal to the aquatic environment.

19. TYPE and QUANTITY of MATERIAL(S) to be discharged below the ordinary high water mark and/or wetlands:

Dirt or Topsoil: _____ cubic yards
 Dredged Material: _____ cubic yards
 Clean Sand: _____ cubic yards
 Clay: _____ cubic yards
 Gravel, Rock, or Stone: 5 cubic yards
 Concrete: _____ cubic yards
 Other (describe): _____ : _____ cubic yards
 Other (describe): _____ : _____ cubic yards

TOTAL: _____ 5 cubic yards

20. TYPE and QUANTITY of impacts to waters of the United States, including wetlands:

Filling: _____ acres _____ sq ft. 5 cubic yards
 Backfill & Bedding: _____ acres _____ sq ft. _____ cubic yards
 Land Clearing: _____ acres _____ sq ft. _____ cubic yards
 Dredging: _____ acres _____ sq ft. _____ cubic yards
 Flooding: _____ acres _____ sq ft. _____ cubic yards
 Excavation: _____ acres _____ sq ft. _____ cubic yards
 Draining: _____ acres _____ sq ft. _____ cubic yards
 Other: _____ : _____ acres _____ sq ft. _____ cubic yards

TOTALS: _____ acres _____ sq ft. 5 cubic yards

SCANNED
 SEP - 6 2017

21. HAVE ANY WORK ACTIVITIES STARTED ON THIS PROJECT? NO YES If yes, describe ALL work that has occurred including dates.

22. LIST ALL PREVIOUSLY ISSUED PERMIT AUTHORIZATIONS:

23. YES, Alteration(s) are located on Public Trust Lands, Administered by Idaho Department of Lands

24. SIZE AND FLOW CAPACITY OF BRIDGE/CULVERT and DRAINAGE AREA SERVED: NA Square Miles

25. IS PROJECT LOCATED IN A MAPPED FLOODWAY? NO YES If yes, contact the floodplain administrator in the local government jurisdiction in which the project is located. A Floodplain Development permit and a No-rise Certification may be required.

26a WATER QUALITY CERTIFICATION: Pursuant to the Clean Water Act, anyone who wishes to discharge dredge or fill material into the waters of the United States, either on private or public property, must obtain a Section 401 Water Quality Certification (WQC) from the appropriate water quality certifying government entity.
 See *Instruction Guide for further clarification and all contact information.*

The following information is requested by IDEQ and/or EPA concerning the proposed impacts to water quality and anti-degradation:

- NO YES Is applicant willing to assume that the affected waterbody is high quality?
- NO YES Does applicant have water quality data relevant to determining whether the affected waterbody is high quality or not?
- NO YES Is the applicant willing to collect the data needed to determine whether the affected waterbody is high quality or not?

26b. BEST MANAGEMENT PRACTICES (BMP's): List the Best Management Practices and describe these practices that you will use to minimize impacts on water quality and anti-degradation of water quality. All feasible alternatives should be considered - treatment or otherwise. Select an alternative which will minimize degrading water quality

All applicable Best Management Practices, such as silt fence and straw wattles, will be used to protect resources and ensure compliance with local, state, and federal Water Quality Standards. Work will take place during times of low flow. All equipment shall be free of leaks and in good working order. Storage, fueling, and unexpected repairs of equipment shall be completed a minimum of 100 feet from the MHW of the channel.

Through the 401 Certification process, water quality certification will stipulate minimum management practices needed to prevent degradation.

27. LIST EACH IMPACT to stream, river, lake, reservoir, including shoreline: Attach site map with each impact location.

Activity	Name of Water Body	Intermittent Perennial	Description of Impact and Dimensions	Impact Length Linear Feet
Rip rap and cobble	Warm Springs Creek	Perennial	Place bank stabilization materials	15
Install new sewer main	Warm Springs Creek	Perennial	Place pipe across creek	2
TOTAL STREAM IMPACTS (Linear Feet):				17

28. LIST EACH WETLAND IMPACT include mechanized clearing, fill, excavation, flood, drainage, etc. Attach site map with each impact location.

Activity	Wetland Type: Emergent, Forested, Scrub/Shrub	Distance to Water Body (linear ft)	Description of Impact Purpose: road crossing, compound, culvert, etc.	Impact Length (acres, square ft linear ft)

TOTAL WETLAND IMPACTS (Square Feet):

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SEP - 6 2017

29. ADJACENT PROPERTY OWNERS NOTIFICATION REQUIREMENT: Provide contact information of ALL adjacent property owners below.

Name: CHADBAND, CONSTANCE L Mailing Address: PO Box 975 City: State: Zip Code: Ketchum ID 83340 Phone Number (include area code): E-mail:	Name: FREDRICKSON, LYNDA S Mailing Address: PO Box 3857 City: State: Zip Code: Ketchum ID 83340 Phone Number (include area code): E-mail:
Name: HULL, MARSON BLAIR Mailing Address: 141 W JACKSON BLVD STE 1650 City: State: Zip Code: Chicago IL 60604-3070 Phone Number (include area code): E-mail:	Name: VH2SV, LLC Mailing Address: 02004 SW MILITARY RD City: State: Zip Code: Portland OR 97219 Phone Number (include area code): E-mail:
Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail:	Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail:
Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail:	Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail:

30. SIGNATURES: STATEMENT OF AUTHORIZATION / CERTIFICATION OF AGENT / ACCESS

Application is hereby made for permit, or permits, to authorize the work described in this application and all supporting documentation. I certify that the information in this application is complete and accurate. I further certify that I possess the authority to undertake the work described herein; or am acting as the duly authorized agent of the applicant (Block 2). I hereby grant the agencies to which this application is made, the right to access/come upon the above-described location(s) to inspect the proposed and completed work/activities.

Signature of Applicant: _____ Date: _____

Signature of Agent: Sean Tjy _____ Date: 8/15/17

This application must be signed by the person who desires to undertake the proposed activity AND signed by a duly authorized agent (see Block 1, 2, 30). Further, 18 USC Section 1001 provides that: "Whoever, in any manner within the jurisdiction of any department of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry, shall be fined not more than \$10,000 or imprisoned not more than five years or both".



City of Ketchum
Public Works

September 22, 2017

Idaho Department of Water Resources
Attn: Aaron Golart
322 East Front Street
Boise, ID 83702

Subject: City Joint Application (IDWR #S37-20472)
City of Ketchum – Warm Springs Creek
Aspen Drive Emergency Sewer Repair

Dear Mr. Golart,

The City appreciates you taking the time to visit the Aspen Drive Emergency Sewer Repair Project location on September 15, 2017. During our on-site meeting IDWR requested information related to construction means and methods of measuring turbidity, dewatering of the project area, and erosion and sediment control best management practices (BMP's). In addition, IDWR requested information on the City's methods for monitoring the pipe following construction until the second phase of the project is constructed.

General Construction Methods

The following general construction guidelines will apply to this project.

- Construction will be performed during periods of lowest sensitivity,
- Trenching will be done perpendicular to the stream,
- Standard erosion and sediment control measures will be used, and spill prevention best management practices will be followed during construction,
- Debris accidentally introduced into streams will be promptly removed,
- Streambanks, vegetation, and streambeds will be restored immediately after construction. (Bank restoration is particularly important in shallowly incised streams with low banks, to prevent channel migration).

The contractor proposes to install a temporary bridge constructed utilizing 2'x2'x8' concrete blocks space every 8' across the creek with steel trench plates over the top of the blocks. Construction of the project will be done utilizing an open -wet-trench method. The pipe installed across the creek will be one solid piece placed by an excavator or crane and held in place with concrete blocks temporarily until the concrete anchors are completed. Following completion of the concrete anchors backfill and clean rip rap will be placed and the temporary bridge removed.

Construction Turbidity Monitoring

Immediately prior to construction ambient background turbidity tests will be taken 100'

upstream/up-gradient of the project area. At the commencement of construction activities that have a potential to create turbidity, turbidity monitoring will be initiated. Once sampling commences it continues twice daily until activities that have a potential to create turbidity are completed or as directed by City Staff. Construction turbidity tests will be taken 100' downstream of the project area. If over a 10% increase in background turbidity is measured construction operations will temporarily cease until background turbidity levels are measured. All turbidity results will be recorded in a site log book in Nephelometric Turbidity Units (NTU). Testing will be done with a calibrated HACH 2100Q turbidimeter, or approved equal, and verified by City Staff.

Visual Observation and Sample Collection Exemptions:

- During dangerous weather conditions such as flooding and electrical storms.
- Outside of scheduled site business hours.

Construction Site Dewatering

A combination of cofferdams and pumping will be used for dewatering. Cofferdams will divert water away from work areas. A dewatering pump will be used during excavation near the manholes for worker safety. The following methods will be utilized when using a pump:

- Water will not be pumped directly onto bank slopes
- Dewatering activities will be directed to a wooded area within the City's easement

A sandbag cofferdam will be used for low flow work on the southern bank while a jersey barrier cofferdam or small bank barb may be used for work on the northern bank. The cofferdams and barb would be removed at the end of the project.

Construction Erosion and Sediment Control

Material storage/stock piles will occur on top of banks or within the City's Right-of-Way and will not be placed within the stream channel. Silt fencing shall be installed around stock piles to contain silt and soils around the areas of excavation that take place to access the existing sewer lines and shall remain in place until all excavation and backfill is completed. All equipment will be monitored daily for leaks. A spill kit will be kept on site. Daily inspections will be performed on BMP's. BMP repair will occur immediately if needed

Pipe Monitoring Following Construction

Monitoring of the newly repaired emergency line will be performed three ways.

- During times of runoff or highwater City Utility crews will visually inspect the creek and manholes from both sides. Increased flows within the manholes will trigger a video check of the line with the City owned camera.
- A second method will be to monitor the incoming influent flows at the Waste Water Treatment Plant. Any spike in flows that cannot be accounted for will trigger visual and video inspection.

City of Ketchum – Warm Springs Creek
September 22, 2017

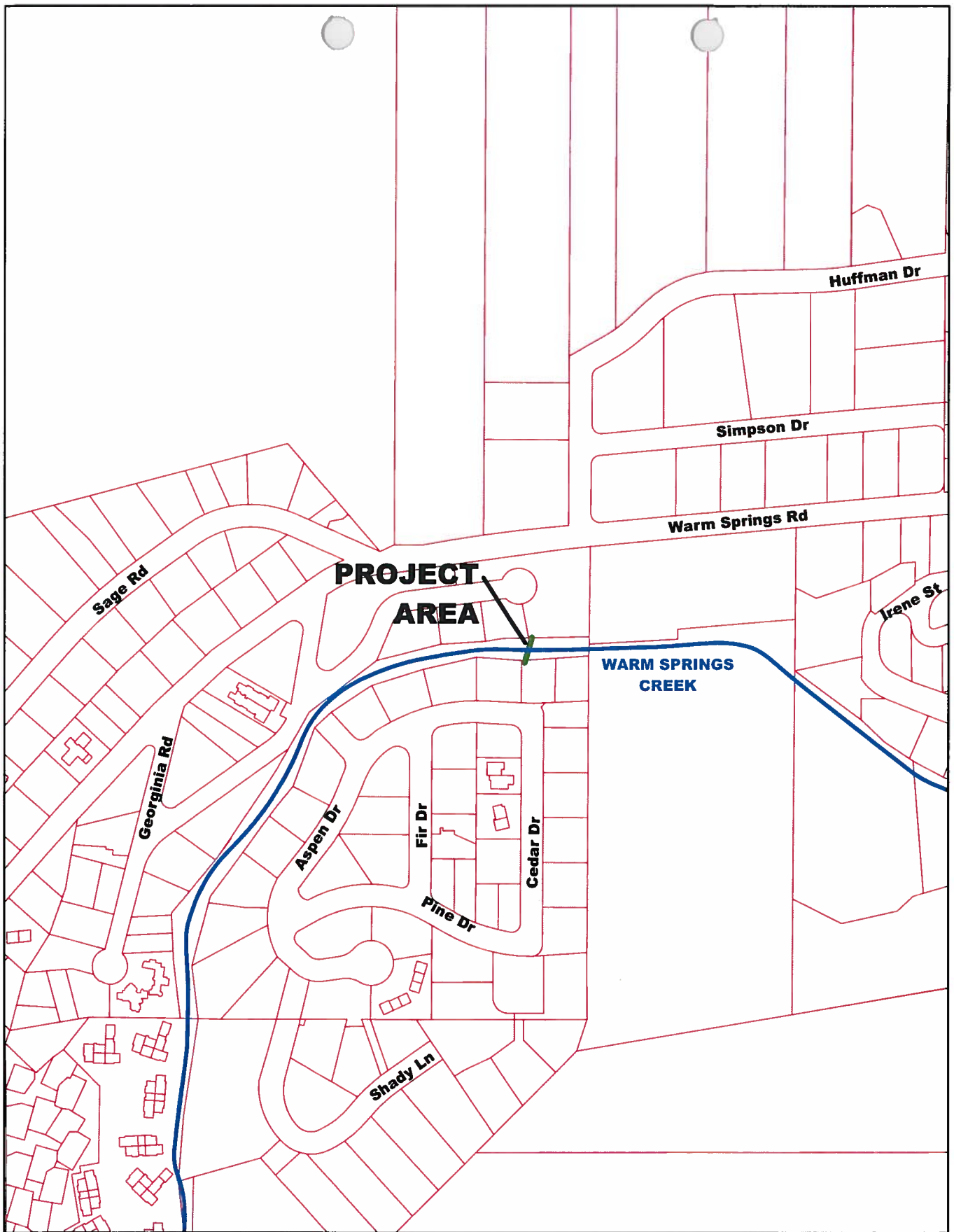
- This section of pipe will be videoed on a regular cycle with flow inspections of the downstream Georgia manhole will be performed daily for the first two weeks and then weekly for the next month or until the City is comfortable with the integrity of the repair

If you have any additional questions regarding this letter please don't hesitate to contact me at (208) 861-7593.




Thank you,



Sherri Newland, PE
City Engineer
City of Ketchum



Legend

-  Warm Springs Creek
-  Sewer Crossing
-  City Property Lines

VICINITY MAP FOR A JOINT APPLICATION FOR PERMIT
WARM SPRINGS CREEK
SEWER CROSSING REPAIR
KETCHUM IDAHO
GALENA ENGINEERING
08/16/17

SCANNED
SEP - 6 2017
 1 inch equals 300 feet





LOOKING SOUTH FROM NORTH BANK



LOOKING NORTH FROM SOUTH BANK

NOTES

- 1) Note portion of pervious sleeve still in channel.
- 2) Two photos not taken same on same date.

**Galena
Engineering
Inc.**

Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(208) 768-1705
(208) 768-4612 fax
email galena@galena-engineering.com

PHOTO EXHIBIT
WARM SPRINGS CREEK SEWER CROSSING REPAIR
LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
APPLICANT NAME: CITY OF KETCHUM
WATERBODY: WARM SPRINGS CREEK

PROJECT INFORMATION

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CANNED
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TEMPORARY PUMP SETUP IN ASPEN DRIVE



CROSSING OF TEMPORARY LINE IN ASPEN DRIVE

**Galena
Engineering
Inc.**

Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(208) 768-1705
(208) 768-4618 fax
email galena@galena-engineering.com

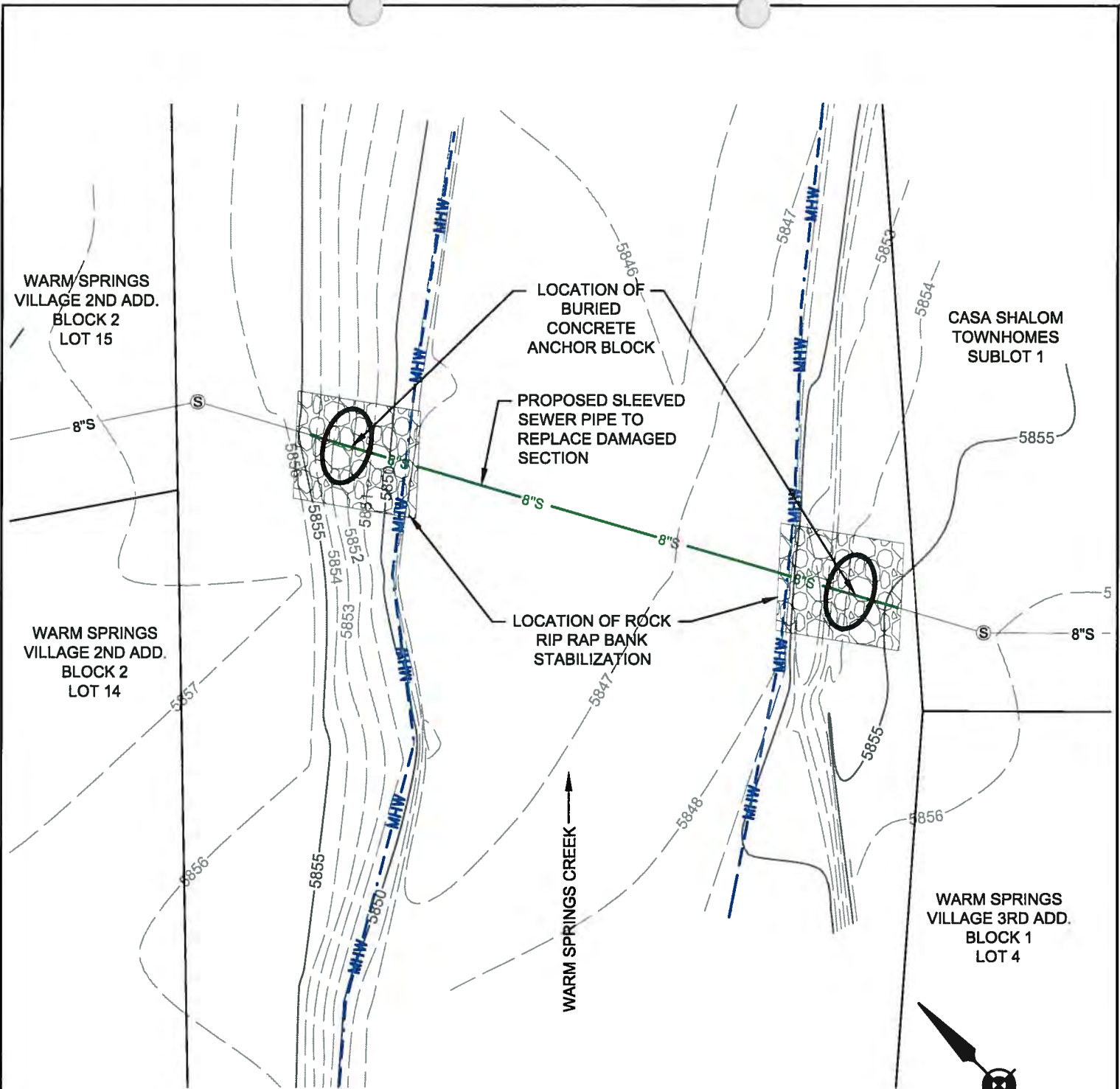
PHOTO EXHIBIT
WARM SPRINGS CREEK SEWER CROSSING REPAIR
LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
APPLICANT NAME: CITY OF KETCHUM
WATERBODY: WARM SPRINGS CREEK

PROJECT INFORMATION

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SHT 1 OF 1

SCANNED
SEP - 6 2017



LEGEND

- Property Line
- 5' Contour Interval
- 1' Contour Interval
- MHW Mean High Water
- 8"S Existing 8" Sewer Main
- 8"S Proposed 8" Sleeved Sewer Main
- Existing Sewer Manhole

NOTES

- 1) Approximate length of total rock rip rap bank stabilization work is 15' (7.5' on each bank).
- 2) Approximate volume of rock to be used below ordinary high water is 5 CY.
- 3) Install restorative vegetation (willow cuttings).

GRAPHIC SCALE

1 inch = 10 ft.

Galena Engineering Inc.

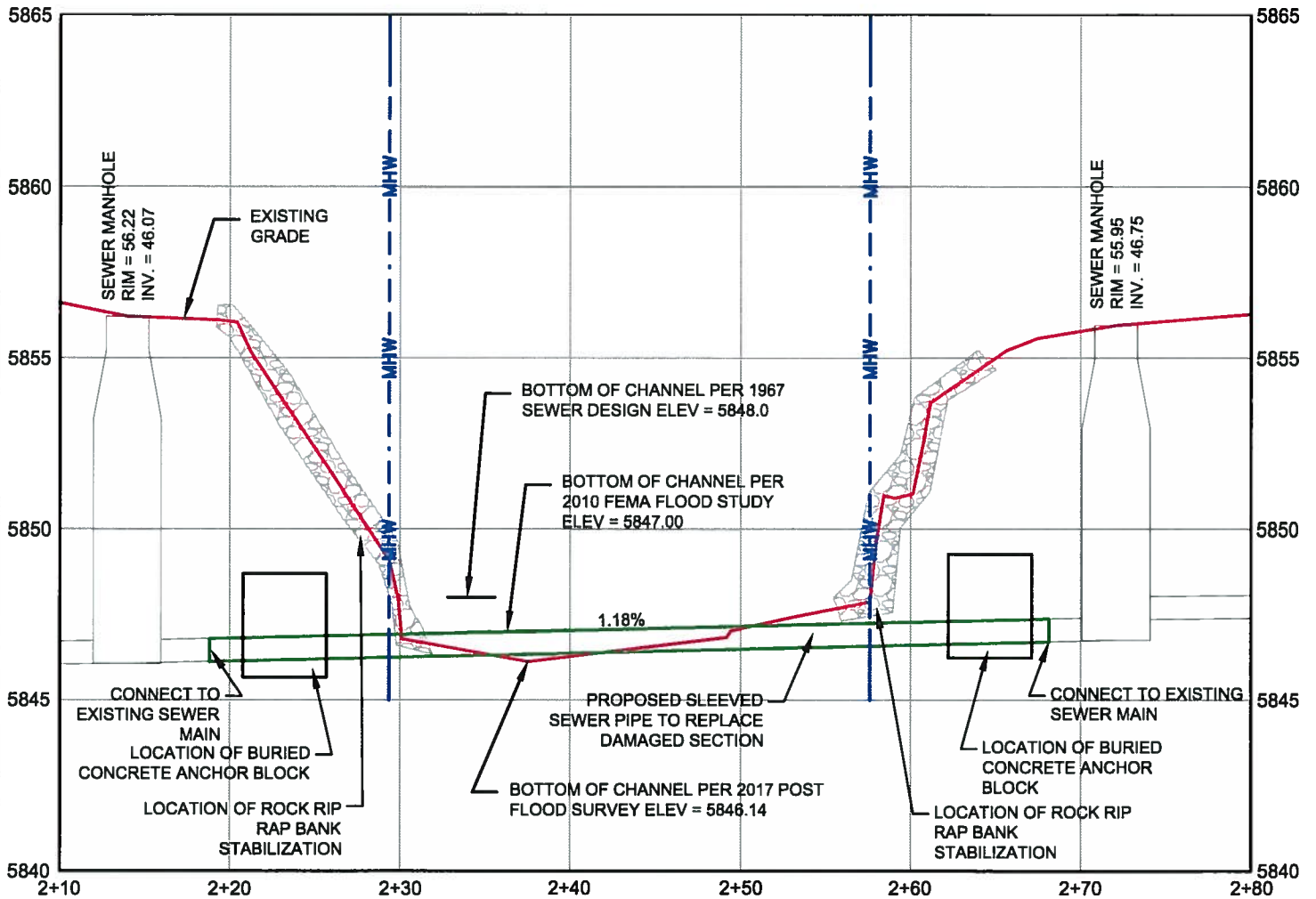
Civil Engineers & Land Surveyors
 317 North River Street
 Halley, Idaho 83333
 (208) 788-1705
 (208) 788-4812 fax
 email galena@galena-engineering.com

AN EXHIBIT MAP FOR A JOINT APPLICATION FOR PERMITS
WARM SPRINGS CREEK SEWER CROSSING REPAIR
 LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 APPLICANT NAME: CITY OF KETCHUM
 WATERBODY: WARM SPRINGS CREEK

PROJECT INFORMATION

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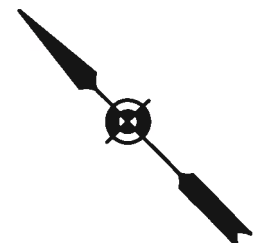
SHT 1 OF 1



SEWER PROFILE
SCALE: 1" = 10' H, 1" = 5' V

LEGEND

- Existing Grade/Bottom of Channel
- - - MHW - Mean High Water
- Existing Sewer Main and Manhole
- Proposed 8" Sleeved Sewer Main



GRAPHIC SCALE
1 inch = 10 ft.

Galena Engineering Inc.

Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(208) 788-1705
(208) 788-4612 fax
email galena@galena-engineering.com

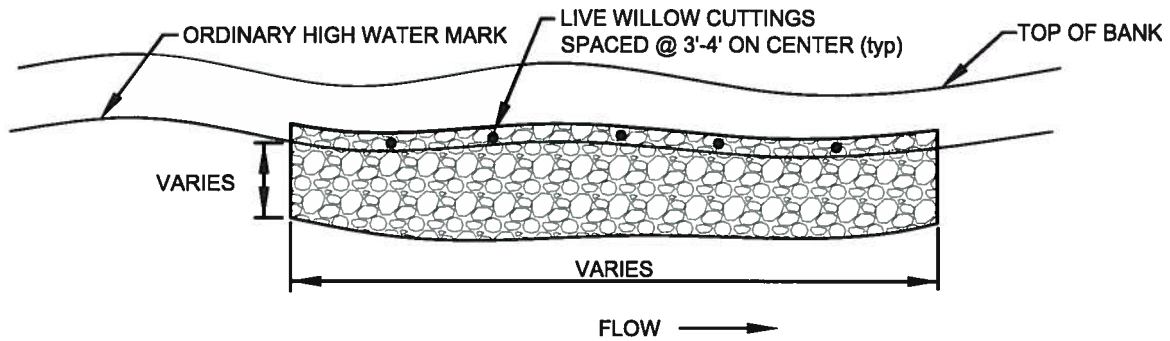
AN CROSS SECTION MAP FOR A JOINT APPLICATION FOR PERMITS
WARM SPRINGS CREEK SEWER CROSSING REPAIR
LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
APPLICANT NAME: CITY OF KETCHUM
WATERBODY: WARM SPRINGS CREEK

PROJECT INFORMATION

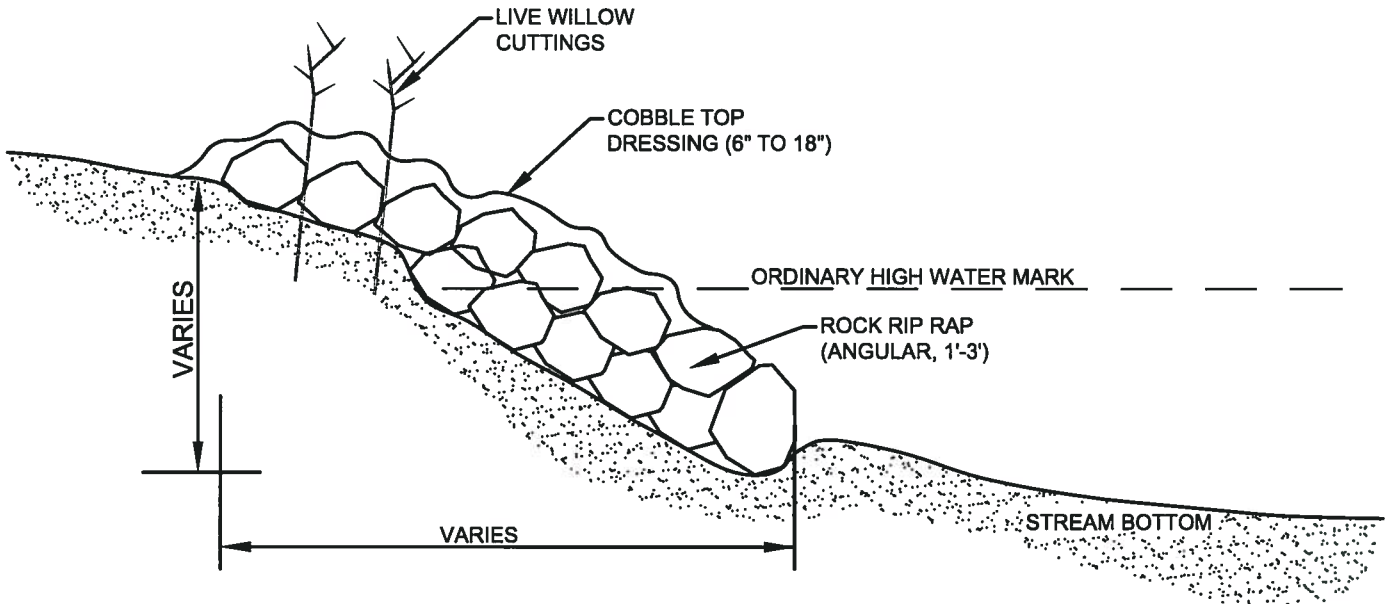
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SHT 1 OF 1

SCANNED
SEP - 6 2017



PLAN VIEW
N.T.S.



SECTION VIEW
N.T.S.

NOTES:

- 1) Live willow cuttings to be planted at locations shown above, 3 to 4 feet on center.
- 2) All disturbed areas to be revegetated with native riparian plantings.

ROCK RIP RAP BANK STABILIZATION DETAIL
N.T.S.

Galena Engineering Inc.

Civil Engineers & Land Surveyors
317 North River Street
Halley, Idaho 83333
(208) 788-1705
(208) 788-4618 fax
email galena@galena-engineering.com

PROJECT INFORMATION

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ROCK RIP RAP DETAILS FOR A JOINT APPLICATION FOR PERMITS
WARM SPRINGS CREEK SEWER CROSSING REPAIR
LEGAL DESCRIPTION: SWSE OF SECTION 11, T4N, R17E, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
APPLICANT NAME: CITY OF KETCHUM
WATERBODY: WARM SPRINGS CREEK

SCANNED
SHT 1 OF 1

SEP - 6 2017

Attachment F

U.S. Army Corps of Engineers approval NWW-2017-500-I02, permit number 17-113



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS
IDAHO FALLS REGULATORY OFFICE
900 NORTH SKYLINE DRIVE, SUITE A
IDAHO FALLS, IDAHO 83402-1718

September 14, 2017

Regulatory Division

SUBJECT: NWW-2017-500-I02, Warm Springs Creek Sewer Crossing Repair

City of Ketchum
PO Box 2315
Ketchum, Idaho 83340

To Whom It May Concern:

We have determined that your proposed project "Warm Springs Creek Sewer Crossing Repair" is authorized in accordance with Department of Army (DA) **Nationwide Permit (NWP) No. 03: Maintenance**. This project is located at 101 Aspen Drive, within Section 11 of Township 4 North, Range 17 East, near latitude 43.689918° N and longitude -114.396727° W, in Blaine County, Ketchum, Idaho. Please refer to File Number NWW-2017-500-I02 in all future correspondence with our office regarding this project.

Project activities include the discharge of approximately 5 cubic yards of rock fill below the ordinary high water mark of Warm Springs Creek associated with replacing a recently damaged section of sewer line crossing the stream and riprapping the exposed banks where the pipe crosses the stream. All work shall be done in accordance to the information provided in and drawings attached to your August 16, 2017, Joint Application for Permits.

AUTHORITY

DA permit authorization is necessary because your project would involve the discharge of dredged and/or fill material into Waters of the U.S., including wetlands. This authorization is outlined in Section 404 of the Clean Water Act (33 U.S.C. 1344).

PERMIT CONDITIONS

You must comply with all regional, general, and special conditions for this verification letter to remain valid and to avoid possible enforcement actions. The regional and general permit conditions for *NWP No. 03: Maintenance* are available online at <http://www.nww.usace.army.mil/Business-With-Us/Regulatory-Division/Nationwide-Permits/>. If you are unable to access this website or would prefer a hard copy of the regional and general conditions please notify us and we will provide you a copy. In addition you must also comply with the special conditions listed below.

The following Special Conditions include:

- a. In-water work shall be accomplished during periods of low flow to reduce turbidity.
- b. Riprap shall be clean, angular, and durable rock that is free of fine material.
- c. Remove equipment and machinery from the vicinity of the waterway, to an upland location prior to refueling, repair or maintenance.
- d. Re-vegetate all areas disturbed by project construction with native species immediately upon completion of the project, to protect them from erosion. Revegetation shall include planting native woody species adjacent to the stream.
- e. The permittee is responsible for all work done by any contractor. Permittee shall ensure any contractor who performs the work is informed of and follows all the terms and conditions of this authorization, including any Special Conditions listed above. Permittee shall also ensure these terms and conditions are incorporated into engineering plans and contract specifications.

WATER QUALITY CERTIFICATION

You must also comply with the conditions detailed in the Section 401 Water Quality Certification (WQC) issued by the Idaho Department of Environmental Quality (IDEQ) on March 3, 2017. For your review, a copy of this 401 WQC is available on the IDEQ's website at: <http://www.deq.idaho.gov/media/60179758/nationwide-permits-2017-401-certification-0317.pdf>. If you have any questions regarding the conditions set forth in the Water Quality Certification, please contact IDEQ directly at 208-736-2190, Twin Falls Regional Office

PRELIMINARY JURISDICTIONAL DETERMINATION

Attached to this verification are two copies of the Preliminary Jurisdictional Determination (PJD) form showing that Waters of the United States, including wetlands may be located within your project area. **Please sign both copies and return one to the Corps at the address in the letterhead above.** The other copy is for your records.

The Preliminary Jurisdictional Determination is a non-binding action and shall remain in effect, unless a request for an Approved Jurisdictional Determination or new information supporting a revision is provided to this office. Please note that since this Jurisdictional Determination is preliminary, it is subject to change and therefore is not an appealable action under the Corps of Engineers Administrative Appeal Procedures (33 CFR 331). Enclosed you will find a *Notification of Administrative Appeal Options and Process and Request for Appeal (RFA) Form* for further clarification.

COMPLIANCE CERTIFICATION

Further, Nationwide Permit General Condition 30 (*Compliance Certification*) requires that every permittee who has received NWP verification must submit a signed certification regarding the completed work and any required mitigation. The enclosed Compliance Certification form is enclosed for your convenience and must be completed and returned to us.

LIMITATIONS OF THIS VERIFICATION

This letter of authorization does not convey any property rights, or any exclusive privileges and does not authorize any injury to property or excuse you from compliance with other Federal, State, or local statutes, ordinances, regulations, or requirements which may affect this work.

EXPIRATION OF THIS VERIFICATION

This verification is valid until **March 18, 2022**, unless the NWP is modified, suspended or revoked. If your project, as permitted under this NWP verification is changed and/or modified, you must contact our office prior to commencing any work activities. In the event you have not completed construction of your project by March 18, 2022, please contact us at least 60-days prior to this date. A new application and verification may be required.

CUSTOMER SERVICE

We actively use feedback to improve our delivery and provide you with the best possible service. Please take our online customer service survey to tell us how we are doing. Follow this link to take the survey: http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey. If you have questions or if you would like a paper copy of the survey, call our office at 208-433-4464. For more information about the Walla Walla District Regulatory program, visit us online at <http://www.nww.usace.army.mil/Business-With-Us/Regulatory-Division/>.

If you have any questions or need additional information about this permit, you can contact me at (208) 522-1676, by mail at the address in the letterhead, or email at james.m.joyner@usace.army.mil. For informational purposes, a copy of this letter will be sent to: Mr. Sean Flynn (Galena Engineering), Dr. Sonny Buhidar (IDEQ), and Mr. Cass Jones (IDWR).

Sincerely,

//s//

James M. Joyner
Sr. Project Manager
Regulatory Division

Enclosures

Transfer of Nationwide Permit Form

Attachment G

Construction management reports, permit number 17-113



Weekly Construction Report	#01
City of Ketchum Guy Coles – Feature Enhancements	

SC Job Number	17-1032
Date:	October 13, 2017
Report Period:	October 9, 2017 – October 13, 2017
Delay Impacts	0
Open Issues to Address	Idaho Power – Pole relocation
Job Progress	On Time
Comment of Work	October 9, 2017 @ 8 am
Anticipated Job Completion	October 30, 2017
Work Days Into Job	5
Reason for Lost Days	
Action Take to Make Up Lost Days	NA

Progress Report

Work Completed by Contractor this period

- Landscape removal within easement
- Construction fence installation/work area delineation
- Access ramp on north side excavated
- Existing pipe in stream removed
- Temporary bridge structure installed
- Sandbag cofferdam on south side installed/constructed
- Gabion baskets on south removed
- Fiberwattle bmp's installed
- Turbidity testing 2x daily
- South manhole excavated and pipe exposed

Anticipated Progress Next Report Period

- North manhole excavation
- Assembly of steel casing and C900 pipe
- Installation of pipe assembly
- Forming and pouring of thrust blocks

Photos



Temporary Bridge and sand bag cofferdam



Removal of gabion in front of south manhole



Weekly Construction Report	#02
City of Ketchum Aspen Sewer Emergency Repair	

SC Job Number	17-1032
Date:	October 20, 2017
Report Period:	October 14, 2017 – October 20, 2017
Delay Impacts	0
Open Issues to Address	Idaho Power – Pole relocation
Job Progress	On Time
Comment of Work	October 9, 2017 @ 8 am
Anticipated Job Completion	October 30, 2017
Work Days Into Job	10
Reason for Lost Days	
Action Take to Make Up Lost Days	NA

Progress Report

Work Completed by Contractor this period

- Turbidity testing 2x daily
- North manhole excavation
- Assembly of steel casing and C900 pipe
- Installation of pipe assembly
- Forming and pouring of thrust blocks

Anticipated Progress Next Report Period

- Back fill and placement of rip rap on north and south embankments
- Topsoil and reseeding of easement
- Construction fence removal
- BMP/wattle removal
- Willow plantings

Photos





Weekly Construction Report	#03
City of Ketchum Aspen Sewer Emergency Repair	

SC Job Number	17-1032
Date:	October 27, 2017
Report Period:	October 21, 2017 – October 27, 2017
Delay Impacts	0
Open Issues to Address	Idaho Power – Pole relocation – Phase 2
Job Progress	On Time
Comment of Work	October 9, 2017 @ 8 am
Job Completion	October 24, 2017
Work Days Into Job	12
Reason for Lost Days	
Action Take to Make Up Lost Days	NA

Progress Report

Work Completed by Contractor this period

- Back fill and placement of rip rap on north and south embankments
- Topsoil and reseeding of easement
- Construction fence removal
- BMP/wattle removal
- Willow plantings
- Turbidity testing 2x daily

Anticipated Progress Next Report Period

- Project substantially completed
- Punch list items

Photos



Rip Rap for bank stabilization



Completed pipe installation and bank stabilization

Attachment H

Notice of Appeal



ATTN: M. Puddicombe

City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	18-110
Date Received:	8-24-18
By:	MP
Fee Paid:	
Approved Date:	
Denied Date:	
By:	

Notice of Appeal

Note: The Appellant shall submit an amount to cover the cost of giving notice, as applicable in the Fee Schedule, and provide a transcript within two (2) days after the Planning and Building Department provides the Appellant with an estimate for the expense of the same. In the event the fee is not paid as required, the appeal shall not be considered filed.

OFFICIAL USE ONLY	
Date Appeal Received:	8-24-18
Appeal Fee:	\$ 2750.00
Date Paid:	8-24-18
Date Appellant Notified of Estimated Transcript Costs and Notice:	
Date of Appeal Hearing:	
Action(s) Taken/Findings:	
Date Notice Published:	
Transcript Fee:	
Date Paid:	
Mailing Fee:	
Date Paid:	
APPELLANT	
Name of Appellant:	R Miles STANISLAW
Address:	
Phone Number:	206 399-0196
Fax Number or Email:	mike.stanislaw@msn.com
REPRESENTATIVE	
Name of Representative:	
Address:	
Phone Number:	
Fax Number or Email:	
APPLICATION	
Application Being Appealed:	AUG 10 2018 PERMIT # 18-108 RE: "SCOURPAW" IN WS CREEK
Explain How You Are an Affected Party:	I OWN REAL PROPERTY WITHIN 300' OF THE WORK PROPOSED BY PERMIT 18-108. MY PROPERTY WILL BE ADVERSELY EFFECTED IF WORK IS ALLOWED TO PROCEED
Date of Decision or Date Findings of Fact Were Adopted:	
SUBMITTAL INFORMATION	
This Appeal is Based on The Following Factors (set forth all basis for appeal including the particulars regarding any claimed error or abuse of discretion):	
SEE NOTICE OF APPEAL REC'D BY KETCHUM ON 8/23/18 + SUPPORTING PAPERS, ALL INCORPORATED BY REFERENCE	

If you have attached additional pages, please indicate the number of pages attached

RM

8/23/18

Signature of Appellant or Representative

Date

CITY OF KETCHUM PLANNING AND ZONING COMMISSION

IN RE APPEAL OF R. MILES STANISLAW

Re: Permit #~~18-608~~

18-068

Request for Mediation

TO: Administrator, City of Ketchum Planning and Zoning Commission

COMES NOW, Appellant R. Miles Stanislaw, an affected person, pursuant to I.C. 67-6510, hereby requests mediation of the issues raised by Appellant's appeal with respect to the City of Ketchum's Permit No. ~~18-608~~.

18-068

DATED this 17th day of August, 2018 in Ketchum, Idaho.



R. Miles Stanislaw

CITY OF KETCHUM PLANNING AND ZONING COMMISSION

IN RE APPEAL OF R. MILES STANISLAW

Re: Permit #~~18-608~~

18-068

Request for Transmittal of Documents

TO: Administrator, City of Ketchum Planning and Zoning Commission

Please transmit to the Commission the following:

1. The original of all papers constituting the record in this matter, together with the order, requirement, decision or determination of the Administrator that is the subject of this appeal.
2. The original of all papers in the record that relate or refer to the City's issuance of a permit to install a sewer line across Warm Springs Creek in August 2017, which sewer line is the same sewer as referenced in Permit #~~18-608~~:

18-068

DATED this 17th day of August, 2018 in Ketchum, Idaho.



R. Miles Stanislaw

CITY OF KETCHUM PLANNING AND ZONING COMMISSION

IN RE APPEAL OF R. MILES STANISLAW

Re: Permit #~~18-608~~

18-068

Notice of Appeal to City of Ketchum's Administrator Decision
Dated August 10, 2018 Re Floodplain Development Permit No. ~~18-608~~

18-068

TO: Administrator, City of Ketchum Planning and Zoning Commission

COMES NOW, Appellant R. Miles Stanislaw, an affected person, and hereby appeals the decision of the City of Ketchum's Building Department Administrator dated August 10, 2018, a copy of which is marked as **Exhibit A** and attached hereto. The basis for the appeal is as follows:

1. The City Failed to Respond to Appellant's Protest. Immediately after discovering the City's plan to dump rip rap into Warm Springs Creek in order to protect a sewer pipe installed by the City in August 2017, Appellant filed a protest with the City of Ketchum on or about June 22, 2018. A copy of the protest and its attachments is marked as **Exhibit B** and is incorporated in its entirety herein. Appellant never received a response to the protest from the City.
2. Failure to Give Appellant Timely Notice of Permit Application. On the face page of the permit, Exhibit A hereto, the Permit states "NOTICING: Property owners within 300' were noticed by mail on June 14, 2018." Appellants property lies within 300' of the sewer line where the City wants to dump rip rap.

The City made application to IDWR for a permit on April 23, 2018 and to the COE on April 23, 2018. Appellant was not given notice of either of these applications until on or after June 14, 2018 and was, therefore, deprived of his right to file a protest with each of these agencies. Immediately upon learning of the City's intended course of action, Appellant did communicate with the appropriate officials at both IDWR and COE and was told that each agency had already issued its permit and it was too late to file a protest. The City's records confirm that the IDWR permit was issued on May 23, 2018 and the COE permit was issued on June 28, 2018.

The City submitted its application for the pending permit on June 4, 2018 and, by the City's own admission on the face of the permit, did not send out any notice of permit application until June 14, 2018.

- 3. The City Has Acted in Bad Faith.** In May 2017, the then existing sewer line crossing Warm Springs Creek was damaged. A short time later, the City submitted an application for a permit to install a new sewer line. One of the types of sewer lines that could have been installed by the City was a sewer line installed by micro tunneling under the creek. Installation of the new sewer line by micro-tunneling under the creek was an option proposed to the City by the City's design engineers. This micro tunneling option was considered by the City and rejected. Micro tunneling is a widely used and widely accepted installation method for projects exactly like the proposed new sewer line. If the City had elected to proceed with micro tunneling, there would have been absolutely no need to dump any rip rap into Warm Springs Creek. Instead, the City elected to proceed with a project where the new sewer line was placed directly onto the creek bed.

When making its application for the permit in 2017 to install the sewer pipe on the creek bed, the City made no mention of fact that the sewer pipe would need to be protected in the future with an extensive quantity of rip rap placed upstream and downstream from the pipe (almost 3 full dump truck loads in a very confined area). The need, if any exists (see par. 5 below) to protect the pipe with rip rap, was no greater and no less in 2017 than in 2018. If the sewer pipe truly does need to be protected with rip rap, the City made a deceptive application in 2017. When the City submitted its 2017 application, it contained no indication of a need for rip rap protection on either side of the pipe. The City is now seeking to protect a pipe that has been installed for one year when the City should have, had the City been acting in good faith, submitted an application in 2017 indicating that rip rap needed to be installed to protect the pipe as the City now claims. The City's current application does not provide any support for the claim of need for protection. Had the City submitted a truthful and accurate application in 2017 showing the need to dump rip rap into the creek to protect the proposed pipe, that application could very well have been rejected.

The Permit from which this appeal is being taken states in Par. 4 (Background) that "[t]he scope of work proposed [in the 2017 permit application] was to construct a FIRST PHASE of emergency repairs to the sewer main." In Par. 5, it states that "[t]his permit application represents a SECOND PHASE of work to install a scour pad constructed of rip rap..." These are false, misleading and disingenuous statements. There was no PHASE ONE and PHASE TWO. The City's 2017 application to install the sewer pipe was not an application for a two phase construction project. It was an application to install a sewer main and nothing more. If, at the time of the 2017 application, the City deemed it necessary to install rip rap in the future and in two phases, the City's 2017 application should have stated just that. The term "phased construction" has a well understood and accepted definition in the construction/engineering communities. If the City had intended to pursue "phased construction," the time to declare that intention was at the time of the City's submission of the 2017 permit application.

4. There is No Such Thing as a "Scour Pad." The use of the term "scour pad" as part of the application process is a scam and a joke being used by the City to divert attention from the fact that the City's proposed project is nothing more than dumping rip rap into the creek on both sides of the sewer pipe . A search of the applicable literature and a google search shows no reference to the term "scour pad." A pad is just that—like a Brillo pad. The proposed rip rap is not going to form anything like a pad. The proposed rip rap dump is going to traverse the creek from bank to bank on each side of the sewer pipe.
5. The City has failed to demonstrate a need to dump rip rap into the creek. On page 4 of 6 of the Floodplain Design Review Requirement under Standards and Staff Comments, the City states "the intervention [dumping of rip rap] is designed to protect the integrity of the sewer main..." In the Background of the Permit at par. 4, the Permit states the work is "designed to protect the main from being compromised or failing in the future." The City, in both its Application for the Permit and in the Permit itself, totally fails to demonstrate or explain in any way what the rip rap is intended to protect the pipe from or why the rip rap is needed.

The existing pipe that the City seeks to protect was installed in August 2017. Now, one year later, that pipe has been in service for a full year without any incident, loss of "integrity" or "being compromised." In addition, the original sewer pipe was installed in 1968. The original pipe was not "protected" by any rip rap or "scour pad." That unprotected pipe performed for more than 49 years without any "loss of integrity" or "being compromised." 49 years in operation is likely at or may even exceed the design life of that original pipe. The only thing that is in the creek besides fish is water – the same water that flowed in the creek for 49 years before the prior pipe suffered any damage.

The City has provided no evidence or other data indicating, let alone proving, that the prior pipe was in any way adversely effected by the process of scouring. If the City had any concern during the 49 years the prior pipe was in operation that the pipe would be adversely affected by the process of scouring, the City could have and should have sought a means to protect that pipe, but the City did no such thing. The City has provided no evidence or other data indicating that the currently installed pipe is any more likely to be adversely affected by scouring than the prior pipe.

6. By the City's Engineers Own Admission the No Rise Certification is Based on Inaccurate Data. A prerequisite for the issuance of the Permit was submission by the City of a No-Rise certification certifying the proposed action "shall not result in any increase in flood levels."

As a result of the City's unpermitted and unauthorized dumping of rip rap into the creek in May 2017, slightly upstream from the proposed project but in the immediate vicinity

of the proposed project, the City has already drastically altered the direction, flow and hydrology of the creek in the exact area where the City now wants to dump additional rip rap. Appellant's property is immediately adjacent to the proposed project area on the upstream side and just downstream from the rip rap the City dumped into the creek in May 2017. A lawsuit addressing the City's prior unpermitted and unauthorized work and the destructive effect that work had on my property has been filed in the District Court in Blaine County. A copy of that lawsuit is enclosed herewith as **Exhibit C** and each paragraph thereof is incorporated herein by reference.

The No Rise Certification on which the current application is based is fatally flawed and has no value or meaning. Galena Engineering used 2010 floodplain data published by FEMA—Flood Insurance Study/FIS—on which to base its No Rise Certification analysis, computer modeling and conclusions. Because of the City's unpermitted and unauthorized upstream riprapping done in May 2017, the flow and direction of the creek, as well as the location and slope of the stream bank, was drastically altered in 2017 in the immediate vicinity and adjacent to the proposed project area. The 2010 floodplain data relied on my Galena is no longer an accurate or reliable source of information to describe the current elevations, stream dimensions and locations, hydrology, flow and other important data on which to base a No Rise Certification. By relying on outdated 2010 floodplain data, the computer modeling done by Galena is classic garbage in/garbage out.

Galena admits right in its No Rise Certification that the FIS 2010 data it used is no longer accurate or reliable. Galena states: "A full flood study is warranted for the entirety of this water shed because the current study [FIS] is nearly obsolete." Galena also admits it has used a garbage in/garbage out computer model when stating: "This approach [Galena's computer modeling] recognizes that the current channel characteristics are likely not represented by the FIS."

In fact, Galena even admits that the 2010 FEMA data used by Galena was not accurate at the time it was prepared by FEMA in 2010. Galena states: "It is difficult to compare existing vs. adopted floodplain limits along Warm Springs Creek because of the OUTDATA DATA utilized by FEMA [in 2010]." (Emphasis added.)

Particularly telling is the language used by Galena in the conclusion of Galena's No Rise Certificate which states: "While no guarantee can be provided that the adjacent properties will not be negatively impacted...historically these projects [scour pads] have LITTLE EFFECT outside of the immediate project area." (Emphasis added.) Because my property is immediately adjacent to "the immediate project area" and because my stream bank has already been destroyed by the City's unpermitted and unauthorized riprapping done in May 2017, my property can no longer withstand even the undefined and unknown "LITTLE EFFECT" that Galena predicts would result if the City is allowed to proceed with the proposed project. Just how much and how big is this "LITTLE EFFECT?"

The truth is there is simply now way to accurately predict with a reasonable degree of engineering certainty if there will be no rise in the creek if the Applicant's project proceeds without having accurate datum fixing the elevations of the stream bed and the locations and slopes of the stream banks. Galena, in a clear attempt to avoid engineering responsibility, admits that accurate datum was not used by Galena in preparing Galena's No Rise Certification, because, as Galena states, that datum does not currently exist.

Galena's efforts to rely in its conclusion on what has occurred "historically" to justify its conclusions is also meaningless. Galena fails to cite or identify a single project where "scour pads" have been installed without impacting adjacent property.

The City's attempt to cure the defects in Galena's No Rise Certification by having a peer review performed by SPF Water Engineering (SPF) fails. In fact, SPF partially confirms these defects in the Galena Certification.

SPF states: "It is concerning to us the modeled water surface elevation is 2.78 to 3.03 lower than the BFE shown in the FIS." In other words, the FIS on which the Galena no-rise certification was based contains a substantial inaccuracy. SPF goes on to state: "No mention of model boundary conditions was found in the [Galena] report." The reason no boundary conditions were found is because both Galena and SPF are well aware that both the location and slope of the bank on each side of Warm Springs Creek in the area being modeled have changed substantially since the data on which Galena relied was gathered.

The manner in which PSF carried out its peer review is remarkable and unusual. Rather than conduct its peer review independently, PSF conducted its peer review in collaboration with Galena. PSF asked Galena an unknown number of questions as evidenced by the email exchange attached to the PSF report. Three of the questions are summarized in the email exchange. There is no indication that PSF independently verified any of Galena's answers, particularly the answer to Question One where Galena admits "the channel has experienced significantly (sic) downcutting." There is no indication of the extent or elevations of the downcutting – information which is critical to a no-rise certification.

Equally remarkable is the fact that the SPF letter dated August 2, 2018 summarizing its peer review activity does not contain a section containing the opinions or conclusions of SPF. While SPF does make comments on aspects of the Galena No Rise Certification, SPF does not validate or otherwise endorse the reliability or accuracy of the Galena No Rise Certification, either unequivocally or with reservations. SPF fails to provide any opinions or conclusions as one would expect to see in a peer review stamped by an engineer. In addition, SPF did not perform its own no-rise analysis which would have been the very best way to determine the accuracy or inaccuracy of the Galena No Rise Certification.

7. Photos Prove Creek Will Rise and Course Will be Altered. Attached as Exhibit D are photos of the creek. In each photo the now existing sewer main installed in 2017 can be seen. The City proposes to dump rip rap into the creek so that the rip rap traverses the entire creek. The 12" irregular shaped rip rap will extend four feet upstream of the sewer pipe and 8 feet downstream from the sewer pipe. (See Brockway Engineering, Profile and Cross-section Drawing #3.) Including the diameter of the pipe the proposed "scour pad" will create a permeable dam that exceeds 12 feet and 3 feet in height. A structure of that magnitude will most definitely cause the creek to rise and its course to be altered.
8. The Permit Allows Activity that Violates KMC 17.88.040.C.8. This code provision states:

It shall be unlawful to dump, deposit, or otherwise cause...any material to be placed in any stream.

The City's proposed course of action obviously violates the code provision. The City seeks to be exempted from enforcement of this provision, despite the fact the City failed to provide proper notice, failed to demonstrate a need or viable reason for dumping rip rap into the creek, submitted a no-rise certification that was based on admittedly incorrect data, acted in bad faith, and failed to pursue an installation option that would have precluded the need to dump any rip rap into the creek.

9. Protest of Fee. Appellant hereby protests the City of Ketchum filing fee of \$2,750 as being exorbitant and unreasonable. The fee is a form of unfair taxation in violation of appellants due process and other constitutional rights.

The undersigned hereby certifies that the foregoing is true and correct to the best of his knowledge.

DATED this 17th day of August, 2018 in Ketchum, Idaho.



R. Miles Stanislaw

EXHIBIT A
August 10, 2018 Decision



**City of Ketchum
Planning & Building**

**CITY OF KETCHUM
ZONING CODE TITLE 17, CHAPTER 17.88, FLOODPLAIN MANAGEMENT
ADMINISTRATIVE FLOODPLAIN DEVELOPMENT PERMIT –
WATERWAYS, FLOODPLAIN, AND STREAMBANK ALTERATION**

PROJECT: Warm Springs Scour Pad at Aspen Drive

FILE NUMBER: #18-068

OWNER: City of Ketchum

REPRESENTATIVE: Samantha Stahlnecker, Galena Engineering

REQUEST: Installation of a scour pad around sewer main

LOCATION: Warm Springs Creek creekbed parallel to Georginia Road, downstream from Aspen Drive bridge (Ketchum FR SESW TL 3296 K4N 17E Sec 11 Creek Bed)

ZONING: Underlying zoning N/A – creekbed

OVERLAYS: Avalanche Overlay and Floodplain Management Overlay (FP) –Waterways Design Review, Floodplain, and Floodway subdistricts

REVIEWERS: Brittany Skelton, CFM

NOTICING: Property owners within 300' were noticed by mail on June 14, 2018

ATTACHMENTS:

- No Rise Certification for Aspen Drive Sewer Main Scour Pad – City of Ketchum, Galena Engineering, dated May 1, 2018
- Warm Springs Sewer Line Review memo, SPF Water Engineering, dated August 2nd, 2018
- IDWR permit S37-20523
- Army Corps of Engineers permit NWW-2017-500-I02

BACKGROUND

1. The subject property is an approximately 1,500' in length portion of the creek bed of Warm Springs Creek, owned by the City of Ketchum, located downstream from the bridge crossing Warm Springs Creek at Aspen Drive. Because the majority of the parcel aligns with the channel of Warm Springs Creek the majority of the parcel is located within the regulatory floodway.
2. During the 2017 flood event the sewer main crossing Georgia Road to Aspen Drive via Warm Springs Creek was compromised. The sewer main had been in place since 1968. Because flows into the wastewater treatment plant were significantly higher than normal during the flood event, city public works staff utilized cameras to inspect main lines for excess infiltration. During this process public works staff discovered the sewer main crossing Warm Springs Creek at Aspen Drive was failing.
3. After discovering the main was failing the main was then capped on both the Georgia Road and Aspen Drive sides of the main and a temporary bypass sewer line was installed above grade in the right-of-way of Aspen Drive.
4. On August 15, 2017 Galena Engineering, on behalf of the City of Ketchum, submitted a Joint Application for Permits to the U.S. Army Corps of Engineers and the Idaho Department of Water Resources. The application was also forwarded to the Idaho Department of Environmental Quality for review and comment. The scope of work proposed was to construct a first phase of emergency repairs to the sewer main.

The proposed scope of work included removing the existing damaged sleeve and concrete cap located in the stream, installing a new sewer pipe encased in steel, and stabilizing the bank with angular riprap to be top dressed with mixed cobble and restorative vegetation.

5. This permit application represents a second phase of work to install a scour pad constructed of riprap, designed to protect the main from being compromised and failing in the future, upstream and downstream of the crossing. The main is currently installed at the grade of the bed of the channel. The proposed scope of work is to install 12" diameter riprap 4' upstream of the existing pipe and extending 8' downstream of the existing pipe. No riprap is proposed to be installed directly on top of the main; rather, the upstream and downstream riprap will slope upward from existing grade to the top of the main.
6. On behalf of the City of Ketchum the scour pad was designed by Brockway Engineering, PLLC and the No Rise Certification was prepared by Galena Engineering.
7. On behalf of the City of Ketchum SPF Water Engineering conducted an independent, third-party review of the proposed scope of work and the No Rise Certification, agreeing with the No-Rise analysis and finding the scour pad design to be adequate.
8. This proposal is intended to be a permanent and stable solution. No future work is anticipated.

Table 1: Floodplain Design Review Requirements

Floodplain Design Review Requirements				
1. EVALUATION STANDARDS: 17.88.050(E)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)1 FLOODPLAIN DEVELOPMENT /WATERWAYS DESIGN REVIEW	<p>Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.</p> <p><i>Staff Comments</i> The scope of work consists of installing a scour pad to protect a sewer main that crosses Warm Springs Creek. A sewer main has existed in the subject location since 1968. However, during the spring 2017 flood event the 1968-era main was compromised. During October 2017 the compromised main was replaced with a new main, with the new main encased in steel.</p> <p>The scour pad is 12' in length with 4' upstream of the main and 8' downstream of the main. Approximately 26 cubic yards of riprap will comprise the scour pad, with the majority of the riprap installed below grade of the creek bed. Above the grade of the creekbed the riprap will slope upward to the top of the main.</p> <p>The scope is a minimal intervention and minimal change to the creek and floodplain; existing conditions are largely preserved. A No Rise Certification has been submitted documenting no rise to the 100-year floodplain.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)2	<p>Preservation or enhancement of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone. No construction activities, encroachment or other disturbance into the twenty five foot (25') riparian zone shall be allowed at any time without written City approval per the terms of this ordinance.</p> <p><i>Staff Comments</i> No development within or alteration to the riparian area is proposed. However, any riparian vegetation disturbed during construction will be repaired.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)3	<p>No development, other than development by the City of Ketchum or development required for emergency access, shall occur within the twenty five foot (25') riparian zone with the exception of approved stream stabilization work. The Administrator may approve access to property where no other primary access is available. Private pathways and staircases shall not lead into or through the riparian zone unless deemed necessary by the Administrator.</p> <p><i>Staff Comments</i> Temporary access through the riparian area will occur during construction in order to access the project area, which is located within the channel of Warm Springs Creek. No permanent development will occur in the riparian area.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)4	<p>A landscape plan and time frame shall be provided to restore any vegetation within the twenty five foot (25') riparian zone that is degraded, not natural or which does not promote bank stability.</p> <p><i>Staff Comments</i> No alteration to the riparian area is proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)5	<p>New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing</p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, beeb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle.
			<i>Staff Comments</i>	<i>No alteration to the riparian area is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)6	Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.
			<i>Staff Comments</i>	<i>Floodwater carrying capacity is not diminished by this proposal, as demonstrated in the No Rise Certification dated May 1, 2018.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)7	Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.
			<i>Staff Comments</i>	<i>The scope of work consists of installing approximately 26 cubic yards of 12" diameter riprap 4' upstream and 8' downstream of a sewer main installed in 2017 in the location of a sewer main that was installed in 1968 and removed because it was compromised. In effect, the change to existing conditions are minimal. No adverse impacts to aquatic life, recreation, or water quality upstream, downstream, or across the stream are anticipated.</i>
				<i>Further, because the intervention is designed to protect the integrity of the sewer main, the intervention facilitates the protection of water quality, aquatic life, and recreation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)8	Building setback in excess of minimum required along waterways is encouraged.
			<i>Staff Comments</i>	<i>N/A, a new building is not being constructed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)9	The top of the lowest floor of a building located in the 1% annual chance floodplain shall be a minimum of twenty-four inches (24") above the base flood elevation of the subject property.
			<i>Staff Comments</i>	<i>N/A, a new building is not being constructed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)10	The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. A LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.
			<i>Staff Comments</i>	<i>N/A, a new building is not being constructed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)11	All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.
			<i>Staff Comments</i>	<i>N/A, a new building is not being constructed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)12	Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for.
			<i>Staff Comments</i>	<i>N/A, a new driveway is not being constructed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)13	Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.
			<i>Staff Comments</i>	<i>The scope of work consists of installing a riprap scour bed below Mean High Water in the channel of the river. Cuts and fills will not occur.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)14	(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.
			<i>Staff Comments</i>	<i>The first phase of a permanent solution to create a stable situation occurred on an emergency basis in the fall of 2017 when a new sewer</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<p>pipe, encased in steel, was installed in the location of the compromised pipe that had been in place since 1968.</p> <p><i>This second phase of work consists of installation of a scour pad to protect the integrity of the main.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)15	<p>(Stream Alteration) No increase to the 100-year floodplain upstream or downstream has been certified by a registered Idaho engineer.</p> <p><i>Staff Comments</i> Galena Engineering has submitted a No Rise analysis certifying that no increase to the 100-year floodplain will occur (No Rise Certificated dated May 1, 2018). The No Rise has been independently reviewed and affirmed on behalf of the City by SPF Water Engineering (memo dated August 2nd, 2018)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)16	<p>(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.</p> <p><i>Staff Comments</i> Recreational use of the stream will not be impeded. The scour pad will be installed below Mean High Water, therefore, the aesthetic beauty of the stream is not obstructed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)17	<p>Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with a comparable amount and/or quality of new wetland area or riparian habitat improvement.</p> <p><i>Staff Comments</i> N/A, no wetlands have been identified on the subject property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)18	<p>(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.</p> <p><i>Staff Comments</i> A sewer main has existing at this location in Warm Springs Creek since 1968. The proposed scour pad construction does not significantly alter fish habitat and largely maintains existing conditions.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)19	<p>(Stream Alteration) The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.</p> <p><i>Staff Comments</i> The proposed scope of work is necessary to protect public infrastructure – a sewer main – and has been designed to be a permanent and stable solution with a minimal visual impact. The stability of the intervention is in the public's interest as the main carries sewage to the wastewater treatment facility. Property values, fish and wildlife habitat, aquatic life, recreation, the beauty of the stream and water quality are protected by this intervention.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)20	<p>(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.</p> <p><i>Staff Comments</i> The proposed scope of work is specifically to protect a public sewer distribution line and therefore is for the protection of public health, safety, and welfare.</p>

CONDITIONS

1. In addition to the conditions stated below, all conditions of approval included in IDWR permit S37-20523 and Army Corps of Engineers permit NWW-2017-500-I02 shall be adhered to;

2. The approved scope of work is limited to the scope of work described in the No Rise Certification dated May 1, 2018;
3. Any riparian vegetation disturbed during construction shall be repaired by October 1, 2019;
4. Floodplain Development Permit approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.050.G, Terms of Approval;
5. Pursuant to KMC 17.88.040.C.8, it shall be unlawful to dump, deposit or otherwise cause any trash, landscape debris or other material to be placed in any stream, channel, ditch, pond or basin that regularly or periodically carries or stores water;

Decision: Approved, subject to conditions above.

DATED this

10th day of August, 2018



Brittany Skelton, CFM

GALENA ENGINEERING

**317 North River Street
Hailey, ID 83333
208.788.1705**

No Rise Certification

For

Aspen Drive Sewer Main Scour Pad- City of Ketchum

May 1, 2018



**ENGINEER OF RECORD
Samantha Stahlnecker**

Section 1: Introduction

Galena Engineering has prepared this report for the Stream Alteration Permit request for Aspen Drive and Georgia Road to protect an existing sewer main crossing in Warm Springs Creek for the City of Ketchum. We have visited the site and reviewed the design by Brockway Engineering on behalf of the City of Ketchum for stream channel work along Warm Springs Creek.

This report summarizes the process used to consider if the proposed project will cause a net increase to the one percent (1%) annual chance floodplain elevation based upon the assumptions and analyses contained herein.

This is a minor project consisting of not more than approximately 15-20 linear feet of river bank impact. Therefore, this is a conveyance analysis ONLY and is not a full flood study with multiple cross sections and locations evaluating extensive flooding characteristics up or down stream. A full flood study is warranted for the entirety of the water shed because the current study is nearly obsolete; but a project of the nature proposed herein cannot reasonably be required to undertake an effort of that magnitude. Instead, eight cross sections have been used to evaluate approximate conveyance capacity in the immediate project area. Flow rates, and roughness coefficients from the adopted FIS were applied to the current cross section and the resulting Base Flood Elevation was compared to published information. This approach recognizes the current channel characteristics are likely not represented by the FIS, and second, focuses on the key point of whether or not the current/design cross section can convey the anticipated flow without exceeding the published flood elevation - regardless of where the flow now takes place within the cross section.

Section 2: Project Background

Project location

The proposed project is located between Georgia Road and Aspen Drive east of Aspen Drive. Stream work was conducted in the Fall of 2017 to repair the existing sewer main which was damaged during the Spring 2017 flood event. To avoid future damage to the sewer main, it is Galena Engineering's understanding that the intent of the proposed project is to install a scour pad upstream and downstream of the pipe crossing to protect the integrity of the main. The site is located adjacent to the Warm Springs Creek between mapped cross sections L and M from the November 26, 2010 FEMA Flood Insurance Study (F.I.S.). The FEMA FIRM panel representing the project site is 0434. Refer to *Appendix A* for a map of the proposed project site and design information by others.

Type of Work

Brockway Engineering is proposing to install 12" riprap 8 feet downstream and 4 feet upstream of the existing pipe location up to the top of the pipe. No bank stabilization work is proposed, and any riparian landscaping that is damaged during the construction process will be repaired.

Schedule

The proposed bank stabilization project will be scheduled and managed by the City of Ketchum, Brockway Engineering, and Galena Engineering.

Brief Flood Study History and Relationship to Existing Conditions Discussion

The survey data used to determine the 1997 F.I.S. flood limits for Warm Springs was previously surveyed from 1970-1974 by the U.S. Army Corps of Engineers. The same survey data was utilized for the 2010 F.I.S. without modification. Aside from a LOMR, effective July 2, 2015, which impacted cross section AE-AO on Warm Spring Creek, no updates to Warm Spring Creek geometry have been made since 1994. It is difficult to compare existing vs. adopted flood limits along Warm Springs Creek because of the outdated data utilized by FEMA.

Section 2: Methods, Calculations, and Results

Flood Insurance Study Site Reference Data

Table 1: F.I.S. Study Reference Data

F.I.S. FIRM Panel	F.I.S. Flood Profile	Adjacent F.I.S. Cross Sections
0434	091P	L & M

Refer to *Appendix B: F.I.S. Study Reference Data*, for the project F.I.S. profile, firm panel, and associated floodway data.

Field Data Collection

Eight cross sections both upstream and downstream of the repaired sewer main crossing were surveyed on December 15, 2017. The cross sections extended beyond the 2010 FEMA mapped floodway, through a majority of the mapped floodplain, and captured the existing ground elevations and river bottom elevations.

Computer Modeling

The surveyed cross sections were modeled in AutoCAD Civil 3D and exported to HEC-RAS. Once in HEC RAS, upstream and downstream channel slopes were applied based upon the surveyed cross sections, and the cross sections impacted by the riprap scour pad were adjusted accordingly. The proposed channel bottom was sloped up to the top of pipe beginning 4' upstream of the pipe and sloped down starting at the pipe and ending 8' downstream. No fill is proposed over the existing pipe, so no elevation changes at the pipe were modeled.

The model was allowed to utilize the full width of the surveyed cross sections for the flow analysis with no horizontal constraints regarding the published floodplain or floodway. Given the deficiencies in the current FIS model stated previously, this approach represents current conditions most closely.

Results

The table below summarizes the results from the previously described calculations.

Table 2: Model Input Variables & Results

Description	River Station (feet above mouth)	Flow Rate (cfs)	Slope	2010 FIS						Project Calculations		
				Manning's N-Values*			BFE	Section Area (sq. ft)	Flow Velocity (ft/s)	BFE	Section Area (sq. ft)	Flow Velocity (ft/s)
				LOB	Channel	ROB						
Upstream Cross Section "M"	76+30	1,250	1.4%	0.2	0.065	0.2	5858.1	187**	6.7			
Project Cross Section (Upstream of Pipe)	74+15		-				5856.0	-	-	5853.22	182.37	6.85
Project Cross Section (@ Pipe)	74+11		-				5855.9	-	-	5852.87	156.44	7.84
Project Cross Section (Downstream of Pipe)	74+02		-				5855.9	-	-	5852.99	193.33	6.47
Downstream Cross Section "L"	72+90		0.5%				5854.6	199**	6.3			

*Manning's N-Values were assigned based upon Table 5. Range of Manning's Roughness Values in the 2010 FEMA F.I.S.

**2010 F.I.S. Floodway Area

Refer to Appendix C: Results, for raw exported results from HEC-RAS.

The calculations shown in Table 2 indicate base flood elevations that vary between 2.78-3.03 feet lower than the mapped B.F.E. published in the 2010 F.I.S. The calculated flood plain flow area is shown in the color blue on the vicinity map.

The average velocities exported from the HEC-RAS model upstream and downstream of the pipe resulted in minimal increases of approximately 0.15 feet/second when compared to upstream and downstream cross sections "M" and "L". The model results at the existing pipe showed a localized increase in average flow velocity of over 1 feet per second. Because fill is not proposed beyond the elevation of the top of the pipe, these increase velocities are expected under existing conditions as well. By installing channel bed material upstream and downstream of the pipe that is larger than existing, the bed load is less likely to transport under faster velocities. The proposed rip rap scour pad should decrease erosive conditions in Warm Springs Creek at the existing sewer pipe crossing.

Section 3: Conclusions

Based on the information discussed in this report, Galena Engineering's calculations show that the proposed stream bank stabilization work will not cause a net increase to the one percent (1%) annual chance floodplain elevation at the studied location. No adverse impacts on other property or persons are foreseen as a result of this project. While no guarantee can be provided that the adjacent properties will not be negatively impacted by the random forces at work along the river, historically these projects have little effect outside of the immediate project area. If you have any questions or require additional information, please contact the professional engineer of record listed on the cover sheet of this report.

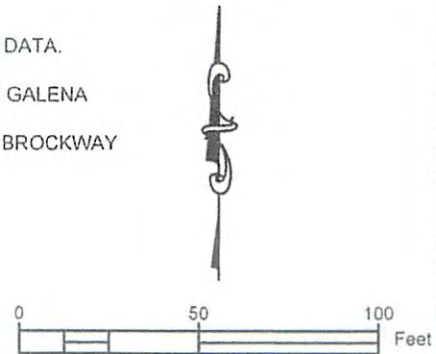
Appendix A: Site Map & Design Information

NOTES:

1. PARCEL BOUNDARIES SHOWN HEREON ARE PER FOUND MONUMENTATION.
2. MAPPED FLOOD INFORMATION SHOWN HEREON IS APPROXIMATE PER BLAINE COUNTY GIS DATA.
3. PHOTO DATE: MAY 2017 (BLAINE COUNTY)
4. EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER A SURVEY CONDUCTED BY GALENA ENGINEERING ON DECEMBER 15, 2017.
5. PROPOSED SCOUR PAD DESIGN SHOWN HEREON IS BASED UPON DESIGN DOCUMENTS BY BROCKWAY ENGINEERING DATED MARCH 30, 2018.

LEGEND

- Adjoining Property Line
- Base Flood Elevation
- FEMA Cross Section
- River/Creek Centerline
- FW FEMA Floodplain
- FW FEMA Floodway
- MHW Mean High Water



REUSE OF DRAWINGS
 These drawings, or any portion thereof, shall not be used on any Project or extension of Project except by agreement in writing with Galena Engineering, Inc.

Galena Engineering Inc.

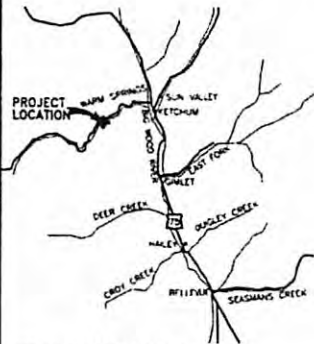
Civil Engineers & Land Surveyors
 317 North River Street
 Halley, Idaho 83333
 (208) 788-1705
 (208) 788-4612 fax
 email galena@galena-engineering.com

VICINITY MAP FOR
ASPEN WAY SEWER CROSSING RIPRAP SCOUR PAD
 WITHIN S 11, T.4N., R.17E., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR THE CITY OF KETCHUM

PROJECT INFORMATION
 P:\adskproj\1318-166\dwg\Construction\Phase 2-Scour Pad\1318_Ph2_Flood Model Drawing.dwg 05/01/18 10:17:04 AM



ESRI WORLD IMAGERY



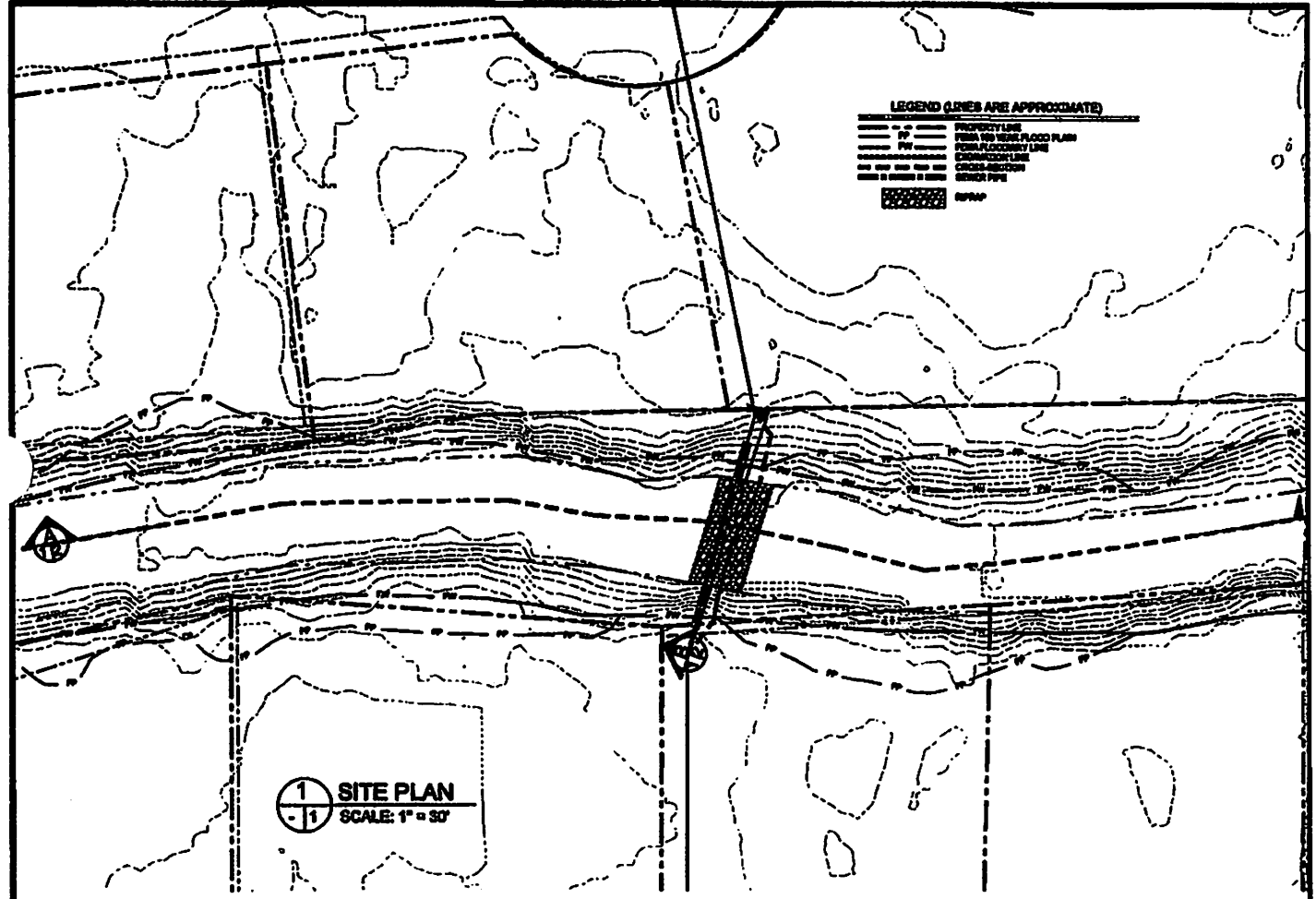
(SCALES FOR 8.5 X 11 DWGS ONLY)



DRAWING INDEX	
TITLE	DWG No.
COVER SHEET AND VICINITY MAP	0
SITE PLAN	1
PROFILE & CROSS-SECTION	2
DETAIL	3

<p>THIS DRAWING HAS BEEN PREPARED BY BROCKWAY ENGINEERING, PLLC FOR A SPECIFIC PROJECT TAKING INTO ACCOUNT THE SPECIFIC AND VARIABLE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED UNLESS APPROVED IN WRITING BY BROCKWAY ENGINEERING AND THE CLIENT'S SIGNATURE.</p>	DESIGNED BY	GER	BROCKWAY ENGINEERING, PLLC HYDRAULICS - HYDROLOGY - WATER RESOURCES 2016 NORTH WASHINGTON, SUITE 4 TWIN FALLS, ID 83301 (208) 736 8543	CITY OF KETCHUM ASPEN WAY SEWER		PROJECT #	XXXX-XX-2018
	DRAWN BY	ICB		COVER SHEET & VICINITY MAP		DWG #	0
	ISSUE FOR REVIEW	3/30/18		REV	DESCRIPTION	DATE	APPROVED BY

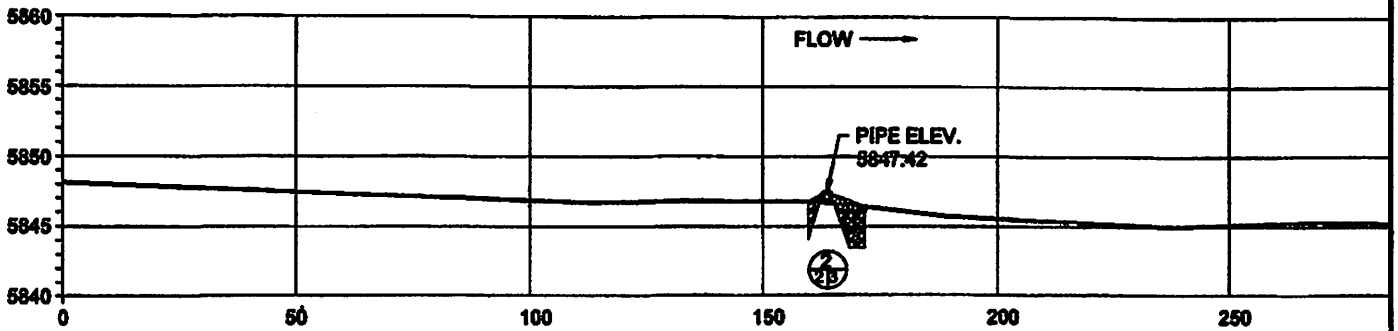
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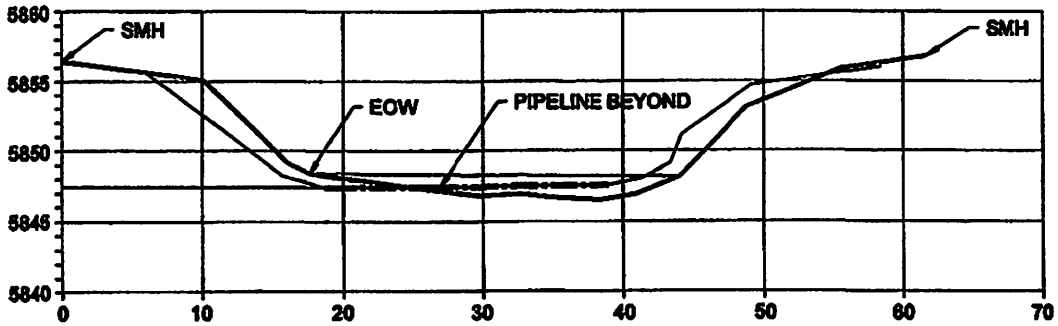
1 SITE PLAN
SCALE: 1" = 30'

<p>DESIGNED BY GSP</p>		<p>BROCKWAY ENGINEERING, PLLC <small>MEMPHIS - MEMPHIS - JENSEN MEMPHIS</small> 5142 NORTH WINDINGTOWN, SUITE 4 THORN HILL, ID 83221 (208) 739-8543</p>	<p>CITY OF KETCHUM ASPEN WAY SEWER</p>		<p>PROJECT # 2006-10-017</p>
<p>DRAFTED BY ICB</p>			<p>SITE PLAN</p>		<p>DWG # 1</p>
<p>APPROVED BY [Signature]</p>				<p>REV 1</p>	

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A **STREAM PROFILE**
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 10'

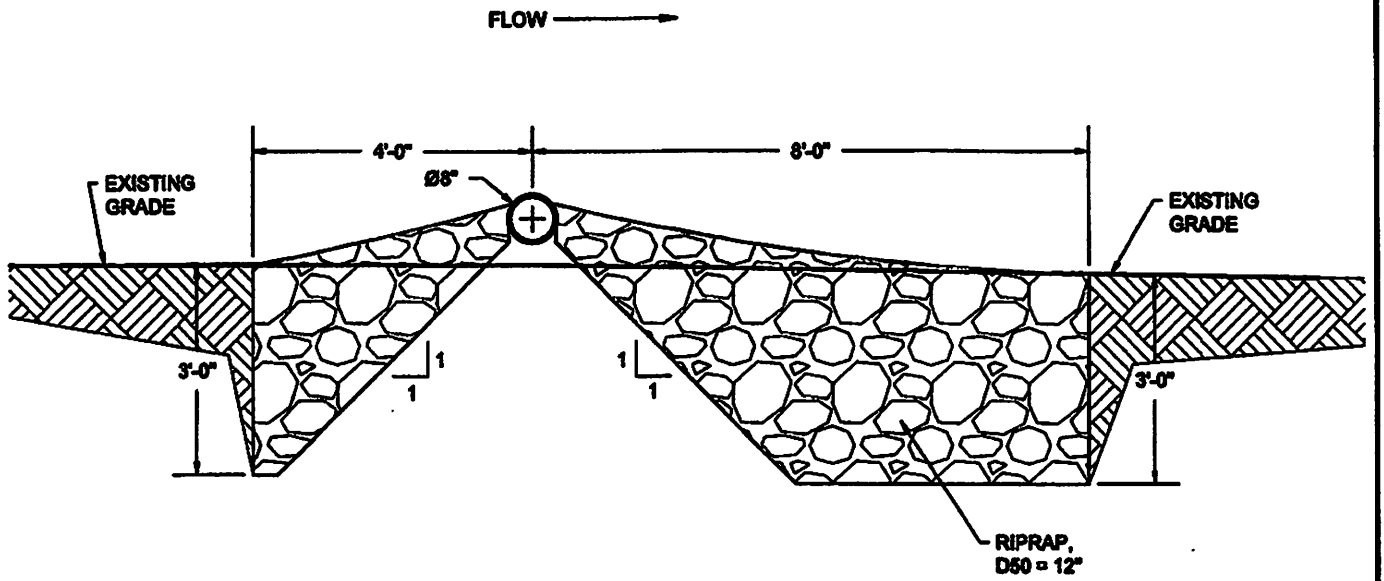


B **CROSS-SECTION**
 SCALE: 1" = 10'

(SCALE FOR AS SHOWN ONLY)

<small>DESIGNED BY</small> <small>DRAWN BY</small> <small>CHECKED BY</small> <small>DATE</small> <small>APP'D BY</small>	<small>DESIGNED BY</small> GEP	BROCKWAY ENGINEERING, PLLC <small>MEMPHIS - MEMPHIS - WATERWORKS</small> 2000 NORTH WASHINGTON, SUITE 4 TOMBALL, TX 77375 (281) 720-8500	CITY OF KETCHUM ASPEN WAY SEWER	<small>PROJECT #</small> K3324-02-0017
	<small>DRAFTED BY</small> GEP			<small>DWG #</small> 2

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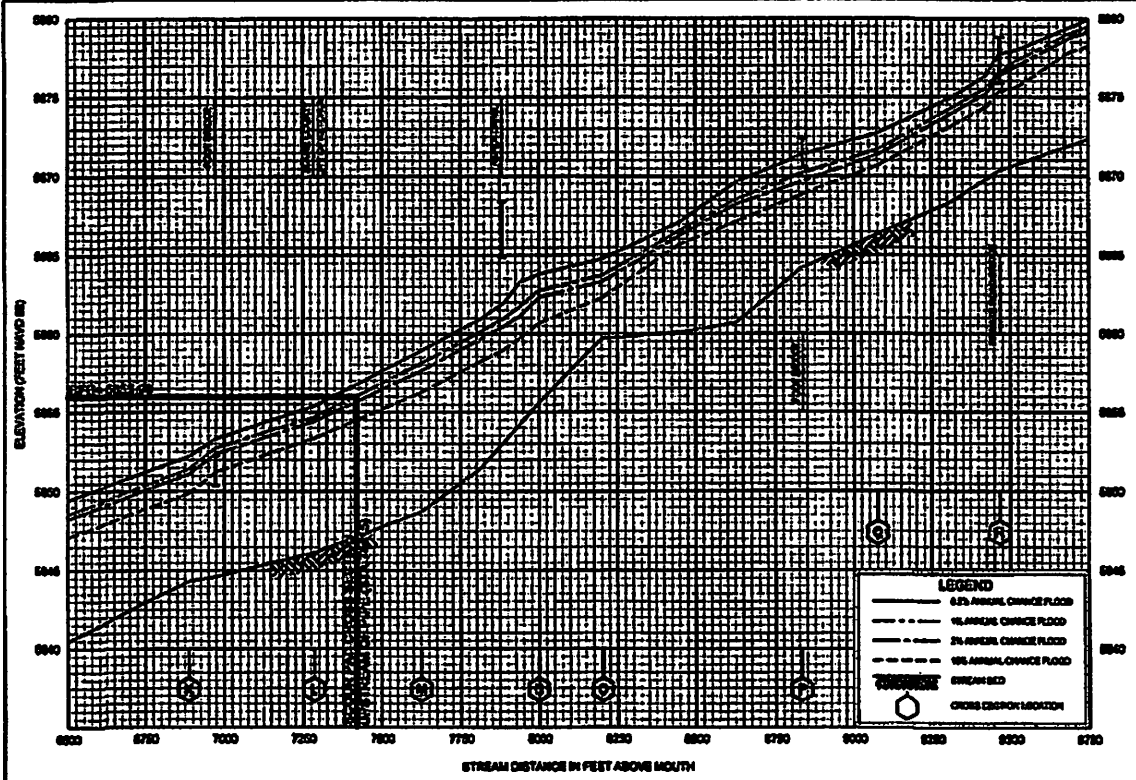


2 RIPRAP DETAIL
2/3 SCALE: 1/2" = 1'

(SCALE FOR 8.5 X 11 (INCH) ONLY)

<small> I am a registered professional engineer in the State of Idaho. I am not providing any services or performing any work under my license in any other state. I am not providing any services or performing any work under my license in any other state. I am not providing any services or performing any work under my license in any other state. </small>	DESIGNED BY	BROCKWAY ENGINEERING, PLLC 3016 NORTH WASHINGTON, SUITE 4 TWIN FALLS, ID 83301 (208) 739-8840	PROJECT #	K20124-0017
	CEP		CITY OF KETCHUM ASPEN WAY SEWER	
<small> I am a registered professional engineer in the State of Idaho. I am not providing any services or performing any work under my license in any other state. I am not providing any services or performing any work under my license in any other state. I am not providing any services or performing any work under my license in any other state. </small>	DRAFTED BY	CITY OF KETCHUM 200 W. MAIN ST. KETCHUM, ID 83301 (208) 739-8840	PROFILE AND CROSS-SECTION	REV
A. [Signature] CIVIL ENGINEER	ICB		3	[Warning Symbol]

Appendix B: F.I.S. Study Reference Data



FLOOD PROFILES
WARM SPRINGS CREEK

FEDERAL EMERGENCY MANAGEMENT AGENCY
BLAINE COUNTY, ID
AND INCORPORATED AREAS

091P

FLOODING SOURCE		FLOODWAY			1-PERCENT-ANNUAL-CHANCE FLOOD WATER SURFACE ELEVATION			
CROSS SECTION	DISTANCE ¹	WIDTH (FEET)	SECTION AREA (SQ. FEET)	MEAN VELOCITY (FEET/SEC)	REGULATORY (FEET NAVD)	WITHOUT FLOODWAY (FEET NAVD)	WITH FLOODWAY (FEET NAVD)	INCREASE (FEET)
Warm Springs Creek								
A	1,240	175	284	4.9	5,801.3	5,800.2 ²	5,800.4 ²	0.2
B	1,820	58	264	4.9	5,805.7	5,805.7	5,806.1	0.4
C	2,320	58	292	4.3	5,809.9	5,809.9	5,810.6	0.7
D	2,900	72	264	4.7	5,815.4	5,815.4	5,815.7	0.3
E	3,310	53	220	5.7	5,816.7	5,816.7	5,819.1	0.4
F	3,790	46	208	6.0	5,823.6	5,823.6	5,823.8	0.3
G	4,220	50	222	5.6	5,826.7	5,826.7	5,827.3	0.6
H	4,800	43	220	5.7	5,832.7	5,832.7	5,833.0	0.3
I	5,360	52	267	4.7	5,841.7	5,841.7	5,842.3	0.6
J	6,180	56	178	7.0	5,844.2	5,844.2	5,844.6	0.4
K	6,690	32	158	6.7	5,851.4	5,851.4	5,851.7	0.3
L	7,290	30	199	6.3	5,854.6	5,854.6	5,855.2	0.6
M	7,630	30	187	6.7	5,858.1	5,858.1	5,858.4	0.3
N	8,000	59	319	3.9	5,862.9	5,862.9	5,862.9	0.0
O	8,210	96	284	4.4	5,863.7	5,863.7	5,863.8	0.1
P	8,640	56	274	4.6	5,870.0	5,870.0	5,870.2	0.2
Q	9,080	56	212	6.9	5,871.7	5,871.7	5,871.8	0.1
R	9,470	35	206	6.1	5,876.5	5,876.5	5,876.6	0.1
S	10,610	67	175	7.1	5,890.0	5,890.0	5,890.2	0.2
T	11,330	37	180	7.0	5,896.3	5,896.3	5,896.8	0.5
U	11,630	60	320	3.9	5,902.2	5,902.2	5,902.4	0.2
V	12,330	48	154	8.1	5,904.8	5,904.8	5,905.0	0.2
W	12,990	30	162	6.6	5,911.0	5,911.0	5,911.3	0.3
X	13,385	56	260	4.6	5,913.9	5,913.9	5,914.7	0.8
Y	13,915	41	196	6.4	5,919.3	5,919.3	5,919.4	0.1
Z	14,282	91	350	3.3	5,922.9	5,922.9	5,923.7	0.8

¹Feet above mouth

²Elevation computed without consideration of backwater effects from Big Wood River

TABLE 7

FEDERAL EMERGENCY MANAGEMENT AGENCY

BLAINE COUNTY, IDAHO
AND INCORPORATED AREAS

FLOODWAY DATA

WARM SPRINGS CREEK

Table 4. Summary of Discharges (continued)

<u>Flooding Source and Location</u>	<u>Drainage Area (square miles)</u>	<u>Peak Discharges (cfs)</u>			
		<u>10-percent- annual-chance</u>	<u>2-percent- annual-chance</u>	<u>1-percent- annual-chance</u>	<u>0.2-percent- annual-chance</u>
Quigley Creek					
At Mouth	17.3	180	- ¹	500	- ¹
At Bellevue Northern Corporate Limit	46.6	620	920	1,030	1,255
Seamans Creek					
At Cross Section A	24	350	770	1,050	1,850
Slaughterhouse Creek					
At Canyon Mouth	14	- ¹	- ¹	730	- ¹
Trail Creek					
At Mouth	69	600	900	1,020	1,300
Warm Spring Creek					
At Mouth	99	750	1,100	1,250	1,650

¹Data not available

Channel and overbank roughness factors (Manning's "n") used in the hydraulic computations were chosen by engineering judgment and based on field observations of the streams and floodplain areas and aerial photographs. The backwater computations on Trail Creek, Warm Springs Creek, and the East Fork Big Wood River were previously determined by the USACE (References 12, 9, and 11, respectively). On Trail Creek and the East Fork Big Wood River, a single value of 0.065 for the entire reach studied on each stream was used for the channels, and 0.200 was used for the overbanks. On Warm Springs Creek, a single value of 0.065 for the entire reach was used for the channel, while overbank roughness coefficients varied between 0.070 and 0.200. Values selected for these roughness factors were very conservative (high), reflecting the USACE policy at the time that the Floodplain Information Reports were written, which called for using very conservative roughness values in all Floodplain Information Studies. Using these conservative values helps to account for debris accumulation or other localized channel obstructions which might occur at any point along the stream.

The range of roughness values used for all flooding sources is shown in Table 5. The acceptability of all assumed data was checked by computations that duplicated historic floodwater profiles.

Table 5. Range of Manning's Roughness Values

<u>Flooding Source</u>	<u>Main Channel</u>	<u>Floodplain</u>
Big Wood River		
Below Bellevue	0.042-0.065	0.060-0.200
Above Eagle Creek	0.045-0.065	0.080-0.200
Croy Creek	0.055-0.150	0.040-0.200
Deer Creek	0.0450	0.050-0.075
Eagle Creek	0.024-0.055	0.024-0.060
East Fork Big Wood River	0.0650	0.2000
Indian Creek	0.050-0.070	0.070-0.100
Quigley Creek	0.0500	0.0500
Seamans Creek	0.030-0.090	0.030-0.100
Trail Creek	0.0650	0.2000
Warm Springs Creek	0.0650	0.070-0.200

Water-surface elevations for floods of the selected recurrence intervals, except for Quigley Creek, were computed through use of the USACE HEC-2 step-backwater computer program (References 19, 20, and 21). Starting water-surface elevations for all floods on each stream studied in detail were found by using a normal depth analysis at the farthest downstream cross section. Exceptions include Eagle Creek, for which computations began with critical depth at U.S. Highway 93, and the 1-percent-annual-chance flood on the Big Wood River above Eagle Creek, East Fork Big Wood River, Trail Creek, and Warm Springs Creek, for which computations began at the elevation previously used by the USACE in their Floodplain Information Reports of these streams (References 3, 9, 11, and 12).

Flood profiles were drawn showing computed water-surface elevations to an accuracy of 0.5 foot for floods of the selected recurrence intervals.

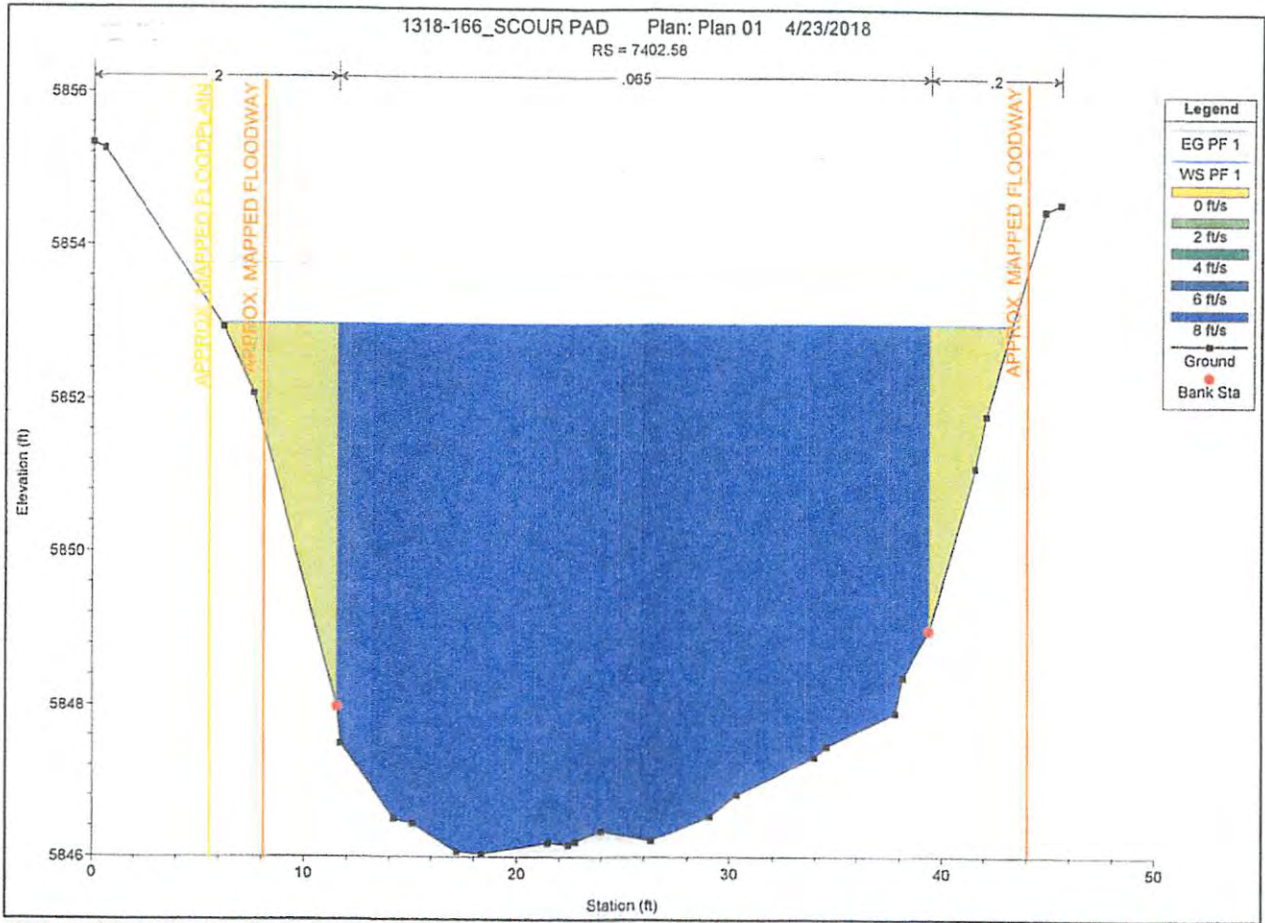
Appendix C: HEC-RAS Results

Plan: Plan 01 WARM SPRINGS CRE WARM SPRINGS CL RS: 7402.68 Profile: PF 1

E.G. Elev (ft)	5853.78	Element	Left OB	Channel	Right OB
Vel Head (ft)	0.77	Wt. n-Val.	0.200	0.085	0.200
W.S. Elev (ft)	5852.99	Reach Len. (ft)	18.19	18.19	18.19
Crit W.S. (ft)		Flow Area (sq ft)	12.30	173.14	7.89
E.G. Slope (ft/ft)	0.008915	Area (sq ft)	12.30	173.14	7.89
Q Total (cfs)	1250.00	Flow (cfs)	12.05	1231.00	8.96
Top Width (ft)	37.24	Top Width (ft)	5.48	27.87	3.90
Vel Total (ft/s)	6.47	Avg. Vel. (ft/s)	0.98	7.11	0.88
Max Chl Dpth (ft)	6.95	Hydr. Depth (ft)	2.25	6.21	2.02
Conv. Total (cfs)	13238.8	Conv. (cfs)	127.8	13037.5	73.7
Length Wtd. (ft)	18.19	Wetted Per. (ft)	7.45	28.98	5.60
Mtn Ch El (ft)	5848.04	Shear (lb/sq ft)	0.82	3.33	0.78
Alpha	1.19	Stream Power (lb/ft s)	0.90	23.66	0.69
Frctn Loss (ft)	0.16	Cum Volume (acre-ft)	0.04	0.32	0.03
C & E Loss (ft)	0.01	Cum SA (acres)	0.02	0.05	0.01

1318-166_SCOUR PAD Plan: Plan 01 4/23/2018

RS = 7402.58



Legend	
EG PF 1	
WS PF 1	
0 ft/s	Yellow
2 ft/s	Light Green
4 ft/s	Medium Green
6 ft/s	Dark Green
8 ft/s	Dark Blue
Ground	Black line with square markers
Bank Sta	Red dot

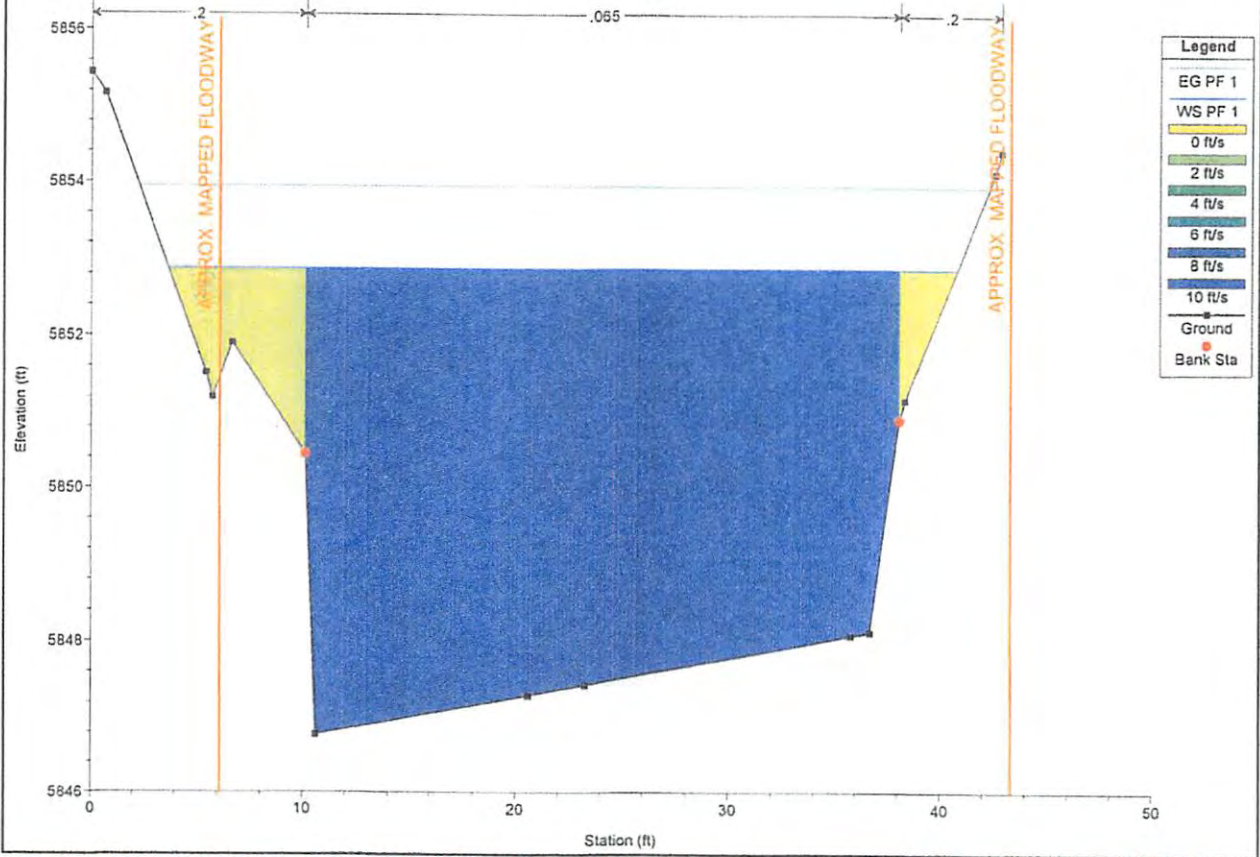
NOTE: PROPERTY LINES ARE PER FOUND MONUMENTATION, AND FLOOD INFORMATION SHOWN HEREON ARE APPROXIMATE PER BLAINE COUNTY GIS DATA.

Plan: Plan 01 WARM SPRINGS CRE WARM SPRINGS CL RS: 7410.17 Profile: PF 1

E.G. Elev (ft)	5853.94	Element	Left OB	Channel	Right OB
Vel Head (ft)	1.08	WL n-Val.	0.200	0.065	0.200
W.S. Elev (ft)	5852.87	Reach Len. (ft)	7.59	7.59	7.59
Crit W.S. (ft)		Flow Area (sq ft)	8.70	148.18	2.58
E.G. Slope (ft/ft)	0.017997	Area (sq ft)	8.70	148.18	2.58
Q Total (cfs)	1250.00	Flow (cfs)	8.52	1238.38	2.13
Top Width (ft)	37.10	Top Width (ft)	6.43	27.98	2.71
Vel Total (ft/s)	7.84	Avg. Vel. (ft/s)	1.09	8.38	0.83
Max Chl Dpth (ft)	6.10	Hydr. Depth (ft)	1.35	5.30	0.94
Conv. Total (cfs)	9317.8	Conv. (cfs)	70.9	9231.0	16.8
Length Wtd. (ft)	7.59	Wetted Per. (ft)	7.57	32.94	3.36
Min Ch El (ft)	5848.77	Shear (lb/sq ft)	1.29	5.05	0.88
Alpha	1.13	Stream Power (lb/ft s)	1.41	42.24	0.71
Frcn Loss (ft)	0.09	Cum Volume (acre-ft)	0.04	0.35	0.03
C & E Loss (ft)	0.09	Cum SA (acres)	0.02	0.08	0.01

1318-166_SCOUR PAD Plan: Plan 01 4/23/2018

RS = 7410.17

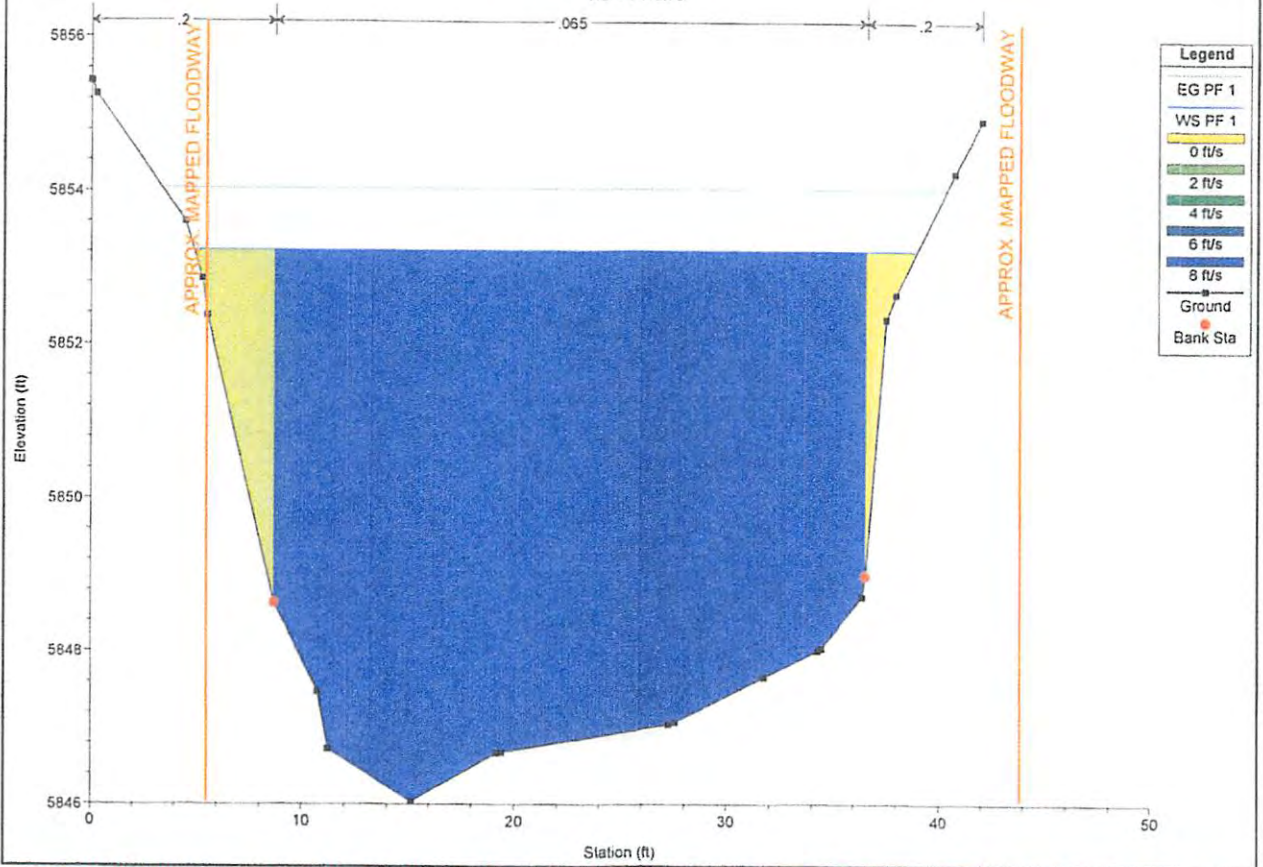


NOTE: PROPERTY LINES ARE PER FOUND MONUMENTATION, AND FLOOD INFORMATION SHOWN HEREON ARE APPROXIMATE PER BLAINE COUNTY GIS DATA

Plan: Plan 01 WARM SPRINGS CRE WARM SPRINGS CL RS: 7416.76 Profile: PF 1

E.G. Elev (ft)	5854.04	Element	Left OB	Channel	Right OB
Vel Head (ft)	0.82	WL n-Val.	0.200	0.085	0.200
W.S. Elev (ft)	5853.22	Reach Len. (ft)	4.59	4.59	4.59
Crit W.S. (ft)		Flow Area (sq ft)	8.75	170.59	3.03
E.G. Slope (ft/ft)	0.009553	Area (sq ft)	8.75	170.59	3.03
Q Total (cfs)	1250.00	Flow (cfs)	8.20	1240.25	1.54
Top Width (ft)	34.04	Top Width (ft)	3.77	27.89	2.38
Vel Total (ft/s)	6.85	Avg. Vel. (ft/s)	0.94	7.27	0.51
Max Chl Dpth (ft)	7.18	Hydr. Depth (ft)	2.32	6.12	1.27
Conv. Total (cfs)	12788.9	Conv. (cfs)	83.9	12689.2	15.8
Length Wtd. (ft)	4.59	Wetted Per. (ft)	5.96	29.06	5.17
Min Ch El (ft)	5848.04	Shear (lb/sq ft)	0.88	3.50	0.35
Alpha	1.12	Stream Power (lb/ft s)	0.82	25.45	0.18
Frcn Loss (ft)	0.05	Cum Volume (acre-ft)	0.04	0.37	0.03
C & E Loss (ft)	0.00	Cum SA (acres)	0.02	0.06	0.01

1318-166_SCOUR PAD Plan: Plan 01 4/23/2018
RS = 7415.76



NOTE: PROPERTY LINES ARE PER FOUND MONUMENTATION, AND FLOOD INFORMATION SHOWN HEREON ARE APPROXIMATE PER BLAINE COUNTY GIS DATA.



August 2, 2018

Brittany Skelton, Senior Planner
Department of Planning and Building
City of Ketchum
PO Box 2315
480 East Avenue North
Ketchum, ID 83340



Subject: Warm Springs Sewer Line Review (SPF Project #1201.0050)

Dear Brittany,

We have reviewed the provided documentation for the Warm Springs Creek Sewer Line Crossing and Scour Pad and have the following summary and comments.

Summary

A sewer main crossing Warm Springs Creek was damaged by flooding in the spring of 2017 and subsequently repaired in the fall of 2017. The repair consisted of installing new sewer pipe encased in a steel sleeve across the creek. To protect the future integrity of the crossing, the City of Ketchum is installing a scour pad across the width of the creek at the crossing. The City would like SPF to provide an independent technical review of the proposed design and no-rise certification.

Documents Reviewed

- No-Rise Certification for Aspen Drive Sewer Main Scout Pad – City of Ketchum prepared and stamped by Samantha Stahlnecker of Galena Engineering on 5/1/18
- Floodplain Development / Waterways Design Review / Streambank Alteration Requirements Form (Evaluation Standards) prepared by City of Ketchum
- Application and supporting materials for emergency sewer line crossing replacement (2017)

No-Rise

We agree with the statement in Section 1 "a project of the nature proposed herein cannot reasonably be required to undertake an effort of that (full flood study) magnitude". According to the responses in the design requirements form, this sewer main crossing has existed at this location since 1968; it is reasonable to presume that the sewer main crossing influence (if any) was reflected in previous Flood Insurance Studies. We presume the new sewer crossing top of pipe was constructed at approximately the same elevation as the previous pipe based on the provided 2017 emergency application documentation.

Hydraulic Model

It is concerning to us that the modeled water surface elevation is 2.78 to 3.03 ft lower than the BFE shown in the FIS. The report doesn't appear to elaborate on the difference. Correspondence with the engineer of record clarified that Warm Springs Creek has experienced significant down-cutting in recent years and as a result, their experience has shown the BFE from the 2010 study is no longer representative.

We identified a typo in Table 2 of the report. The section area for station 74+11 should be 159.44, not 156.44 as shown.

Model Boundary Conditions

No mention of model boundary conditions was found in the report. A conversation with the engineer of record confirmed that the model used normal depth downstream boundary condition with a slope of 0.5% based on collected survey data. They did not use a fixed water surface elevation to match the BFE because as stated earlier, their experience shows the BFE is inaccurate.

Model setup

Appendix A of the report contains a plan view of the site showing the model cross sections. The extents appear appropriate for the scale and scope of the model. The Manning's roughness coefficients appear well documented and appropriate for the channel from what we can see in the construction progress photos.

Design

The overall design of the scour pad appears adequate in area and depth. We reviewed the sizing of the riprap and found the proposed rip-rap size of D50=12" to be adequate based on the existing model. We confirmed this by using the computed main channel velocity (8.36 ft/s) at the crossing (RS: 7410.17) and the ISBASH method to calculate a minimum required D50 rip-rap size of 11.12 inches.

Vegetation

We agree with the decision not to plant vegetation on or around the scour pad as rip-rap will likely not support it. We agree as stated in the Evaluation Standards form that vegetation will be restored/repaid in areas of disturbance outside of the scour pad. However, we did not find any information on what species of vegetation would be used to restore the disturbed areas.

Sincerely,



Ron Manning, P.E., CFM

cc: Terry Scanlan, P.E., P.G.



State of Idaho

DEPARTMENT OF WATER RESOURCES

322 East Front Street • P.O. Box 83720 • Boise, Idaho 83720-0098

Phone: (208) 287-4800 • Fax: (208) 287-6700 • Website: www.idwr.idaho.gov

C.L. "BUTCH" OTTER
Governor

GARY SPACKMAN
Director

May 17, 2018

Suzanne Frick
City of Ketchum
PO Box 2315
Ketchum, ID 83340

RE: Joint Application for Permit No. S37-20523
Warm Springs Creek – Sewer Crossing Scour Pad

Dear Mrs. Frick:

The Idaho Department of Water Resources (IDWR) has reviewed your above referenced application for a permit to alter Warm Springs Creek and has prepared a decision as provided for in Section 42-3805, Idaho Code. The conditions set forth in this permit are intended to prevent degradation of water quality, protect fish and wildlife habitat, and protect the long-term stability of the stream channel. If you cannot meet the conditions set forth in the permit, please contact this office for further consideration.

Your project has been determined to meet the Stream Channel Alteration Rules, IDAPA 37.03.07 Minimum Standards (Rule 55). You may consider this letter a permit to construct your project according to your attached application, dated April 18, 2018 including diagrams. Project activities include the excavation of approximately 23 cubic yards of streambed material and the discharge of approximately 26 cubic yards of large angular rock to construct a hardened scour pad around a sewer pipe crossing Warm Springs Creek. The project location is within Section 11, Township 04 North, Range 17 East, Boise Meridian, Blaine County, Idaho.

Failure to adhere to the conditions as set forth herein can result in legal action as provided for in Section 42-3809, Idaho Code. This project is subject to the following Minimum Standards, Special and General Conditions.

MINIMUM STANDARDS:

These standards are established in the Administrative Rules of the Idaho Water Resource Board; Stream Channel Alteration Rules, IDAPA 37.03.07 dated July 1, 1993 and are enclosed with this permit.

Rule 56 - Construction Procedures

SPECIAL CONDITIONS:

[1] All construction shall be completed in accordance with the descriptions and methods on the attached application and diagrams. This office must approve any changes prior to construction.

[2] All construction activities shall be conducted in such a manner as to minimize turbidity and comply with Idaho water quality standards. Construction shall take place during low flow to minimize turbidity and protect water quality.

[3] Construction shall take place during low flow between July 15 and March 1.

[4] Woody stream bank vegetation shall be protected to the extent practical during construction.

[5] Silt fencing or other erosion and sedimentation control measures shall be installed between any area of earth disturbance and the water. Erosion and sedimentation control measures shall be installed according to the manufacturer's specifications, during construction, and must be maintained until construction is completed and the disturbed ground is revegetated and stable.

[6] All temporary structures, excess excavated material, and vegetative or construction debris shall be disposed of out of the stream channel where it cannot reenter the channel. All construction debris shall be removed from the site and disposed of properly.

[7] All fuel, oil and other hazardous materials shall be stored and equipment refueled away from the stream channel to ensure that a spill will not enter the waterway. Equipment must be free of fuel and lubricant leaks.

[8] Permittee is responsible for all work done by any contractor or sub-contractor and shall ensure any contractor who performs the work is informed of and follows all the terms and conditions of this authorization.

[9] This permit shall expire December 31, 2019.

GENERAL CONDITIONS:

1. This permit does not constitute any of the following:
 - a. An easement or right-of-way to trespass or work upon property belonging to others.
 - b. Other approval that may be required by Local, State or Federal Government, unless specifically stated in the special conditions above.
 - c. Responsibility of the IDWR for damage to any properties due to work done.
 - d. Compliance with the Federal Flood Insurance Program, FEMA regulations or approval of the local Planning and Zoning authority.
2. In accordance with Sections 55-2201 - 55-2210, Idaho Code, the applicant and/or contractors must contact Digline statewide phone number 1-800-342-1585 (Boise area 208-342-1585) not less than three working days prior to the start of any excavation for this project.

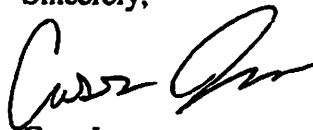
3. The permit holder or operator must have a copy of this permit at the alteration site, available for inspection at all times.
4. The IDWR may cancel this permit at any time that it determines such action is necessary to minimize adverse impact on the stream channel.

Conditions and construction procedures approved under this permit may not coincide with the proposal as submitted. Failure to adhere to conditions as set forth herein can result in legal action as provided for in Section 42-3809, Idaho Code.

If you object to the decision issuing this permit with the above conditions, you have 15 days in which to notify this office in writing that you request a formal hearing on the matter. If an objection has not been received within 15 days, the decision will be final under the provisions of IDAPA 37.03.07 (Rule 70).

Please contact Cass Jones (208) 287-4897 or cass.jones@idwr.idaho.gov if you have any questions regarding this matter.

Sincerely,



Cass Jones
Stream Channel Protection Specialist
Idaho Department of Water Resources

cc: Brittany Skelton, City of Ketchum
Kiley Mulholland, Idaho Department of Environmental Quality, Twin Falls
Balthasar Buhidar, Idaho Department of Environmental Quality, Twin Falls
Meribeth Lomkin, Idaho Department of Lands, Jerome
Mike McDonald, Idaho Department of Fish and Game, Jerome
Kevin Lewis, Idaho Rivers United, Boise
Rob Brochu, US Army Corps of Engineers, Idaho Falls
Aaron Golart, Idaho Department of Water Resources, Boise

EXHIBIT B
June 22, 2018 Letter

**R Miles Stanislaw
105 Georgia
Ketchum Idaho , 83340
206-399-0198
milesstanislaw@msn.com**

**City of Ketchum
Department of Planning & Bldg.
Attn.: Floodplain Administrator
PO Box 2315
Ketchum Idaho 83340**

Re:Permit#18-068

Dear Sir or Madam,

I hereby protest the City of Ketchum's application to install "scour pads" in Warm Springs Creek. The application makes clear that the so-called "scour pad" is nothing more than dumping an undisclosed quantity of unconstrained rip rap upstream and downstream from a sewer main the City installed in 2017 that crosses on top of the streambed of Warm Springs Creek.

As a result of the City's unpermitted and unauthorized dumping of rip rap into the creek in May 2017, slightly upstream from the proposed project but in the immediate vicinity of the proposed project, the City has already drastically altered the direction, flow and hydrology of the creek in the exact area where the City now wants to dump additional riprap. My property is immediately adjacent to the proposed project area on the upstream side and just downstream from the rip rap the City dumped into the creek in May 2017. A lawsuit addressing the City's prior unpermitted and unauthorized work and the destructive effect that work had on my property either has been or will be immediately filed in the Circuit Court sitting in Blaine County. A copy of that lawsuit is enclosed herewith and each paragraph thereof is incorporated herein by reference.

The No Rise Certification on which the current application is based is fatally flawed and has no value or meaning. Galena Engineering used 2010 floodplain data published by FEMA—Flood Insurance Study/FIS— on which to base its No Rise Certification analysis, computer modeling and conclusions. Because of the City's unpermitted and unauthorized upstream riprapping done in May 2017 the flow and direction of the creek as well as the location and slope of the streambank was drastically altered in 2017 in the immediate vicinity and adjacent to the proposed project area. The 2010 FIS floodplain data relied on by Galena is no longer an accurate or reliable source of information to describe the current elevations, stream dimensions and locations, hydrology, flow and other important data on which to base a No Rise Certification. By relying on outdated 2010 floodplain data the computer modeling done by Galena is classic garbage in garbage out.

Galena admits right in its No Rise Certification that the FIS 2010 data it used is no longer accurate or reliable. Galena states "A full flood study is warranted for the entirety of this water shed because the current study [FIS] is nearly obsolete." Galena also admits it has used a garbage in garbage out computer model when stating "This approach [Galena's computer modeling] recognizes that the current channel characteristics are likely not represented by the FIS."

In fact Galena even admits that the 2010 FEMA data used by Galena was not accurate at the time it was prepared by FEMA in 2010. Galena states, "It is difficult to compare existing vs. adopted floodplain limits along Warm Springs Creek because of the OUTDATED DATA utilized by FEMA [in 2010] (Emphasis added).

Particularly telling is the cya language used by Galena in the conclusion of Galena's no rise certificate which states, "While no guarantee can be provided that the adjacent properties will not be negatively impacted...historically these projects [scour pads] have LITTLE EFFECT outside of the immediate project area." (emphasis added) Because my property is immediately adjacent to "the immediate project area" and because my stream bank has already been destroyed by the City's unpermitted and unauthorized riprapping done in May 2017 my property can no longer withstand even the undefined and unknown "LITTLE EFFECT" that Galena predicts would result if the City is allowed to proceed with the proposed project. Just how much and how big is this "LITTLE EFFECT"?

The truth is there is simply no way to accurately predict with a reasonable degree of engineering certainty if there will be no rise in the creek if the applicant's project proceeds without having accurate datum fixing the elevations of the stream bed and the locations and slopes of the stream banks. Galena, in a clear attempt to avoid engineering responsibility, admits that accurate datum was not used by Galena in preparing Galena's No Rise Certification because, as Galena states, that datum does not currently exist.

Galena's efforts to rely in its conclusion on what has occurred "historically" to justify its conclusions is also meaningless. Galena fails to cite or identify a single project where "scour pads" have been installed without impacting adjacent property.

Even more telling is the failure of the application to make even a single reference to any government literature (e.g. FEMA, COE, BOR), a textbook or a published paper that defines or describes a "scour pad". A google search indicates that no such writings exist and that the term "scour pad" has no meaning except when describing a kitchen cleaning item i.e. Brillo pad.

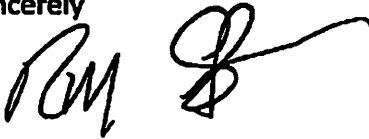
From a hydrologic standpoint, scour is a process by which there is a localized loss of soil often around a foundation element. But there is apparently no such thing as a "scour pad" when referring to waterways. A look at the applicant's proposed design clearly indicates that what is being proposed is not a "pad" but is instead simply the dumping of rip rap into the creek in order to divert water over and around the newly installed sewer pipe that traverses the creek. A more accurate term to describe the project would be a partial or mini dam. However the term dam has such negative connotations in waterway discussions the applicant did not dare use the word dam. The fact is this project will result in a partial damming of the creek.

A further glaring omission in the City's application is the City's failure to include any geotechnical data indicating the type(s) or classification of the soil the rip rap will be dumped onto. Will it be clay, silt, gravel, sand or some combination thereof? That information is essential to perform an accurate engineering analysis to determine how the rip rap will react after placement and the corresponding effect on stream characteristics once the rip rap is placed.

In addition there is no mention in the application of how the City intends to handle debris accumulation that will result from the installation of the proposed "scour pads".

When the City installed the new sewer line on top of the creek bed in August 2017, the potential for the phenomenon of scour to occur was just as likely then as it is today. The purpose of the proposed project is to protect the sewer line from scour or erosion occurring around it. The city had the option in 2017 to use microtunnelling and install the new sewer line under the bed of the creek instead of installing the sewer line on top of the creek bed. Had the City elected to install the sewer pipe under the creek in 2017 instead of on top of the creek bed there would be no risk of scouring and no need to dump more rip rap into the creek to protect the above grade sewer line from scour. The City should be required to live with the consequences of the above grade option it selected in 2017. If the above grade option selected by the City requires more maintenance of the sewer line without "scour pads" that increased maintenance risk and cost should be on the City. Otherwise, if "scour pads" are installed, the risk of loss will be on me and on my property which will experience even more damage and loss of real estate due to further erosion, disappearance and damage to my streambank.

Sincerely

A handwritten signature in black ink, appearing to read "RM Stanislaw", with a long, sweeping flourish extending to the right.

R Miles Stanislaw

Cc: Aaron Golert IDWR
Rob Brochau COE

EXHIBIT C
**Complaint for Riparian
Property Damage**

R. Miles Stanislaw
Law Offices of R. Miles Stanislaw
2711 S. Ocean Drive, Suite 2201
Hollywood, Florida 33019
P: 206-399-0198
E: milesstanislaw@msn.com

IN THE DISTRICT COURT FOR THE FIFTH JUDICIAL DISTRICT
FOR THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE

<p>R. MILES STANISLAW, Plaintiff, v. CITY OF KETCHUM, a municipality, Defendant.</p>	<p>CV07-18-00360 Case No. _____ COMPLAINT FOR RIPARIAN PROPERTY DAMAGE Williamson, Ned C</p>
--	--

COMES NOW, Plaintiff, R. Miles Stanislaw, and complains as follows:

1. Plaintiff, R. Miles Stanislaw (Stanislaw) owns real property bearing the address of 105 Georginia, Ketchum, Idaho. Stanislaw's property abuts the north side of Warm Springs Creek (Creek), approximately 200 feet downstream from the Aspen Drive Bridge, which crosses the Creek.
2. Defendant, City of Ketchum (Ketchum) is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50 Idaho Code.
3. Stanislaw filed a claim with Ketchum on June 28, 2017, a copy of which is attached as Exhibit A and incorporated herein by reference. Stanislaw has met all prerequisites to maintain this cause of action.
4. In April and May 2017, a flood condition existed in the Creek.

5. On Saturday night, May 6, 2017, Ketchum received notification from a concerned person that the northern side of the Creek near the Warm Springs Bridge "is getting eroded."

6. It is Ketchum's practice to retain outside engineers to assist Ketchum with construction projects. James Zarubica, P.E. was consulted by Ketchum as an outside engineer to address the Creek issue. Sometime before 9:20 a.m. on May 9, 2017, "Jim Z [Zarubica] passed me [City] off to Stephanie Eisenbarth." Ms. Eisenbarth is a consultant, not an engineer. She does not work in the engineering firm that employs Mr. Zarubica nor does Ms. Eisenbarth work under the direction or supervision of an engineer.

7. During the days immediately preceding May 11, 2017, Ketchum, acting by and through Burks Excavation Corporation (Burks), undertook certain construction work on the Creek immediately downstream from the Aspen Drive Bridge and upstream from Stanislaw's property.

8. Ketchum's construction work was all performed on or before May 11, 2017. The work consisted primarily of backfilling and rip rapping along the northern bank of the Creek. The rip rapping consisted of placing approximately 100 c/yd of angular rock along a 100-foot-long section of the Creek bank and into the Creek itself.

9. Sometime between May 9, 2017 and May 11, 2017, Burks was given verbal instructions to proceed with the construction work prior to Ketchum obtaining permits, approvals and authorizations that were legally required to be obtained prior to performing construction work in or on the Creek.

10. Burks performed the construction work without being provided any construction drawings, specifications or even a letter of instruction. It is a material deviation from accepted engineering standards to proceed with road construction work or riparian construction work without any design documents and/or without a licensed professional overseeing the work.

11. At no time prior to or during construction were the engineering and design services that are normally performed when riparian construction work occurs performed by Ketchum. There was no survey work performed to determine prior or post-construction Creek

bed elevations or Creek bank configuration. There was no staking done to delineate the limits, location or extent of the construction work to be performed.

12. All of Ketchum's backfilling and rip rapping work was completed on or before May 11, 2017.

13. Under Chapter 65, Title 67 of the Idaho Code, Ketchum is required to pass certain ordinances regarding land use, including zoning.

14. Pursuant to this statutory mandate, Ketchum passed Emergency Ordinance 1172 in April 2017. This ordinance states requirements for landowners, including Ketchum, who wish to take action in the event of a flood emergency.

15. Article IV of Emergency Ordinance 1172 is entitled "Emergency City Initiated Actions." Article IV, Sec. 17.88.290 states, "The City shall complete and submit emergency bank alteration and/or repair alteration applications in order to document the work PROPOSED to be undertaken." (Emphasis added.) Ketchum failed to comply with Ordinance 1172. Ketchum failed to submit any applications or obtain the legally required permits, approvals and authorizations until after all of the construction work of backfilling and rip rapping was fully completed.

16. On May 11, 2017 Ms. Eisenbarth, on behalf of Ketchum, prepared an application "for a permit to alter Warm Springs Creek." She submitted the application to Idaho Department of Water Resources (IDWR). Ketchum's application was received by IDWR on May 12, 2017 and approved by IDWR on May 16, 2017. May 12, 2017 and May 16, 2017 are after the date that all of the construction work was completed. Ketchum performed all of the construction work prior to obtaining a permit required by IDWR.

17. On May 11, 2017, Ms. Eisenbarth, on behalf of Ketchum, prepared a "Flood Plain Management Overlay Application..." and submitted it to Ketchum's Planning and Building Department. This Application was deemed complete on May 12, 2017. In compliance with Ordinance 1172, Ketchum must prepare written findings of fact and conclusions of law granting or denying the Application. Ketchum issued its findings and conclusions granting the Application on May 15, 2017. Ketchum violated its own procedures and Ordinance 1172 by proceeding with

all the construction work prior to obtaining approval. May 12, 2017 and May 15, 2017 are after the date that all of the construction work was completed. Ketchum also failed to post an approved permit on-site throughout the duration of the work, as required by Ordinance 1172, because Ketchum did not have an approved permit prior to or while the construction work was being completed.

18. On May 15, 2017, Ms. Eisenbarth, on behalf of Ketchum, submitted an Emergency Permit Application to the U.S. Army Corps of Engineers. This permit was necessary because Ketchum's construction work involved "the discharge of dredged and/or fill material into waters of the U.S." Sec. 404 of the Clear Water Act (33 U.S.C. 1344.) The Corps of Engineers did not provide its authorization to proceed until June 25, 2017. June 25 and June 28, 2017 are after the date that all of the construction work was completed. Ketchum performed all of the construction work before obtaining the permit required by the U.S. Army Corps of Engineers.

19. Ketchum improperly and unlawfully proceeded with stream and riparian, alteration construction work without first having obtained the legally required permits, approvals and authorizations from Idaho Department of Water Resources, the City of Ketchum and the U.S. Army Corps of Engineers. These failures by Ketchum to obtain the permits, approvals and authorizations required by law prior to commencement of construction work is a material deviation from accepted engineering standards.

20. As a result of the unapproved, non-permitted, unauthorized construction work that Ketchum caused to have performed without any design documents or oversight by a licensed professional engineer, the course of the Creek was altered. By altering the course of the Creek, Ketchum caused damage to Stanislaw's property.

21. Prior to the construction work undertaken by Ketchum, the course of the Creek ran in a straight line past the Stanislaw property. As a result, the bank in front of the Stanislaw property withstood degradation in prior high water years. Ketchum's construction work changed the course of the Creek in such a way that the Stanislaw property was damaged by the altered course of the Creek.

22. After Ketchum received Stanislaw's claim, Ketchum did nothing to investigate the merits of Stanislaw's claim or conduct a self-critical analysis that would have or should have disclosed Ketchum's multiple violations of Ordinance 1172.

23. Ketchum turned Stanislaw's claim over to its insurers, Idaho Counties Risk Management Program (ICRMP) which is a risk pool owned by its member municipalities, including Ketchum.

24. Other than collect documents from Ketchum, the very documents that disclose Ketchum's failures alleged above, ICRMP did not conduct an investigation. What ICRMP did do was instruct Ketchum to take the position "It was just a flood" and to obtain a certificate from an engineer that certifies the construction work was properly done in accordance with the permits.

25. Because Ms. Eisenbarth was not an engineer, no such certificates could be obtained from Ms. Eisenbarth. Instead, Ketchum obtained a letter dated August 3, 2017 that was signed, but not professionally sealed, by Mr. Zarubica. Mr. Zarubica was not present during construction, did not prepare any applications for permits, did not perform any design work and had as his only role to "pass off" the Creek assignment to Ms. Eisenbarth, all such events occurred before any construction or design work of any kind was done. Mr. Zarubica is barred by law from affixing his seal to any document "unless the work thereon was done by him or under his responsible charge." Ms. Eisenbarth, not Mr. Zarubica, did the "work" related to the construction work performed in and on the Creek. On September 1, 2017, Ketchum asked Mr. Zarubica to professionally seal his August 3, 2017 letter to make it appear as if Mr. Zarubica's letter was actually sealed on August 3, 2017. Mr. Zarubica complied with Ketchum's request and back-dated his seal to make it appear as if his letter was sealed on August 3, 2017. In fact, Mr. Zarubica did not seal his August 3, 2017 letter until sometime on or after September 1, 2017.

26. As a result of Ketchum's conduct heretofore alleged, Stanislaw has been damaged in the amount of approximately \$100,000.

WHEREFORE, Stanislaw prays for judgment against Ketchum as follows:

1. For a money judgment equal to the amount of damages proven at trial, plus interest.
2. For attorneys' fees as allowed by statute and/or law.
3. For such other and further relief as this Court deems just and proper.

DATED this 28th day of June, 2018.



R. Miles Stanislaw

Exhibit A



Law Offices of R. Miles Stanislaw

2711 South Ocean Drive, Suite 2201
Hollywood, Florida 33019
206.399.0198
milesstanislaw@msn.com

June 28, 2017

**VIA U.S. MAIL and
VIA EMAIL: bchristiansen@ketchumidaho.org**

Brian Christiansen
City of Ketchum Department of Public Works
P.O. Box 2315
Ketchum ID 83340

Dear Mr. Christiansen:

I am the owner of the real property and affixed residence located at 105 Georgia in the City of Ketchum. Warm Springs Creek (Creek) abuts my property. I am writing to advise you of the damage done to the subject property as a result of major Creek alteration work performed by the City of Ketchum. I am also hereby making demand to the City of Ketchum for the cost of repairing the damage done to the subject property as a result of the City's stream alteration work, including the diminution of property value. That damage is in the approximate amount of \$100,000.00.

On or about the several days preceding and following May 11, 2017, the City of Ketchum, acting by and through Burks Excavation, undertook certain construction work downstream from the Aspen Drive Bridge that crosses Warm Springs Creek. Exhibits 1 and 2, enclosed, illustrate the work being performed. The City's work consisted primarily of backfilling and rip rapping along the bank of the Creek. As a result of the City's work, the natural and historical flow and course of the Creek was altered. The City's alteration of the Creek caused damage to the subject property that I own.

Exhibits 3, 4 and 5, enclosed, illustrate the flow and course of the Creek and the condition of the bank prior to the City performing any backfilling and rip rap work. Exhibits 6 and 7, enclosed, illustrate the post construction work conditions. At various points along the bank of the subject property that abuts the Creek, 3 to 5 feet of bank along the entire length of the subject property and a stone stairway were lost. This damage was proximately caused to the subject property by the fact that the City's work caused the Creek to no longer flow with a straight course. Instead, the Creek now flows with a more meandering course resulting in water being directed toward the bank of the subject property instead of flowing directly past the subject property.

If there are any additional steps that I, as a claimant, need to take to perfect this claim please advise. Otherwise we look forward to a prompt resolution of this claim.

Sincerely,



R. Miles Stanislaw

Encls.





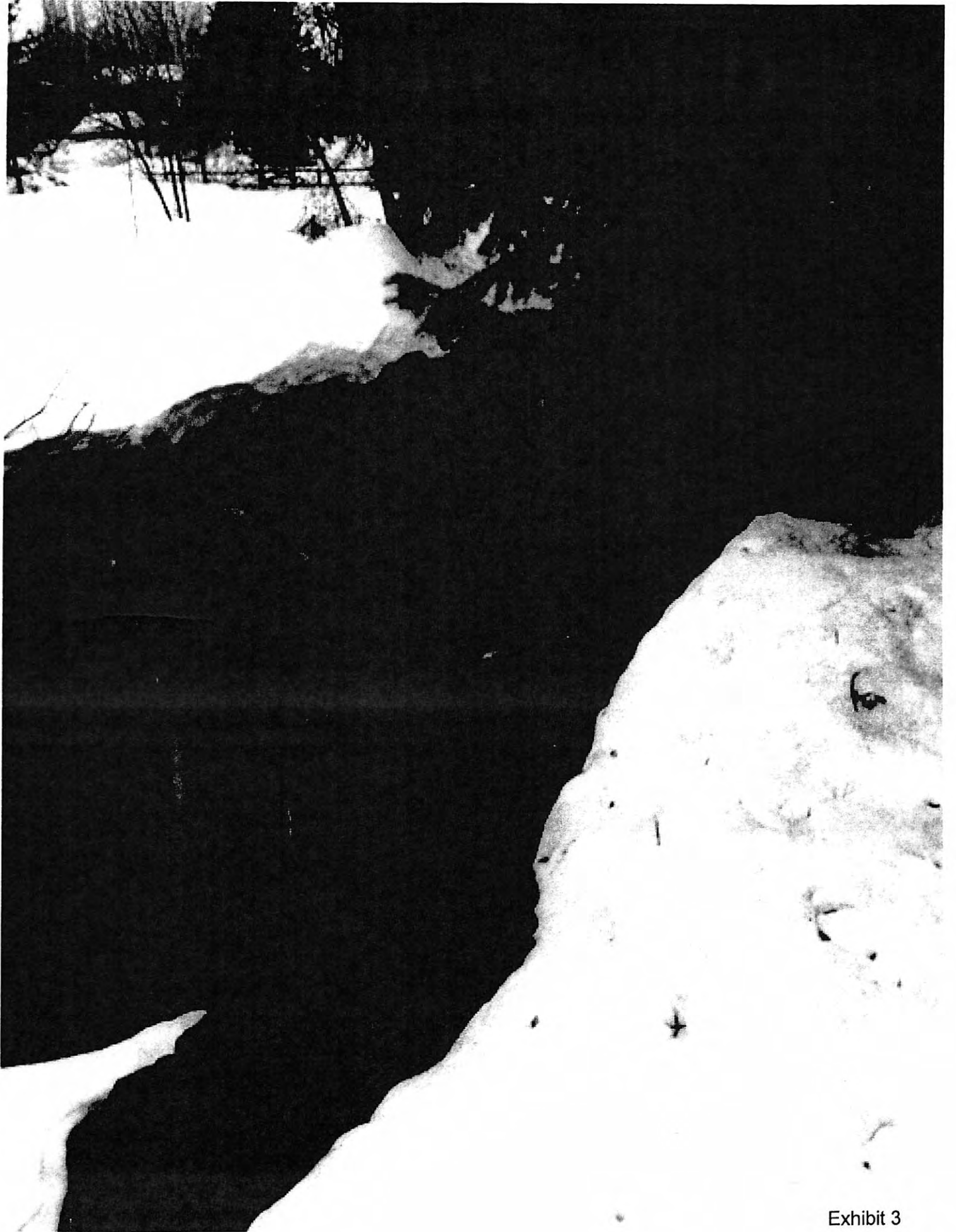


Exhibit 3

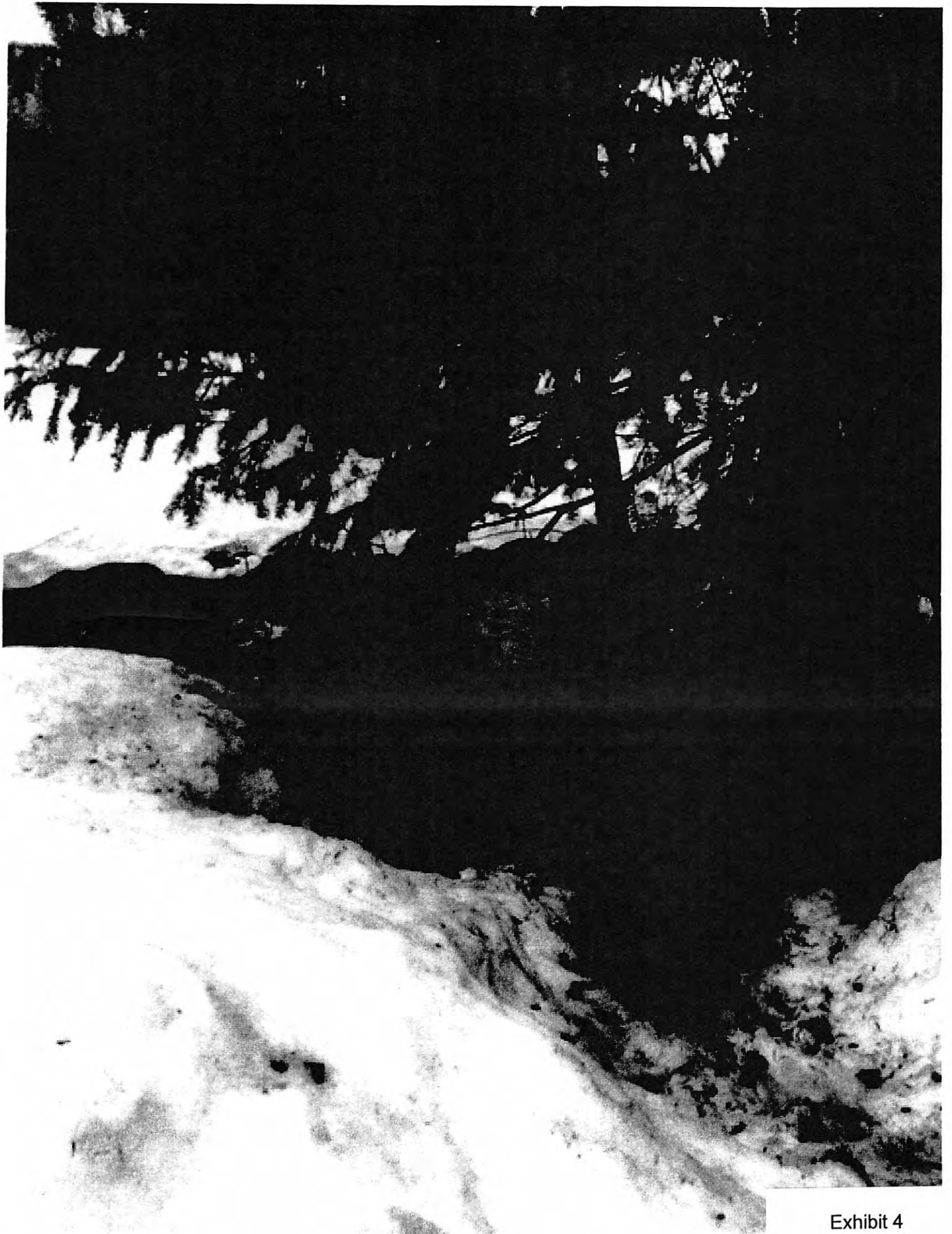


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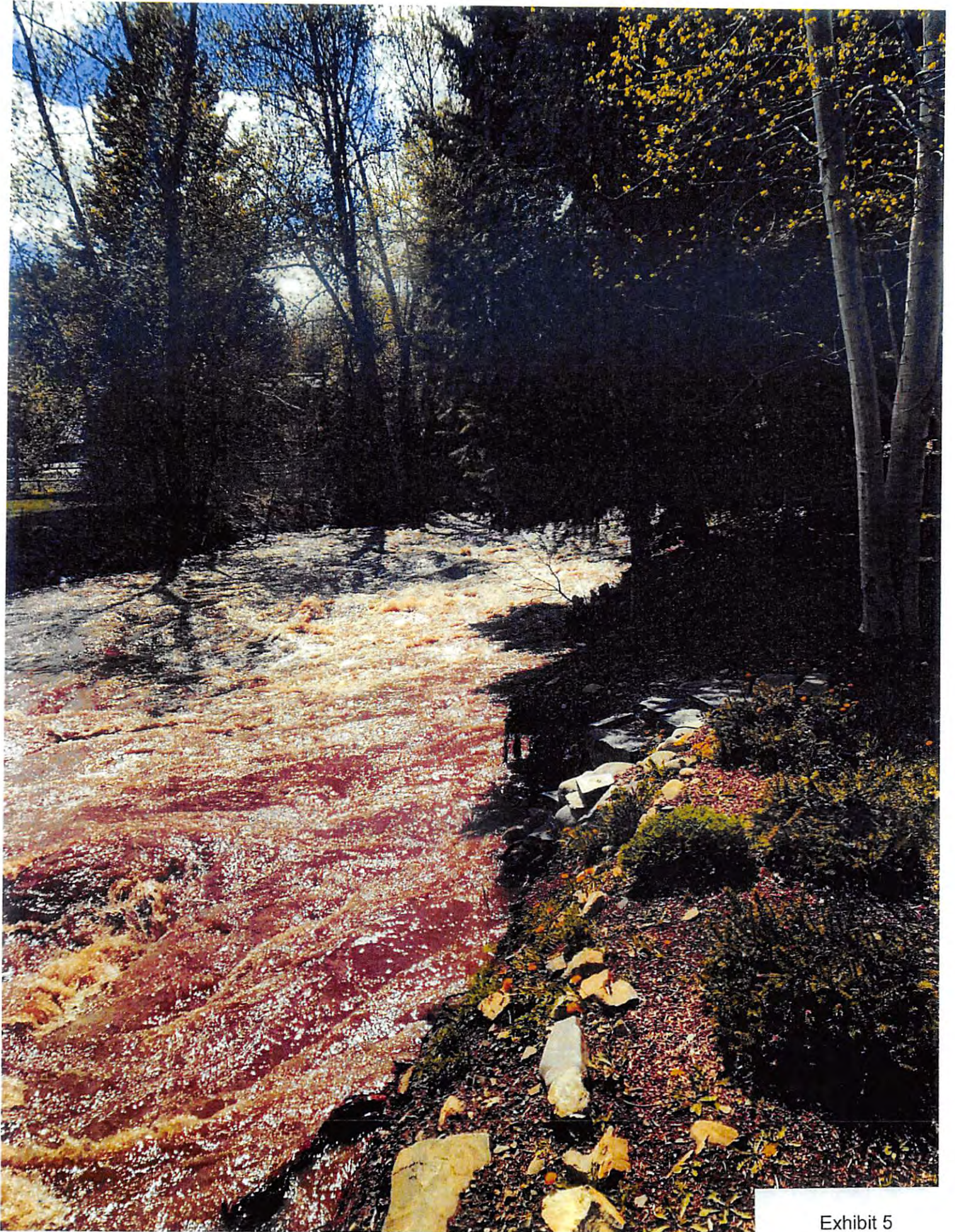


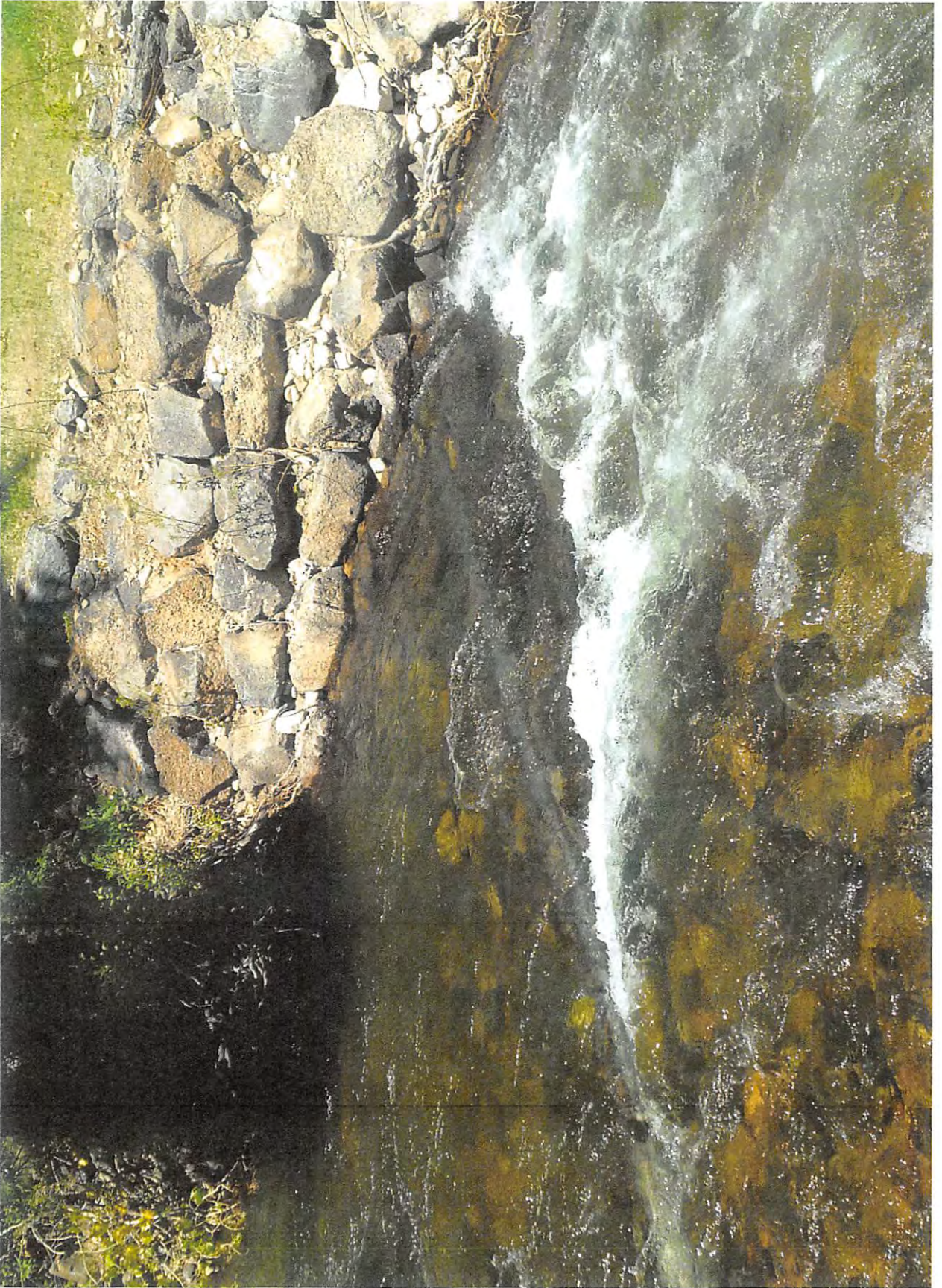
Exhibit 5





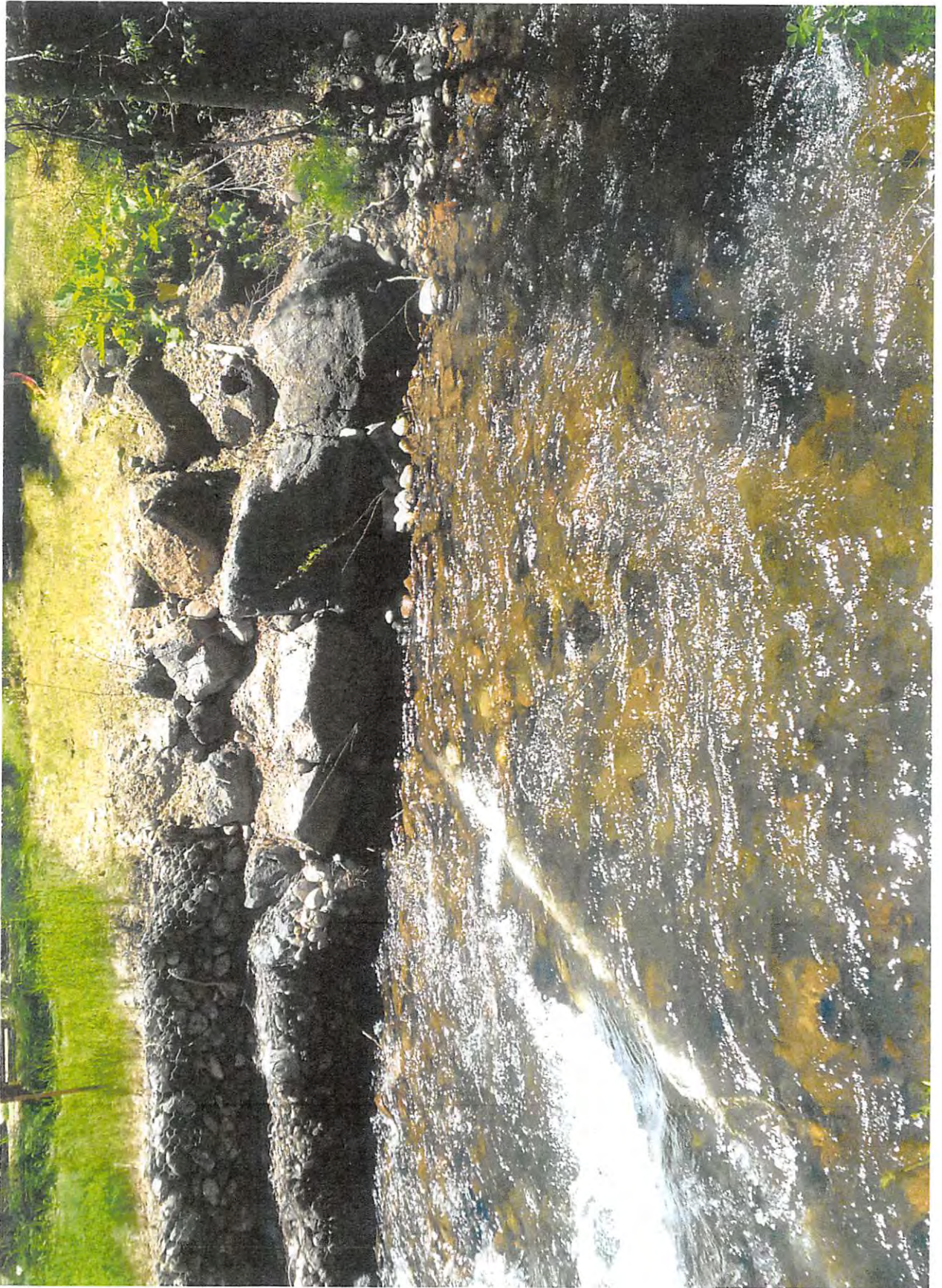
Exhibit 7

EXHIBIT D
Photographs of Creek











City of Ketchum

September 10, 2018

Ketchum Planning & Zoning Commission

Recommendation to hold a public hearing, deliberate, and recommend approval to Council of the proposed administrative text amendments (Ordinance #1190) with any specific edits deemed necessary

Recommendation and Summary

Staff is recommending the Commission approve the proposed administrative text amendment and adopt the following motion:

“I move to recommend approval to Council of Ordinance #1190 (noting any specific edits)

The reasons for the recommendation are to:

- Streamline and clarify approval processes for minor modifications
- Clarify design review standards applicable to proposals in the MOD, as well as for floodplain development and waterway projects
- Enumerate applicable development standards for one-family dwellings, accessory structures, and accessory dwellings
- Clarify that final approval of permanent ROW encroachments requires Council approval

Analysis

The amendments set forth in Attachment A sets forth five edit areas to five different areas of the Ketchum Municipal Code, including: DEFINITIONS, FLOODPLAIN, DESIGN REVIEW, MOD, and DEVELOPMENT STANDARDS.

EDIT AREA #1 provides a new definition for “minor modification.”

EDIT AREA #2 clarifies that the development standards in the floodplain ordinance are the main standards to be used for reviewing projects in areas prone to flooding and not, in the majority of cases, the additional design review standards set forth in §17.96.

EDIT AREA #3 continues to require design review throughout the city for projects. However, the proposed edits more clearly define which projects are subject to Commission review and which projects are subject to written Administrative review. The proposed procedures do not change the administrative discretion allowance to forward any project requiring Design Review to the Planning & Zoning Commission.

EDIT AREA #4 clarifies design review standards applicable to proposals in the MOD.

EDIT AREA #5 sets forth minimum development standards for one -family dwellings, including requirements for drainage, utilities, snow storage, and landscaping.

Attachments

A. Draft Ordinance #___

ORDINANCE #1190

AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING TITLE 17, THE ZONING ORDINANCE, OF THE KETCHUM MUNICIPAL CODE BY AMENDING SECTION 17.08.020: TERMS DEFINED; CHAPTER 17.88 FLOODPLAIN MANAGEMENT OVERLAY ZONING DISTRICT; CHAPTER 17.96: DESIGN REVIEW; CHAPTER 17.104: MOUNTAIN OVERLAY ZONING DISTRICT; CHAPTER 17.124 DEVELOPMENT STANDARDS; PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION BY SUMMARY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Ketchum is authorized to amend the city zoning ordinance pursuant to Idaho Code § 67-6511; and

...

NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF KETCHUM:

Edit Area #1

Section 1: AMENDMENTS TO SECTION 17.08.020: TERMS DEFINED. That Title 17 of the Ketchum Municipal Code be amended. All new text proposed to be added to the Zoning Definitions section is underlined. Text that is proposed to be repealed is ~~stricken~~.

Chapter 17.08: DEFINITIONS

17.08.020: TERMS DEFINED:

MINOR MODIFICATIONS: Changes and alterations to an existing building, development project, approved unbuilt design review project, or undeveloped parcel that do not increase density, intensity, or the size of a feature of a site or building appendage regulated by the dimensional standards established in chapter 17.12 of this title.

Edit Area #2

Section 2: AMENDMENTS TO CHAPTER 17.88 FLOODPLAIN MANAGEMENT OVERLAY ZONING DISTRICT (FP). That Title 17 of the Ketchum Municipal Code be amended. All new text proposed to be added to the Floodplain Management Overlay Zoning District section is underlined. Text that is proposed to be repealed is ~~stricken~~.

Chapter 17.88 FLOODPLAIN MANAGEMENT OVERLAY ZONING DISTRICT (FP)

17.88.040.B.5.d

d. Applications for floodplain development permits and waterways design review shall be made ~~and processed according to the regulations contained in chapter 17.96 of this title and~~ according to section 17.88.050 et seq. of this chapter.

17.88.040.D.2

2. All subdivision plats shall contain note(s) that refer to the required twenty five foot (25') setback from all waterways called the riparian zone in which no development is permitted, and require that riparian vegetation shall be maintained in its natural state for the protection and stabilization of the riverbank, and that removal of trees or other vegetation will be considered as part of the function of design review as set forth in section 17.88.050 of this chapter and ~~chapter 17.96 of this title.~~

17.88.050.A

A. Establishment Of Floodplain Development Permit: ~~According to chapter 17.96 of this title, a~~A floodplain development permit shall be obtained through an application provided by the City prior to issuance of a building or excavation/grading permit for any and all "development" as defined in section 17.08.020 of this title, and construction, including "stream alteration", as defined herein, within the Floodplain Management Overlay District established in subsection 17.88.040A of this chapter.

17.88.050.B

B. Establishment Of Waterways Design Review: ~~According to chapter 17.96 of this title, a~~A approval of waterways design review shall be obtained prior to issuance of a building or excavation/grading permit and prior to commencement of construction for any and all "development" defined in section 17.08.020 of this title within the Waterways Design Review Subdistrict as defined in subsection 17.88.040B of this chapter.

17.88.050.D.1

~~1. According to chapter 17.96 of this title, t~~The Administrator shall have the authority to consider and approve, approve with conditions, or deny applications for floodplain development permits and for waterways design review, as required herein.

Edit Area #3

Section 3: AMENDMENTS TO SECTION AMENDMENTS TO CHAPTER 17.96: DESIGN REVIEW. That Title 17 of the Ketchum Municipal Code be amended. All new text proposed to be added to the Design Review section is underlined. Text that is proposed to be repealed is ~~stricken~~.

Chapter 17.96: DESIGN REVIEW

17.96.010: APPLICABILITY:

- A. Design Review: Design review is required for building, developing, or substantially altering the exterior of the following buildings or projects in all zoning districts:
1. Nonresidential use.
 2. Public or semipublic use.
 3. Multi-family dwellings, including attached and detached townhomes.
 4. Mixed use.
 5. Any structure with an original construction date of 1940 or earlier.

6. Any encroachment of a below grade structure in a required setback.

B. Exemptions:

1. One-family dwellings, accessory structures, and accessory dwelling units.
2. Projects not requiring a building permit.
- ~~3. Landscaping and perimeter fences not associated with a project requiring design review.~~
3. ~~4.~~ Temporary structures.
4. ~~5.~~ Public art.
5. Non-substantial or minor modifications that comply with all applicable design review standards, zoning district standards, and other code requirements without requiring a variance or other exception. Minor modifications include, but are not limited to,
 - a. **demolition** associated with an approved demolition permit;
 - b. **driveway, walkway, and/or landscaping** alterations that do not significantly change existing topography or drainage, including the removal of dead or diseased vegetation as certified by an arborist that is not located in the Special Flood Hazard Area or riparian zone;
 - c. the installation of **fences**, hedges, or walls compliant with section 17.124.130 of this title;
 - d. changes to **exterior finishes** including, but not limited to, (i) siding, paint, and materials; (ii) maintenance and repair of exterior facades; (iii) the addition of windows or doors; (iv) reroofs; or (v) the addition or expansion of decks and patios that are less than 30" above grade or if greater than 30" above grade comply with applicable lot coverage requirements for the zoning district;
 - e. the installation of exterior **lighting** compliant with chapter 17.132 of this title; and
 - f. the ground level installation and screening of **utilities** not greater than five feet (5') in height.
6. Minor modification exemptions, pursuant to Section 17.96.010.5, must be issued in writing by the Administrator prior to issuance of a building permit.

17.96.020: PURPOSE:

The purpose of this chapter is to maintain and enhance appearance, character, beauty and function of the City, to ensure that new development is complementary to the design of existing City neighborhoods and to protect and enhance the economic base of the City of Ketchum. (Ord. 1148, 2016)

...

17.96.030: AUTHORITY OF THE ADMINISTRATOR AND THE COMMISSION:

A. Authority of the Administrator:

1. The Administrator is authorized to approve the following exterior modifications and projects, provided they do not conflict with the provisions and requirements of this chapter:
 - a. Minor modifications to projects that have received design review approval by the commission for the duration of a valid design review approval.
 - ~~b. Multi-family residential projects, not located in the Community Core District, with four (4) or less units.~~

- ~~c. Changes to exterior finishes including, but not limited to, siding and materials.~~
- ~~d. Changes to existing windows or doors.~~
- ~~e. Additions of windows or doors.~~
- ~~b. f. Additions under one thousand two hundred (1,200) square feet.~~
- ~~g. Accessory structures, including accessory dwelling units.~~
- ~~c. h. Master signage plans.~~
- d. Any project located on property that includes mapped floodplain areas or includes areas within the riparian setback.
- e. Minor modifications located in an overlay district as indicated upon the City of Ketchum zoning district map and this title. The Administrator may exempt a minor modification from design review if the proposal complies with all overlay district standards.

2. The Administrator is authorized to review all floodplain development permits and waterways design review permits consistent with section 17.88 et seq. Except for multi-family dwellings and commercial structures, floodplain development permits and waterways design review permits are not subject to the design review provisions of 17.96.

3. The Administrator shall review all design review requests and determine whether a project can be approved by the Administrator or by the Commission.

43. The Administrator shall determine what application materials and fees, as adopted by resolution, are required to approve exterior modifications as described in section 17.96.040 of this chapter.

B. Authority of the Commission:

1. Except for applications that are approved by the Administrator in subsection A of this section, the Commission shall review all other application proposals as described in section 17.96.010 off this chapter. (Ord. 1170, 2017: Ord. 1148, 2016)

C. The City Council shall approve all permanent encroachments within the City-owned right-of-way associated with a development project.

17.96.040: APPLICATION

C. Except for projects described in subsection 17.96.030A of this chapter, the following is required to be submitted for an application for design review:

1. Design review application form including project name, location, applicant, owner, project representatives, and contact information.
2. One (1) PDF electronic set of the complete application containing all requirements as listed below, plans appropriately scaled, shall be submitted. Electronic record of the materials and color sample board may be satisfied with photos. One (1) hard copy set of scalable plans showing at a minimum the following:

~~j. Construction management plan showing where staging will occur, where materials are stored, and a parking plan for contractors. If any staging or parking shall occur off site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters and contractor parking.~~

jk. Building corners for all proposed buildings and additions shall be staked on the site and all trees proposed to be removed shall be flagged at least one week prior to the commission meeting. The applicant shall install story poles, or other approved method, at the maximum roof peaks of the proposed buildings as required by the administrator.

kl. For projects requiring preapplication design review, a model or computer simulation renderings, as described in subsection 17.96.010.C of this chapter shall be required.

Edit Area #4

Section 4: AMENDMENTS TO SECTION AMENDMENTS TO CHAPTER 17.104: MOUNTAIN OVERLAY ZONING DISTRICT (MO). That Title 17 of the Ketchum Municipal Code be amended. All new text proposed to be added to the Mountain Overlay Zoning District section is underlined. Text that is proposed to be repealed is ~~stricken~~.

Chapter 17.104: MOUNTAIN OVERLAY ZONING DISTRICT (MO)

17.104.070: MOUNTAIN OVERLAY DESIGN REVIEW.

Design review applications shall be made and processed according to the regulations contained in chapter 17.96 of this title and as follows:

A. Criteria And Standards: The following list of criteria and those contained in chapter 17.96 of this title must be considered and addressed by each applicant seeking design review approval. The commission will use this list of design review criteria along with that contained in chapter 17.96 of this title as a basis to determine whether a project is to be approved, approved with conditions or denied:

17. The project's materials and colors are complementary to the Mountain Overlay landscape and the intent of this Ordinance.

17.104.050: USE RESTRICTIONS:

The following restrictions are imposed upon construction, development and use of all real property within the mountain overlay zoning district. With the exception of non-substantial or minor modification exemptions approved administratively in writing, pursuant to Section 17.96.030 and the criteria set forth in section 17.104.070.A herein, each Each of the following activities shall be subject to design review and shall require approval under the regulations contained in chapter 17.96 of this title prior to issuance of a building permit, excavation/grading permit or commencement of any work associated with any such activity:

A. Construction or placement of buildings or structures, including additions to any such structures or buildings existing at the effective date hereof, upon real property within the mountain overlay zoning district;

B. Other excavation of materials, grading and filling for any purpose not associated with construction of buildings and structures described in subsection A of this section ; and/or

C. Any activity regulated by Ketchum street standards title 12, chapter 12.04 of this code. Included therein are standards for private driveways. (Ord. 1135, 2015)

Edit Area #5

Section 5: AMENDMENTS TO SECTION AMENDMENTS TO CHAPTER 17.124 DEVELOPMENT STANDARDS.

That Title 17 of the Ketchum Municipal Code be amended. All new text proposed to be added for the Minimum Standards for one-family dwellings section is underlined.

Chapter 17.124 Development Standards

17.124.160: MINIMUM STANDARDS FOR ONE-FAMILY DWELLINGS:

The following minimum standards apply to one-family dwellings in all zoning districts:

A. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The city engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
4. Drainage facilities shall be constructed per city standards.

B. Utilities:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
2. Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.

C. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
2. Snow storage areas shall be provided on site.
3. A designated snow storage area shall not have any dimension less than five feet (5') and shall be a minimum of twenty five (25) square feet.
4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.

D. Landscaping:

1. Landscaping is required for all projects.

2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.

3. All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.



City of Ketchum

September 10th, 2018

Ketchum Planning and Zoning Commission

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING SEPTEMBER 10TH, 2018**

- PROJECT:** City-initiated Text Amendments to Title 17, Zoning, to amend regulations affecting Ketchum's Light Industrial Zoning District
- REPRESENTATIVE:** City of Ketchum Planning and Building Department
- DESCRIPTION:** Amendments to:
1) §17.18.140, §17.18.150 and §17.18.160, Purpose of LI-1, LI-2, and LI-3;
2) §17.08.020, Definitions;
3) §17.12.020, District Use Matrix;
4) §17.12.030, Dimensional Standards, Districts Matrix;
5) §17.124.090, Residential, Light Industrial Districts; and
6) §17.124.130, Fences, Hedges and Walls
- NOTICE:** Notice appeared in the Idaho Mountain Express, was mailed to outside agencies, and was posted in three (3) public locations on February 14, 2018. The hearing was continued to the March 27, April 9, May 14, May 29, June 11, June 25, July 9, August 13, and September 10, 2018 meetings.
- PUBLIC HEARINGS:** Planning and Zoning Commission
- March 12, 2018
 - March 27, 2018
 - April 9, 2018
 - May 14, 2018
 - May 29, 2018
 - June 11, 2018
 - June 25, 2018
 - July 9, 2018
 - August 13, 2018
 - September 10, 2018
- PLANNING DIRECTOR:** John Gaeddert, PhD

INTRODUCTION

At the August 13, 2018 meeting staff presented an overview of the overarching goal of amendments to the Light Industrial zoning regulations (preservation of the light industrial zones for light industrial uses) and proposed refined recommendations for amendments. Recommendations covered the following edit areas:

Edit Areas

1. LI-1, LI-2 and LI-3 purpose (§17.18.140, §17.18.150 and §17.18.160);
2. Definitions affecting LI uses (§17.08.020);
3. Permitted, conditional, and accessory uses in the LI districts, as set forth in the district use matrix (§17.12.020); and
4. Consideration of an additional LI dimensional standard (§17.12.030);
5. Amendments to residential light industrial district standards (§17.124.090).

For this meeting no further revisions have been proposed to edit area #1. A new definition has been proposed to edit area #2. Revisions to the locations within buildings where high and low intensity uses are permitted have been made in edit area #3. Minor revisions have been made to the content of edit areas #4 but the most notable component of this staff report is the inclusion of visual representations existing and proposed dimensional standards. Attached to edit area #4 are graphics representing build-out of the Light Industrial 1 and Light Industrial 2 zones to 70% lot coverage at 35', 40', 48' and 58' heights and renderings of building masses, under existing and proposed regulations, from three prominent vantage points. Additional complementary graphics will be presented at the September 10th, 2018 site visit to the Light Industrial area (scheduled to begin at 4:30 p.m. at Rotary Park, 1177 Warm Springs Rd, Ketchum, ID 83340) and during the meeting.

PUBLIC COMMENT

No new written public comment has been received for the September 10th, 2018 meeting.

STAFF RECOMMENDATION AND RECOMMENDED MOTION

After reviewing the proposed edits and taking public comment, staff recommends the Commission re-notice all proposed amendments for a public hearing to take place October 8, 2018.

"I MOVE TO NOTICE A PUBLIC HEARING for the proposed amendments included in Edit Areas #1-6 on October 8th, 2018."

Exhibit

- A. Proposed Title 17 Edit Areas #1 – 6 (Draft Edits to Title 17 and, in particular, the Purpose, Uses, Dimensional Standards, Residential Requirements, and Fences, Hedges, and Walls in Ketchum's Light Industrial Districts)

Changes since the August 18, 2018 Planning & Zoning Commission hearing appear in red below. **Note: the 4th and 5th story height reference in edit area #4 will need to be keyed to the LI zoning map. The LI modeling maps attached to this staff report will inform where height of 48' or 58' is (or is not) permissible.**

EDIT AREA #1 – Light Industrial Area Purposes

No further revisions proposed.

EDIT AREA #2 – Definitions

QUALIFYING GROUND FLOOR: A ground floor of a building, where the start of the second story is 18 feet or more above the level of the finished floor. In the LI zoning districts, buildings **where not less than seventy percent (70%) of the structure has** a Qualifying Ground Floor are permitted a higher overall height.

HEIGHT OF BUILDING/LIGHT INDUSTRIAL DISTRICTS: The greatest vertical distance measured at any point from natural, existing, or finished grade, whichever is lowest, to the highest point of the roof, except where expressly exempted by 17. ~~##.###~~. No facade shall be greater than the maximum height permitted in the zoning district. Building heights in light industrial districts are subject to the qualifying ground floor heights and residential standards contained in 17.124.090.

EDIT AREA #3 – LI-1, LI-2, and LI-3 Land Use Matrix

See attached.

EDIT AREA #4 – LI-1, LI-2, and LI-3 Dimensional Standards, District Matrix

See attached.

EDIT AREA #5 – Light Industrial District Residential Standards.

A. Residential units in the light industrial districts shall comply with the following minimum criteria:

1. Dwelling units shall not occupy the ground floor.
2. Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
3. Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units, ~~unless otherwise specified in the section.~~ and up to fifty percent (50%) of a work/live units gross residential floor area may be devoted to a work/live unit.
4. Dwelling units shall not be separated in any manner for sale as individual units.
5. In the approval of work/live units, the city shall find in addition to the conditional use standards set forth in Section 17.116 that:
 - a. The work portion of the unit meets the definition of work/unit set forth in Section 17.08.020, including that the Project is subject to Council approval of a restrictive covenant;
 - b. The work unit is:

- (1) suitable for on-site employees, foot traffic/customers, and meets applicable building and fire codes;
 - (2) signed and posted with regular hours of operation;
 - (3) served by the prominent means of access for the work/live unit; and,
 - (4) associated with a business license for a use allowed (either conditionally or permitted) in the district.
- c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:
- (1) the size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet;
 - (2) means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and
 - (3) suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in Section 17.125.

56. Dwelling units shall be a minimum of four hundred (400) square feet and shall not exceed one thousand (1,000) square feet total and shall contain not more than two (2) bedrooms, unless otherwise specified in this section.

7. Multi-family dwelling units proposing a fourth or fifth floor with a qualifying ground floor consistent with Section 17.12.050 shall comply with the following minimum criteria:

- a. A minimum of two-third (2/3) of the total square footage of housing units shall be deed restricted community housing units;
- b. Deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;
- c. The area designated as light industrial shall be a minimum of fifty percent (50%) of the gross floor area in four story buildings. The area designated as light industrial shall be a minimum of forty percent (40%) of the gross floor area in five story buildings. Said light industrial use shall not be for personal storage by dwelling occupants; and
- d. Up to fifty percent (50%) of the gross square footage of any four story building and up to sixty percent (60%) of the gross square footage of a five story building may be devoted to dwelling units.
- e. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.

68. Anti- nuisance and Notice Provisions.

- a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
- b. 7. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
- c. 8. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
- d. 9. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

9. Compliance with all applicable code sections, including among others, the city's parking and loading standards as set forth in Section 17.125.

10. Conditions including, but not limited to, the following may be attached to the conditional use permit approval:

- a. Access to the apartments relative to design and relationship to light industrial uses;
- b. ~~Location~~ Separation of residential and light industrial parking on the site to minimize conflicts;
- c. Restrictions on exterior storage of personal property of tenants;
- d. Certificate of occupancy required prior to occupancy of units;
- e. Ketchum fire department and Ketchum building department requirements shall be met prior to occupancy;
- f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations;
- g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; ~~and/or~~
- h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; and/or
- i. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.

~~11. The city council, after receiving a recommendation from the commission, may waive fees otherwise required in connection with development of such rental housing. The following findings shall be made to waive any such fees:~~

- ~~a. There is a need for rental housing stock in Ketchum;~~
- ~~b. The proposal meets the criteria contained in this subsection;~~
- ~~c. The housing proposed is an integral part of the project; and/or~~
- ~~d. Ketchum is in an acceptable financial position to waive such fees.~~

EDIT AREA #6 – FENCES, HEDGES AND WALLS.

17.124.130: FENCES, HEDGES AND WALLS:

Fences, hedges and walls may be permitted in the various districts as accessory uses in accordance with the following limitations:

- A. In the LR, LR-2, GR-L and GR-H districts, fences, hedges and walls shall not exceed four feet (4') in height when located less than thirty feet (30') from the front lot line;
- B. In the LR, LR-2, GR-L and GR-H districts, fences, hedges and walls shall not exceed six feet (6') in height when located more than thirty feet (30') from the front lot line;
- C. In all other districts, except the Light Industrial District, fences, hedges and walls shall not exceed four feet (4') in height when located less than thirty feet (30') from the front lot line and shall not exceed six feet (6') in height when located more than thirty feet (30') from the front lot line;

D. In the LI-1, LI-2, LI-3 districts fences shall not exceed seven feet (7') in height;

DE. In all districts, fences, hedges and walls, or any other obstruction to clear vision, shall not be located within seventy five feet (75') of the centerline intersection of two (2) streets unless determined otherwise by the city engineer; and

EF. No barbed wire or other sharp pointed metal fence and no electrically charged fence shall be permitted in any district.

EDIT AREA #3 – LI-1, LI-2, and LI-3 Land Use Matrix

Title 17 of the KMC sets forth a series of regulated uses by district.

In the LI-1, LI-2, and LI-3 the following uses, as defined in §17.08.020, are either Permitted (P), Conditional (C), or Accessory (A).

Proposed amendments to the District Use Matrix (§17.12.020) and Definitions (§17.08.020) are as follows. All new text proposed to be added to the land use matrix and/or definitions section of Title 17 are underlined. New text added for the September 10th, 2018 staff report is underlined and highlighted in yellow. Text that is proposed to be repealed is ~~stricken~~. Definitions that appear in **bold** in the left hand column, e.g., adult only, are exclusively referenced in the LI Districts.

USES	DEFINITIONS	LI-1	LI-2	LI-3	MATRIX NOTES
<u>Residential</u>					
Dwelling, multi-family	DWELLING, MULTIPLE-FAMILY: A building, under single or multiple ownership, containing two (2) or more dwelling units used for residential occupancy.	C ¹⁴	C ¹⁴	C ¹⁴	14. See section 17.124.090 of this title for industrial districts residential development standards.
<u>Work-Live Unit</u>	<u>Work-Live units incorporate residential living space in a non-residential building. Joint live-work units are held in common ownership and cannot be sold or platted as separate condominiums, as documented with a city-approved restrictive covenant recorded against the property.</u>	<u>C¹⁴</u>	<u>C¹⁴</u>	<u>C¹⁴</u>	
<u>Commercial</u>					
Adult only business	ADULT ONLY BUSINESS: A premises where minors are excluded by virtue of their age as a prevailing business practice or as required by law and which stock in trade and offers for sale, trade or rent of products are characterized by an emphasis upon the depiction or description of sexual activities or exposed anatomical areas or for use in connection with sexual activities or exposed anatomical areas		P C		
Business support service	BUSINESS SUPPORT SERVICE: The use of land for the sale, rental, or repair of office equipment, supplies, and materials, or the provision of services used by office and service establishments. <u>Uses include:</u> Typical uses include, but are not limited to, office equipment and supply firms, small business machine repair shops, convenience printing and copying	P	P		

establishments, or information technology support services.

USES	DEFINITIONS	LI-1	LI-2	LI-3	MATRIX NOTES
<u>Craft/Cottage Industry</u>	<u>CRAFT/COTTAGE INDUSTRY: A facility devoted solely to the arts and crafts that produces or makes items that by their nature, are designed or made by an artist or craftsman by using hand skills.</u>	<u>P</u>	<u>P</u>		
Convenience store	CONVENIENCE STORE: A retail store with a floor area of less than one thousand five hundred (1,500) square feet that sells groceries and small convenience items. Convenience stores provide no motor vehicle service of any kind.	p 12	p 16		<p>12. The following forms of retail trade are permitted: a) equipment rental, including sporting equipment and entertainment equipment; b) building, construction and landscaping materials; small engines with associated sales; c) retail in conjunction with manufacturing, warehousing or wholesaling not to exceed 30 percent gross floor area or 800 square feet, whichever is less; no advertising is displayed from windows or building facades; and no access onto a major arterial is allowed if an alternative access is available.</p> <p>16. The following forms of retail trade are permitted: a) equipment rental, including sporting equipment and entertainment equipment; b) building, construction and landscaping materials; small engines with associated sales; c) furniture and appliances in conjunction with warehousing not to exceed 18 percent gross floor area or 900 square feet, whichever is less; d) other retail in conjunction with manufacturing, warehousing or wholesaling; it is limited to 10 percent gross floor area or 500 square feet, whichever is less. Retail uses c) and d) of this note shall have no advertising displayed from windows or building facades; and no access will be permitted onto a major arterial if an alternative access is available.</p>
Construction Material Laydown Yard	<u>CONSTRUCTION MATERIAL LAYDOWN YARD: A site identified and approved as part of a Construction Activity Plan or other city-issued permit for a specific construction project. Construction material laydown yards are intended to be used on an intermittent basis in association with a singular, permitted development project.</u>	<u>P</u>	<u>P</u>	<u>P</u>	

Daycare center	DAYCARE CENTER: A daycare business providing care for thirteen (13) or more children on the premises at any one time. A daycare center is required to be licensed by the Idaho department of health and welfare.	C ¹⁷		C ¹⁷	17. See subsection 17.124.120.C of this title for industrial districts daycare development standards
Daycare Facility	DAYCARE FACILITY: A daycare business providing care for no more than twelve (12) children on the premises at any one time and having not more than four (4) employees. A daycare facility is required by state law to have a fire inspection.	C ¹⁷		C ¹⁷	17. See subsection 17.124.120.C of this title for industrial districts daycare development standards
Food Service	FOOD SERVICE: An establishment where food and drink are prepared, served and consumed on site with associated outdoor dining, or distributed to customers through take out, delivery or catering. Typical uses include, but are not limited to restaurants, cafes, delis, catering services and brewpubs that do not distribute beer produced for off site consumption.	PC ¹⁵	PC ¹⁵		15. Catering and food preparation is permitted. Restaurants require a conditional use permit and shall not exceed 1,000 square feet and serve no later than 9:00 P.M. unless expressly permitted through approval of the conditional use permit.

USES

DEFINITIONS

LI-1

LI-2

LI-3

MATRIX NOTES

Health and fitness facility - wellness focus

HEALTH AND FITNESS FACILITY: A business or membership organization providing exercise facilities and/or nonmedical personal services to patrons, with a focus on wellness and characterized by low-impact movements and/or lack of mechanized equipment, including, but not limited to, yoga and Pilates studios, dance studios, gymnasiums, personal training studios, private clubs (athletic, health, or recreational), tanning salons, and weight control establishments.

p37

p37

37. Permitted on the second floor and above only. For single-story buildings in existence on (date of ordinance adoption) the use is permitted on the ground floor.

Hybrid production facility

HYBRID PRODUCTION FACILITY: A commercial operation or use, on one or more premises within the same zoning district, where finished consumer goods are manufactured or produced and those same goods are offered for sale to the general public. Hybrid production facilities must be similar in size, scale and scope of operation with adjacent or nearby uses.

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Instructional service	INSTRUCTIONAL SERVICE: The use of land for the provision of informational, instructional and similar services for personal improvement <u>other than physical improvement</u> . <u>Typical uses</u> <u>Uses</u> include, but are not limited to, health or physical fitness studios facilities, dance, music, painting, ceramics, arts or photography studios, fiber arts, educational tutoring facilities, handicraft or hobby instruction.	P C ³⁷	P C ³⁷		37. Permitted on the second floor and above only. For single-story buildings in existence on (date of ordinance adoption) the use is permitted on the ground floor.
Industrial Design	<u>INDUSTRIAL DESIGN: The professional service of creating and developing concepts and specifications that optimize the function, value and aesthetics of products and systems for the mutual benefit of both user and manufacturer, often employing design thinking strategies. Typically, industrial design is intended to result in tangible goods that can be mass produced. Industrial design businesses may include on-site prototyping, fabrication, and manufacturing.</u>	<u>P</u>	<u>P</u>	<u>P</u>	
Kennel, boarding	KENNEL, BOARDING: A facility providing for the commercial boarding, grooming or training of household pets not owned by the owner or occupant of the premises.	P	P		
Laundry, industrial	LAUNDRY, INDUSTRIAL: An industrial facility where fabrics are cleaned on a commercial or wholesale basis.	P	P		
Maintenance service facility	MAINTENANCE SERVICE FACILITY: A facility containing the necessary supplies and equipment to provide janitorial services and routine maintenance of buildings and property.	P	P		
USES	DEFINITIONS	LI-1	LI-2	LI-3	MATRIX NOTES

Manufacturing	<p>MANUFACTURING: The use of land for production, processing, compounding, assembly, testing, treatment, or fabrication of materials and products from processed or previously manufactured materials. Uses may include, but are not limited to, a machine shop, the manufacturing of apparel, ceramic products, cosmetics and toiletries, electrical appliances, electronics or information technology equipment, medical equipment or devices, paper products, pharmaceuticals, plastic products (but not the processing of raw materials), welding services, or tools and hardware. Uses with significant external effects that cannot be eliminated or contained during the manufacturing process are not allowed. Such external effects include, but are not limited to, smoke, noise, particulates, dirt, vibration, or odor.</p>	P	P	
Motor vehicle fueling station	<p>MOTOR VEHICLE FUELING STATION: A facility providing the retail sale and direct delivery to motor vehicles of fuel, including electric charging stations associated with a motor vehicle fueling station, lubricants and minor accessories, and retail sales for the convenience of the motoring public.</p>	C ³¹	C ³¹	31. Vehicular access from Highway 75 to motor vehicle fueling stations is prohibited.
Motor vehicle sales	<p>MOTOR VEHICLE SALES: A facility providing for the sale, lease, or rental of new or used noncommercial vehicles, including automobiles, noncommercial vehicles or trucks, motorcycles, recreational vehicles, or boats. The cleaning and routine maintenance of motor vehicles is allowed as an accessory use.</p>	C	C	

USES DEFINITIONS LI-1 LI-2 LI-3 MATRIX NOTES

Motor vehicle service	<p>MOTOR VEHICLE SERVICE: A facility providing service for all types of repairs and maintenance of automobiles, commercial vehicles or trucks, trailers, construction equipment, agricultural implements, or similar industrial equipment, but does not include "junkyard" as defined by this chapter. Typical uses include, but are not limited to, automobile and truck repair garages, tire sales and installation, electronics installation and repair, oil and lubrication, windshield glass replacement services, vehicle cleaning and detailing, transmission shops, radiator shops, body and fender shops, painting, equipment service centers, machine shops, or other similar uses where repair activities are conducted.</p>	P	P
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Office, business	<p>OFFICE, BUSINESS: An establishment wherein the primary use is the conduct of a business or profession including, but not limited to, accounting, design services, computer software, information systems, engineering, insurance, legal services, management and administration, organization and association offices, psychology, real estate, travel and medical offices. Medical care facilities and hospitals are not included in this definition.</p>		P
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<u>Office, Contractor-related business</u>	<p><u>OFFICE, CONTRACTOR-RELATED BUSINESS: An establishment wherein the primary use is the conduct of a business or profession specifically related to building contracting including, design services, engineering, construction and property management.</u></p>	<u>P</u>	<u>P</u>	<u>P</u>
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USES	DEFINITIONS	LI-1	LI-2	LI-3	MATRIX NOTES
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Personal Service	PERSONAL SERVICE: The use of land for the provision of frequently or recurrently needed services of a personal nature. Such services include, but are not limited to, beauty and barber shops, grooming of household pets, seamstresses, tailors, shoe repair, laundromats or dry cleaning pick up/drop off where the processing of garments or fabrics is located in a separate facility.	p 13				13. Personal service is not allowed except for laundromats and dry cleaning establishments.
Professional Research Services	PROFESSIONAL RESEARCH SERVICES: An establishment that specializes in performing professional, scientific, and technical research services and may includes light manufacturing as an accessory use. <u>Uses are limited to:</u> Typical uses include, but are not limited to, construction contractors, physical distribution and logistics, engineering and specialized design services, electronic and computer services, photographic services, research, development and scientific services, and internet or remote sales and marketing. This definition does not include uses which create vibration outside the exterior building walls, or uses that would diminish the quality of air and water in the city.	P	P	<u>P</u>		
Repair Shop	REPAIR SHOP: An establishment primarily engaged in repair services of sporting equipment and household appliances; not including motor vehicle service.	P	P			
USES	DEFINITIONS	LI-1	LI-2	LI-3	MATRIX NOTES	

Retail Trade

RETAIL TRADE: An establishment which provides the final step in the retailing process for the distribution of goods and commodities to customers. Retailers are organized to sell or rent merchandise in small quantities to the general public and operate a fixed point of sale location designed to attract a high volume of walk-in customers. Typical uses include, but are not limited to, establishments selling office supplies and equipment, building materials, plumbing supply, antiques or consignment items, home improvement and garden supplies, books and educational material, clothing, sporting goods, pharmaceuticals, medical devices, health and fitness supplies, art and associated material and household pet supplies. Motor vehicle sales are not included in this definition.

p 12

p 16

12. The following forms of retail trade are permitted: a) equipment rental, including sporting equipment and entertainment equipment, b) building, construction and landscaping materials; small engines with associated sales, c) retail in conjunction with manufacturing, warehousing or wholesaling not to exceed 30 percent gross floor area or 800 square feet, whichever is less; no advertising is displayed from windows or building facades; and no access onto a major arterial is allowed if an alternative access is available.

16. The following forms of retail trade are permitted: a) equipment rental, including sporting equipment and entertainment equipment; b) building, construction and landscaping materials; small engines with associated sales; c) furniture and appliances in conjunction with warehousing not to exceed 18 percent gross floor area or 900 square feet, whichever is less; d) other retail in conjunction with manufacturing, warehousing or wholesaling; it is limited to 10 percent gross floor area or 500 square feet, whichever is less. Retail uses c) and d) of this note shall have no advertising displayed from windows or building facades; and no access will be permitted onto a major arterial if an alternative access is available.

Self-storage facility

SELF-SERVICE STORAGE FACILITY: A building or group of buildings of a controlled access and fenced compound that contains varying sizes of individual, compartmentalized and controlled access stalls or lockers for the storage of customers' goods or wares.

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USES

DEFINITIONS

LI-1

LI-2

LI-3

MATRIX NOTES

Storage yard

STORAGE YARD: Storage of large equipment, operable vehicles and construction/property maintenance materials. This shall not include junkyards or wrecking yards.

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Studio, commercial	STUDIO, COMMERCIAL: Work space within an enclosed structure for artists and artisans, including individuals practicing, teaching, or demonstrating in one of the fine arts or performing arts, or skilled in an applied art or craft. Also includes recording studios. Incidental retail sales of items produced on the premises is allowed. A commercial studio may hold occasional events solely and exclusively in connection with the permitted uses conducted by the commercial studio. The events shall be subordinate in nature to the commercial studio and subject to the standards of section 17.124.150 of this title.	p 35	p 35	P 35	<u>35. Commercial studios in the Light Industrial District are subject to the standards of section 17.124.150 of this title.</u>
TV and radio broadcasting	<u>TV AND RADIO BROADCASTING: An installation consisting of one or more transmitters or receivers used for radio, television or cable communications or broadcasting.</u>	P	P	P	
Truck terminal	TRUCK TERMINAL: A facility for the receipt, transfer, short term storage, and dispatching of goods transported by truck. Included in the use type would be express and other mail and package distribution facilities.	P	P		
Veterinary service establishment	VETERINARY SERVICE ESTABLISHMENT: A facility rendering surgical and medical treatment to large animals and household pets, providing boarding kennels, and/or outdoor runs. Crematoriums are not included as an accessory use.	P	P		
USES	DEFINITIONS	LI-1	LI-2	LI-3	MATRIX NOTES
Warehouse	WAREHOUSE: A facility for the use of dry/cold storage, wholesale, and distribution of manufactured products, supplies, and equipment, excluding storage of materials that are inflammable or explosive or that present hazards or conditions commonly recognized as offensive.	P	P	P	
Wholesale	WHOLESALE: The sale of commodities in quantity for resale.	P	P		

Wireless Communication facility	WIRELESS COMMUNICATION FACILITY (WCF): A facility that transmits and/or receives electromagnetic signals, including antennas, microwave dishes, parabolic antennas, directional antennas and other types of equipment for the transmission or reception of such signals, towers or similar structures supporting the equipment, equipment buildings, shelters, cabinets, parking area, and other accessory development.	C 23	C 23	C 23	23. See chapter 17.140 of this title for wireless communications facility provisions
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Public and institutional

Nature preserve	NATURE PRESERVE: An area designated or set aside for the purpose of preserving natural areas or features, contains a minimum of six (6) acres, is held under lease or title by a nonprofit tax exempt organization under section 501c(3) of the internal revenue service code of 1954, or corresponding provisions of any amendments or any future United States revenue code for said purposes.	P	P	P
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Public use	PUBLIC USE: A structure or use intended or used for a public purpose by a city, other than the city of Ketchum, a school district, the county, the state, or by any other public agency, or by a public utility.	C	C	C
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USES DEFINITIONS LI-1 LI-2 LI-3 MATRIX NOTES

Public utility	<u>PUBLIC UTILITY: An organization that maintains the infrastructure for a public service, which often also provides a service using that infrastructure.</u>	P	P	P
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Recreation facility, public	RECREATION FACILITY, PUBLIC: A publicly owned and operated recreation facility.	P	P	P
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<u>Recreation facility, high intensity</u>	<u>RECREATION FACILITY, HIGH INTENSITY: A recreation facility that, due to the nature of the use, requires floor area or mass and volume, or generates higher decibel levels, that are more appropriately accommodated in the light industrial area or are buffered from residential or pedestrian-oriented commercial activity on a large</u>	<u>P</u>	<u>P</u>	
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recreational use zoned parcel district than in the Community Core or a Tourist zone. Uses include indoor shooting range, dryland hockey training facility, gymnastics/tumbling gym, and instructional or personal training facilities wherein the instruction involves throwing, dragging, or launching heavy equipment.

Recycling center **RECYCLING CENTER: A facility designed to be a collection point where only recyclable materials are sorted and/or temporarily stored prior to delivery to a permanent disposal site, or shipment to others for reuse, and/or processing into new products. This shall not include junkyards or wrecking yards.**

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School residential campus **SCHOOL RESIDENTIAL CAMPUS: Multiple use building(s) and outdoor facilities/areas directly affiliated with an established public or semipublic educational institution for learning that include, but are not limited to, spaces devoted to dormitory, central kitchen and dining, office, classroom, study, school employee dwelling unit, study hall, gym/fitness, meeting, and parking.**

p 30 **30. Development agreement and compliance with §17.124.090.C required.**

Accessory

Agriculture, urban **AGRICULTURE, URBAN: The production of vegetables, fruits, honey, and eggs by residents for personal consumption and may include production by members of a neighborhood or by a nonprofit organization on one or more vacant lots for personal consumption or for the off site sale of small quantities.**

A 22

A 22

See Section 17.124.080 of this title for urban agriculture development standards

USES

DEFINITIONS

LI-1

LI-2

LI-3

MATRIX NOTES

Daycare home **DAYCARE HOME: A daycare business providing care for six (6) or fewer children on the premises at any one time, having not more than one employee in addition to the operator, and operating between the hours of seven o'clock (7:00) A.M. and six o'clock (6:00) P.M. A daycare home is required by the city to have a basic fire inspection.**

C 4

4. Use is not permitted in the Avalanche Zone. Reference Zoning Map.

Daycare, onsite employee	<u>DAYCARE, ONSITE EMPLOYEE: Child care programs that occur in facilities where parents are on the premises.</u>	A	A	A
Electric vehicle charging station	ELECTRICAL VEHICLE CHARGING STATION: A public or private parking space that is served by battery charging station equipment that has as its primary purpose the transfer of electric energy (by conductive or inductive means) to a battery or other energy storage device in an electric vehicle.	A	A	A
Energy system, solar	ENERGY SYSTEM, SOLAR: Any solar collector panel(s), film(s), shingle(s), or other solar energy device(s), or solar structural component(s), mounted on a building or on the ground and including other appurtenant structures and facilities, whose primary purpose is to provide for the on site collection, storage, and distribution of solar, or radiant, energy received from the sun and used for heating or cooling, for water heating, and/or for generation of electricity. A solar energy system may be ground mounted (i.e., placed on top of the ground surface) or roof mounted (i.e., placed on or as an integral part of a building). Roof mounted systems may extend an additional two feet (2') beyond the maximum height allowance of the zoning district in which they are located. Ground mounted systems shall meet all required dimensional standards for accessory structures.	A	A	A

USES	DEFINITIONS	LI-1	LI-2	LI-3	MATRIX NOTES
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Energy system, wind	ENERGY SYSTEM, WIND: Any electric generation facility, whose main purpose is to convert and store wind energy into usable forms of energy and that includes the wind turbine(s), structural supports, electrical infrastructure, and other appurtenant structures and facilities. Wind energy systems may be freestanding (i.e., placed on top of the ground surface) or roof mounted and shall meet all dimensional requirements of principal buildings for the zoning district in which they are located.	A	A	A
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Home occupation	HOME OCCUPATION: A business related activity conducted entirely within a dwelling which is incidental and secondary to the use of a dwelling as a residence and does not negatively impact the surrounding neighborhood.	A	A	A	
Recreation facility, residential	RECREATION FACILITY, RESIDENTIAL: A recreation facility for use solely by the residents and guests of a particular residential development, planned unit development, or residential neighborhood, including outdoor and indoor facilities. These facilities are usually proposed or planned in association with development and located within or adjacent to such development.	A <u>36</u>	A <u>36</u>	A <u>36</u>	<u>36. Residential recreation facilities in the Light Industrial District are not allowed except for residents and guests of a particular residential development.</u>

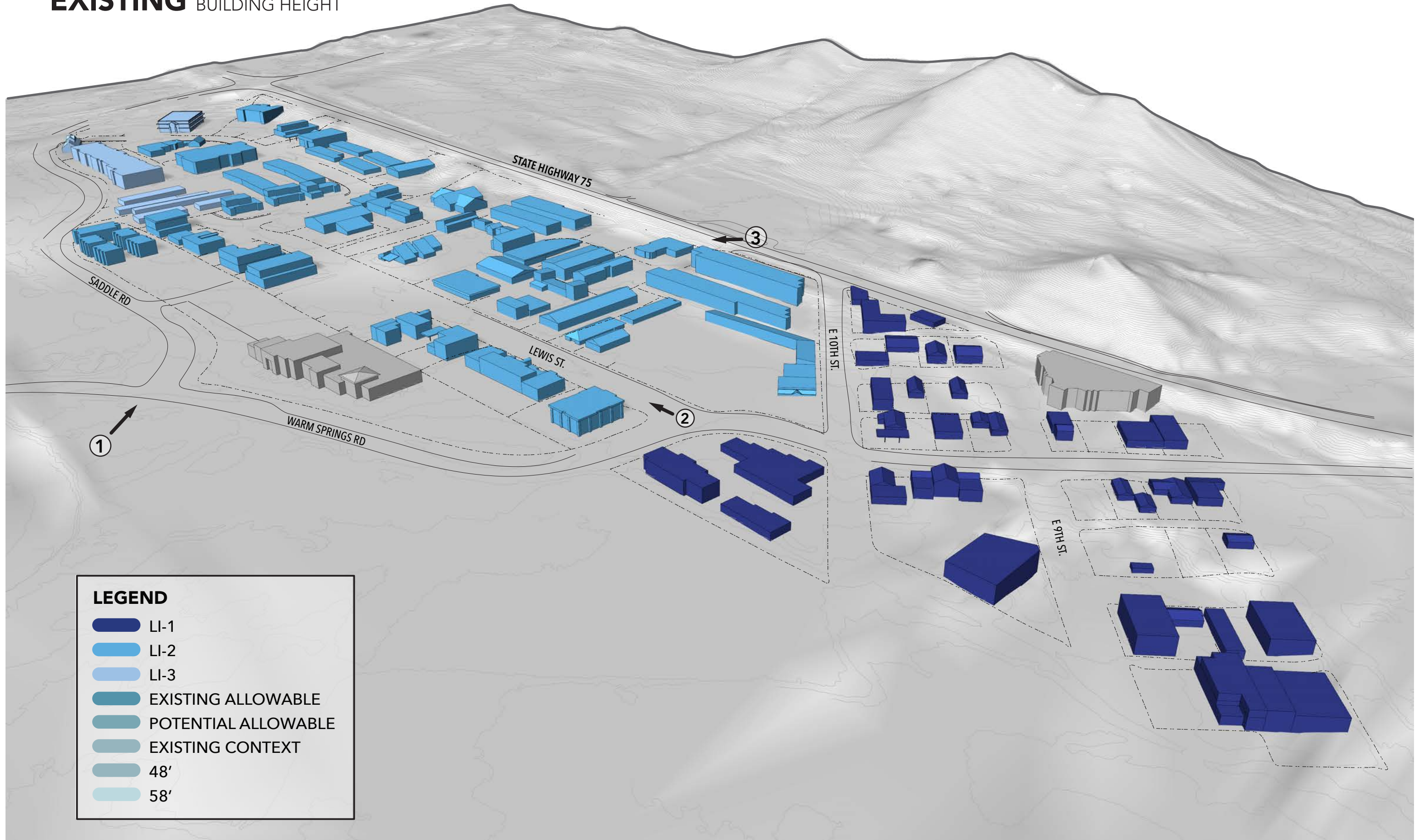
EDIT AREA #4 – LI-1, LI-2, and LI-3 DIMENSIONAL STANDARDS, DISTRICTS MATRIX

	<u>LI-1</u>	<u>LI-2</u>	<u>LI-3</u>
<u>Dimensional Standards</u>			
<u>Minimum Lot Area</u>	8,000 Square Feet		
<u>Minimum Lot Width</u>	80'		
<u>Maximum Building Coverage</u>	75%		
<u>Minimum Building Setbacks</u>			
<u>Front</u>	20'		
<u>Side</u>	0' ¹ for internal side yards and a minimum of 10' for street side yards		
<u>Rear</u>	0' ¹		
<u>Cantilevered decks and overhangs</u>	0'		
<u>Setback for fourth or fifth floors, if permitted, from State Highway 75</u>	35'		
<u>Maximum Building Height</u>			
<u>Building Height</u>	35'		35' ²
<u>Building Height with Qualifying Ground Floor</u>			
<u>Two Story</u>	35'		35' ²
<u>Three Story</u>	40'		
<u>Four Story³</u>	not permitted	48' ³	48' ³
<u>Five Story³</u>	not permitted	58' ³	58' ³
<u>Nonhabitable structures located on building rooftops</u>	6'		
<u>Parapets and rooftop walls screening/enclosing mechanical equipment</u>	4' above roof surface height.		
<u>Perimeter walls enclosing rooftop deck</u>	4' above roof surface height. Perimeter rooftop walls enclosing rooftop decks are required to be at least 75% transparent.		
<u>Rooftop solar and mechanical equipment above roof surface</u>	5'		

Footnotes:

1. If the lot adjoins a more restrictive residential district on the side or rear, the more restrictive setbacks of that district shall apply.
2. For buildings with a minimum roof pitch of 4:12 may go to 40 feet.
3. Only buildings with deed restricted community housing units consistent with 17.124.090 are permitted to have a fourth or fifth floor.

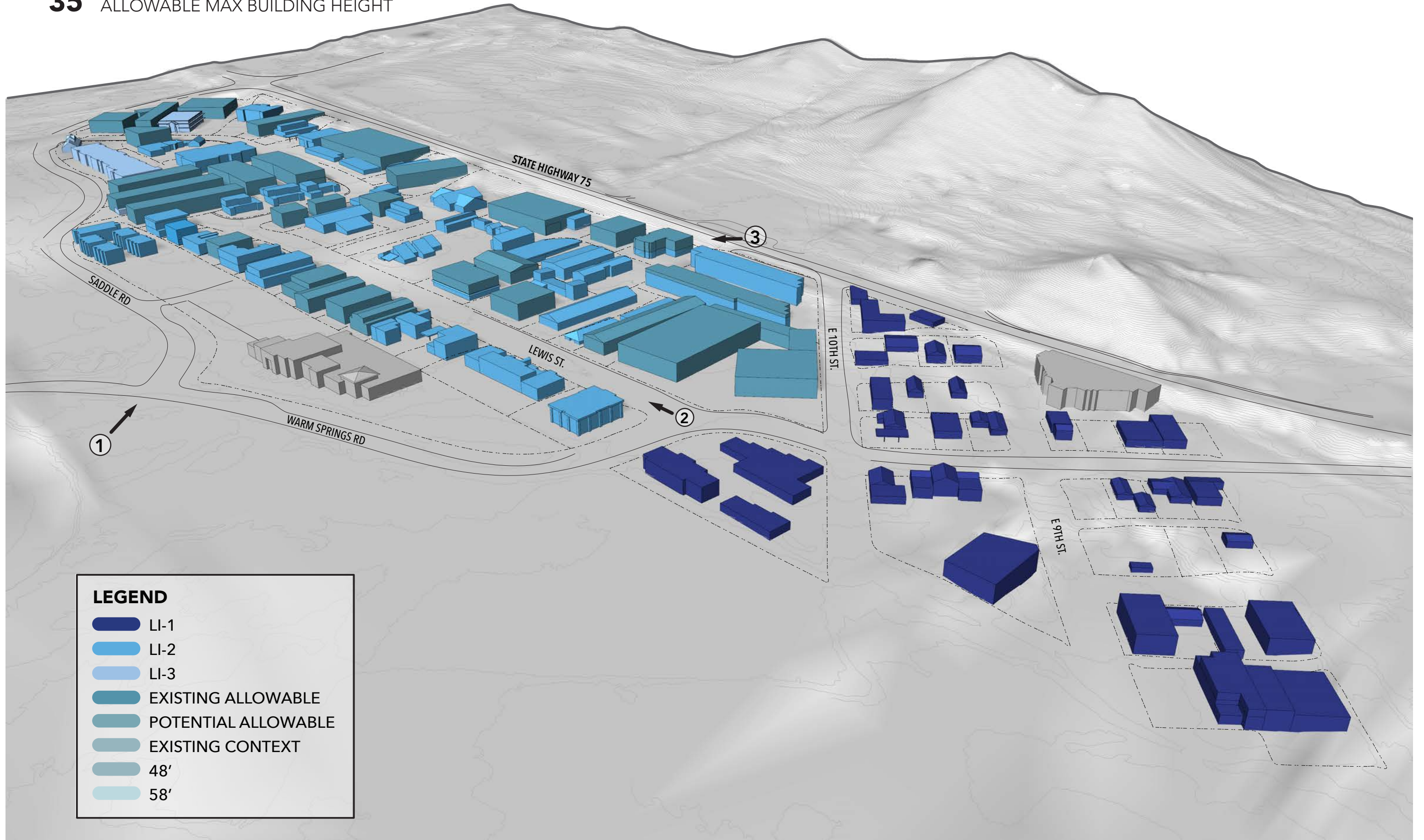
EXISTING BUILDING HEIGHT



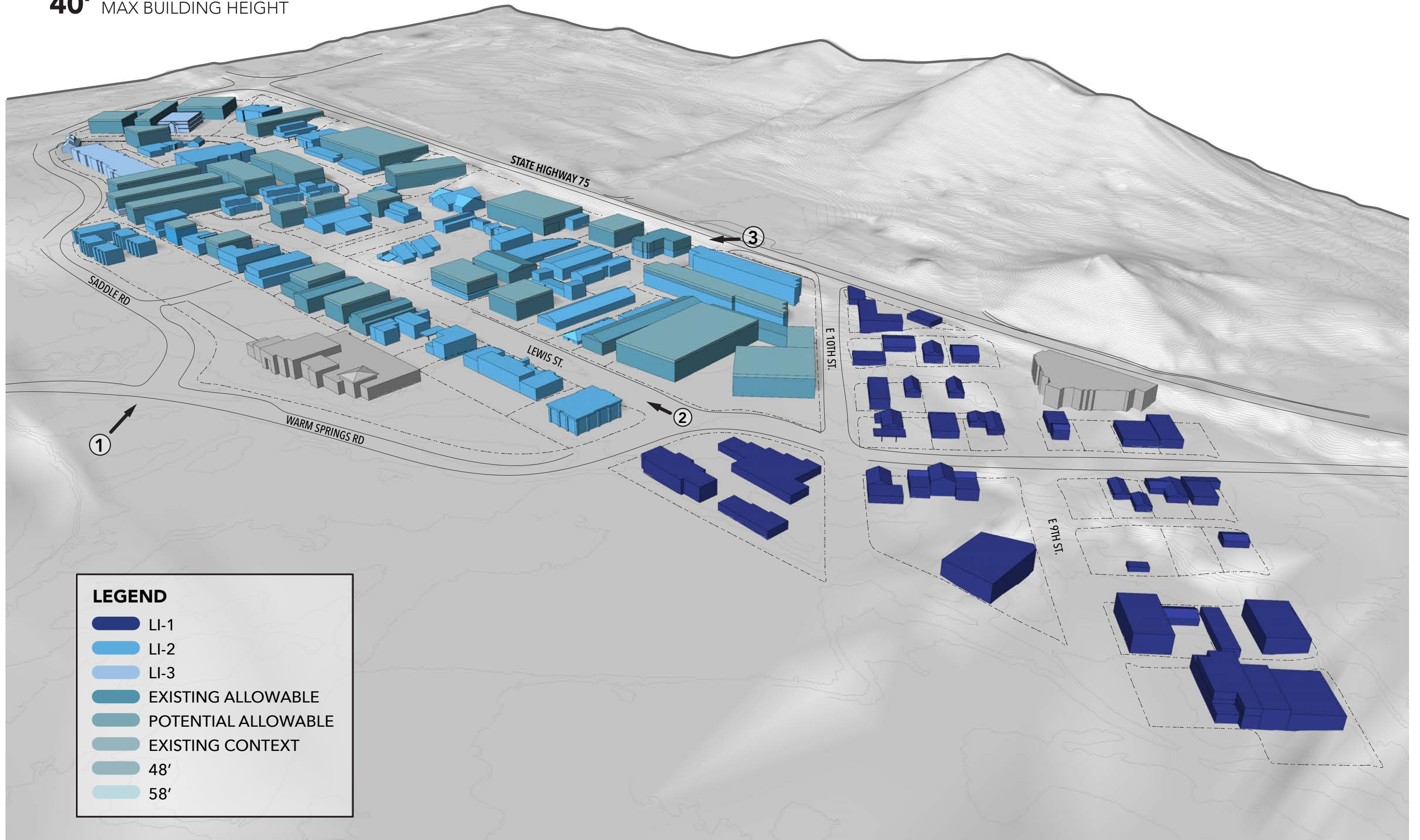
LEGEND

- LI-1
- LI-2
- LI-3
- EXISTING ALLOWABLE
- POTENTIAL ALLOWABLE
- EXISTING CONTEXT
- 48'
- 58'

35' ALLOWABLE MAX BUILDING HEIGHT



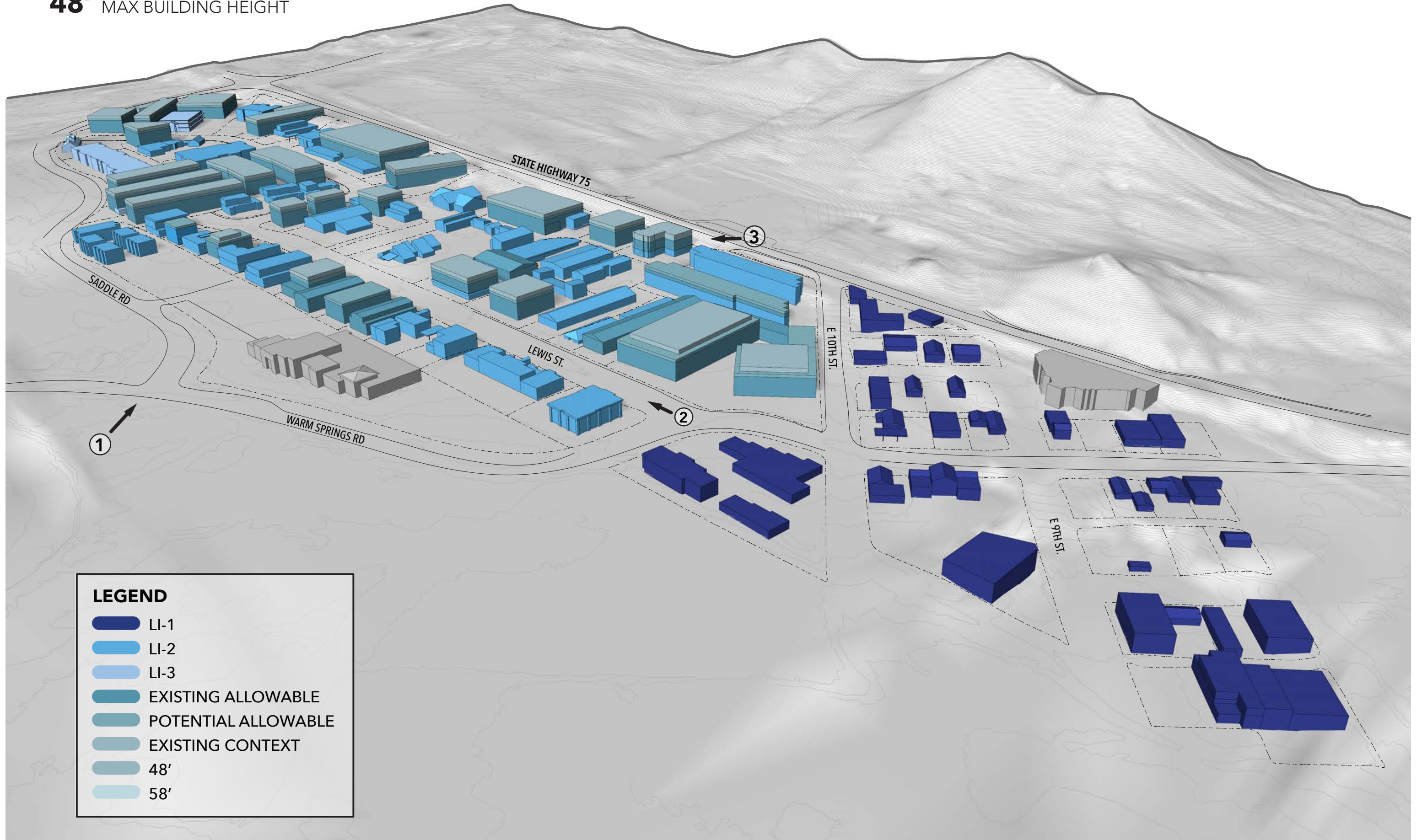
40' MAX BUILDING HEIGHT



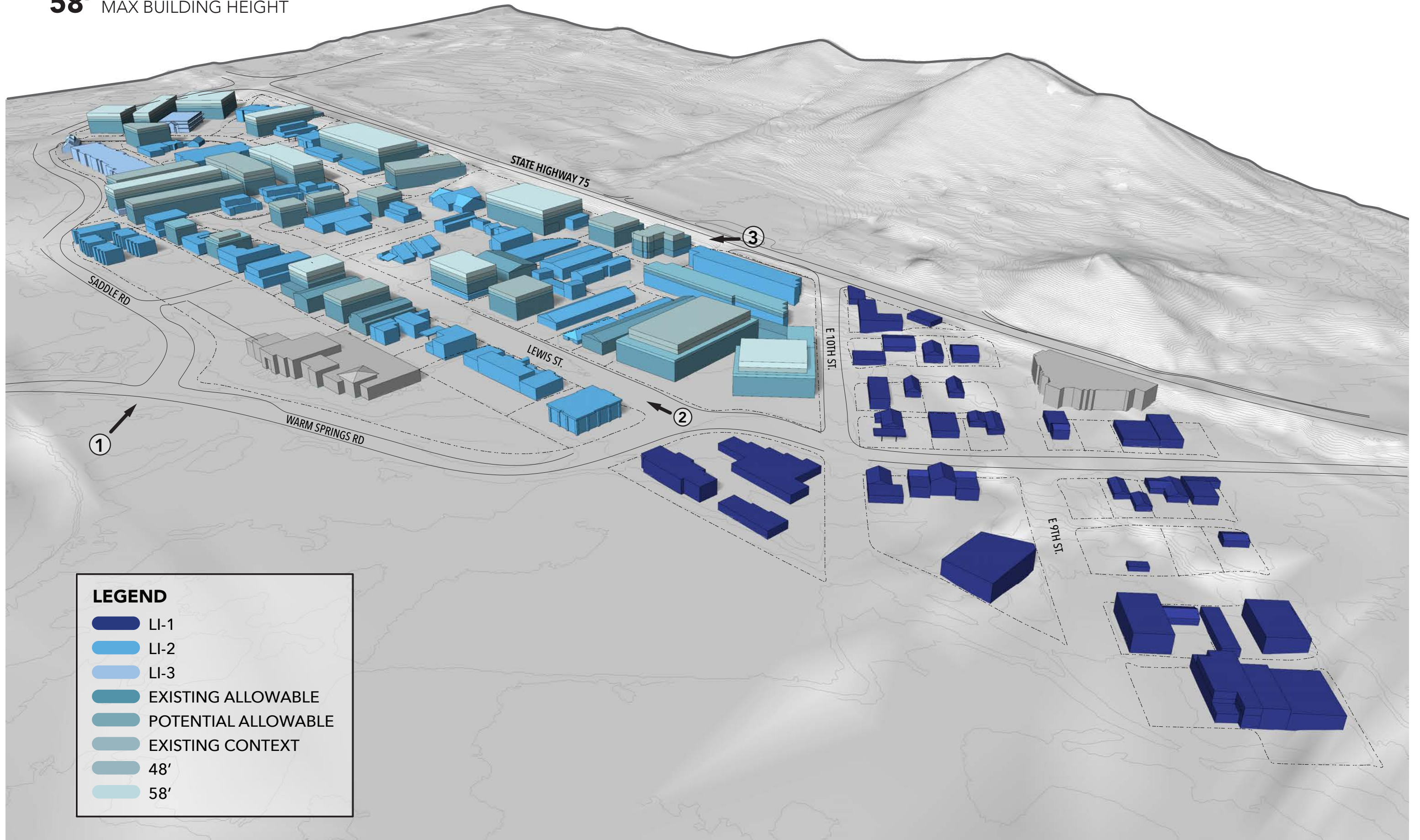
LEGEND

- LI-1
- LI-2
- LI-3
- EXISTING ALLOWABLE
- POTENTIAL ALLOWABLE
- EXISTING CONTEXT
- 48'
- 58'

48' MAX BUILDING HEIGHT



58' MAX BUILDING HEIGHT



LEGEND

- LI-1
- LI-2
- LI-3
- EXISTING ALLOWABLE
- POTENTIAL ALLOWABLE
- EXISTING CONTEXT
- 48'
- 58'

VIEW 01 EXISTING



VIEW 01 // 35'



VIEW 01 // 40'



VIEW 01 // 48'



VIEW 01 // 58'



VIEW 02 // EXISTING



VIEW 02 // 35'



VIEW 02 // 40'



VIEW 02 // 48'



VIEW 02 // 58'



VIEW 03 // EXISTING



VIEW 03 // 35'



VIEW 03 // 40'



VIEW 03 // 48'



VIEW 03 // 58'





City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF SEPTEMBER 10, 2018

PROJECT: 760 N Washington Avenue Mixed-Use Building

FILE NUMBER: P18-109

OWNERS: Andrew & Kim Castellano

REPRESENTATIVE: Jack Richardson and Amy Sims, LivingHomes & Eric Adams, Elias Construction

REQUEST: Pre-Application Design Review of a new three-story, modular, mixed-use building containing commercial/retail space and one (1) community housing unit on the first-floor and one (1) residential unit on the second and third floors.

LOCATION: 760 N Washington Avenue (Ketchum Townsite: Block 13: Lot 6)

NOTICE: Noticing is not required for Pre-Application Design Review. A courtesy notice was mailed to adjacent property owners on August 29th, 2018.

ZONING: Mixed Use Sub-District of the Community Core (CC-2)

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND:

The subject Pre-Application Design Review request is for the construction of a new mixed-use building on Lot 6 of Ketchum Townsite Block 13 that will contain commercial/retail space and one (1) community housing unit on the first floor and one (1) residential unit on the second and third floors. The prefabricated structure will be the first modular, mixed-use building in the City of Ketchum. The subject site is a 5,500 sq ft lot located within the Mixed Use Sub-district of the Community Core (CC-2). The applicant is Andrew & Kim Castellano represented by Jack Richardson and Amy Sims of LivingHomes and Eric Adams of Elias Construction. The subject property is currently developed with three existing structures. Adjacent development to the subject lot includes a daycare business and a commercial building. The total proposed gross floor area is 8,008 sq ft with a Floor Area Ratio of 1.5.

The project is subject to Pre-Application Design Review per Ketchum Municipal Code (KMC) §17.96.010.C.1. The purpose of Pre-Application Design Review is to allow the Commission to exchange ideas and give direction to the applicant on the “design concept,” while keeping in mind the purpose of Chapter 17.96 Design Review and the application of the associated evaluation standards. Per KMC §17.96.040.C4, the Administrator has waived certain submittal requirements as it was determined that some of the information was not necessary for the Commission to exchange ideas and give direction to the applicant on the design concept. See Staff analysis below for a discussion regarding the outstanding items that will need to be addressed at Design Review.

ANALYSIS:

Staff recommends advancement of the Pre-Application Design Review for the 760 N Washington Avenue Mixed-Use Building to Design Review. The applicant is aware of the outstanding action items to be submitted for Design Review described below. A full analysis and explanation of this recommendation is detailed within the Staff Report. The following items will need to be addressed by the applicant prior to Design Review approval.

Outstanding Action Items:

- Per KMC §17.96.040.B, all Design Review projects for nonresidential projects must be prepared by an Idaho licensed architect or engineer. The submittal drawings for the Design Review application must be stamped by an Idaho licensed architect or engineer.
- The Design Review application requires an exterior lighting plan indicating the location, height, type, lumen output, and specifications for fixtures (KMC §17.96.040.C.2h).
- The applicant must submit one 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure (KMC §17.96.040.C.2i).
- On the Basement Plan (Sheet A2.10) of the Pre-Application submittal, the applicant has indicated the location of a proposed drywell. The applicant must submit more detailed drawings for the proposed drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4).
- The applicant must submit a utilities plan indicating the location and size of water and sewer mains as well as gas, electric, TV and phone services (KMC §17.96.040.C.2c & KMC §17.96.060.D.1-3).
- Per KMC §17.96.060.D.2, utilities shall be located underground and utility, power, and communications lines within the development site should be concealed from public view. The applicant needs to coordinate with Idaho Power regarding relocating or removing the existing power pole adjacent to the alley prior to Design Review.
- The applicant must provide a snow storage plan with the snow storage area calculation (snow storage areas shall not be less than 30% of improved parking and pedestrian circulation areas) and include associated dimensions (KMC §17.96.060.H).
- The applicant must submit a construction management plan showing where staging will occur, where materials are stored, and a parking plan for contractors (KMC §17.96.040.C.2j).
- The Roof Plan (Sheet A2.14) of the Pre-Application submittal indicates the siting of a stair tower, deck, and solar equipment affixed to the roof. The applicant must indicate the setback of all proposed non-habitable structures affixed on the roof at Design Review. All non-habitable structures located on building roof tops must be setback 10 ft from all building facades. The applicant must also provide the maximum height of the perimeter wall enclosing the roof top deck. The perimeter wall may not exceed 4 ft above the roof surface height and must be at least 75% transparent.
- The garbage storage area is not indicated on the drawings for the Pre-Application Design Review submittal. The applicant shall indicate the location of the garbage storage area at Design Review. The garbage storage area shall be screened from public view and located off of the alley.
- The project design incorporates flat roofs and associated roof overhangs including above the entrance to the building. The applicant has not specifically indicated whether these design elements are intended for weather protection. Per KMC §17.96.060.F.8, building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. The applicant shall address weather protection for gathering and circulation at Design Review.
- The applicant must address plans for sidewalk connectivity at Design Review. The applicant should address connections to both the existing sidewalk adjacent to Lot 5 of Block 13 and future connections along Washington Avenue adjacent to Lots 7 and 8.
- The applicant has indicated the removal of four (4) existing trees on the site. Trees determined by the City Arborists to be healthy and mature must be replaced by the applicant on or off site (KMC §17.96.070.D.1). The applicant must submit a plan for any required replacement trees at Design Review.

- Sheet A1.0 of the Pre-Application submittal indicates the installation of a Solar One street lamp and a bicycle rack on the new public sidewalk. The applicant must include the installation of a public amenity, such as a bench, for the Design Review application to be reviewed and approved by the Streets Department (KMC §17.96.060.J.1)

Prior to issuance of a Building Permit, an Exceedance Agreement addressing the square footage above the permitted 1.0 Floor Area Ratio and the associated community housing contribution is required (KMC §17.124.040.B). Civil drawings for the proposed right-of-way and alley improvements must also be submitted to be reviewed and approved by the Streets Department prior to issuance of a Building Permit for the project.

COMPREHENSIVE PLAN ANALYSIS:

The proposed construction of the new mixed-use building is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

Table 1. Comprehensive Plan Analysis

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
Future Land Use	
Mixed-Use Commercial	This Mixed-Use Commercial category is intended to promote a wide range of land uses, including offices, medical facilities, health/wellness-related services, recreation, government, residential, and services. General retail is limited to the downtown core. (Areas in the ACI with this designation will require evaluation with regard to the provision of access, utility service, safety, and environmental impacts.)
Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
Housing	
Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas	Housing should be integrated into the downtown core and light industrial areas, and close to the ski base. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.
Mobility	
Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.

Table 2. Requirements for All Applications

City Department Comments				
Compliant			City Code	City Standards and Staff Comments
Yes	No	N/A		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.040	Complete Application

			See list of Outstanding Action Items.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire Department: See Attachment C for Fire Department comment.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Streets Department: <ul style="list-style-type: none"> The applicant must improve the adjacent alley to City standards. Civil drawings for the proposed alley improvements must be submitted for the Building Permit application to be reviewed and approved by the Streets Department. The applicant must provide a plan for winter maintenance of the alley. The Washington Avenue right-of-way must be improved to City standards including sidewalk, curb, and gutter improvements. The installation of a new sidewalk has been indicated on the Site Plan (Sheet A1.0). The applicant shall submit civil drawings for the proposed right-of-way improvements to be reviewed and approved by the Streets Department prior to issuance of a Building Permit for the project. The applicant must address plans for sidewalk connectivity at Design Review. The applicant should address connections to both the existing sidewalk adjacent to Lot 5 of Block 13 and future connections along Washington Avenue adjacent to Lots 7 and 8. The applicant has indicated the installation of one (1) street lamp and a bicycle rack on Sheet A1.0 of the submittal. The final siting of the street lamp, bicycle rack, and all street furnishings shall be reviewed and approved by the Streets Department prior to issuance of a Building Permit for the project.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Utilities: <ul style="list-style-type: none"> The applicant must submit a utilities plan must indicating the location and size of water and sewer mains at Design Review (KMC §17.96.040.C.2c & KMC §17.96.060.D.1-3). The Utilities Department will provide further comment at Design Review following the submittal of the required utilities plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parks/Arborist: <ul style="list-style-type: none"> The City Arborist has reviewed the Landscape Plan indicated on Sheet L1.0 of the Pre-Application submittal and approves the proposed species and siting. The applicant has indicated the removal of four (4) existing trees on the site. Trees determined by the City Arborists to be healthy and mature must be replaced by the applicant on or off site (KMC §17.96.070.D.1). Any trees proposed to be installed within the Washington Avenue right-of-way will require a Sidewalk Easement Agreement to ensure safe pedestrian and bicycle traffic. Any street trees and associated easement agreement must be reviewed and approved by the Streets Department and City Arborist.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: The building must meet 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3: Zoning Standard Analysis

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area
			Staff Comments	Required: 5,500 square feet minimum Existing: 5,500 square feet existing
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Floor Area Ratios and Community Housing
			Staff Comments	Permitted in Community Core Sub-district 2 (CC-A) Permitted Gross FAR: 1.0 Permitted Gross FAR with Inclusionary Housing Incentive: 2.25

				<p>Proposed Mixed-Use Building Gross Floor Area: 8,008 sq ft Lot 6 Area: 5,500 sq ft FAR Proposed: 1.5 (8,008 sq ft/5,500 sq ft lot area) Increase Above Permitted FAR: 2,508 sq ft 20% of Increase: 502 sq ft Net Livable (15% Reduction): 426 sq ft Community Housing In-Lieu Fee: \$101,388 The First Floor Plan (Sheet A2.11) of the Pre-Application submittal includes a 504 sq ft community housing unit.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Minimum Building Setbacks</p> <p><i>Staff Comments</i> Required: Front (N Washington Avenue): 0' Adjacent to alleyway (Rear): 3' Interior Side: 0' Cantilevered decks and overhangs: 0' Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof from all building facades: 10'</p> <p>Proposed: Front (N Washington Avenue): 5' Adjacent to alleyway (Rear): 3' Interior Side(E): 0' Interior Side(W): 3' Cantilevered decks overhangs: 0'</p> <p><i>Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof from all building facades: Sheet A2.14 of the Pre-Application submittal indicates the siting of non-habitable structures and solar equipment affixed to the roof. The applicant shall indicate the setback of all proposed non-habitable structures affixed on the roof at Design Review. The potential 556 sq ft solar array appears to encroach within the required 10 ft setback.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Building Height</p> <p><i>Staff Comments</i> Maximum Permitted: 42' Non-habitable structures located on building roof tops: 10' Roof top solar and mechanical equipment above roof surface: 5'</p> <p>Proposed: Building Height: 35'-4" Non-habitable Roof Deck and Stair Tower: 9' Total Building Height with Non-habitable Structure: 44'-4"</p> <p><i>The applicant must indicate the height of the perimeter wall enclosing the roof top deck at Design Review. The perimeter wall may not exceed 4 ft above the roof surface height and must be at least 75% transparent.</i></p> <p><i>On Sheet A2.14 of the Pre-Application submittal, the applicant has indicated a potential solar array zone. The potential roof mounted solar array may not exceed 5 ft in height above the maximum 42 ft height allowed in the CC-2 Zoning District.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030.H	<p>Curb Cut</p> <p><i>Staff Comments</i> Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</p> <p>Proposed: No curb cut is proposed. Vehicular access to the mixed-use building will be provided from the alleyway.</p>
			17.125.40	Parking Spaces

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<p>Off-street parking standards of this chapter apply to any new development and to any new established uses.</p> <p>17.125.040 Off Street Parking and Loading Calculations:</p> <p>A.1. Multiple Uses: Lots containing more than one use shall provide parking and loading in an amount equal to the total of the requirements for all uses, unless a use is exempted by this chapter or a reduction is approved through a shared parking plan or Parking Demand Analysis in compliance with this chapter.</p> <p>Non-residential, in zoning districts other than LI-1, LI-2, and LI-3: 1 parking space per 1,000 gross square feet.</p> <p>Residential multiple-family dwelling within the Community Core (CC) District and the Tourist (T) District, Tourist 3000 (T-3000), and Tourist 4000 (T-4000): Units 750 square feet or less: 0 parking spaces</p> <p>17.125.040(C) Exemptions: In the Community Core (CC) and Tourist (T) zoning districts the following uses meeting the definitions found in 17.08.020 are exempt from providing off street parking:</p> <p>a. Community housing.</p> <p>c. The first five thousand five hundred (5,500) gross square feet of retail trade. The first five thousand five hundred (5,500) gross square feet of a space occupied by a tenant is exempt, additional square footage is subject to the ratio of one parking space per one thousand (1,000) gross square feet.</p> <p>Required:</p> <p>First-Floor Commercial: 2,143 gross sq ft requires 2 parking spaces The First Floor Plan (Sheet A2.11) of the Pre-Application submittal indicates that the first-floor space is Commercial/Retail. Any portions and up to 5,500 gross sq ft of commercial space dedicated to retail trade may be exempt from the parking requirement.</p> <p>Residential: Unit greater than 2,001 sq ft requires 2 parking spaces Community Housing Unit: Exempt</p> <p>Total Parking Spaces Required: 4</p> <p>Proposed: 4 parking spaces.</p> <p>One of the proposed parking spaces is a compact vehicle space compliant with required dimensional standards contained in KMC §17.125.030.B.2.</p> <p><i>The existing power pole indicated on Sheet A1.0 may obstruct access to one (1) of the proposed parking spaces. Per KMC §17.125.030.C, all area counted as off street parking space shall be unobstructed and kept clear of snow and free of other uses. Per KMC §17.96.060.D.2, utilities shall be located underground and utility, power, and communications lines within the development site should be concealed from public view. All utilities within the development site must be underground and the applicant must coordinate with Idaho Power regarding relocating or removing the existing power pole adjacent to the alley prior to Design Review.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130 & 17.18.20 Staff Comments	<p>Zoning Matrix</p> <p>17.18.130: Community Core District</p> <p>A. Purpose: The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum's historical and geographic context while providing diversity.</p>

		<p>Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the city's comprehensive plan and the downtown master plan.</p> <p>17.08.020 – Definitions</p> <p>MIXED USE: Properties on which various uses, such as office, commercial, institutional, and residential, are combined in a single building or on a single site in an integrated development project with significant functional interrelationships and a coherent physical design.</p> <p>FLOOR AREA, GROSS: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and fifty percent (50%) of atriums over eighteen feet (18') plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three (3) or more sides by building walls are included. Four (4) parking stalls for developments on single Ketchum town site lots of five thousand six hundred (5,600) square feet in size or less are not included in the gross floor area calculation.</p>
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Table 4: Design Review Standards for all projects

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>The subject property is an interior lot with street frontage along N Washington Avenue and the proposed development will be accessed from the alley. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	<i>The street design does not change with this proposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<i>The applicant shall install a sidewalk adjacent to the development. The applicant has included design plans for the right-of-way improvements on Sheet A1.0 of the Pre-Application submittal, which include the installation of a 5 ft sidewalk. The applicant must submit civil drawings for the associated right-of-way improvements to be reviewed and approved by the Streets Department. See Table 2 for comment from the Streets Department. The applicant must address plans for sidewalk connectivity at Design Review. The applicant should address connections to both the existing sidewalk adjacent to Lot 5 of Block 13 and future connections along Washington Avenue adjacent to Lots 7 and 8.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<i>The proposed 5 ft sidewalk width conforms to the City’s right-of-way standard for new development adjacent to 60 ft right-of-way roads. The applicant must submit civil drawings for the associated right-of-way improvements to be reviewed and approved by the Streets Department. See Table 2 for comment from the Streets Department.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ol style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.

			<i>Staff Comments</i>	<i>N/A. The project is required to install a sidewalk equal to the length of the subject property line adjacent to N Washington Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>Sheet A1.0 indicates that the length of the proposed sidewalk will be constructed equal to the length of the subject property line adjacent to N Washington Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>The proposed sidewalk will provide a pedestrian connection to the existing sidewalk adjacent to Lot 5 on Block 13. The sidewalk will provide pedestrian access to and around the building by connecting to concrete pavers on the site. The new sidewalk must be designed to allow a future connection along Washington Avenue adjacent to Lot 7 and 8 of Block 13.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A, Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>The applicant has indicated the location of a proposed drywell on Sheet A2.10 of the Pre-Application submittal. The applicant must submit civil drawings for the required Drainage Plan at Design Review.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements shall require approval from the Streets Department prior to issuance of a Building Permit for the project.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(C)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>The applicant must submit more detailed drawings for the proposed Drainage Plan at Design Review. Drainage facilities shall be constructed per City standards and require approval from the Streets Department prior to issuance of a Building Permit for the project.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>Not depicted. The applicant must submit a Utilities Plan at Design Review. See Staff comment from the Utilities Department in Table 2.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>Not depicted. The applicant must submit a Utilities Plan at Design Review. See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.

			<i>Staff Comments</i>	<i>Building elevations are included on Sheets A0.0, A3.1, A3.2, and A3.3 of the submittal but do not indicate specifications for the associated materials. No signage is indicated on the proposed building facades. One 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure must be submitted at Design Review.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A. The proposed building is new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>As indicated on Sheet L1.0 of the Pre-Application Design Review submittal, the building entryway provides unobstructed pedestrian access to concrete pavers that will connect to the new sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The building utilizes stepped building forms and varying roof heights in conjunction with vertical and horizontal elements to break up the mass of the modular building. The front façade, which faces N Washington Avenue, incorporates material and color differentiation to provide undulation and relief and to reduce the appearance of bulk and flatness. Specifications for the associated materials shall be submitted by the applicant for the Design Review application.</i> <i>The front façade design incorporates windows and glass doors that showcase the commercial space. The exposed chimney flues incorporate a modern element to the project design.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>Building elevations are included on Sheets A0.0, A3.1, A3.2, and A3.3 of the submittal but do not indicate specifications for the associated materials. One 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure must be submitted for the Design Review application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>The proposed landscape features, including two (2) existing trees, shrubs, and planter boxes, serve to complement the proposed mixed-use building.</i> <i>No accessory structures have been proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The proposed elevation views provided by the applicant demonstrate that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness at all façades. The applicant is proposing a variation in architectural features and materials along all façades, which serves to provide depth and reduce the appearance of bulk and flatness.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The front entrance of the proposed modular building orients towards N Washington Avenue, which is the sole street-fronting façade.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>The garbage storage area is not indicated on the drawings for the Pre-Application Design Review submittal. The applicant shall indicate the location of the garbage storage area at Design Review. The garbage storage area shall be screened from public view and located off of the alley.</i>

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The project design incorporates flat roofs and associated roof overhangs, including above the entrance to the building. The applicant has not specifically indicated whether these design elements are intended for weather protection. The applicant shall address weather protection for gathering and circulation at Design Review.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The Site Plan (Sheet A1.0) indicates the installation of one (1) bicycle rack located adjacent to the entryway to the mixed-use building on the new public sidewalk. The final siting of the bicycle rack shall be reviewed and approved by the Streets Department prior to issuance of a Building Permit for the project.</i> <i>No equestrian access is proposed or required.</i> <i>The proposed pedestrian accesses on the site as indicated on Sheets A1.0, A2.11, and L1.0 connect to the proposed public sidewalk.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A as no awnings are proposed to extend over the right-of-way. A roof overhang extends to the property line adjacent to N Washington Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The proposed parking area is accessed from the adjacent alleyway. The applicant shall improve the alleyway to City standards. Pedestrian access will be provided through the installation of a new sidewalk along N Washington Avenue as well as hardscape concrete pavers adjacent to the side facades of the mixed-use building. Staff does not recommend additional signage at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>No curb cut is proposed. The proposed parking area is located off of the alleyway. An increase to the minimum distance requirements is not recommended at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Emergency and service vehicles can access the site from N Washington Avenue and the alleyway, providing unobstructed access for emergency vehicles, snowplows, and garbage trucks. As required by the Streets Department, the adjacent alley must be improved to City standards. See Table 2 for Staff comment from the Streets Department.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>The applicant shall submit a plan for snow storage at Design Review. The proposed snow storage areas shall not be less than 30% of the improved parking and pedestrian circulation area.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(H)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(H)(1).</i>

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The applicant must submit a snow storage plan at Design Review. If the applicant proposes a snow-melt system, Staff encourages the applicant to consider methods and best practices for reducing the energy consumption required for the associated system. Snow melt systems with the public right-of-way require a right-of-way encroachment permit between the City and property owner.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>As indicated on Sheets A2.11, A2.12, L1.0 of the submittal, the applicant has proposed planter boxes at the exterior decks as well as two (2) existing trees and groupings of shrubs and other plantings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>As listed on Sheet L1.0 of the Pre-Application submittal, the landscape species include groupings of Western Yarrow, Goldenrod, Desert Globemallow, Gooseberry-Leaf Globe, Little Bluestem, and Sheep Fescue. The City Arborists has reviewed and approved the proposed landscape materials and vegetation types.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(I)(2). The proposed landscape plan and associated species has been reviewed and approved by the City Arborists.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The proposed landscaping provides a sufficient buffer between the existing adjacent structures and N Washington Avenue.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>Sheet A1.0 of the Pre-Application submittal indicates the installation of a Solar One street lamp and bicycle rack on the new public sidewalk. The applicant shall include the installation of a public amenity, such as a bench, for the Design Review application to be reviewed and approved by the Streets Department.</i>

Table 5: Design Review Standards for Community Core Projects

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			<i>Staff Comments</i>	<i>The applicant has indicated the installation of one (1) Solar One street lamp and one (1) bicycle rack on Sheet A1.0 of the Pre-Application submittal. Public amenities, such as a bench, are also required for the right-of-way improvements and the associated plan must be submitted at Design Review. Associated plans for the right-of-way improvements are subject to City standards as well as review and approval from the Public Works Department (Streets, Utilities, and City Engineer).</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			<i>Staff Comments</i>	<i>The applicant has not included the installation of street trees in the design plans for the right-of-way improvements. The applicant has indicated the removal of four (4) existing trees on the site. Trees determined by the City Arborists to be healthy and mature must be replaced on or off site (KMC §17.96.070.D.1).</i> <i>Any trees proposed to be installed within the Washington Avenue right-of-way will require a Sidewalk Easement Agreement to ensure safe pedestrian and bicycle traffic. The siting and species of the proposed street trees are subject to review and approval by the City Arborist and the Public Works Department (Streets, Utilities, and City Engineer).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(3)	Due to site constraints, the requirements if this subsection 17.96.070. (A) may be modified by the Public Works Department.
			<i>Staff Comments</i>	<i>N/A. The Public Works Department has not waived the requirements of subsection 17.96.070.A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			<i>Staff Comments</i>	<i>All building facades have been designed to include both solid surfaces and window/door openings intended to avoid the creation of blank walls. Similar architectural elements used to create uniformity include a continuity of materials as well as flat roofs at varying heights.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			<i>Staff Comments</i>	<i>The applicant has proposed storefront windows and glass doors into the main entrance of the building. Landscaping has been proposed adjacent to front façade (N Washington Ave.). Landscape planters are also proposed to border the second-level roof deck, which faces the sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			<i>Staff Comments</i>	<i>The design of the front facing façade (N Washington Avenue) does not obscure views into windows. The design of the front façade incorporates windows and glass door providing views into the commercial space.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			<i>Staff Comments</i>	<i>The proposed design of the mixed-use building incorporates flat roofs at varying heights, which is compatible with the design of the modular structure. One 11" x 17" materials and colors sample board showing all exterior materials used including the roofing system of the structure must be submitted at Design Review. Reflective materials are prohibited.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			<i>Staff Comments</i>	<i>N/A as the project design does not incorporate any pitched roofs.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			<i>Staff Comments</i>	<i>The roof overhang extends to the property line but does not encroach over the adjacent right-of-way.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			<i>Staff Comments</i>	<i>N/A. Front porches or stoops are not incorporated in the project design.</i>

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			<i>Staff Comments</i>	<i>The applicant must include the siting of the proposed trash disposal area at Design Review. Access to the trash disposal area must be provided off of the alleyway and screened from public view.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			<i>Staff Comments</i>	<i>The applicant has indicated the installation of a potential solar array zone on Sheet A2.14 of the Pre-Application submittal. The potential solar system must be setback 10 ft from all building facades.</i> <i>No other roof or ground mounted equipment have been proposed with the Pre-Application submittal. However, if roof or ground mounted equipment is proposed at Design Review, then the equipment shall be fully screened from public view. Roof mounted mechanical equipment will not exceed ten-feet (10') over the maximum building height and must be set back a minimum of ten-feet (10)' from building facades.</i> <i>The final screening, location, and height of all ground and roof mounted mechanical equipment shall be approved upon final inspection and prior to the issuance of a Building Permit.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			<i>Staff Comments</i>	<i>The applicant has indicated the removal of four (4) existing trees on the site. Trees determined by the City Arborists to be healthy and mature must be replaced by the applicant on or off site (KMC §17.96.070.D.1).</i> <i>Any trees proposed to be installed within the Washington Avenue right-of-way will require a Sidewalk Easement Agreement to ensure safe pedestrian and bicycle traffic. Any street trees and associated easement agreement must be reviewed and approved by the Streets Department and City Arborist.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			<i>Staff Comments</i>	<i>The applicant has indicated the location of two (2) existing trees to remain on site. The Landscape Plan on Sheet L1.0 of the Pre-Application submittal does not include the installation of new trees.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1). The City Arborists shall establish which of the four (4) trees require replacement and approve the species and siting of any required replacement tree.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			<i>Staff Comments</i>	<i>N/A. No parking lots are proposed with the subject submittal.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(E)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.

			<i>Staff Comments</i>	<i>All ground cover and low lying shrubs shall be planted within planters and planter boxes. The City Arborist has review and approved the proposed Landscape Plan indicated on Sheet L1.0 of the Pre-Application submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			<i>Staff Comments</i>	<i>The applicant is proposing the installation of one (1) new bike rack to accommodate two (2) bikes adjacent to the building entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
			<i>Staff Comments</i>	<i>See Staff comment above. The fraction of the calculation is not equal to or greater than one-half.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			<i>Staff Comments</i>	<i>The proposed bicycle rack is clearly visible from the building entrance and located less than 50 ft from the entryway to the building.</i>

STAFF RECOMMENDATION:

Staff recommends advancement of the Pre-Application Design Review for the 760 N. Washington Avenue Mixed-Use Building to Design Review provided that all action items are addressed prior to the submission of a Design Review application.

COMMISSION OPTIONS:

- Advance the Pre-Application to Design Review.
- Continue the Pre-Application Design Review to a date certain.

ATTACHMENTS:

- A. Application Form
- B. Plans
- D. Fire Department Comments

ATTACHMENT A.
APPLICATION FORM



**City of Ketchum
Planning & Building**

Pre- Design Review Application

OFFICIAL USE ONLY	
File Number:	P18-109
Date Received:	8-23-18
By:	MP
Pre-Application Fee Paid:	1100
Design Review Fee Paid:	
Approved Date:	
Denied Date:	
By:	
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>	

APPLICANT INFORMATION	
Project Name: Washington 760 Washington	Phone: 949 280 1111
Owner: Andrew & Kim Castellano	Mailing Address: 415 River Run Dr, Ketchum, ID 83340
Email: andy@earthshinefoundation.org	
Architect/Representative: Eric Adams - Elias Construction	Phone: 208 725 5400
Email: eadams@eliasconstruction.com	Mailing Address: PO Box 6272, 131 4th Street East, Suite 211, Ketchum Idaho, 83340
Architect License Number: N/A	
Engineer of Record: ISE	Phone: 951 600 0032
Email: info@ISEengineers.com	Mailing Address: 29970 Technology Dr, Suite 108 Murrieta, CA 92563
Engineer License Number: 15634	

All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.

PROJECT INFORMATION	
Legal Land Description: APN: RPK00000130060 - LOT: 6 - BLK: 13	
Street Address: 760 Washington Ave, Ketchum, ID 83340	
Lot Area (Square Feet): 5,492 sf	
Zoning District: Community Core	
Overlay District:	<input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain
Type of Construction:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use: Mixed Use - Residential & Retail/Office	Number of Residential Units: 1 + Affordable Housing

TOTAL FLOOR AREA			
	Proposed		Existing
Basements	1284 (overall)	Sq. Ft.	Sq. Ft.
1 st Floor	2,201 net	Sq. Ft.	1141 Sq. Ft.
2 nd Floor	2,801 net	Sq. Ft.	Sq. Ft.
3 rd Floor	1,578 net	Sq. Ft.	Sq. Ft.
Mezzanine	180 (overall)	Sq. Ft.	Sq. Ft.
Total	6,580 net	Sq. Ft.	1141 Sq. Ft.

FLOOR AREA RATIO		
Community Core: 1.46 (Community increase)	Tourist:	General Residential-High:


BUILDING COVERAGE/OPEN SPACE	
Percent of Building Coverage: 79.2%	

DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 5'	Side: 0'	Side: 3'	Rear: 5'
Building Height: 35' + 9' for stair tower			

OFF STREET PARKING			
Parking Spaces Provided: 4 - Parking in rear via alley			
Curb Cut: N/A	Sq. Ft.	N/A	%

WATER SYSTEM	
<input type="checkbox"/> Municipal Service	<input type="checkbox"/> Ketchum Spring Water

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

ERIC ADAMS

ELIAS CONST.

8/21/18
Date

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

ATTACHMENT B. PLANS



760 WASHINGTON AVE - MIXED USE

SHEET INDEX

ARCHITECTURAL		08.09.2018	08.30.2018
		ISSUE FOR PRE-APP	RE-ISSUE FOR PRE-APP
A0.0	COVER SHEET	X	X
A1.0	SITE PLAN	X	X
A2.10	BASEMENT PLAN	X	X
A2.11	FIRST FLOOR PLAN	X	X
A2.12	SECOND FLOOR PLAN	X	X
A2.13	THIRD FLOOR PLAN	X	X
A2.14	ROOF PLAN	X	X
A3.1	EXTERIOR ELEVATIONS	X	X
A3.2	3D PERSPECTIVES	X	X
A3.3	3D PERSPECTIVES W NEIGHBOR	X	X
L1.0	LANDSCAPE PLAN	X	X

BUILDING INFORMATION

SCOPE OF WORK
 NEW MULTI-FAMILY FACTORY-BUILT RESIDENCE AND SITE BUILT 1ST FLOOR COMMERCIAL AND AFFORDABLE HOUSING DEVELOPMENT. FULLY SPRINKLERED (NFPA 13D + NFPA13). STATE-APPROVED (3RD PARTY) AND INSPECTED BY HCD.

FOUNDATION, FIRST FLOOR, ROOF DECKS AND STAIR TOWER TO BE SITE-BUILT. REFER TO DRAWINGS FOR CLARIFICATION.

USE
 RESIDENTIAL (FIRST AND ABOVE) & COMMERCIAL RETAIL (1ST FLOOR)

OWNER
 ANDREW AND KIM CASTELLANO

HCD CERTIFIED DESIGN APPROVAL AGENCY (DAA)

PROJECT DESIGNER
 LIVINGHOMES, LLC.
 2910 LINCOLN BLVD.
 SANTA MONICA, CA 90405

RADCO
 3220 EAST 59TH STREET
 LONG BEACH, CA 90805
 562.272.7231

CONTACT
 JACK RICHARDSON
 LIVINGHOMES
 2910 LINCOLN BOULEVARD
 SANTA MONICA, CA 90405
 310.581.8500 X 6

FABRICATOR
 PLANT PREFAB
 375 SOUTH CACTUS AVE
 RIALTO, CA 92376
 909.546.7411

ZONING INFORMATION		GROSS & NET SQUARE FOOTAGE		
ADDRESS:		NET		GROSS
ZONING:	760 WASHINGTON AVE	BASEMENT:	N/A	N/A
OCCUPANCY:	KETCHUM, ID	1ST FLOOR:	2,201 SF	3,280 SF
FRONT SETBACK:	CC-D TRADITIONAL	2ND FLOOR:	2,801 SF	2,997 SF
REAR SETBACK:	R3	3RD FLOOR:	1,578 SF	1,731 SF
SIDE SETBACKS:	5'	ROOF:	N/A	N/A
MAX HEIGHT:	3'	TOTAL	6,580 SF	8,008 SF
	0' AND 3'	GARAGE/CARPORT NOT INCLUDED 955.5 SF		
	42' (3 STORY OR LESS) +			
	10' (FOR STAIR TOWER)			
MAX FLOOR AREA:	N/A			

PARCEL COVERAGE

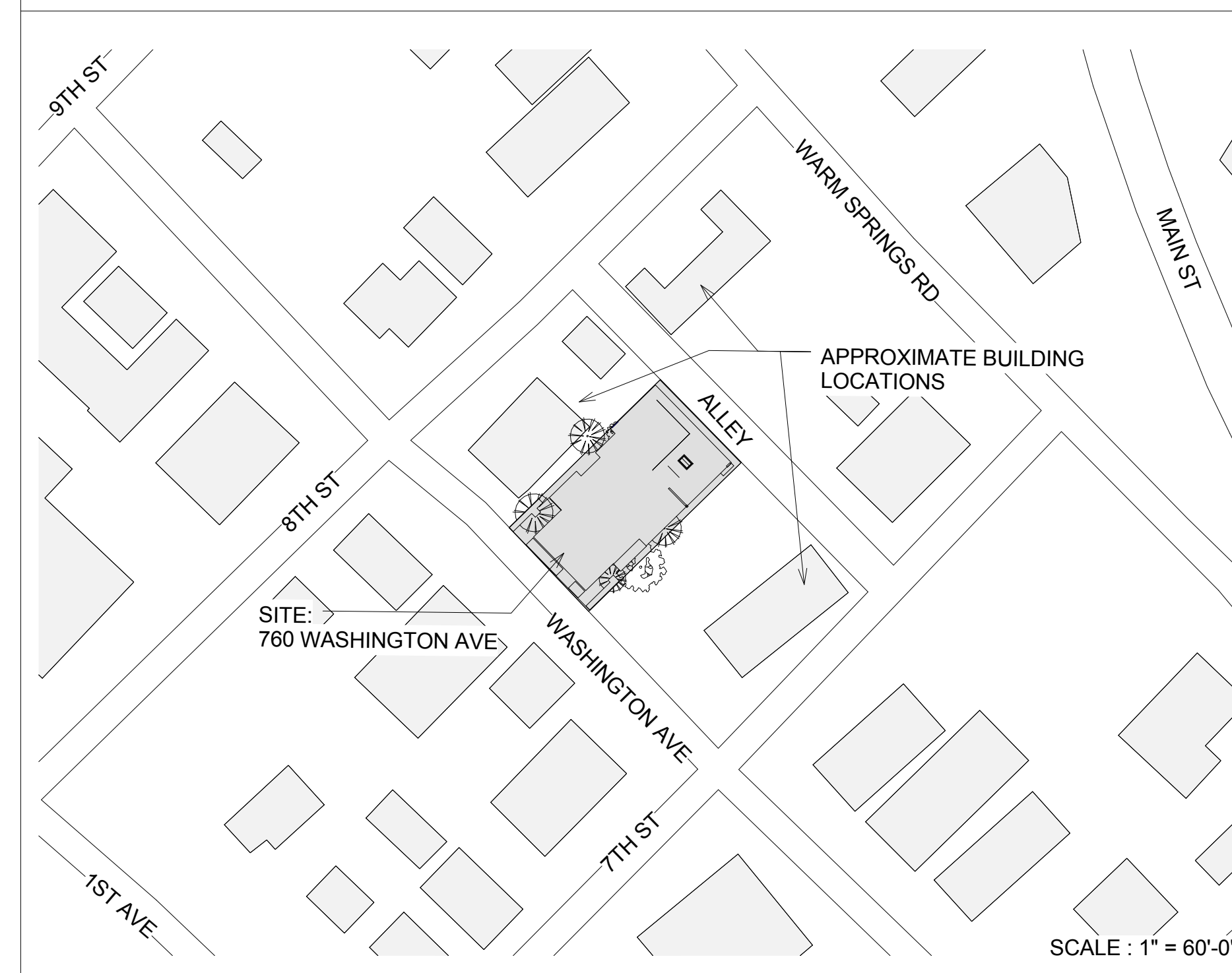
LOT SIZE:	5,495.63 SF
BUILDING FOOTPRINT:	4,352.75 SF
% OF LOT COVERAGE (BUILDING):	4,353 / 5,496 = 79.2%
HARDSCAPE:	616.7 SF
TOTAL LOT COVERAGE:	4,353 + 617 = 4,970 SF
% OF TOTAL LOT COVERAGE:	4,970 / 5,496 = 90.4%
MAX ALLOWABLE BUILDING HEIGHT:	42' + 10' STAIR TOWER
ACTUAL BUILDING HEIGHT:	35' (44'-4" W STAIR)
PARKING SPACES REQUIRED:	4
PARKING SPACE PROVIDED:	4

KMC 17.125.040 - PARKING REQ'S

NON RESIDENTIAL IN ZONE CC:	1 PER 1,000 SF
GROSS FLOOR AREA:	2,140 SF
REQUIRED NON RES PARKING:	2
RESIDENTIAL IN ZONE CC:	2 PER UNIT > 2,001 SF
RESIDENTIAL FLOOR AREA:	4,728 SF
REQUIRED RES PARKING:	2

COMMUNITY HOUSING	1 PER 1,000 SF
GROSS FLOOR AREA:	8,008 SF
LOT SQUARE FOOTAGE:	5,495 SF
INCREASE IN SQUARE FOOTAGE:	8,008 - 5,495 = 2,513 SF
MINIMUM COMMUNITY SQ FT	2,513 X .2 = 503 SF
15% LIVABLE SPACE DISCOUNT:	503 X .85 = 427 SF
PROVIDED COMMUNITY SF:	504 SF

VICINITY MAP



FABRICATOR
 Plant Prefab
 375 South Cactus Ave
 Rialto, CA 92376
 (909) 546 7411

GENERAL CONTRACTOR
 Elias Construction
 131 4th Street, Suite 211
 Ketchum ID 83340
 (208) 725 5400

STRUCTURAL ENGINEER

CIVIL ENGINEER
 Galena Engineering
 317 N. River St
 Hailey, ID 83333
 (208) 788 1705

MECHANICAL/PLUMBING ENGINEER

ELECTRICAL ENGINEER

GEOTECHNICAL
 Butler Associates, Inc
 P.O. Box 1034
 Ketchum, ID 83340
 (208) 720 6432

SURVEYOR
 Benchmark Associates, P.A.
 A.O. Box 733 100 Bell Dr
 Ketchum, ID 83340
 (208) 726 9512

PROJECT: WASHINGTON
 760 WASHINGTON AVE
 KETCHUM, ID 83340

Legal Description
 APN: RPK 00000 130060
 Block: 13
 Lot: 6

DATE: 08/08/18
 DRAWN BY: JR
 CHECKED BY: AS

ISSUE FOR PRE-APP 2018.08.10
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760 WASHINGTON AVE
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Legal Description

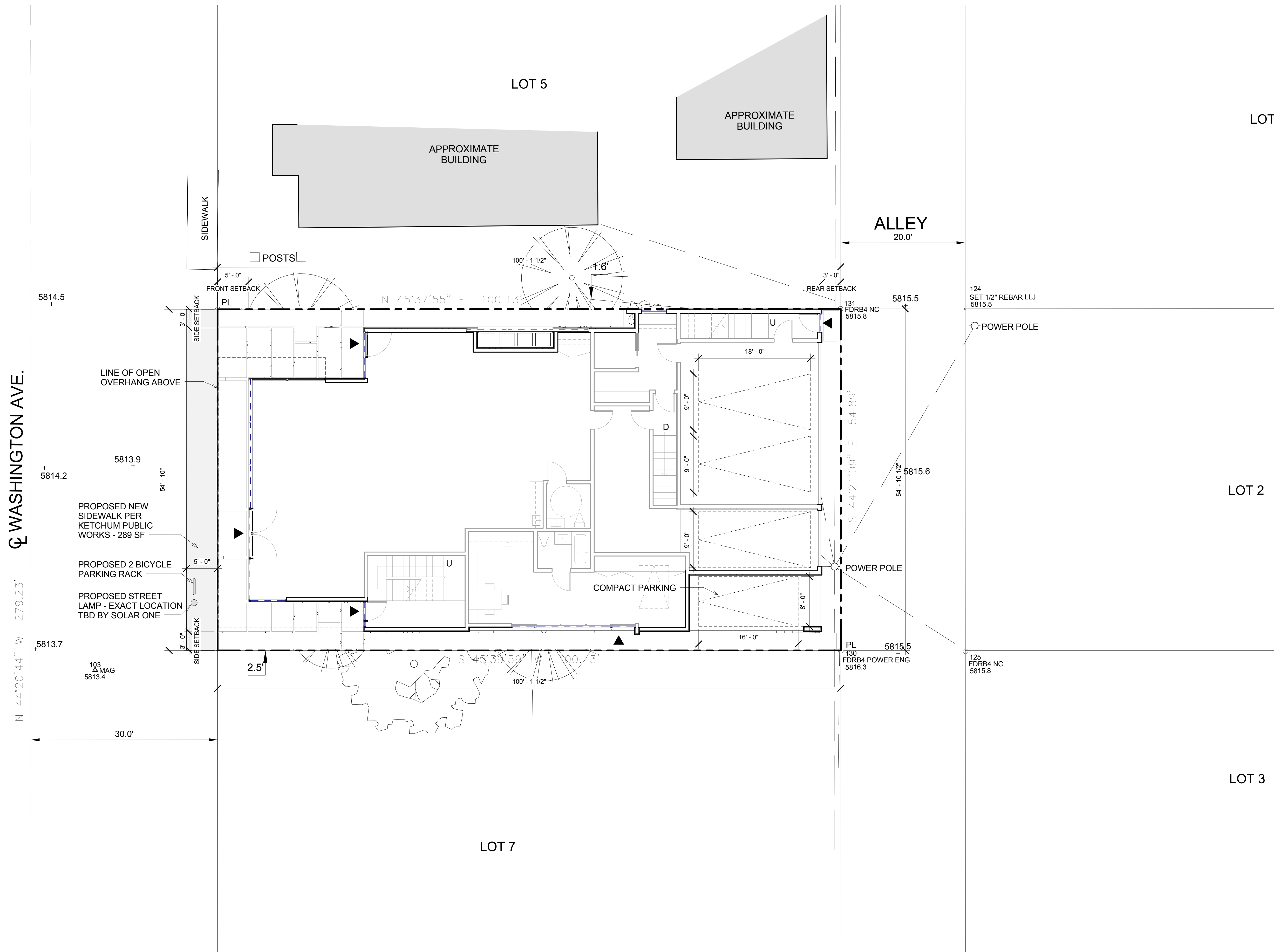
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WASHINGTON AVE.
 N 44°20'44" W 279.23'
 5814.5
 5814.2
 5813.9
 5813.7
 5813.4

N 44°20'44" W 279.23'
 5813.7
 5813.4

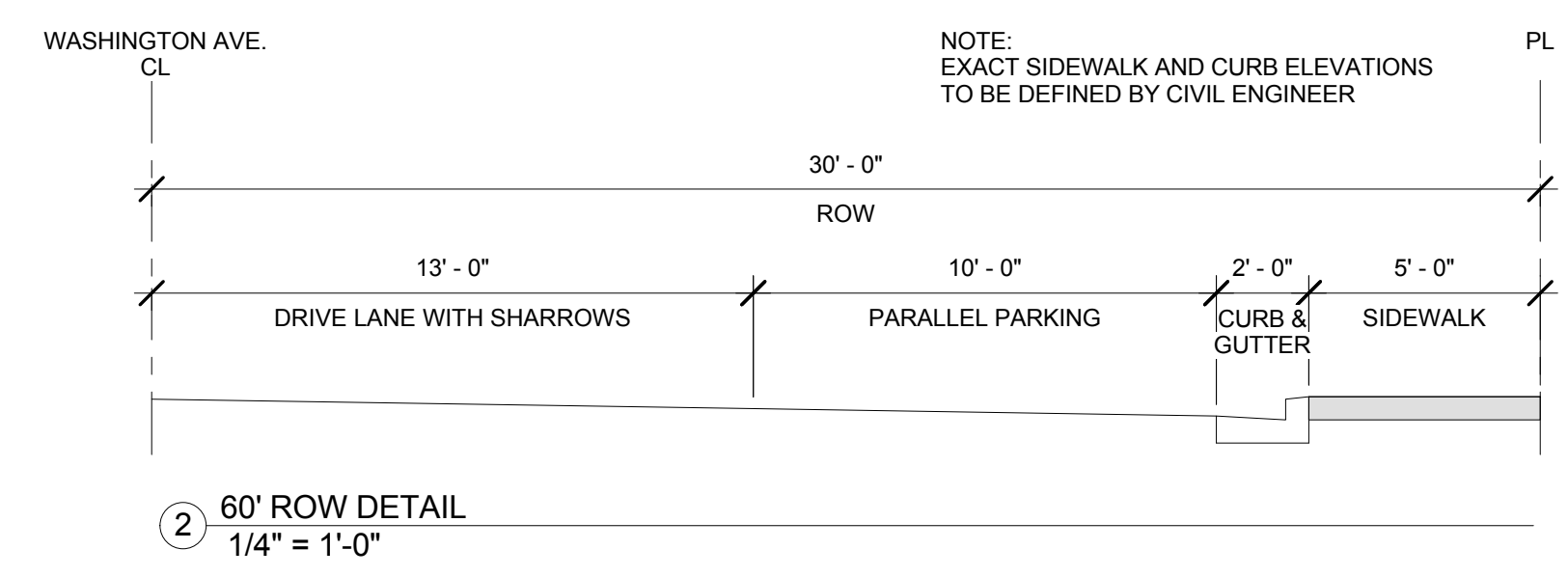
① SITE PLAN
 1/8" = 1'-0"

KMC 17.125.040 - PARKING REQ'S

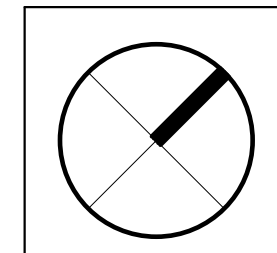
NON RESIDENTIAL IN ZONE CC =	1 PER 1,000 SF
GROSS FLOOR AREA =	2,140 SF
REQUIRED NON RES PARKING =	2
RESIDENTIAL IN ZONE CC =	2 PER UNIT 2,001 SF AND ABOVE
RESIDENTIAL FLOOR AREA =	4,728 SF
REQUIRED RES PARKING =	2
TOTAL PARKING SPACES =	4

NOTES :

- SIDEWALK TO BE CONSTRUCTED ALONG WASHINGTON AVE BETWEEN PROPERTY LINES PER KETCHUM CITY "60' ROW" STANDARDS
- ALLEY TO BE IMPROVED BETWEEN PROPERTY LINES WHERE REQUIRED PER PUBLIC WORKS.
- STREET LAMP/S TO BE LOCATED AND INSTALLED PER SOLAR ONE



② 60' ROW DETAIL
 1/4" = 1'-0"



SITE PLAN

A1.0

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760 WASHINGTON AVE
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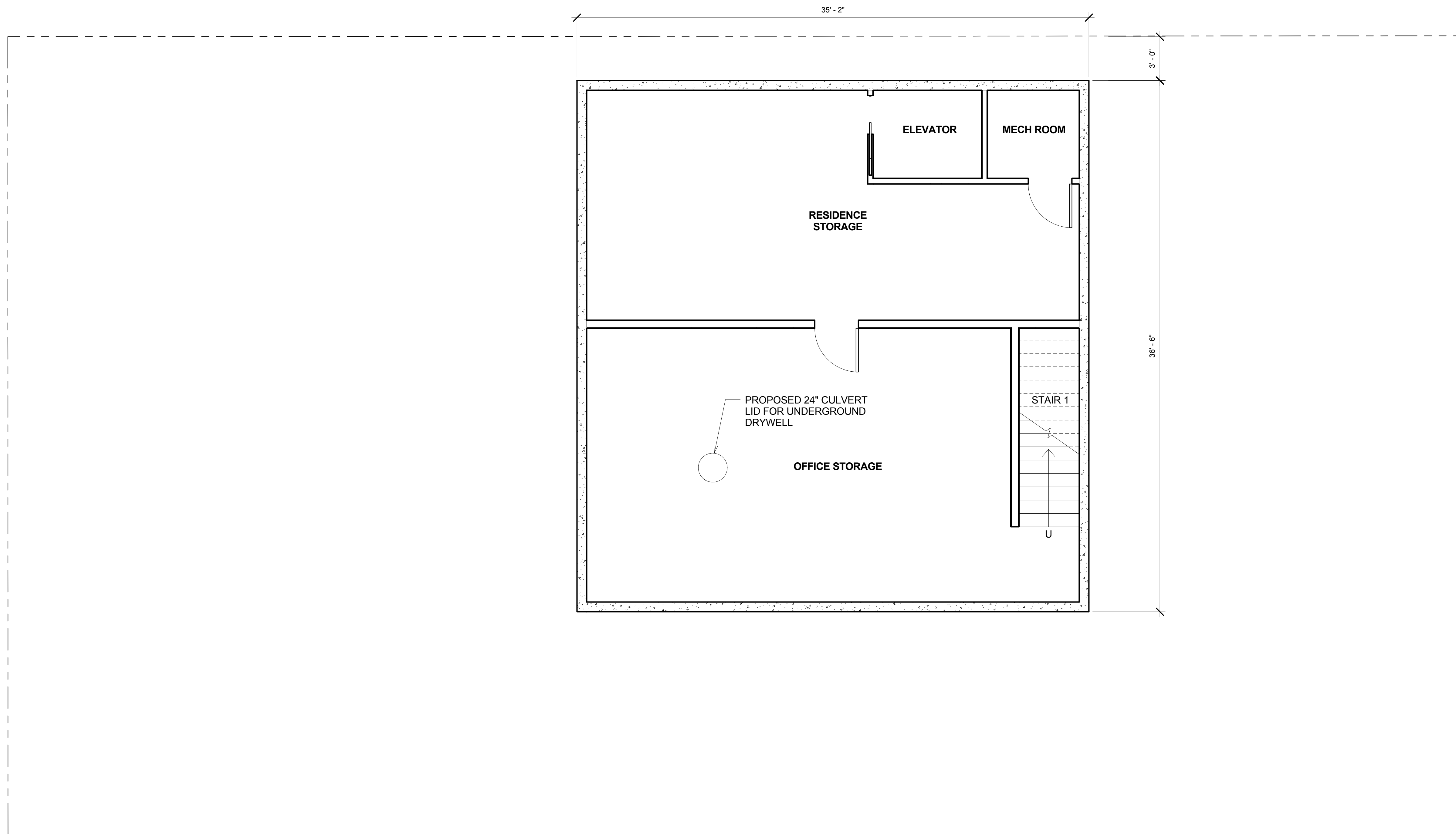
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① BASEMENT
 1/4" = 1'-0"

SQUARE FOOTAGE TABLE - BASEMENT	
GROSS SQ FT	N/A
NET SQ FT	N/A
OVERALL SQ FT	1284

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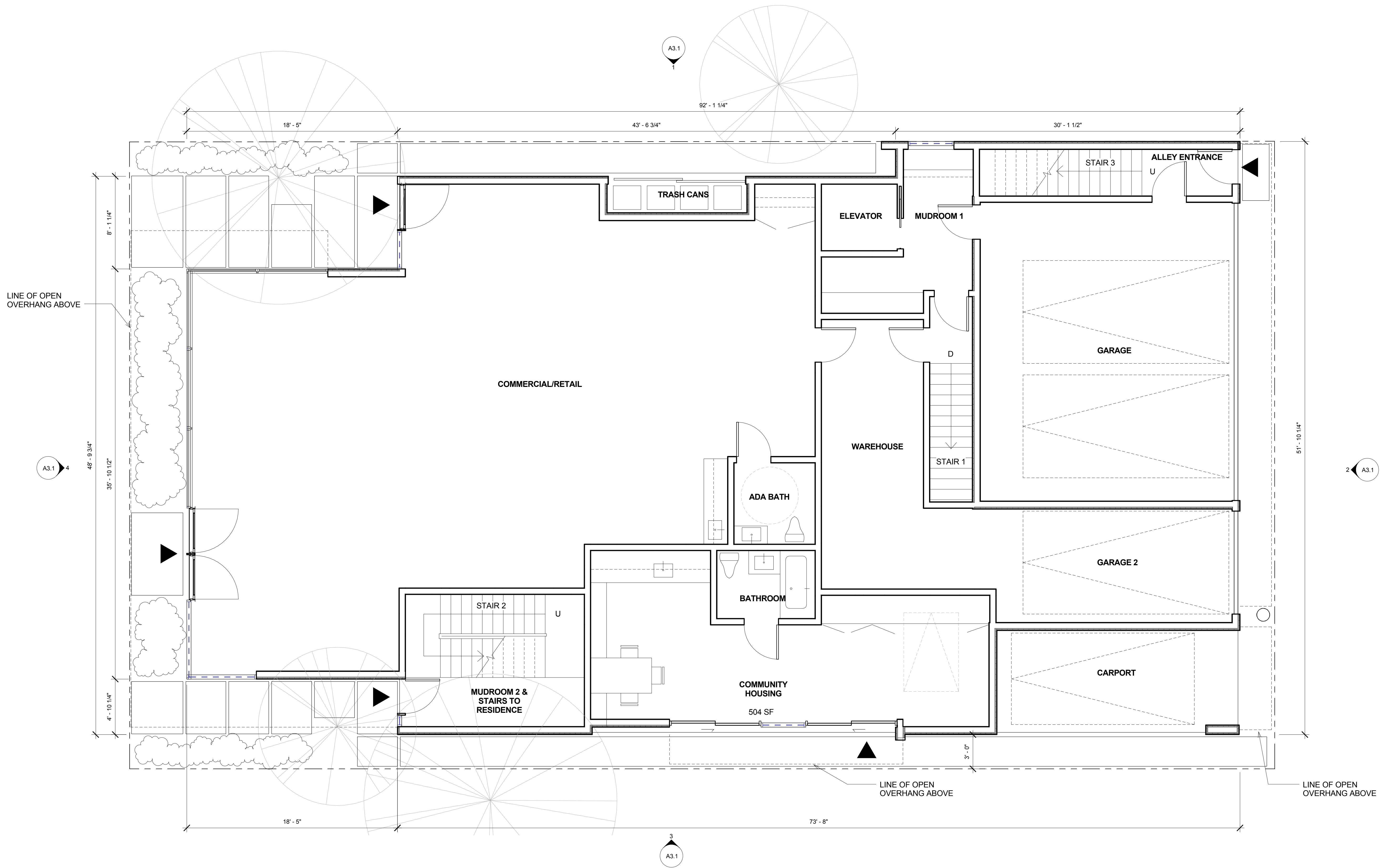
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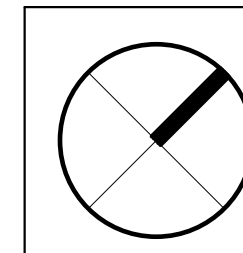


1 1ST FLOOR PLAN
 1/4" = 1'-0"

NOTE:

HARDSCAPE
 CONCRETE PAVERS: 629.5 SF
 DRIVEWAY: 138 SF

SQUARE FOOTAGE TABLE - 1ST FLOOR	
GROSS SQ FT	3,280 SQ FT
NET SQ FT	2,201 SQ FT
OVERALL SQ FT	4,350 SQ FT



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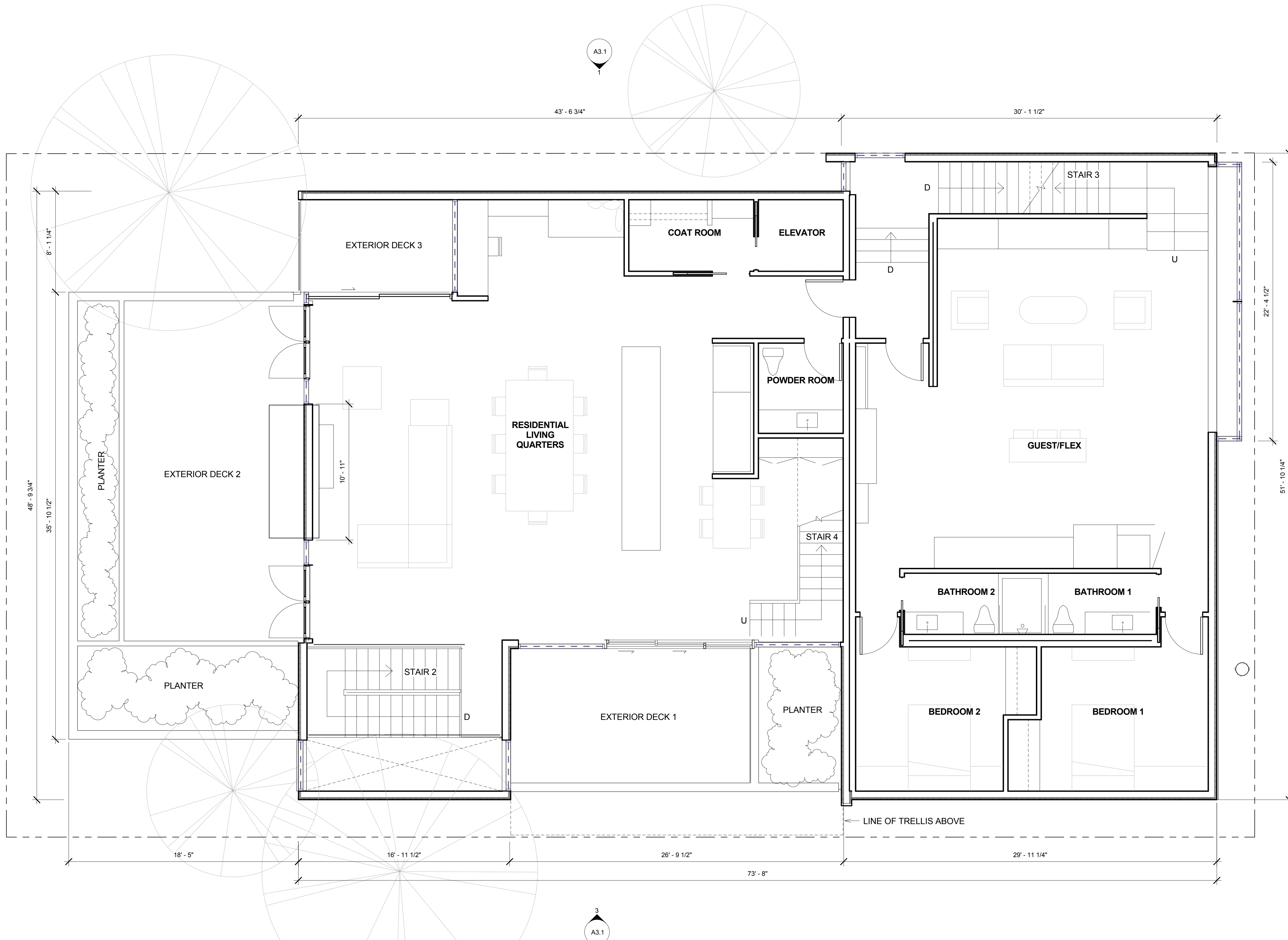
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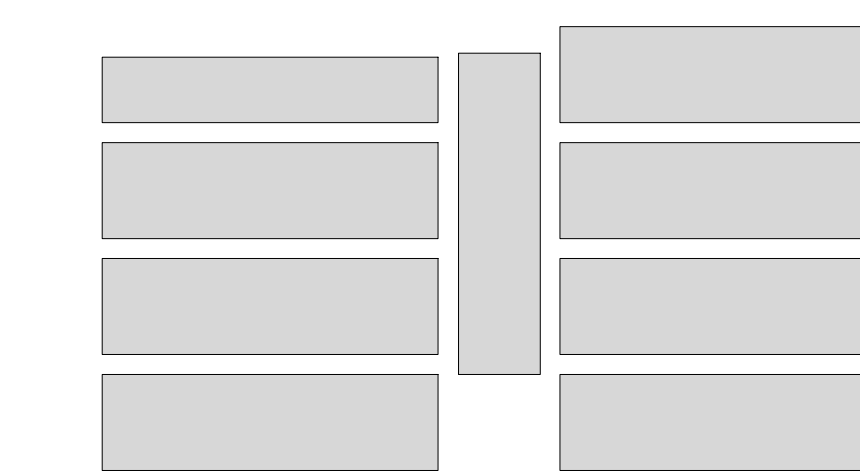
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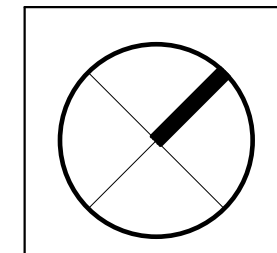


1 2ND FLOOR PLAN
 1/4" = 1'-0"

SQUARE FOOTAGE TABLE - 2ND FLOOR	
GROSS SQ FT	2,997 SQ FT
NET SQ FT	2,801 SQ FT



2ND FLOOR MOD LEGEND
 1/2" = 1'-0"



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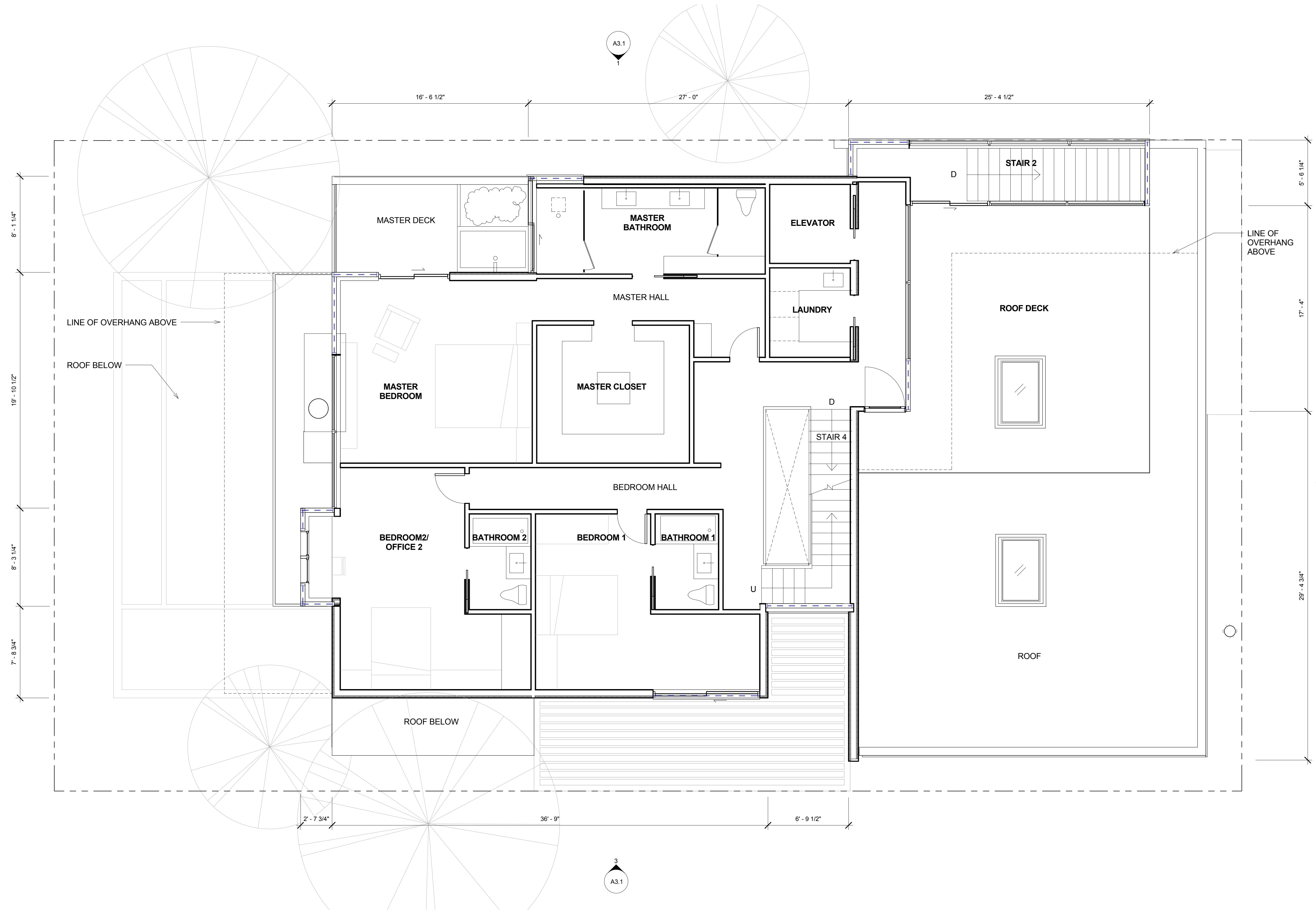
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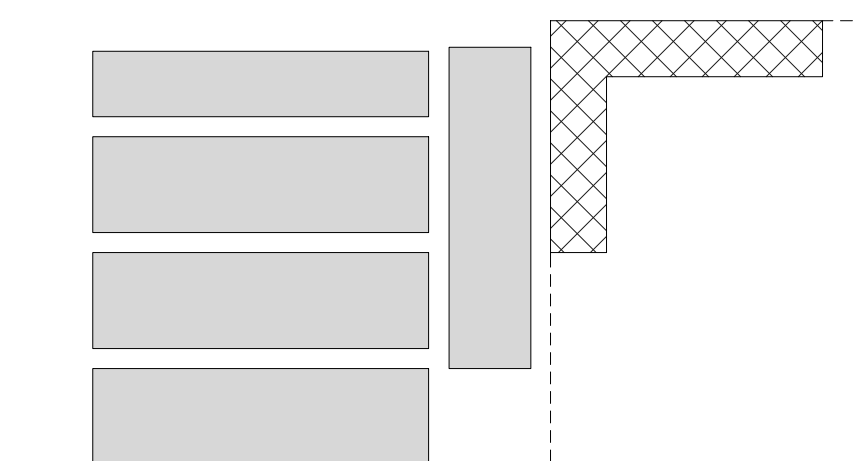
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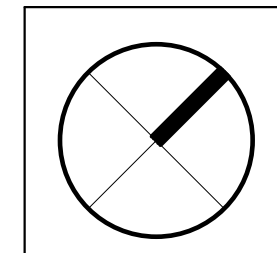


1 3RD FLOOR PLAN
 1/4" = 1'-0"

SQUARE FOOTAGE TABLE - THIRD	
GROSS SQ FT	1,732 SQ FT
NET SQ FT	1,578 SQ FT



3RD FLOOR MOD LEGEND
 1/2" = 1'-0"



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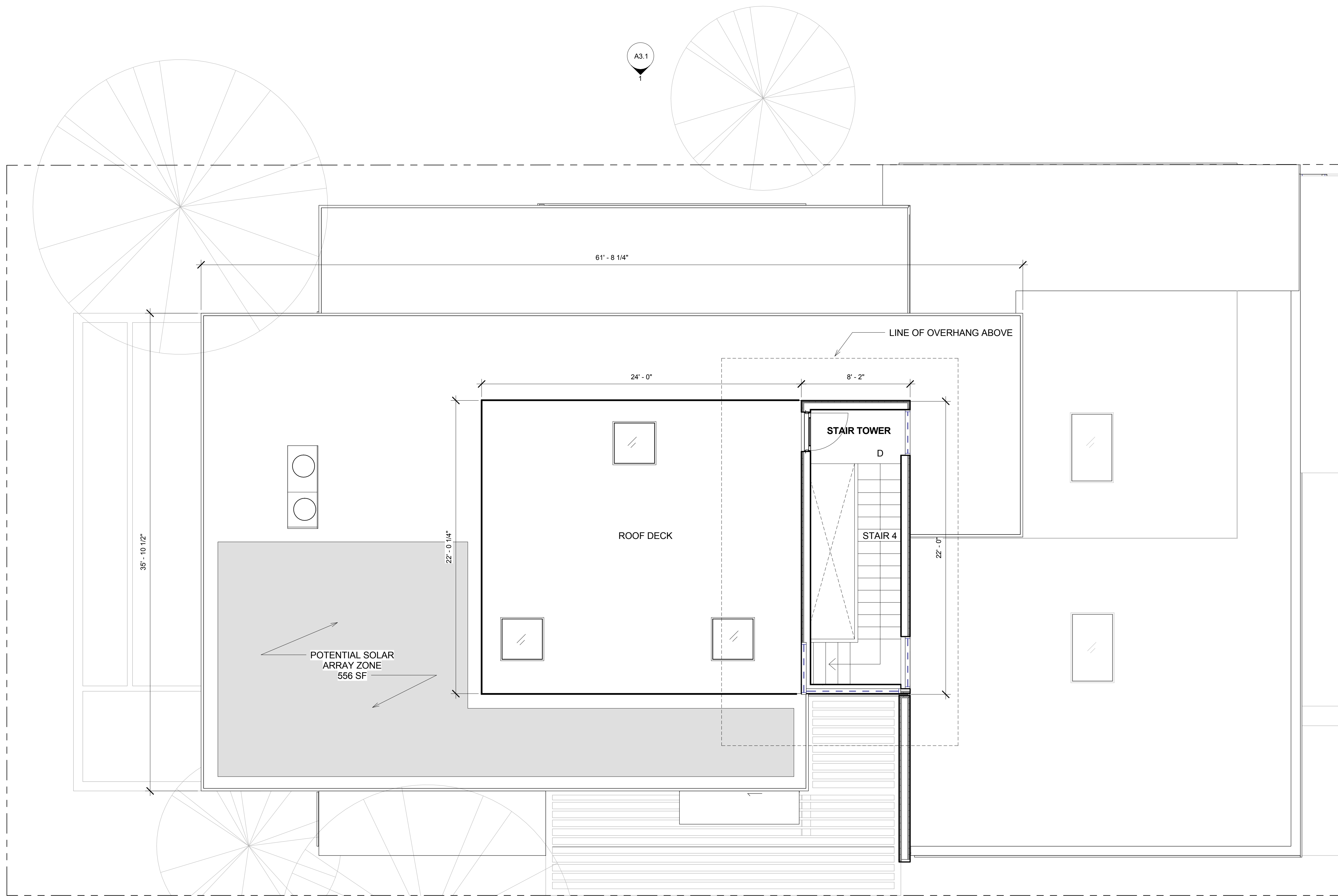
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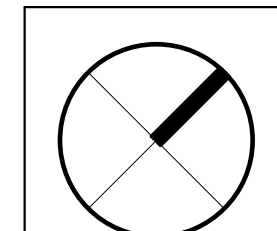
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1 ROOF PLAN
 1/4" = 1'-0"

SQUARE FOOTAGE TABLE - THIRD	
GROSS SQ FT	N/A
NET SQ FT	N/A



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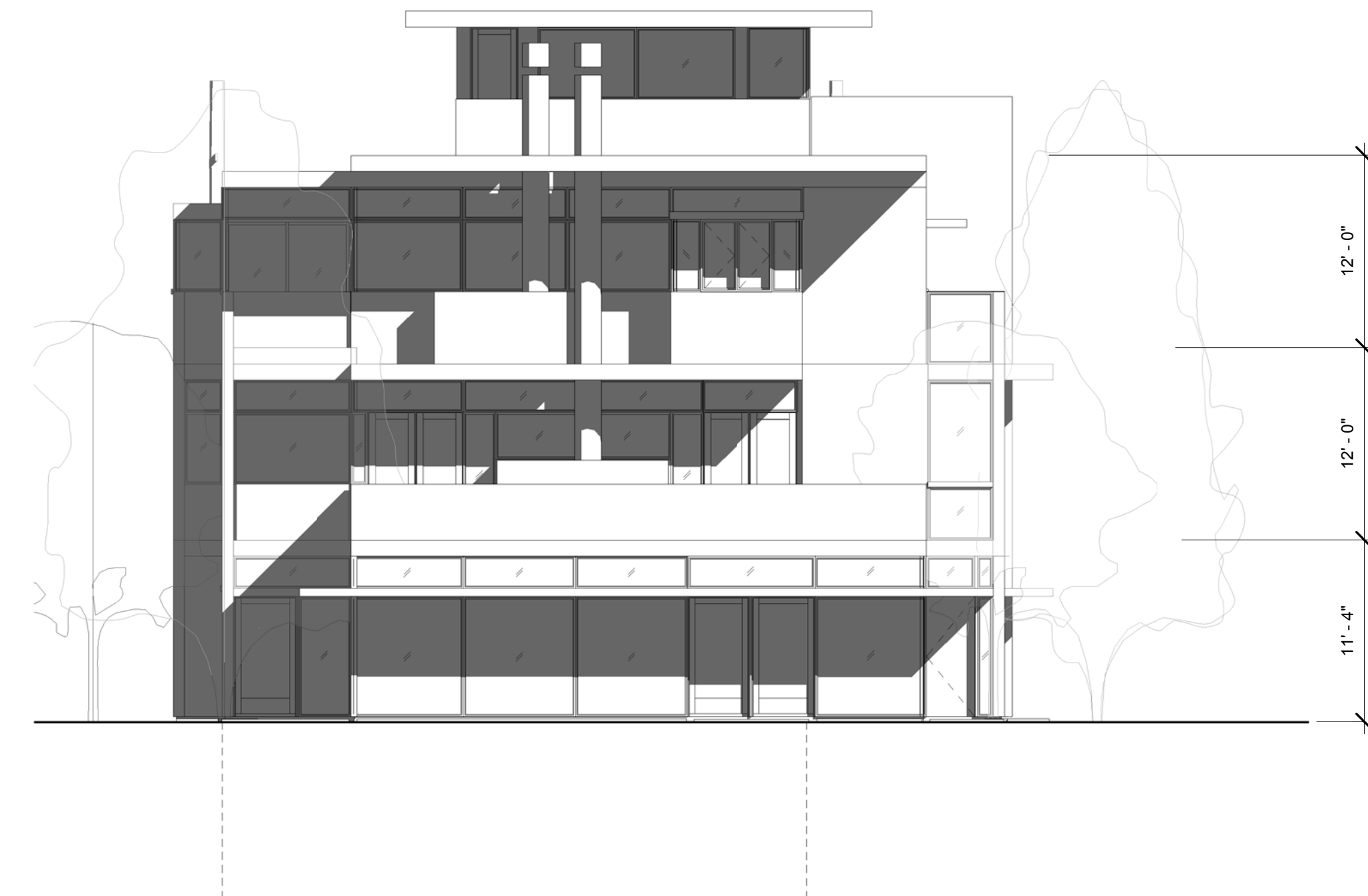
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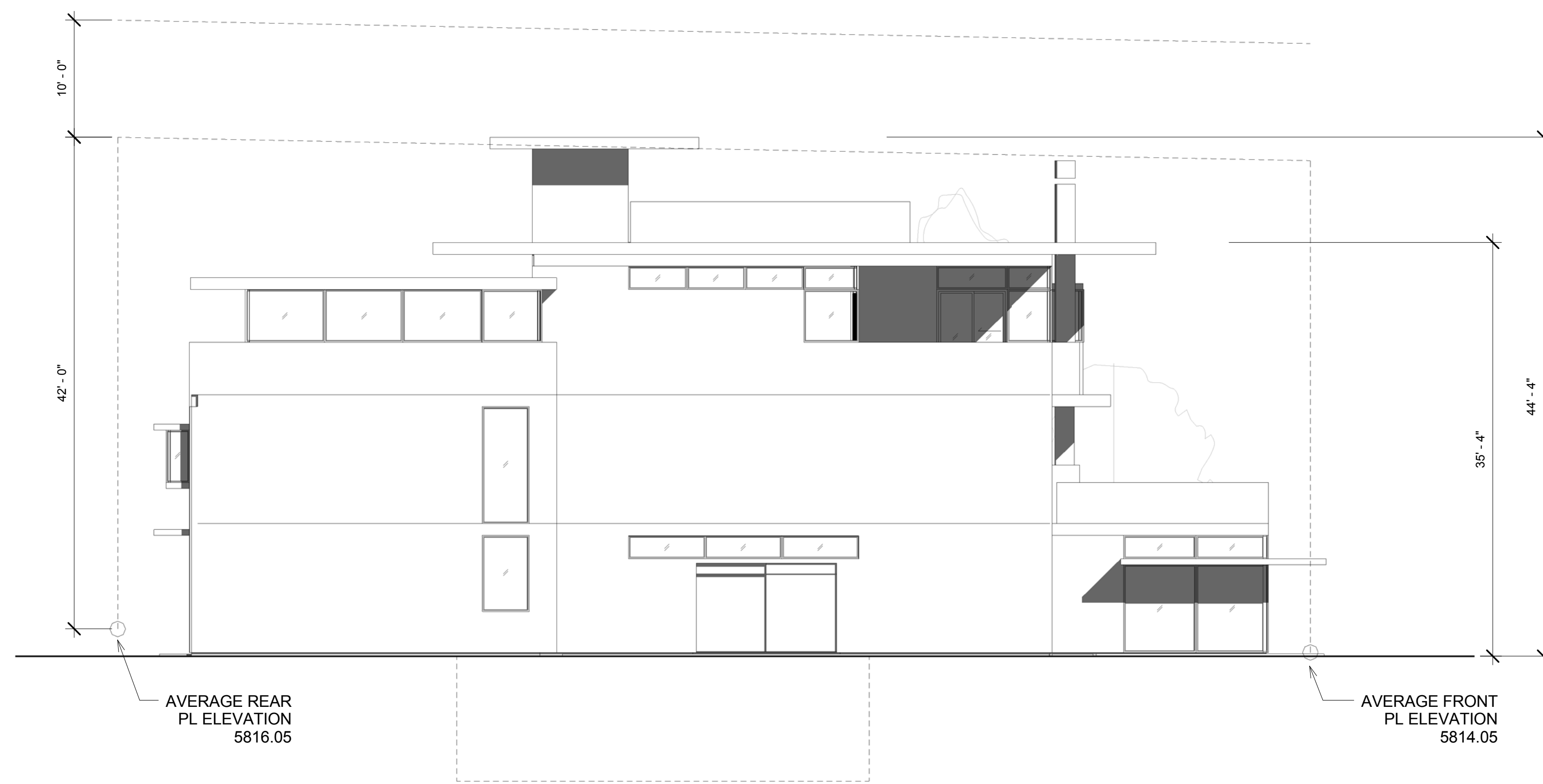
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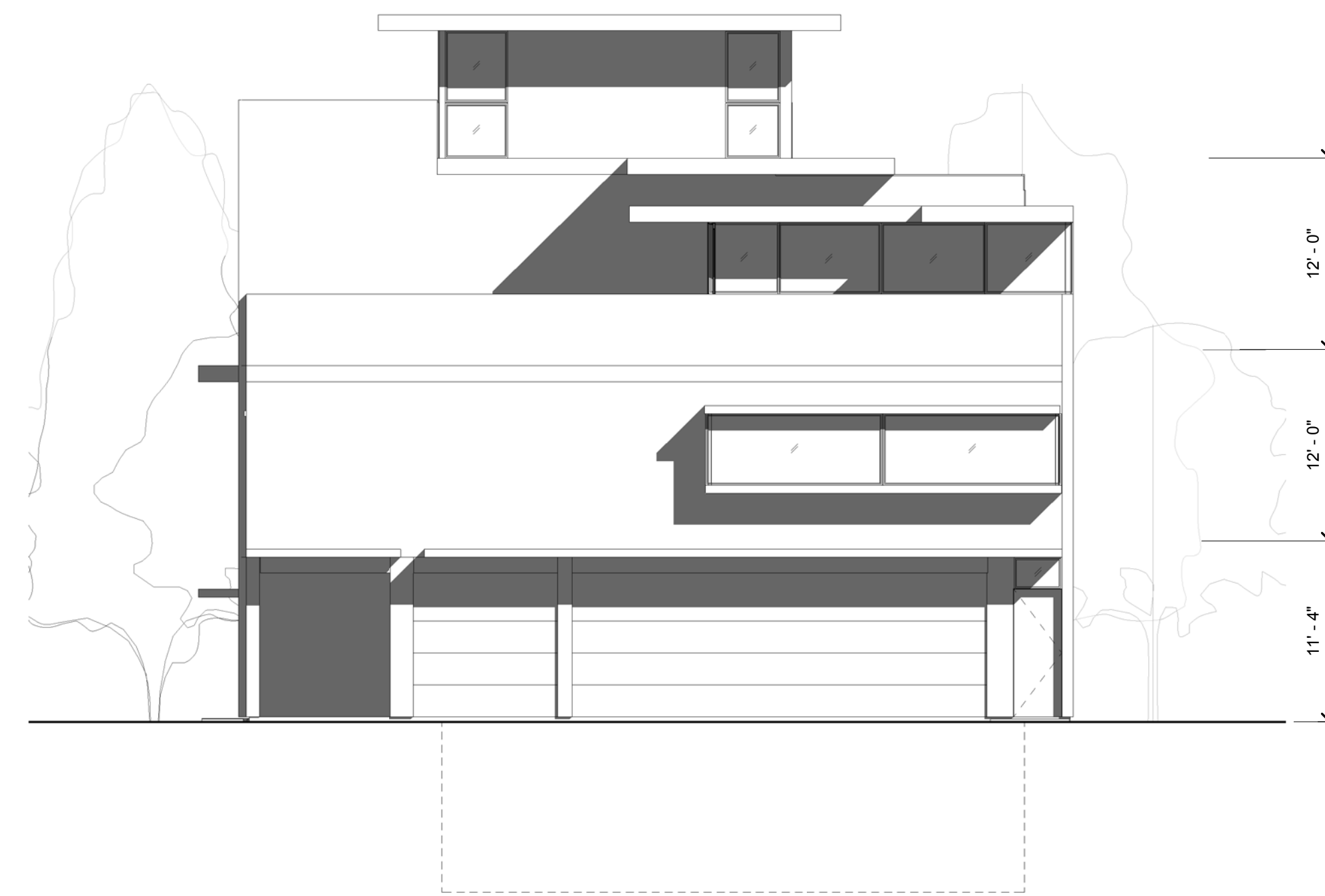
3 EAST
 1/8" = 1'-0"



4 SOUTH
 1/8" = 1'-0"



1 WEST
 1/8" = 1'-0"



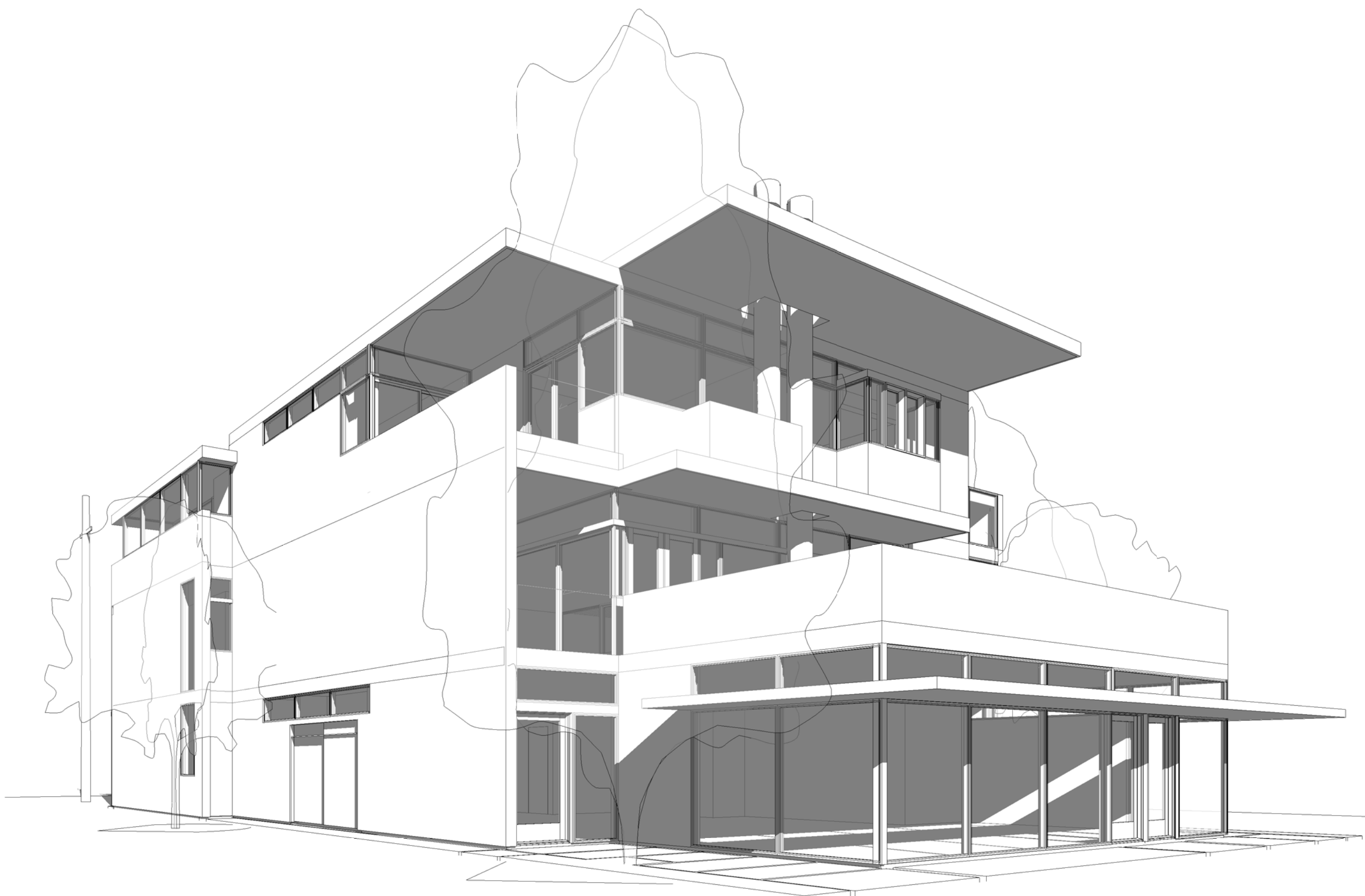
2 NORTH
 1/8" = 1'-0"



1 EAST PERSPECTIVE - REAR



2 NORTH PERSPECTIVE



3 WEST PERSPECTIVE



4 SOUTH PERSPECTIVE - FRONT

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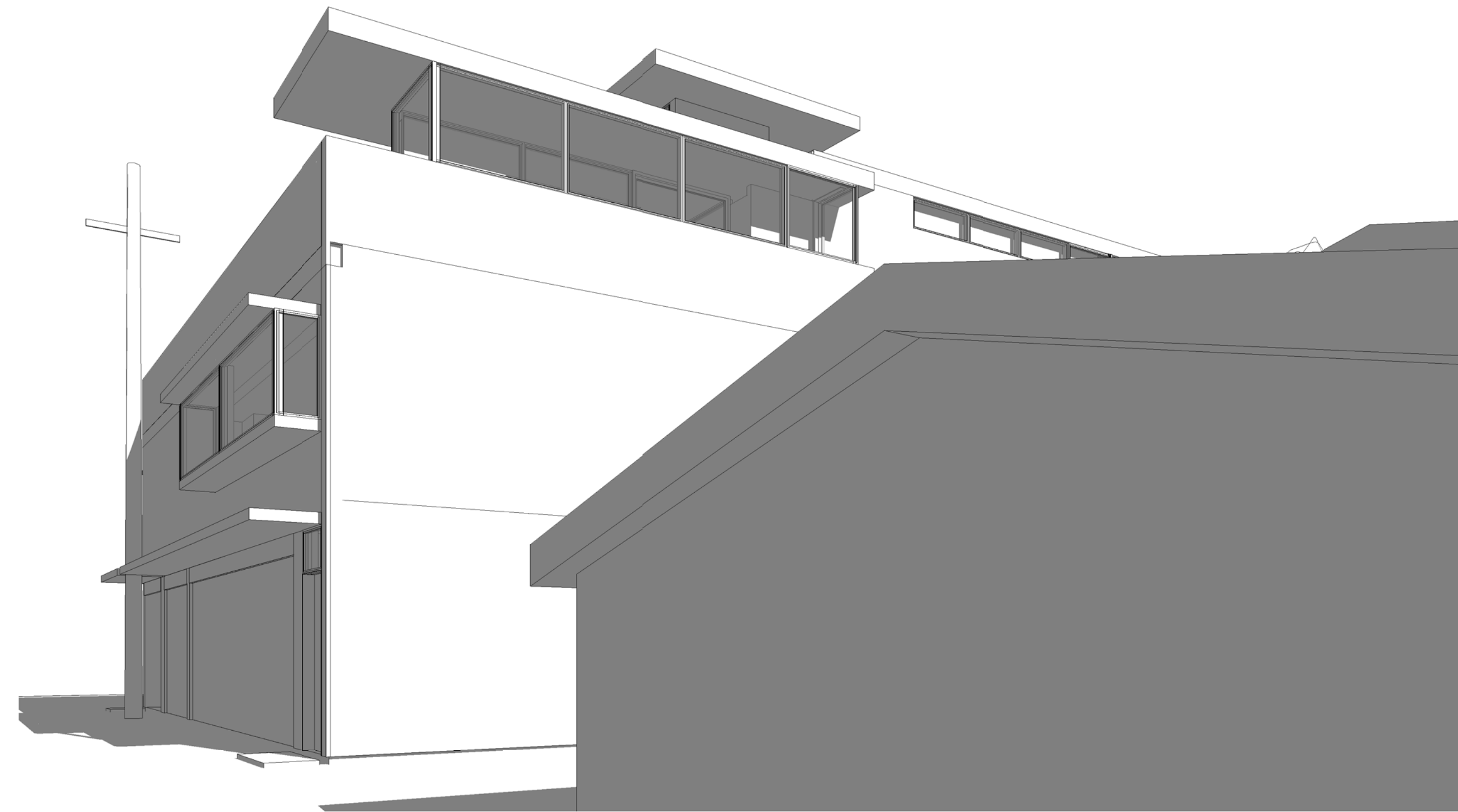
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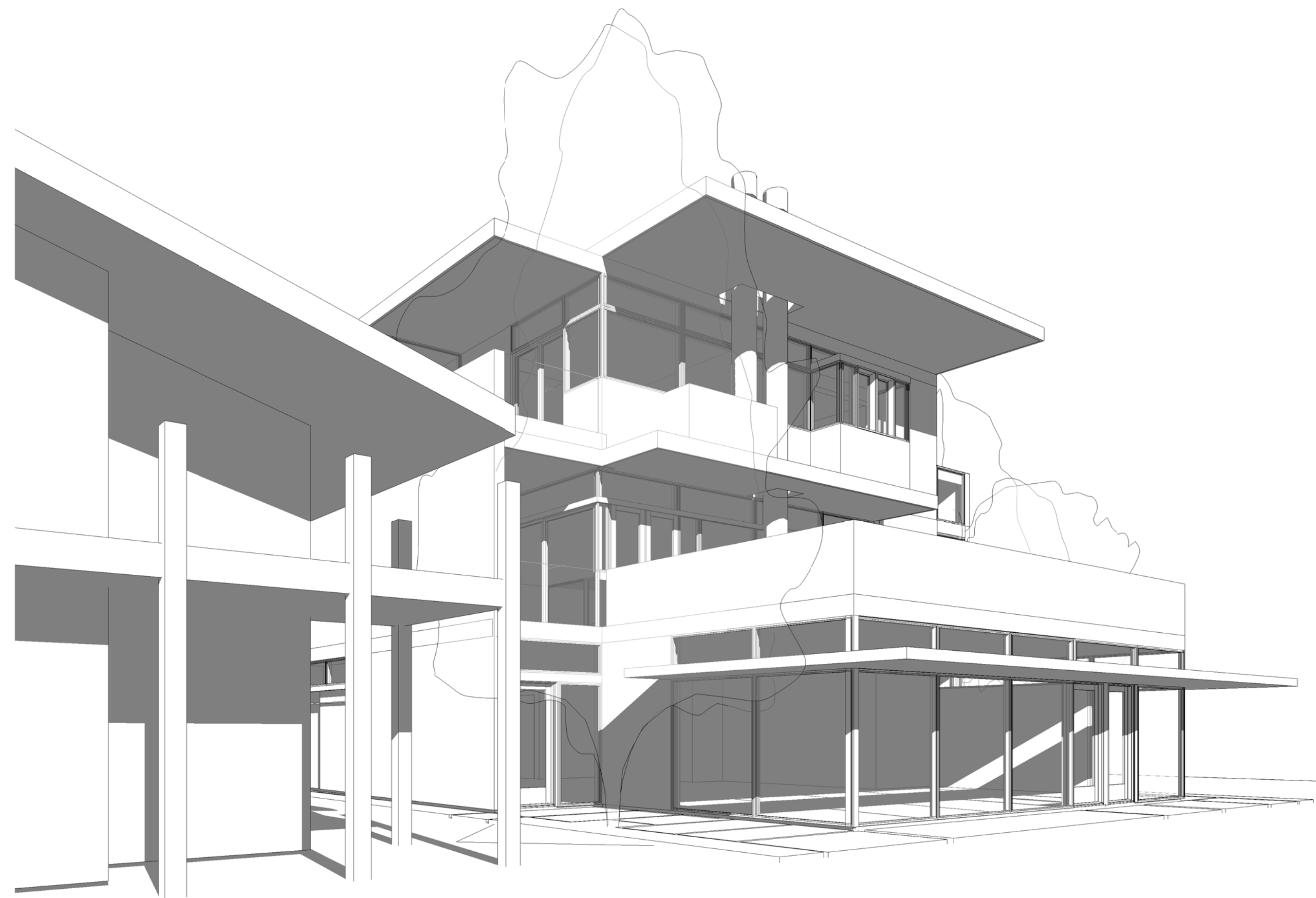
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① Copy of EAST PERSPECTIVE - REAR



② Copy of NORTH PERSPECTIVE



④ Copy of WEST PERSPECTIVE



③ Copy of SOUTH PERSPECTIVE - FRONT

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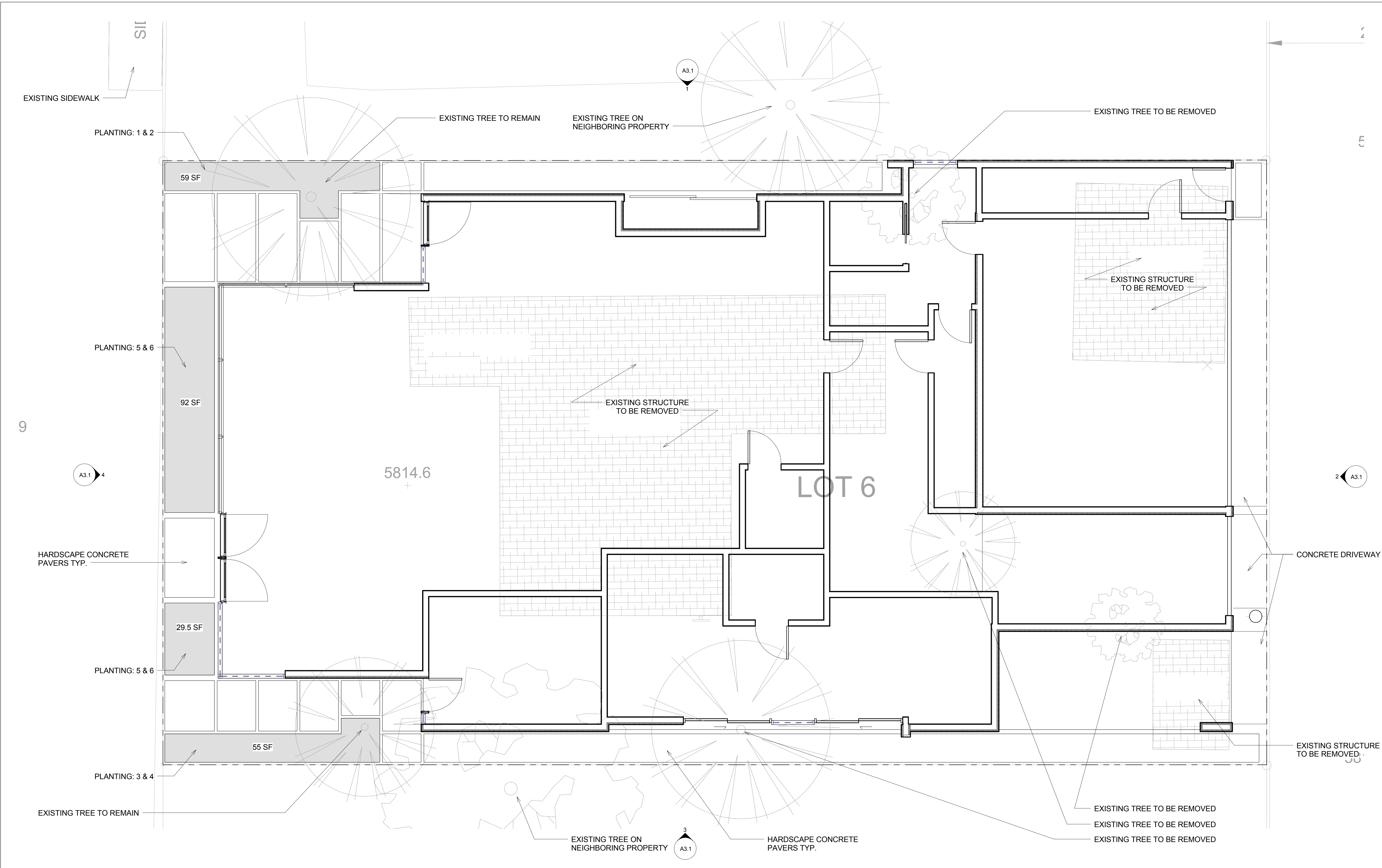
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CHECKED BY: AS

ISSUE FOR PRE-APP 2018.08.10

REISSUE FOR PRE-APP 2018.08.30



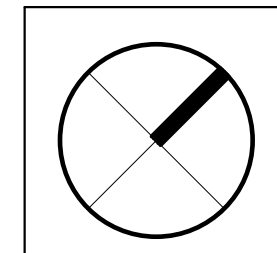
1 LANDSCAPE PLAN
 1/4" = 1'-0"

NOTATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	HEIGHT
1	ACHILLEA MILLEFOLIUM	WESTERN YARROW	3	1' - 3.5'
2	SOLIDAGO SPP.	GOLDENROD	2	2' - 5'
3	SPHAERALCEA AMBIGUA	DESERT GLOBEMALLOW	3	20" - 40"
4	SPHAERA. GROSSULARIIFOLIA	GOOSEBERRY-LEAF GLOBE	3	12 - 24"
5	ANDROPOGON SCOPARIUM	LITTLE BLUESTEM	6	12" - 36"
6	FESTUCA OVINA	SHEEP FESCUE	6	18"

NOTE:

HARDSCAPE
 CONCRETE PAVERS: 629.5 SF
 DRIVEWAY: 138 SF

TREES DEEMED HEALTHY AND MATURE BY KETCHUM
 WILL BE REPLACED ON OR OFF SITE.



ATTACHMENT C.
FIRE DEPARTMENT COMMENTS

Ketchum Fire Department M E M O R A N D U M

To: **ABBY RIVIN, AICP | CITY OF KETCHUM**
Associate Planner

From: Tom Ancona, Fire Marshal

Date: August 28, 2018

Subject: Mixed-Use Building, 760 Washington Avenue North

It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.

The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.

Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.

Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.

An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. **Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements.** Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.

NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshals office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

Note: This project will require the building to be protected by a National Fire Protection Association 13 system throughout the entire structure.

An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.

An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access.

Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. **Six (6) 5 lbs. fire extinguishers shall be required for this project.**

Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.

An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.

The appropriate keys, for emergency fire department access, shall be provided and installed in the existing Knox box.

Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.

An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.

Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF SEPTEMBER 11, 2017

PROJECT: Felker Residence

FILE NUMBER: #18-111

OWNERS: 5050 Ventures, LLC

REPRESENTATIVE: Shane Felker

REQUEST: Mountain Overlay Design Review for a new single-family residence.

LOCATION: 255 Hillside Drive (Lot 33, Block 2, Warm Springs Sub #5, 11,325 s.f.)

ZONING: General Residential – Low Density (GR-L)

OVERLAY: Mountain Overlay Design Review and Avalanche Overlay Zone

NOTICE: Notice was mailed to adjacent property owners of the subject property on Monday, August 27th, 2018.

REVIEWER: Brittany Skelton, Senior Planner

RECOMMENDATION: Staff recommends approval of the Mountain Overlay Design Review application to Mountain Overlay Design Review, finding the application meets all applicable zoning and design review standards.

ATTACHMENTS:

- A. Fire Department comments
- B. Application
- C. Architectural and Landscape plan set, exterior lighting specification and stonewood color specifications
- D. Geotechnical report dated June 17, 2015
- E. Geotechnical report update memo dated August 27, 2018

BACKGROUND

Mountain Overlay Design Review was considered by the Commission for the subject property in 2016 (application #15-155), with approval given on February 8th, 2016. The proposal at the time was to construct two detached townhomes. A one-year extension of the approval was given administratively on January 13th, 2017 in accordance with KMC § 17.96.130. On January 8, 2018 the Commission granted an additional one-year extension of the Mountain Overlay Design Review approval.

The applicant has modified their proposal for the subject property and is now seeking Mountain Overlay Design Review approval of a single-family residence and two accessory structures: a detached one-car garage with second story studio/workshop and a detached two-car garage with second story Accessory Dwelling Unit (ADU).

The original proposal for the site included 5,076 gross square feet of development split evenly between the two proposed townhomes; the townhomes were mirror images of one another with the maximum height being 35' and the maximum elevation 5904'. The proposed lot coverage was 28.9%. The new proposal consists of 4,508 gross square feet, a maximum height of 26' (for the rear garage, when measured from existing grade), a maximum elevation of 5901' and lot coverage of 22.7%. See sheets A 0.9 and L 1. to compare the footprints of the previously approved development with the footprints of the proposed development.

The lot is currently vacant but is bordered by development on its east and west sides. The lot is located on the north side of Hillside Drive approximately 300' from the intersection of Hillside Drive and Wanderer's Way. The subject property is 0.26 acres in size (11,150 square feet) and is 125' deep with a minimum elevation of 5867' and a maximum elevation of 5887', a slope of 16% on the western property boundary (20' of elevation gain) and 11% on the eastern property boundary (14' of elevation gain). Comparatively, there are a dozen parcels further west on Hillside Drive and Huffman Drive that range from 500' to over 1,000' in depth, with maximum elevations above 6300' and slopes exceeding 25%. In other words, the subject property is relatively small and relatively flat in comparison to other properties within the Mountain Overlay.

MOUNTAIN OVERLAY AND AVALANCHE ZONE

The purpose of the Mountain Overlay zoning district is to protect the public health, safety and welfare of inhabitants of hillside areas; to encourage land uses harmonious with existing natural resources; to prohibit detrimental alteration of existing topography and terrain, leaving hillsides generally open and unobstructed, to prohibit scarring by roadways; to protect natural land features and wildlife habitat; to minimize or prohibit alteration of hilltops, rock outcrops, knolls and ridges; to facilitate adequate provision of public services and facilities through standards appropriate to local conditions; to minimize or prohibit detrimental effects on the natural topography, geology, soils, drainage, wildlife and vegetation; to carry out provisions contained in Ketchum's comprehensive plan; to minimize the visual impact of building sites and access drives that are significantly higher than the vast majority of buildings sites in Ketchum; to protect hillsides in Ketchum which are physically and topographically unique due to their present lack of access roads and thus their lack of development; to direct building away from the higher elevations; and to assure the property owner is not deprived of economically viable use of his/her property.

Building in the Avalanche overlay zoning district does not require approval from the Planning and Zoning Commission; rather, building in the Avalanche zone requires that construction plans be signed by an engineer licensed in Idaho to certify that the proposed construction as designed will withstand the avalanches set forth in the avalanche studies on file with the city.

Table 1: City Department Comments

City Department Comments					
Compliant			City Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire Department	See attachment A.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Streets Department	<p>Comments are based on landscape plans dated 8/15, not revised set dated 8/31.</p> <p>Prior to issuance of a building permit:</p> <ol style="list-style-type: none"> 1) The plans need to show more civil information such as culvert size and material, drainage calculations for the drywells, driveway material, right-of-way (ROW) material, landscaping and irrigation in the ROW, slopes in the ROW not just the driveway, etc. 2) All proposed work in the ROW must be approved and must be constructed to the city's ROW standards. 3) Driveway on the east side of the lot, drains onto the ROW, drywell should be placed on private property. 4) May need a French drain at the low spot in the ROW. <p>The streets department has no concerns with addressing the above concerns prior to issuance of a building permit.</p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilities	<ol style="list-style-type: none"> 1) No concerns with the proposed development connecting to water and sewer systems. 2) Impact fees to be determined with submission of building permit. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Arborist	<ol style="list-style-type: none"> 1) City Arborist suggests offsetting Aspens further from front property line to minimize suckering in the right-of-way. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building	No comment.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning	Comments are included throughout the staff report.	

Table 2: Zoning Standards Analysis

Compliance with Zoning Standards					
Compliant			Standards and Staff Comments		
Yes	No	N/A	Regulation	City Standards and Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Lot Coverage:	
			Staff Comments	<p>Maximum Allowed Building Lot Coverage: 35%</p> <p>Proposed Building Lot Coverage: The applicant is proposing 2,530 square feet of building coverage on a 11,150 square foot lot, with a proposed building coverage of 22.7%</p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.0030	Building Height	
			Staff Comment	<p>Maximum Allowed Building Height: 35 feet</p> <p>Proposed Building Height: Detached garage: 24.00' (Roof 5901.17' - Existing grade 5877.17') Main residence: 25.67' (Roof 5892.67' - Finished grade 5867.00') Detached studio: 22.59' (Roof 5888.09' - Finish grade 5865.50')</p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height & Setbacks	
			Staff Comments	<p>Minimum Allowed Building Setbacks: Front: 15 feet Rear: One (1) foot for every three (3') in building height, or 15', whichever is greater. Side: One (1) foot for every three (3') feet in building height, or 5', whichever is greater</p>	

				<p><u>Proposed Building Setbacks:</u></p> <table border="1"> <thead> <tr> <th></th> <th>Height</th> <th>Required Side</th> <th>Side (W)</th> <th>Side (E)</th> <th>Front</th> <th>Rear</th> </tr> </thead> <tbody> <tr> <td>Rear Garage + ADU</td> <td>24.00'</td> <td>8'</td> <td>8'-2"</td> <td>>10.14'</td> <td>>15'</td> <td>15'</td> </tr> <tr> <td>Main House</td> <td>25.67'</td> <td>8.56'</td> <td>15-5 ¼"</td> <td>14'-5"</td> <td>>15'</td> <td>>15'</td> </tr> <tr> <td>Front Garage + Studio</td> <td>22.59'</td> <td>7.53'</td> <td>12'</td> <td>>7.53'</td> <td>15'</td> <td>>15'</td> </tr> </tbody> </table>		Height	Required Side	Side (W)	Side (E)	Front	Rear	Rear Garage + ADU	24.00'	8'	8'-2"	>10.14'	>15'	15'	Main House	25.67'	8.56'	15-5 ¼"	14'-5"	>15'	>15'	Front Garage + Studio	22.59'	7.53'	12'	>7.53'	15'	>15'
	Height	Required Side	Side (W)	Side (E)	Front	Rear																										
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Front Garage + Studio	22.59'	7.53'	12'	>7.53'	15'	>15'																										
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.125.030. H</p> <p>Staff Comments</p>	<p>Street Frontage</p> <p><u>Maximum curb cut allowed:</u> A maximum of thirty five percent (35%) of the linear footage of any street frontage can be devoted to access off street parking.</p> <p><u>Proposed:</u> Subject property has 89.91' of street frontage. 35% is 31.45'. Applicant is proposing two curb cuts – 10' (westernmost) and 12' (easternmost) for a total of 22' of curb cut.</p>																												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.125.050</p> <p>Staff Comments</p>	<p>Parking Spaces</p> <p><u>Required:</u> 2.0 parking spaces</p> <p><u>Proposed:</u> 3 garage, 2 parking pads, multiple driveway</p>																												

Table 3: Mountain Overlay Design Review Standards

Mountain Overlay Design Review Standards				
EVALUATION STANDARDS: 17.107. 070.A				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Reference	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104 MOUNTAIN OVERLAY	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.1	<p>There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.</p> <p>Staff Comments <i>There are no ridges or knolls identified on the subject parcel; the ridge line is located beyond the extent of the property boundary.</i></p> <p><i>Further, this property is not visible from an identified or protected view corridor. The most prominent street in the vicinity is Warm Springs Road. Because the eastern portion of Hillside Drive, where the subject property is located, has relatively shallow lot depths (under 150') where maximum elevations are relatively low, existing residences and vegetation located on the southside of Hillside Drive, Belmont Drive, and the north side of Warm Springs Road provides ample screening.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.2	<p>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.</p> <p>Staff Comments <i>Building, excavation, filling and vegetation disturbance will not have a material visual impact visible from a point within the city due to the location of the subject property and site characteristics described in evaluation of the previous</i></p>

				<i>criteria 17.104.070.A.1</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Staff Comments	<i>The Streets Department has commented that prior to issuance of a building permit final approval of all proposed work in the right-of-way is required, but that the department has no concerns with addressing points of consideration raised during review of this proposal (Table 1, City Department Comments).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.
			Staff Comments	<i>The Fire Department has reviewed the proposed design and has found that all access requirements for emergency vehicles has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.5	Significant rock outcroppings are not disturbed.
			Staff Comments	<i>There are no rock outcroppings on the subject property. There are however minor rock outcroppings north of the subject property, further up the hillside and outside of the boundary of the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Staff Comments	<i>The applicant is aware of all building code requirements and indicates that this project will be compliant with all International Building Code 2012 and the Ketchum Fire Department requirements. All IBC, IFC and Ketchum Fire Department requirements shall be verified and met prior to the issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.7	Public water and sewer service comply with the requirements of the City.
			Staff Comments	<i>Requirements for public water and service connection will be verified prior to issuance of a building permit. The City Utilities Department has indicated no anticipated issues with serving the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Staff Comments	<i>The applicant proposes a combination of trench drains, drywells, and a catch basin to control draining on site, in addition to a culvert in the right-of-way. The Streets Department has commented (Table 1, City Department Comments) that prior to issuance of a building permit additional civil details will be required for review and approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.9	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.
			Staff Comments	<i>No new roadway is proposed. The applicant is proposing two driveways: one minor in length toward the western side of the lot and one significantly longer driveway (approximately 90' in length) on the eastern side of the lot. Excavation will be required in order to achieve the grade necessary to construct the eastern driveway.</i> <i>The applicant indicated verbally that siting of the rear garage and ADU at the rear of the property was done so that this structure, which will not be occupied full time, would be the portion of the development located within the highest avalanche risk area (Mears, red zone). Although the evaluation criteria include minimizing lengths of driveways, the eastern side of the lot however has a less steep, more gradual grade change than the western side of the lot and is the more appropriate side of the lot to locate the longer of the two driveways. With respect to the applicant's rationale for siting the garage at the rear of the lot, staff supports the rear garage location and its driveway access.</i>

				<p><i>The driveway will be asphalt and the berm and proposed Aspen and Colorado Spruce landscape buffer along the lot's street frontage will serve to minimize views of the driveway from the street.</i></p> <p><i>All disturbed areas of the site will be revegetated with low combustibile native and natural grasses (Fescue mix) and will be irrigated.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.10	There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
			Staff Comments	<p><i>The subject property is 0.26 acres in size (11,150 square feet) and is 125' deep with a minimum elevation of 5867' and a maximum elevation of 5887', a slope of 16% on the western property boundary and 11% on the eastern property boundary. In contrast, there are a dozen parcels further west on Hillside Drive and Huffman Drive that range from 500' to over 1,000' in depth, with maximum elevations above 6300' and slopes exceeding 25% where location of development is of greater concern with respect to Mountain Overlay standards. In other words, the subject property is relatively small in size and relatively flat in comparison to other properties within the Mountain Overlay.</i></p> <p><i>That said, the footprint of the detached rear garage will encroach further up the hillside than the footprints of the structures on the adjacent properties and the driveway to reach the rear detached garage will be the longest driveway in the vicinity. However, the visual impact of the rear garage is obscured by the shed roof design and the siting of the garage behind the main residence. Additionally, all three structures are under 26' in height as measured from existing grades to the highest points of the roofs, which is 9' less than the maximum height permitted in the zoning district.</i></p> <p><i>All things considered, staff finds the proposed development to be sited in a location that is suitable for carrying out the purposes of this Ordinance.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
			Staff Comments	<i>Driveway accesses to not traverse 25% or greater slopes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.12	Utilities shall be underground.
			Staff Comments	<i>All utilities that serve the site and will be tied into are already underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.13	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			Staff Comments	<i>Limits of disturbance are depicted on A 0.8, Construction Management Plan and sheet L 2.0, Grading Plan; the limit of disturbance coincides with the location proposed for construction fencing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.14	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			Staff Comments	<i>Excavation, fill and vegetation disturbances that are not associated with building construction have been minimized - all excavation, fill and vegetation disturbance is associated with construction of the building or the driveway (east) and parking area (west) that will serve the development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	<i>No significant landmarks have been identified.</i>

Table 4: Design Review Standards for all projects

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>The subject property has frontage on Hillside Drive.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	<i>No changes to the lanes of travel in the street are proposed at this time. However, should improvements be deemed necessary by the Streets Department, such designs shall be approved by the City Engineer.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>The applicant proposes to maintain all storm water on site and is aware of this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>The applicant is aware that final drainage plans must receive city approval prior to issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>The applicant is aware that final drainage plans must receive city approval prior to issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the

				sole expense of the applicant.
			<i>Staff Comments</i>	<i>The applicant is aware that any service connections to utilities are the sole responsibility of the applicant.</i>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>Underground utilities serve the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>Extension of utilities is not required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>The development utilizes a variety of natural materials (wood beams, metal roofing, cladding and fascia, stonewood architectural panels) in earth tones (walnut, hues of grey) that are complementary to adjoining structures and the mountain overlay location.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A. The subject property is currently vacant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The character of each of the three buildings is defined by architectural features such as shed roofs of corrugated metal supported by stained architectural-grade glulam beams, stonewood panels in a walnut hue at building corners, stucco panels in a grey hue on the remainder of building facades, and exterior decks with cable handrails. Additionally, each structure has ample glazing that serves to break up the façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>Each of the three structures utilizes the same palette of materials and colors.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>Both accessory structures use the same palette of materials, in the same colors, as the main residence. No fences are proposed. Walls are proposed to be constructed of concrete and do not exceed 4' in height. Proposed landscaping, consisting of natural grasses, shrubs, Colorado Spruce and Aspens, are sited in locations that complement the structures. Sod lawn is minimized, as is hardscape by the the inclusion of grass block parking areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>Building walls provide undulation/relief, which is further enhanced by features such as decks, roof overhangs, and variation in materials and material color (stonewood panels in walnut and grey hued stucco paneling with reglets). Additionally, the locations of the three detached structures on the site results in a development that does not appear bulky or flat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The building orients toward Hillside Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>No satellite receivers are proposed. This is a residential project that will not have an exterior commercial garbage receptacle that needs screening.</i>

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>This is a residential project. Pedestrians will not gather on the property or circulate to adjacent properties. Nevertheless, the building has been designed with roof drains and downspouts that will drain water to drywells, which will prevent water dripping on residents. Additionally, the roofs slope away from exterior entrances and site circulation areas, such as the walkway connecting the main residence and the one car garage and workshop located at the front of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The subject property is an infill site located within a residential neighborhood. The site is not contiguous to an existing pedestrian, equestrian, or bicycle access although there is a multi-use trail access (Heidelberg Hill trail) access three properties to the east on the north side of the intersection of Wanderer's Way and Hillside Drive. No new pedestrian, equestrian or bicycle accesses are anticipated or proposed for the subject property to provide access to.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The driveway accessing the rear garage is designed to allow a vehicle to turn around so that a vehicle does not have to back out of the driveway. The driveway accessing the front garage is minimal in length and backing out onto the low traffic, residential street the subject property is located on is appropriate, if necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The driveway entrances are located over 300' away from the nearest intersection of two streets, the intersection of Hillside Drive and Wanderer's Way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Unobstructed access to the site is provided by Hillside Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>The applicant indicates 2,400 square feet of proposed asphalt driveways, which requires 720 square feet of snow storage. A total of 1,200 square feet of snow storage areas, divided among five locations, including the two proposed grass block parking areas. Because the grass block parking pads are not required parking spaces, snow storage is permitted in these locations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>Snow storage is proposed on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>Proposed snow storage areas range from 100 square feet to 400 square feet. No dimension of any snow storage area is less than 5'.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The applicant is proposing on-site snow storage and has not proposed snow melt or hauling of snow.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.

			<i>Staff Comments</i>	<i>Landscape plans have been submitted with this proposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The city arborist has reviewed the landscape plans and finds the proposed tree, grass and shrub species to be appropriate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>The landscape materials (trees, shrubs, and natural/native grass mix is drought tolerant) are drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping proposed for this residential project in the mountain overlay is appropriate.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>

Table 5: Comprehensive Plan Analysis

SUPPORTING SECTION	SUMMARY OF COMPLIANCE OF PROPOSED AMENDMENTS WITH THE 2014 COMPREHENSIVE PLAN
Future Land Use	
Low Density Residential	<p>Primary Uses: Single-family and duplex residences and accessory units.</p> <p>Secondary Uses: Supporting and complementary uses, including open space and recreation, agriculture/gardens, schools, places of worship, and other public uses. Senior housing facilities are also appropriate if compatible with the surrounding areas.</p> <p>The intent is for the average density of a residential area in this category is not to exceed about five units per acre.</p> <p>Characteristics and Location: New residences should be within neighborhoods that have pedestrian-oriented, connected local streets and sidewalks. New housing should also have access to parks, open space, schools, and other civic activities. Neighborhoods within this category should be accessible via local streets with access to collector streets for circulation.</p>
Community Design and Neighborhoods	
Goal CD-2 Protect and enhance views of the surrounding mountains and natural features.	<p>Policy CD-2.2 - Mountain Overlay Zone Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.</p> <p>Policy CD-2.4 Development Designed for Natural Feature Preservation Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.</p>

STAFF RECOMMENDATION

1. **Approval of the Application:** “Motion to approve the application from the owner 5050 Ventures LLC, represented by Shane Felker, for the Mountain Overlay Design Review application, finding the application meets the standards for approval under Chapter 17.96 of Ketchum Zoning Code with the following conditions: [insert conditions of approval here]”

RECOMMENDED CONDITIONS

Ketchum City Engineer, Streets, Utilities, Fire, Planning and Building Department requirements shall be met, including:

1. All governing ordinances pertinent to the Fire Department, Building Department, Utilities Department, Street Department and Ketchum City Engineer shall be met prior to Certificate of Occupancy;
2. Design review approval shall expire one (1) year from the date of the signature of the findings of fact, conclusions of law & decision, unless an extension is requested and granted per Chapter 17.96, Ketchum Municipal Code;
3. Design review elements shall be completed prior to final inspection/occupancy;
4. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. The applicant shall submit a final revised plan for the official Planning Division files. Building Permit plans must conform to the approved mountain overlay design review plans unless otherwise approved in writing by the Commission or Planning Department. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
5. Construction fencing at the limits of disturbance shall be located on the site as approved by the Planning Department prior to any excavation or earthwork;
6. A final drainage/grading plan for the subject property and the city right of way shall be submitted to the Planning Division for review and approval by the Planning Department, Streets Department, and City Engineer prior to the issuance of a building permit. Such plan shall be designed and stamped by a licensed civil engineer;
7. As the property is located within the Avalanche Zone, the project shall comply with all applicable standards located in Chapter 17.92 Avalanche Zone District prior to the issuance of a building permit.
8. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation; and
9. All exterior lighting must comply with City Code, Chapter 17.132 Dark Skies.

A. Fire Department comments

Ketchum Fire Department M E M O R A N D U M

To: BRITTANY SKELTON | CITY OF KETCHUM
SENIOR PLANNER

From: Tom Ancona, Fire Marshal

Date: August 28, 2018

Subject: Felker Residence, 255 Hillside Drive

It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.

The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.

IF a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department.

Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.

Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A **minimum** twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.

An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access.

Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.

Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.

Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.

Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.

B. Application



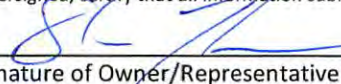
City of Ketchum
Planning & Building

OFFICIAL USE ONLY
P18-111
8-27-18
MP
1400 ⁰⁰

Mountain Overlay Design Review Application

OWNER INFORMATION			
Project Name: Felker Residence			
Owner Name: 5050 Ventures, LLC			
Mailing Address: PO Box 4767, Ketchum, ID 83340			
Phone: 858-259-2025			
Email: Shane@sawtoothdevelopment.com			
PROJECT INFORMATION			
Architect/Representative: Shane Felker			
Phone: 858-229-3505			
Mailing Address: PO Box 4767, Ketchum, ID 83340			
Email: Shane@sawtoothdevelopment.com			
Engineer of Record: Craig Maxwell			
Engineer Email: craig@maxwellsds.com			
Legal Land Description: Lot 33 in Block 2 of Warm Springs Subdivision No. 5 Instrument 204448			
Project Address: 255 Hillside Drive			
Lot Area: 11,150 sqft			
Zoning District: GR-L			
Anticipated Use: Residential			
Number of Residential Units: 1			
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed		Existing	
Basement:			
1 st Floor: 1453 sqft			
2 nd Floor: 1494 sqft			
3 rd Floor: 484 sqft			
Decks:			
Mezzanine:			
Total: 3431 sqft			
Building Coverage: 2530 SF 22.7 %		Curb Cut: SF %	
PROPOSED SETBACKS			
Front: 15'	Side: 7'	Side: 14.5'	Rear: 15'
ADDITIONAL INFORMATION			
Building Height: 26' 8"		Parking Spaces Provided: 6	
Will Fill or Excavation Be Required? Yes X No			
If Yes, Amount in Cubic Yards Fill: 100 yds Excavation: 600 yds			
Will Existing Trees or Vegetation Be Removed? Yes X No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

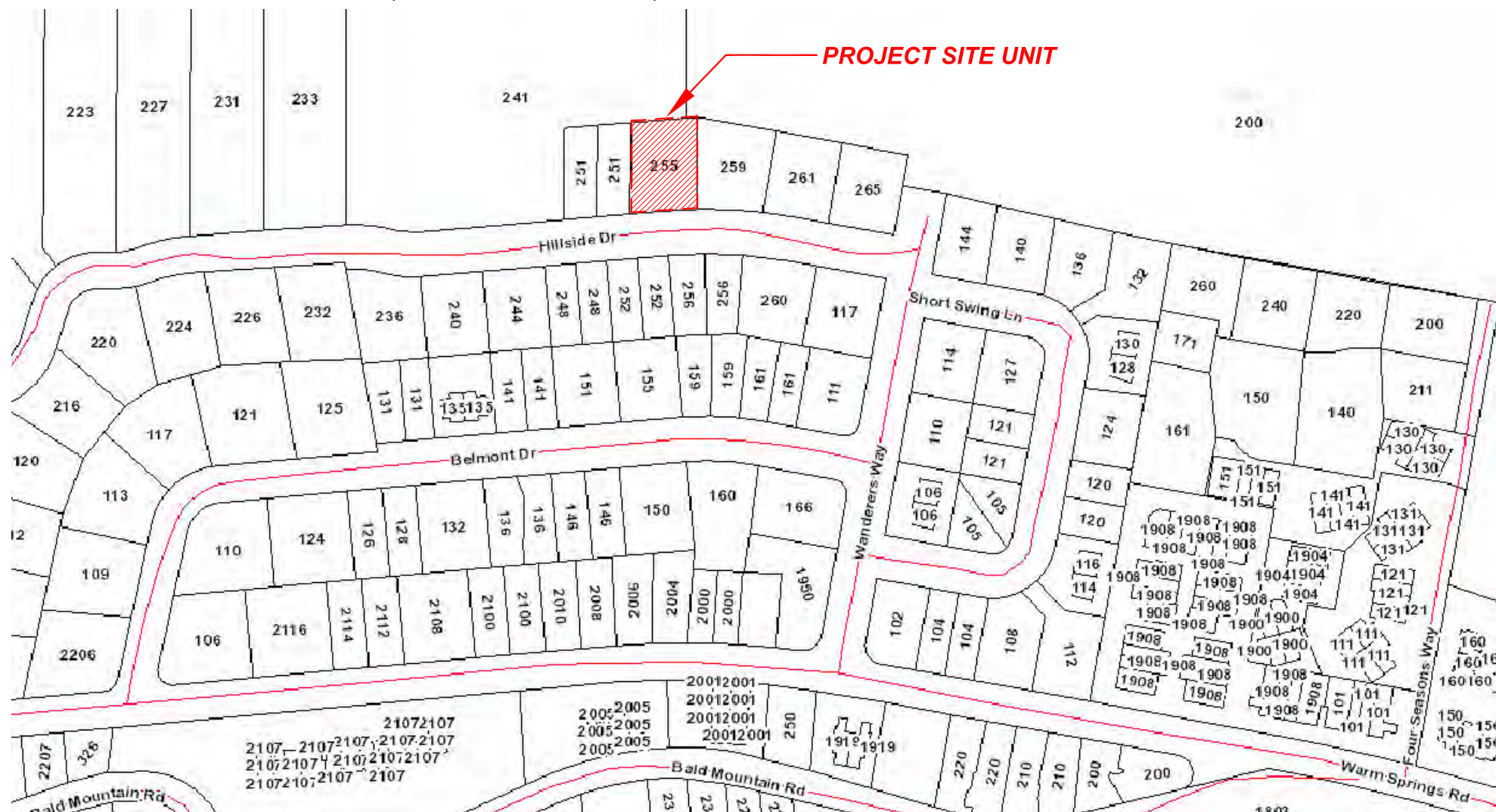
8.23.18
Date

C. Architectural and Landscape plan set, exterior lighting specification and stonewood color specifications

SITE VICINITY
LOT 33, 255 HILLSIDE DRIVE, KETCHUM ID.



SITE VICINITY ZONING
LOT 33, 255 HILLSIDE DRIVE, KETCHUM ID.



PROJECT DIRECTORY

CLIENT & OWNER
SHANE & HILLARY FELKER
LOT 33, BLOCK 2
255 HILLSIDE DRIVE
KETCHUM, ID 83340

CONTACT ARCHITECT FOR ALL CLIENT COMMUNICATIONS

ARCHITECT
HOLLIS RUMPELTES ARCHITECTS, AIA
PO 1789 (POST)
SUN VALLEY, ID 83353
220 RIVER STREET (COURIER)
KETCHUM, ID 83340
P: 208.721.0633
E: JJ@hr-architects.net or daniel@hr-architects.net

CONTRACTOR
RAMSAY SOLUTIONS, INC
P.O. BOX 4125 (POST)
1007 WARM SPRINGS RD, Suite G (COURIER)
KETCHUM, ID 83340
P: 208.928.7877
E: carter@ramsayolutions.net
LIC # RCE-27424

STRUCTURAL ENGINEER
MAXWELL SDS
P.O. BOX 1811 (POST)
SUN VALLEY, ID 83353
P: 208.721.2171
E: craig@maxwellsds.com
LIC.#

GEOTECHNICAL ENGINEER
BUTLER ASSOCIATES, INC
BOX 1054,
KETCHUM, ID 83340
P: 208.720.6432
E: svgeotech@gmail.com

SURVEYOR
ALPINE ENTERPRISES, INC
PO BOX 2037 (POST)
221 NORTHWOOD WAY, UNIT A-100 (COURIER),
KETCHUM, ID 83340
P: 208.727.4125
E: bsmith@alpineenterpriseinc.com

CODE COMPLIANCE
DIA SULLIVAN, ARCHITECT PLLC
P.O BOX 233
WHITEFISH, MT 59937
P: 406.250.1016
E: dsa@cyberport.net

COM-CHECK
JOHN REUTER, GREENWORKS
P.O BOX 4714
KETCHUM, ID 83340
P: 208.721.2922
E: jreuter@gmx.com

PROJECT DATA

LEGAL OWNER 5050 VENTURES, LLC
OWNER'S ADDRESS BOX 1817 (POST)
255 HILLSIDE DRIVE
KETCHUM, ID 83340

CODE 2012 IBC
ZONING GR-L: General Residential - Low

SETBACKS
FRONT YARD 15'
SIDE YARD 1' for every 3', or 5'
REAR YARD 15'

HT LIMITATION 35' (PROPOSED 22'-9")
USE OCCUPANCY RESIDENTIAL: GROUP R-3
CONST. TYPE V-N

CODE COMPLIANCE: IBC 2012
IRC 2012
IECC 2012
CMEC 2012
IPMC 2012
IFC 2009

PROVIDE REQUIRED UNDER FLOOR VENTING/RADON MITIGATION AS REQUIRED.

PROVIDE REQUIRED UNDER FLOOR VENTING MOLD MITIGATION AS REQUIRED.

PROVIDE UNDER FLOOR (CRAWL SPACE) VENTILATION OF 1 SF PER 150 SF OF FLOOR AREA

FLOOR LIVE LOAD: 100 PSF, 40 PSF RESIDENTIAL
ROOF LIVE LOAD: 100 PSF (SNOW LOAD)
SEISMIC ZONE: D
WIND LOADS: 115 MPH 3 SECOND GUST (ULT)
CATEGORY II
IMPORTANCE FACTOR = I

DRAWING INDEX

GENERAL	A0.0 PROJECT DATA / GENERAL NOTES / INDEX
	A0.1 DOOR & WINDOW SCHEDULE
	A0.2 DOOR & WINDOW SCHEDULE
	A0.3 EXTERIOR 3D MODEL VIEWS
	A0.5 EXTERIOR MATERIALS & COLORS SAMPLE BOARD
	A0.6 STAGING AND CONTRACTOR PARKING PLAN
	A0.7 CODE ANALYSIS
	A0.8 COMM CHECK (GREENWORKS)
	A0.9 COMPARISON TO PREVIOUS DR DESIGN
SURVEY PLAN	C TOPOGRAPHICAL & SITE INFORMATION (ALPINE)
LANDSCAPE	L1.0 SITE PLAN (EGGERS ASSOCIATES)
	L1.1 R.O.W PLAN (EGGERS ASSOCIATES)
	L2 GRADING PLAN (EGGERS ASSOCIATES)
	L3 LANDSCAPE PLAN (EGGERS ASSOCIATES)
ARCHITECTURAL	A1.1 SITE PLAN
	A2.1 FIRST FLOOR FOUNDATION PLAN
	A2.2 FIRST FLOOR PLAN
	A2.3 SECOND FLOOR PLAN
	A2.4 GARAGE STUDIO FLOOR PLAN
	A2.5 DIMENSIONED FIRST FLOOR PLAN
	A2.6 DIMENSIONED SECOND FLOOR PLAN
	A2.7 DIMENSIONED GARAGE STUDIO FLOOR PLAN
	A2.8 ROOF PLAN
	A3.1 EXTERIOR ELEVATIONS (NORTH & EAST)
	A3.2 EXTERIOR ELEVATIONS (SOUTH & WEST)
	A4.1 BUILDING SECTIONS
	A4.2 BUILDING SECTIONS
	A4.3 BUILDING SECTIONS
	A4.4 BUILDING SECTIONS
	A5.1 WALL SECTIONS & DETAILS
	A9.1 STAIR DETAILS
	E1.1.1 POWER PLANS
	E1.1.2 POWER PLANS
	E2.1.1 LIGHTING PLANS
	E2.1.2 LIGHTING PLANS
STRUCTURAL	S1.0 STRUCTURAL SPECIFICATIONS
	S2.0 FOUNDATION PLAN
	S3.0 LEVEL 1 FLOOR FRAMING PLAN
	S4.0 LEVEL 2 FLOOR FRAMING PLAN
	S5.0 ROOF FRAMING PLAN
	S6.0 FOUNDATION DETAILS
	S6.1 FOUNDATION DETAILS
	S6.2 FOUNDATION DETAILS
	S7.0 FRAMING DETAILS
	S7.1 FRAMING DETAILS
MECHANICAL	M1.0 MECHANICAL SPECIFICATIONS
	M2.0 MECHANICAL SPECIFICATIONS
	M3.0 MECHANICAL SPECIFICATIONS
	M4.0 MECHANICAL SPECIFICATIONS
	M5.0 MECHANICAL SPECIFICATIONS
	M6.0 MECHANICAL SPECIFICATIONS
	M7.0 MECHANICAL SPECIFICATIONS
	M8.0 MECHANICAL SPECIFICATIONS
	M9.0 MECHANICAL SPECIFICATIONS
	M10.0 MECHANICAL SPECIFICATIONS
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	M15.0 MECHANICAL SPECIFICATIONS
	M16.0 MECHANICAL SPECIFICATIONS
	M17.0 MECHANICAL SPECIFICATIONS
	M18.0 MECHANICAL SPECIFICATIONS
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	M99.0 MECHANICAL SPECIFICATIONS
	M100.0 MECHANICAL SPECIFICATIONS

AREA CALCULATIONS

PROPOSED 1st FLR LIVING AREA	1,453 SF
PROPOSED WORKSHOP AREA	381 SF
PROPOSED 2nd FLR LIVING AREA	1,494 SF
PROPOSED TOTAL GARAGE AREA	696 SF
PROPOSED 3rd FLR LIVING AREA	484 SF
TOTAL BLDG AREA	4,508 SF
ALLOWABLE SITE COVERAGE 35%	
TOTAL LOT AREA	11,150 SF
PROPOSED SITE COVERAGE	2,530 / 11,150 SF
	= 22.7%

SYMBOLS LEGEND

(1) ---+---	GRID NO.	(XX)	WALL TYPE
(A)		(GWB-1)	FIN. CLNG MAT.
(D XX)	DOOR NO.	(WOOD)	FIN. FLR MAT.
(W XX)	WINDOW NO.	(EF)	CEILING MOUNTED EXHAUST FAN
(SD)	INTERCONNECTED, HARDWIRED, BATT. ALARM / DETECTOR	(101/AS.X)	ROOM NO. / ENLARGED PLAN & INT. ELEVATION SHEET NO.
(XX A,XX)	ELEV. KEY	(ELEV MARKER)	ELEVATION MARKER
(XX A,XX)	SECT. KEY		
(XX A,XX)	INT. ELEV. KEY		

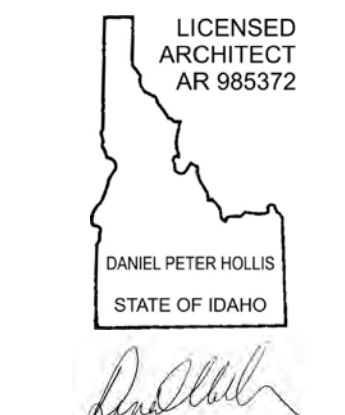
GENERAL NOTES

- THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS & EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK READY FOR USE.
- THESE DRAWINGS, TOGETHER WITH THE SPECIFICATION, AIA GENERAL CONDITIONS DOCUMENT A-201, 1988 EDITION, REPRESENT THE CONTRACT DOCUMENTS.
- THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY TO WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CLIENT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT & COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES & SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL VERIFY & ASSUME RESPONSIBILITY FOR ALL DIMENSIONS & SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES & TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY INFERRED FROM SUCH EXAMINATION.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. **DO NOT SCALE DRAWINGS.**
- ALL DIMENSIONS WHEN SHOWN IN PLAN ARE TO FACE OF EXTERIOR WALL SHEATHING, FACE OF CMU, OR FACE OF INTERIOR STUD, U.N.O.
- ALL DIMENSIONS ARE TO TOP OF FINISHED FLOOR IN SECTION OR ELEVATION, U.N.O.
- THE GENERAL CONTRACTOR SHALL REVIEW ALL BUILDING DIMENSIONS FOR ACCURACY PRIOR TO LAYING OUT ANY PORTION OF BUILDING ON SITE, & SHALL NOTIFY THE ARCHITECT WELL IN ADVANCE OF ANY DISCREPANCIES OR ERRORS.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUY NOT LIMITED TO IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, WATER LINES, SEWER & STORMWATER LINES, GAS LINES, ETC.
- THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING SITE CONDITIONS TO REMAIN, INCLUDING TREES & SHRUBS, PAVING, FENCES, WALLS, ETC.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS PRIOR TO THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- INSTALL ALL EQUIPMENT & MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. PRIOR TO ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- SEALANT, CAULKING & FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS & STANDARD INDUSTRY & BUILDING PRACTICES.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, & WASTE MATERIALS ON A REGULAR BASIS OF ALL SUBCONTRACTORS & TRADES, & SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS INSIDE OR OUTSIDE THE JOB SITE.
- THE GENERAL CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR THE INSTALLATION OF ALL EQUIPMENT, CASEWORK, CABINETS, WOOD TRIM, ACCESSORIES, HANDRAILS, ETC.
- FOR ALL FINISHES AT FLOORS, WALLS, & CEILINGS, REFER TO CLIENT.
- DRIVEWAY ORIENTATION, HARDSCAPE, & LANDSCAPE ARE DESIGN/BUILD UNDER THE DIRECT SUPERVISION OF THE GENERAL CONTRACTOR INCLUDED UNDER THIS CONTRACT. FOLLOW LANDSCAPE & ARCHITECTURAL DRAWINGS WHERE APPROPRIATE FOR DESIGN INTENT.
- THE GENERAL CONTRACTOR SHALL ADHERE TO ALL APPLICABLE BUILDING CODES, AS WELL AS CITY, COUNTY, & STATE BUILDING REGULATIONS, ALSO ADHERE TO O.S.H.A GUIDELINES.

A	ANCHOR BOLT	D	DET./DTL	DETAIL	S	GAUGE	N	NORTH	(S CONT.)
A.B.	ABOVE	DEMO	DECK/SH-TION	DECK/SH-TION	GA.	GENERAL CONTRACTOR	N.C.	NOT IN CONTRACT	STL
AC	AIR CONDITIONER, ANG	Ø, DIA.	DIAGONAL	DIAGONAL	GEN.	GENERAL	NO.#	NUMBER	STD
ADJ.	ADJUSTABLE	DN	DOWN	DOWN	GEN.	GENERAL	NORM.	NORMAL	STRUC.
A.F.F.	ABOVE FINISHED FLOOR	DKG	DECKING	DECKING	GL.	GLASS	N.R.C.	NOISE REDUCTION COEFFICIENT	SUSP.
ALUM.	ALUMINUM	DN	DOWN	DOWN	GLZG	GLAZING	N.T.S.	NOT TO SCALE	SVCE
A+ +	AND	D.O.	DOOR OPENING	DOOR OPENING	GRAB	GRAB			SYM.
ANG	ANGLE	DR	DOOR	DOOR	GSM	GALVANIZED SHEET METAL	O.C.	ON CENTER	T
ANDZDZ	ANDZDZ	D.S.	DOWN SPOUT	DOWN SPOUT	G.F.L.	GROUND FAULT INTERRUPTED	O.D.	OUTSIDE DIAMETER	TEL
AP.	ACCESS PANEL	DWG	DRAWING	DRAWING	GWB	GYP/SUM WALL BOARD	O.H.	OVERHANG	TEMP
ARCH.	ARCHITECT, -URAL	E	EAST	EAST	H	HEADER	OPNG	OPENING	T&G
BATT.	BATTERY	E	EAST	EAST	HDR	HEADER	OPP	OPPOSITE	THK
B.O.	BOTTOM OF BOARD	EL	ELEVATION	ELEVATION	HWDD	HARDWOOD	OVHD	OVERHEAD	THRU
BTUM.	BUTYLIUM	EL ELEV.	ELEVATION	ELEVATION	HOLLOW METAL	HOLLOW METAL			T.O.W.
BLDG	BUILDING	EL. ELEV.	ELEVATION	ELEVATION	HORIZ.	HORIZONTAL			TYP.
BLKG	BLOCKING	EMER.	EMERGENCY	EMERGENCY	H.P.	HIGH POINT	PERF.	PERFORATED	U.N.O.
BLW	BELOW	ENCL.	ENCLOSED(-) -URE	ENCLOSED(-) -URE	H.R.	HOUR	PERM.	PERMEABLE	UNO.
BLT	BOTTOM	ENG.	ENGINEERING	ENGINEERING	H.H.T	HIGH HEIGHT	PLAS.	PLASTIC	UNO.
BRK	BRICK	ENT.	ENTRY, -ANCE	ENTRY, -ANCE	H.H.T	HIGH HEIGHT	PLAS.LAM.	PLASTIC LAMINATE	VENT.
B.S.	BOTH SIDES	EQ.	EQUIPMENT	EQUIPMENT	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
B.S.M.	BOTH SIDES BASEMENT	EQIP.	EQUIPMENT	EQUIPMENT	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C	CENTER LINE	EXIST	EXISTING	EXISTING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C	CENTER LINE	EXIST	EXISTING	EXISTING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CAB.	CABINET	EXP.	EXPANSION	EXPANSION	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CAP.	CAPACITY	EXT.	EXTERIOR	EXTERIOR	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CEM.	CEMENT, -OUS	F	FRESH AIR INTAKE	FRESH AIR INTAKE	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CER.	CERAMIC	F.A.I.	FRESH AIR INTAKE	FRESH AIR INTAKE	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C.F.	CUBIC FEET PER MINUTE	F.A.I.	FRESH AIR INTAKE	FRESH AIR INTAKE	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C.F.M.	CUBIC FEET PER MINUTE	FIBERGL.	FIBERGLASS	FIBERGLASS	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C.J.	CONTROL JOINT	FIN.	FINISHED	FINISHED	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CLOS.	CLOSET	F.F.	FINISHED FLOOR	FINISHED FLOOR	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CMU	CONCRETE MASONRY UNIT	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CONC.	CONCRETE	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CONTR.	COUNTER	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C.O.	CLEANOUT	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
COL.	COLUMN	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
COMM.	COMMUNICATION	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CONSTR.	CONSTRUCTION	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CONTR.	CONTRACTOR	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CORR.	CORROSION	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C.P.	CONTROL POINT	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CPT	CARRIET	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CRS	COURSE(S)	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C.S.A.	CERAMIC TILE ACCESS	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
C.T.	CERAMIC TILE CENTER	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.
CTR	CENTER	CLNG	CEILING	CEILING	HTR	HEATING, HEATER	PLUMB	PLUMBING	VERT.



PO BOX 1769 [post]
SUN VALLEY, ID 83353
220 River St. E [courier]
KETCHUM, ID 83343
V.208.721.0633 / V.208.721.7160



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REVISION DATE	REV 1
---------------	-------



1 BUILDING MASSING MODEL
A0.3



Daniel Peter Hollis

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REVISION DATE REV 1 09/04/18

D.REVIEW 08/27/18

ISSUE/DATE SCHEMATIC 06/26/18
DRAWN BY DPH, JJR
CHECKED BY DPH, JJR
DATE 06/12/18
JOB NO. 1050

RESIDENCE

SHANE & HILLARY
FELKER

LOT 33, BLOCK 2
255 HILLSIDE DRIVE
KETCHUM, IDAHO

**BUILDING
MASSING MODEL**

A **0.3**
CATEGORY SEQUENCE



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REVISION DATE REV 1 09/04/18

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ISSUE/DATE SCHEMATIC 06/26/18
 DRAWN BY DPH, JJR
 CHECKED BY DPH, JJR
 DATE 06/12/18
 JOB NO. 1050

RESIDENCE

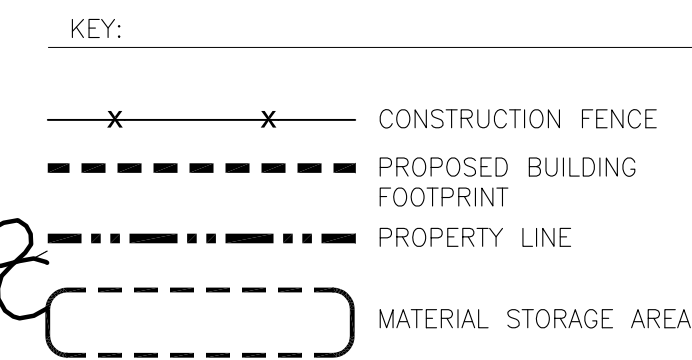
SHANE & HILLARY
 FELKER

LOT 33, BLOCK 2
 255 HILLSIDE DRIVE
 KETCHUM, IDAHO

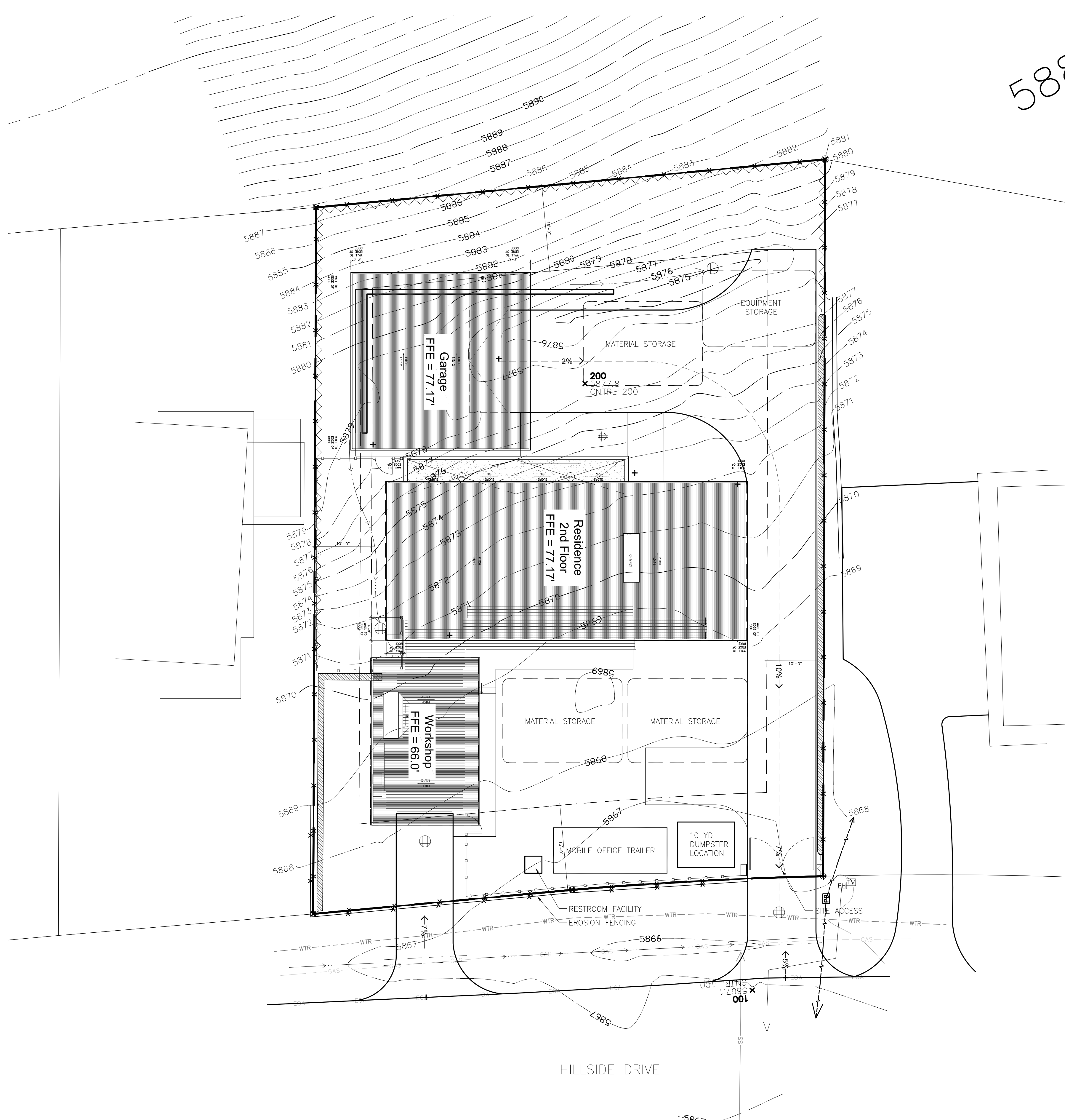
**CONSTRUCTION
 MANAGEMENT
 SITE PLAN**

A 0.6
 CATEGORY SEQUENCE

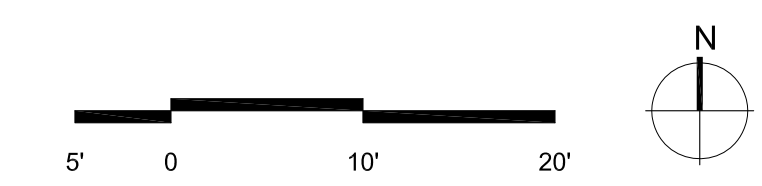
- NOTES:
1. CONSTRUCTION HOURS ARE BETWEEN 7:30 AM - 7:00 PM.
 2. NO CONSTRUCTION WILL TAKE PLACE ON SUNDAYS OR MAJOR HOLIDAYS.
 3. THE MAXIMUM NOISE LEVEL THAT WILL EVER TAKE PLACE DURING CONSTRUCTION HOURS IS 90 dBA.
 4. IF CONSTRUCTION TAKES PLACE OVER WINTER MONTHS, ALL EXCESS SITE SNOW WILL BE REMOVED FROM SITE AND NOT STORED.
 5. CONSTRUCTION SCHEDULE: ONCE PERMITTED CONSTRUCTION WILL TAKE PLACE SEPTEMBER (2018) THROUGH SEPTEMBER (2019). ANY LANDSCAPING WILL TAKE PLACE IN THE SPRING ONCE ANY GROUND SNOW COVER HAS MELTED.



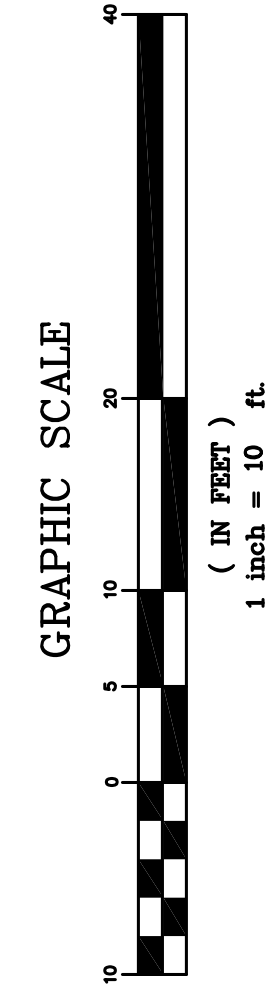
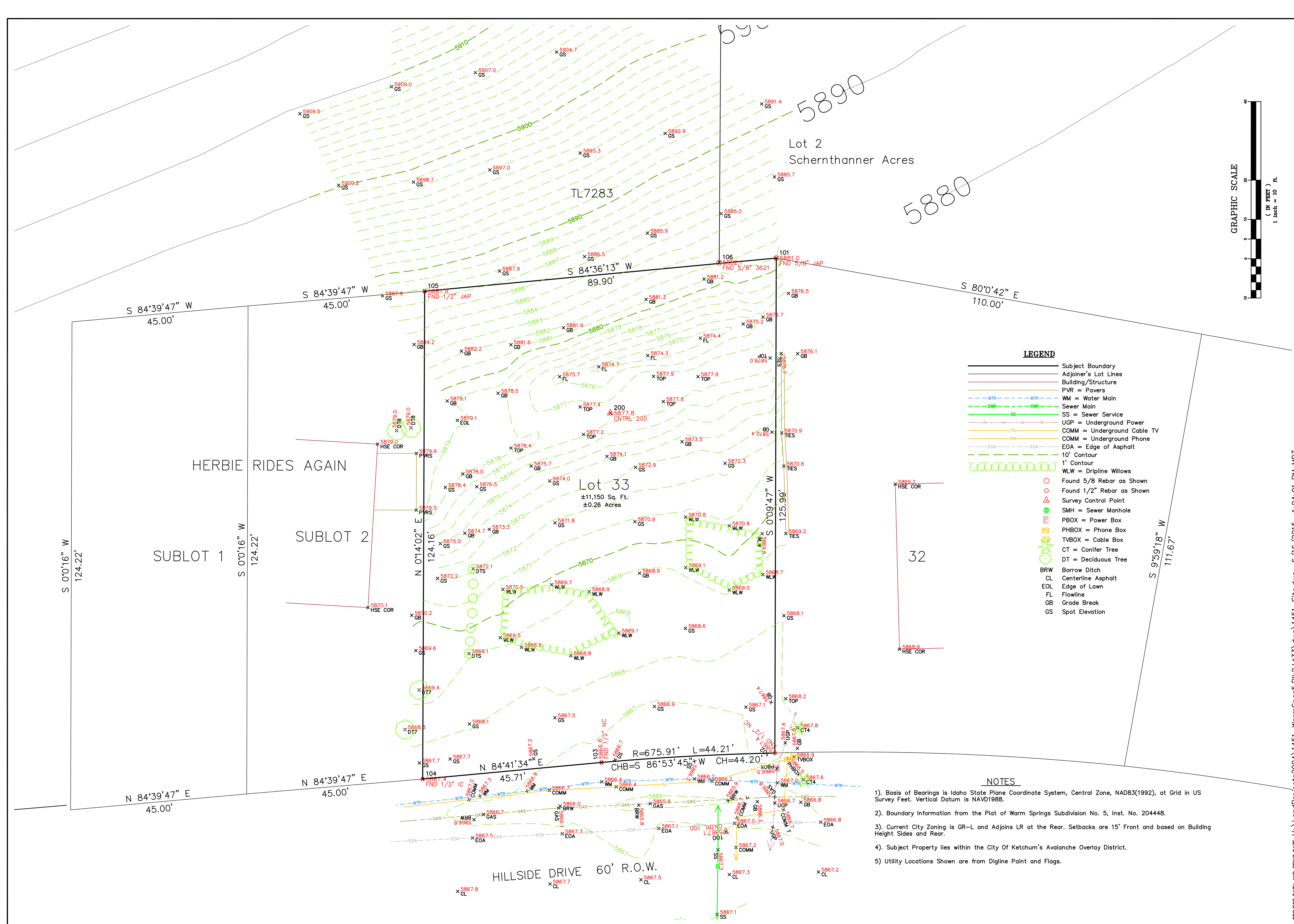
- TRUCKING ROUTES:
1. TO SITE: WARM SPRINGS RD RIGHT ONTO WANDERERS WAY THEN ONTO HILLSIDE DRIVE.
 2. AWAY: HILLSIDE DRIVE WEST TO TURF DRIVE AND THEN LEFT ONTO WARM SPRINGS ROAD.



1 CONSTRUCTION MANAGEMENT PLAN
 A0.6 SCALE: 1" = 10'



S:\HR-ARCHITECTURAL PROJECTS\1050-255 Hillside Drive Residence\Arch\Sheets\A0.6 CONSTRUCTION STAGING PLAN.dwg, 9/5/2018 9:18:59 AM, Adobe PDF



LEGEND

	Subject Boundary
	Adjoiner's Lot Lines
	Building/Structure
	PVR = Pavers
	WM = Water Main
	Sewer Main
	SS = Sewer Service
	UGP = Underground Power
	COMM = Underground Cable TV
	COMM = Underground Phone
	EOA = Edge of Asphalt
	10' Contour
	1' Contour
	WLW = Dripline Willows
	Found 5/8 Rebar as Shown
	Found 1/2\" Rebar as Shown
	Survey Control Point
	SMH = Sewer Manhole
	PBOX = Power Box
	PHBOX = Phone Box
	TVBOX = Cable Box
	CT = Conifer Tree
	DT = Deciduous Tree
	BRW = Borrow Ditch
	CL = Centerline Asphalt
	EOL = Edge of Lawn
	FL = Flowline
	GB = Grade Break
	GS = Spot Elevation

- NOTES**
- 1). Basis of Bearings is Idaho State Plane Coordinate System, Central Zone, NAD83(1992), at Grid in US Survey Feet. Vertical Datum is NAVD1988.
 - 2). Boundary Information from the Plat of Warm Springs Subdivision No. 5, Inst. No. 204448.
 - 3). Current City Zoning is GR-L and Adjoins LR at the Rear. Setbacks are 15' Front and based on Building Height Sides and Rear.
 - 4). Subject Property lies within the City Of Ketchum's Avalanche Overlay District.
 - 5). Utility Locations Shown are from Digline Paint and Flags.

PROJECT PATH AND PRINT DATE U:\LandProjects\2004\1451_WarmSprings5\Blk2\Lot33.dwg 6/16/2015 1:04:01 PM MDT

Alpine Enterprises Inc.
 Surveying, Mapping, and Natural Hazards Consulting
 280 Rivers Street East, Lower Level
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1988 727-1987 fax
 email: bsmith@alpineenterprisesinc.com

LOT 33, BLK 2, WARM SPRINGS SUBDIVISION 5
 WITHIN S11, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR SAWTOOTH DEVELOPMENT

REVISIONS	NO	DATE	BY

Sheet 1 of 1

General Notes

1. Base map information taken from survey by ALPINE ENTERPRISES received 09/09/15 and from on-site information. Architectural information provided by HOLLIS RUMPELTES ARCHITECTS received 08/29/18. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

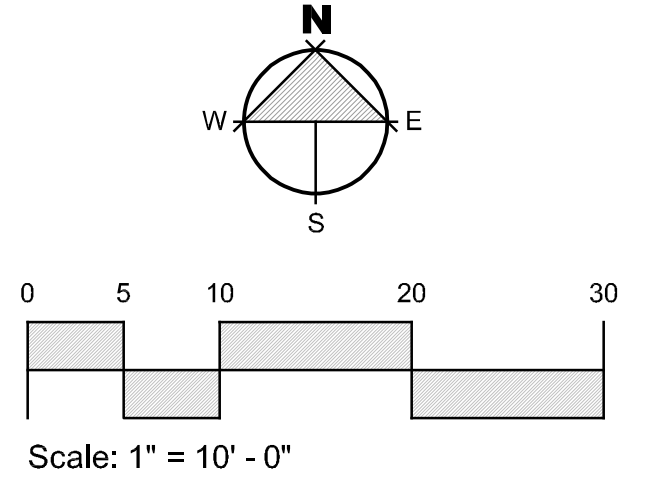
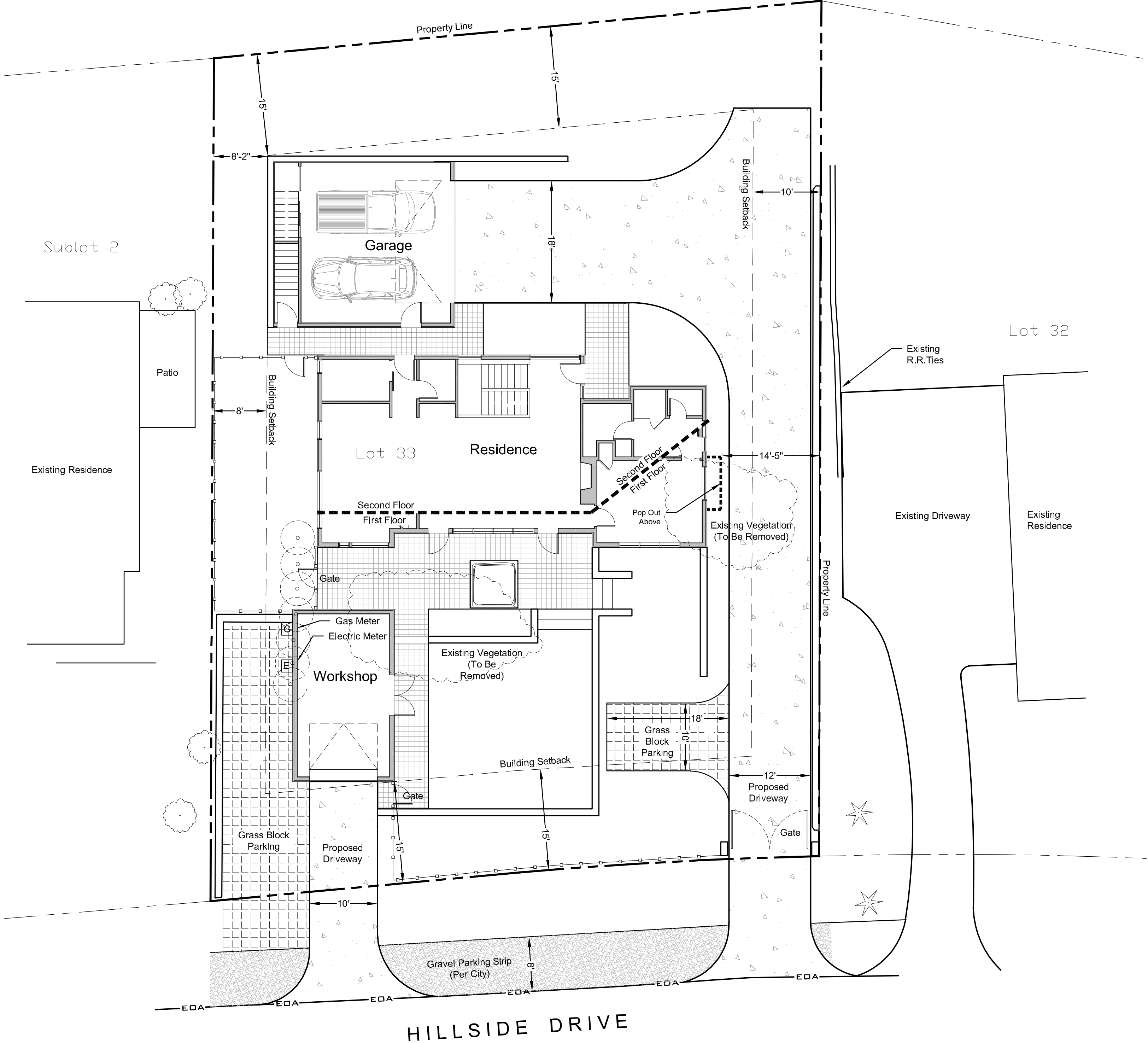
	Property Line
	Building Setback
	Edge Of Asphalt
	Edge Of Driveway
	Fence
	Utilities
	Asphalt
	Patio/Walkway Pavers
	Gravel Parking Strip
	Grass Block

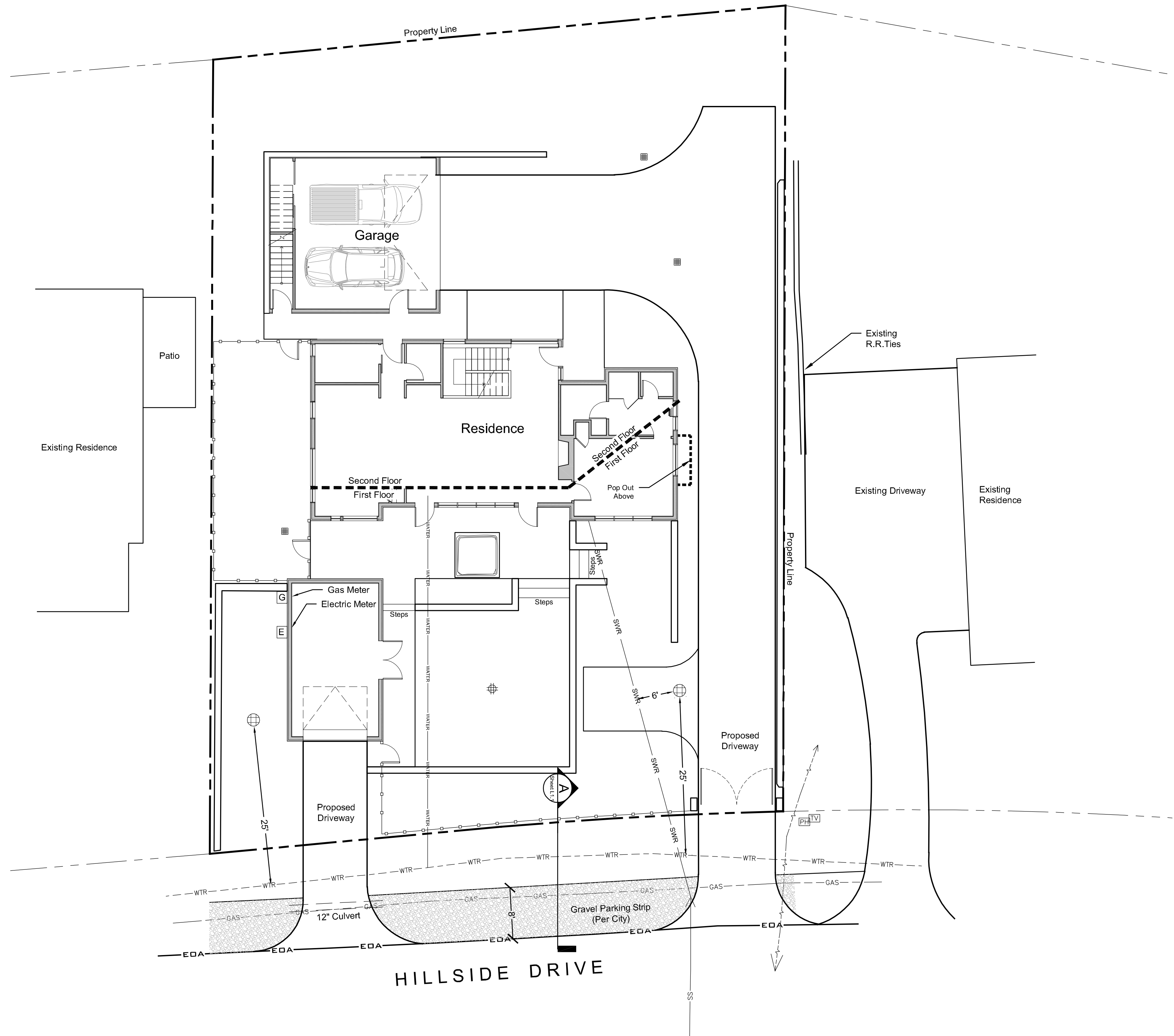
Existing Tree Legend

	Existing Evergreen Tree (To Remain)
	Existing Deciduous Tree (To Remain)
	Existing Vegetation (To Be Removed)
	Existing Deciduous Tree (To Be Removed)

Lot Coverage

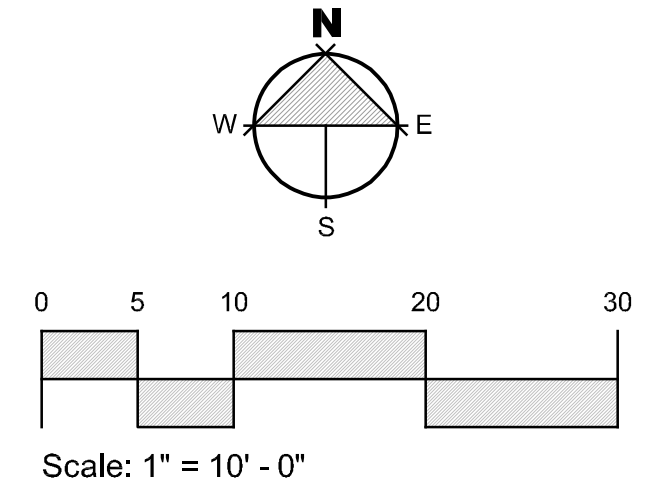
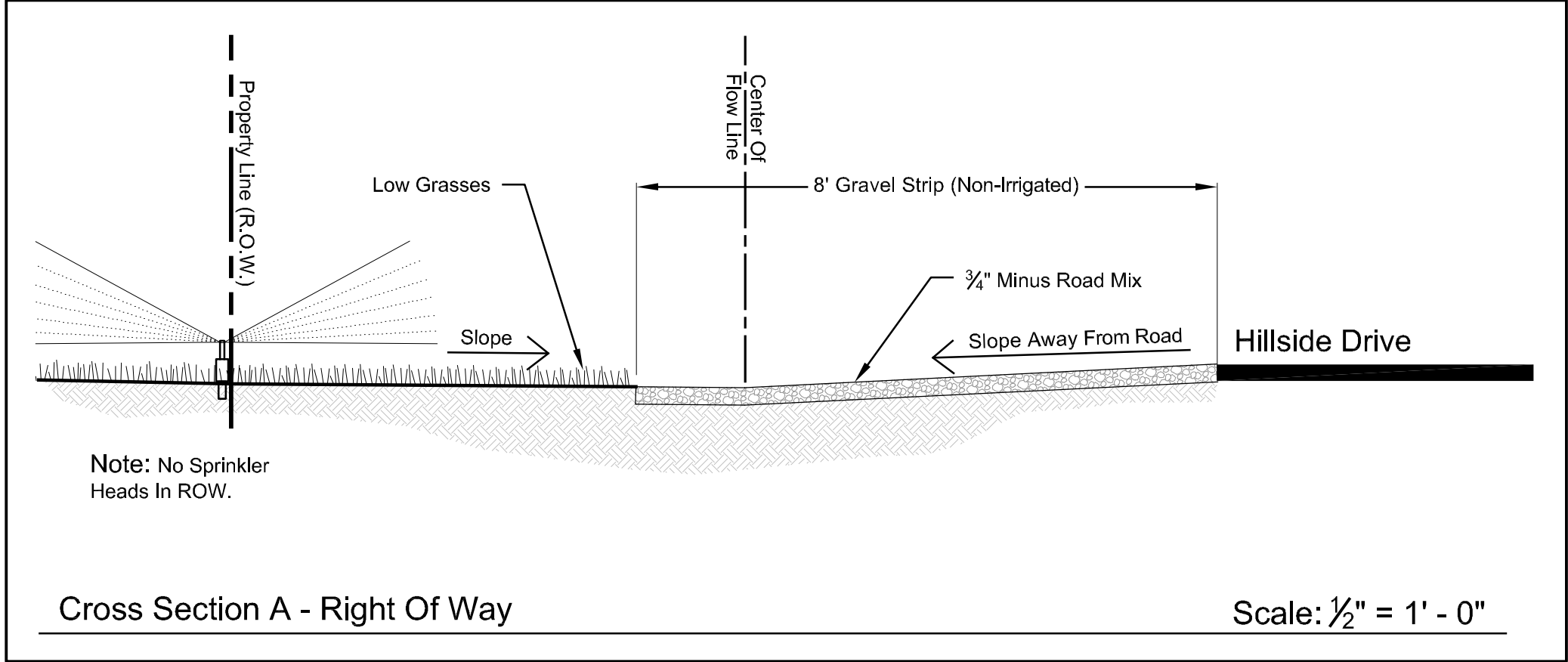
Total Parcel:	11,150 Sq. Ft.
Buildings:	2,561 Sq. Ft. (23% Of Site)
Driveway:	2,750 Sq. Ft. (24.6% Of Site)

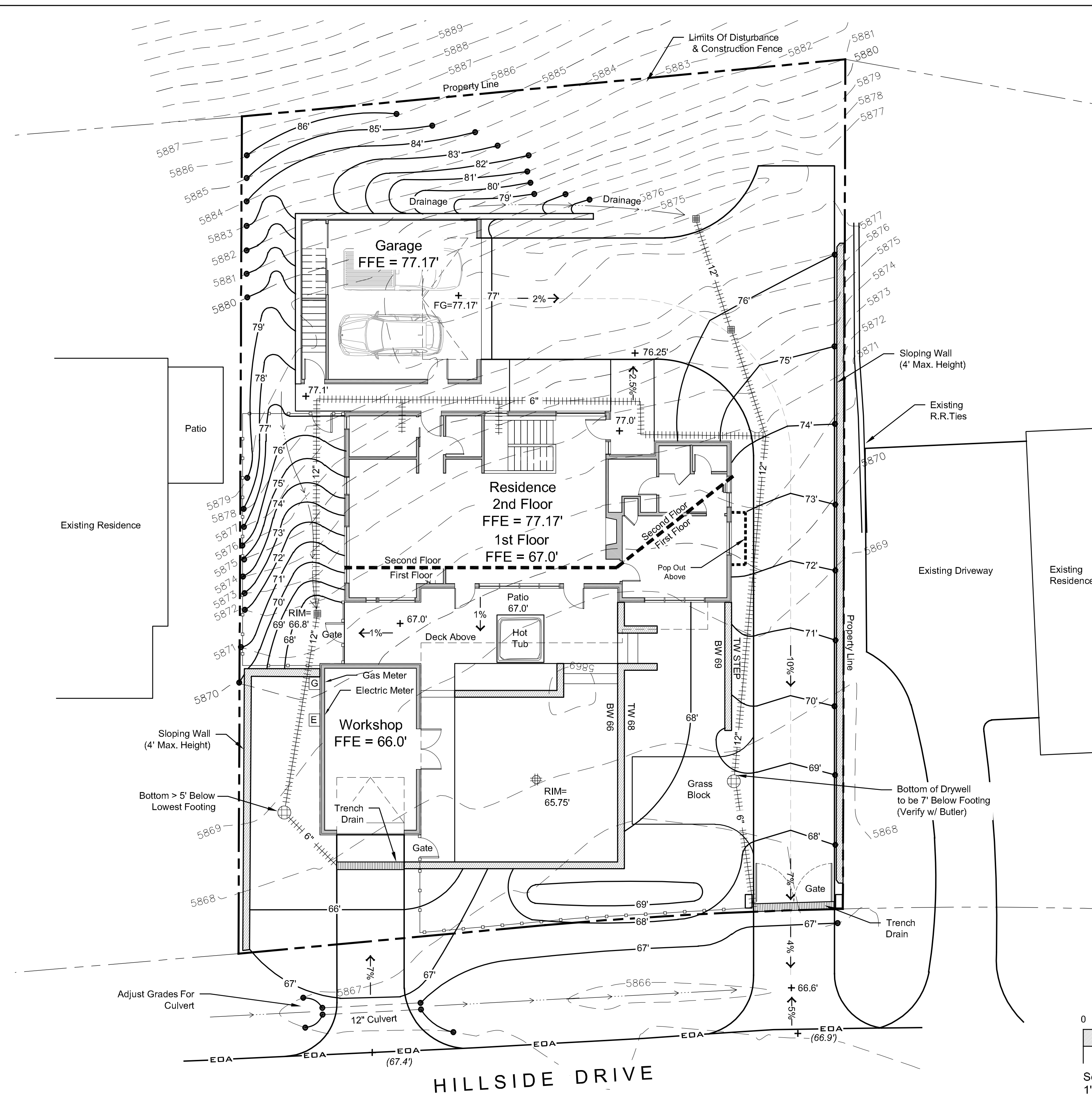




Plan Legend	
---	Property Line
— EDA —	Edge Of Asphalt
—	Edge Of Driveway
—○—○—	Fence
---	Gas Main Line
---	Existing Water Line
---	Sewer Main Line
— WATER —	Water Line
— ELEC —	Electrical Line
— GAS — GAS —	Gas Line
— SWR —	Sewer Line
---	12" Culvert
[E] [G]	Utility Meters
⊕	Large Drywell
⊕	Small Drywell
■	Catch Basin
▨	Gravel Strip

Felker Residence
255 Hillside Dr.
Lot 33, BLK 2, Warm Springs Sub 5
Ketchum, Idaho





Grading Plan Notes

- Landscape architect shall review grading on site prior to completion.
- Topsoil shall be imported for all lawn and bed areas at depth of 4".
- Any topsoil shall be retained with vegetation for use in reestablishing new natural areas.

Plan Legend

- Property Line
- Edge Of Asphalt
- Driveway
- Fence
- Limits Of Disturbance & Construction Fence
- Existing Contour
- Proposed Contour
- Roof Line
- Proposed Segmental Block Retaining Wall
- 12" Culvert
- Utilities
- 6" or 12" Solid PVC Pipe

Cut And Fill

Cut:	
Building:	500 cu. yds.
Site:	100 cu. yds.
Total:	600 cu. yds.
Fill:	
Site:	100 cu. yds.
Notes:	
Cut Amounts Shown Are "In Place."	
Fill Amounts Are For Mass Excavation And Do Not Include Import Fill Or Gravel For Trenches, Foundations, Structural Base For Driveways, etc.	

NOTE:

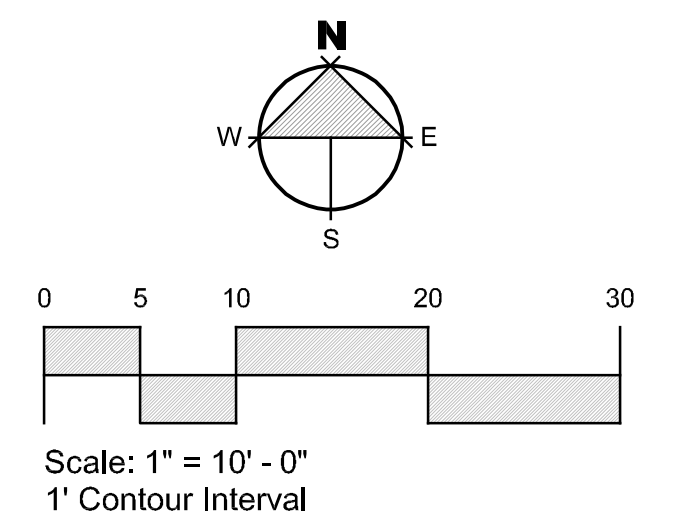
- ALL ROOF DRAINS AND DOWNSPOUTS ARE TO BE PIPED TO DRYWELLS
- CUTOFF TRENCH PER SOILS REPORT BY BUTLER ASSOC.

Grading Legend

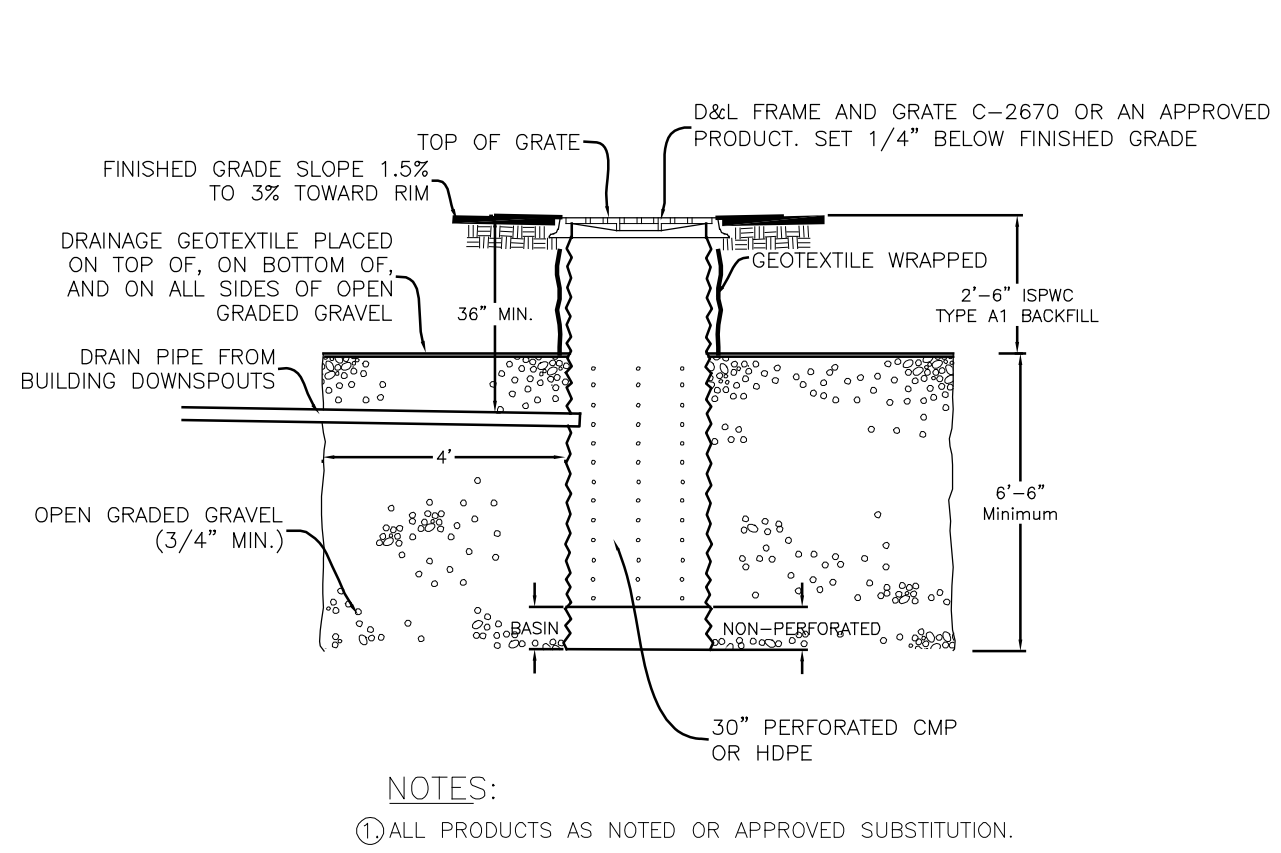
- Drainage Swale
- Existing Spot Elevations
- Large Drywell (2)
- Small Drywell (1)
- Catch Basin - 5' Precast (3)
- Trench Drain (2)
- Proposed Drainage Direction With Slope Percentage
- Proposed Spot Elevations

Grading Abbreviations

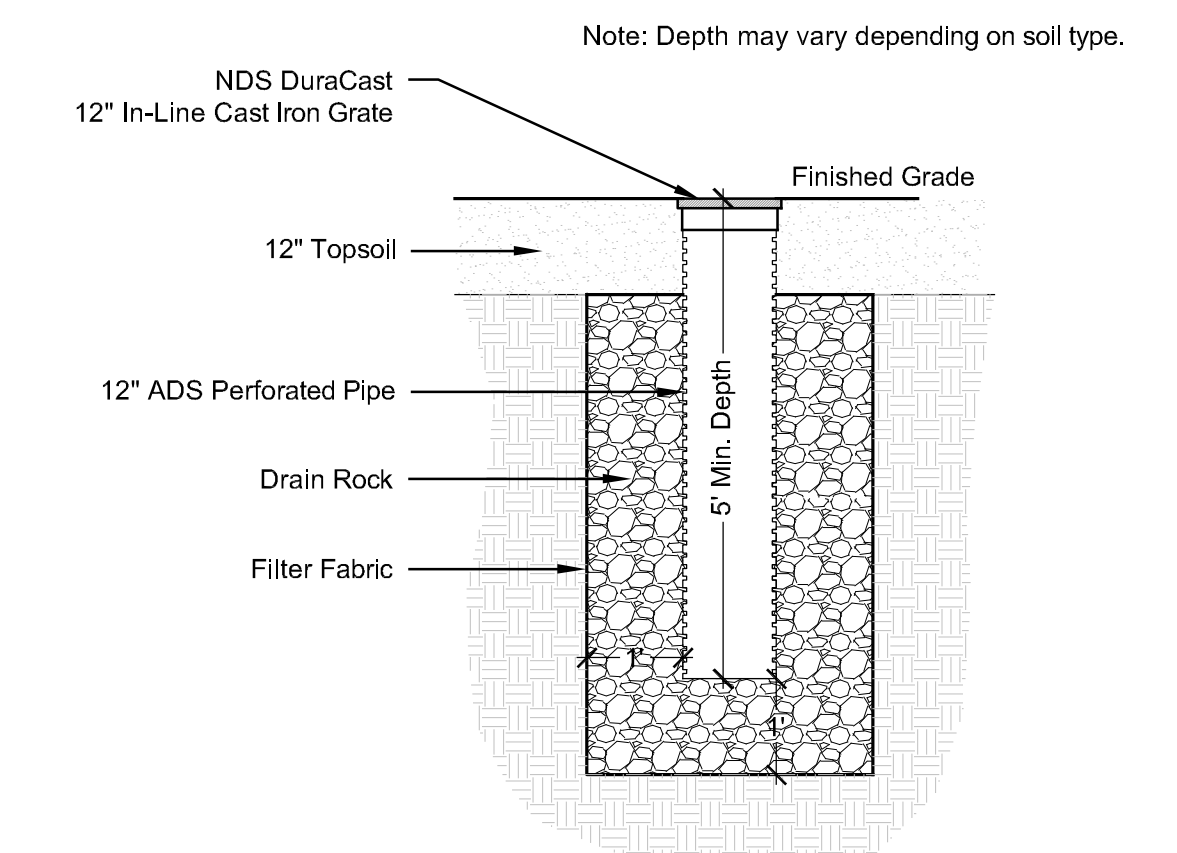
- FFE FINISHED FLOOR ELEVATION
- HP HIGH POINT
- TW TOP OF WALL
- BW BOTTOM OF WALL
- RIM DRYWELL RIM ELEVATION
- INV CULVERT INVERT ELEVATION
- FG FINISHED GRADE



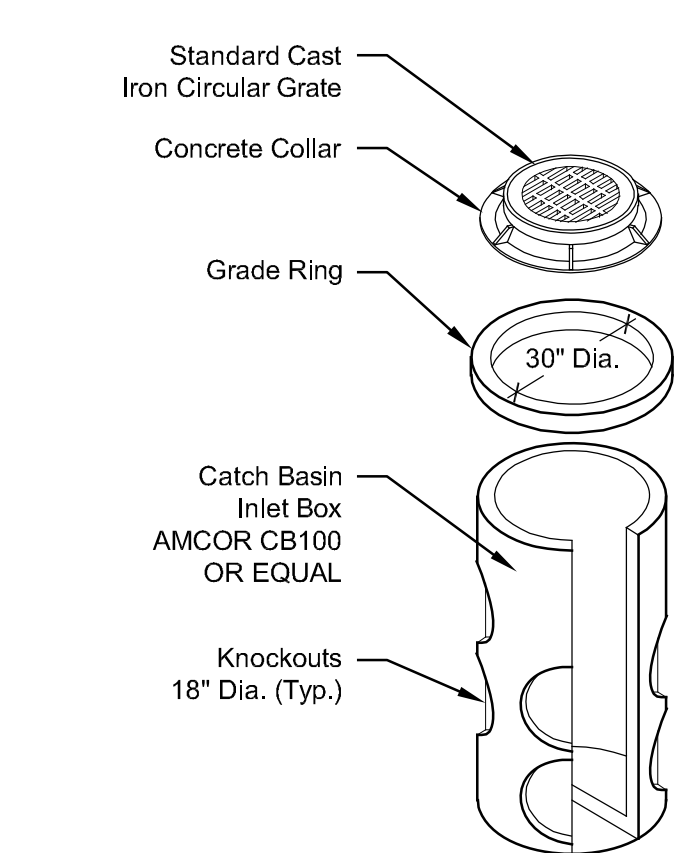
BUTLER ASSOCIATES, INC.
 Geotechnical & Civil Engineering & Land Planning Consulting
 208 Spruce Ave. N.
 P.O. Box 1034, Ketchum, ID 83340
 Office: (208) 720-6432
 Email: svgeotech@gmail.com



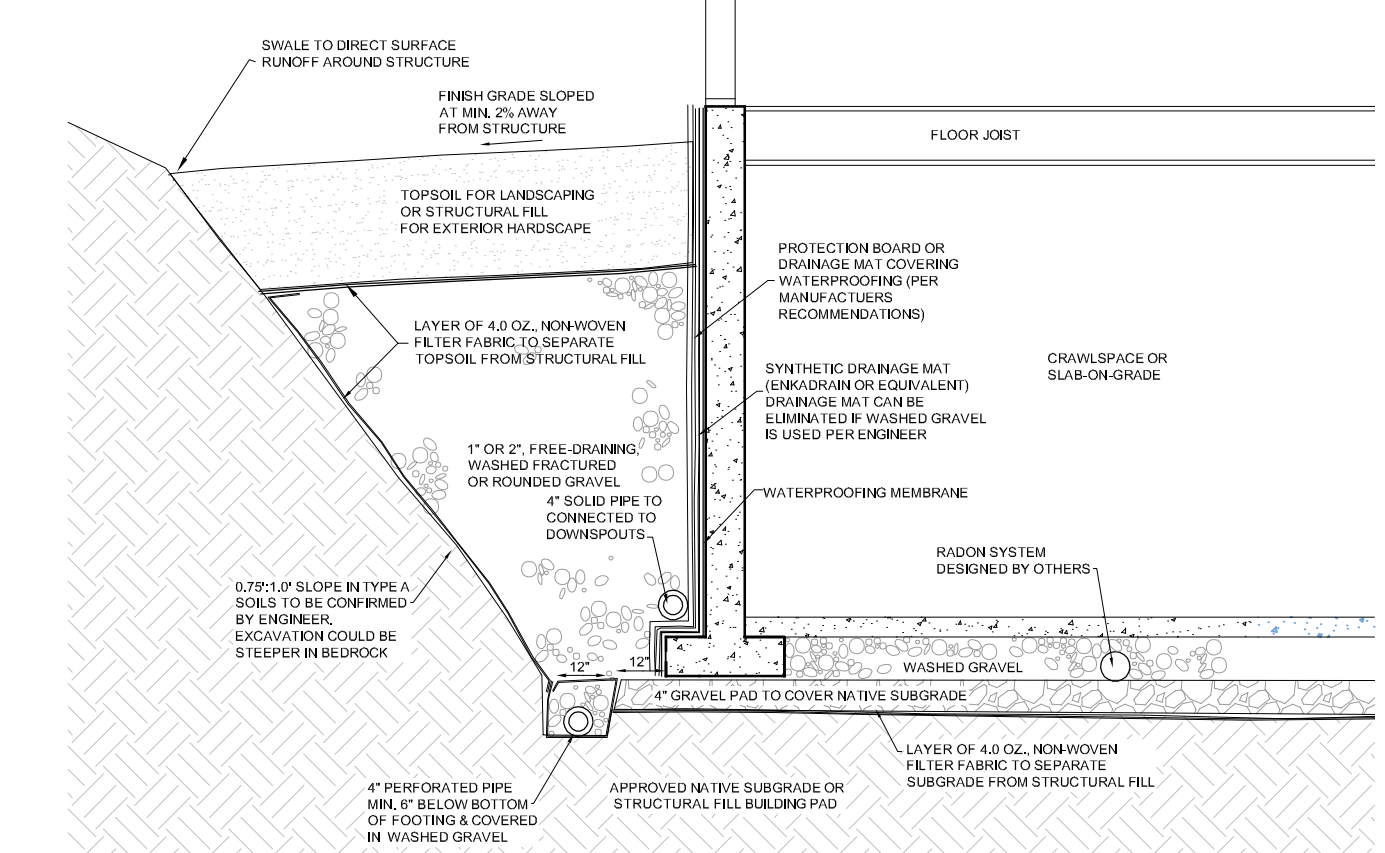
1 Large Drywell Scale: No Scale



2 Small Drywell (12" x 5") Scale: No Scale



3 Catch Basin - 5' Precast Scale: No Scale



4 Cutoff Trench Scale: No Scale

CONSTRUCTION SET - 08/31/18

Felker Residence
 EGGERS ASSOCIATES, P.A.
 Landscape Architecture
 T: (208) 725-0988
 F: (208) 725-0972
 P.O. Box 955
 Ketchum, ID. 83340

Felker Residence
 255 Hillside Dr.
 Lot 33, BLK 2, Warm Springs Sub 5
 Ketchum, Idaho

Job No: 18.15
 Scale: 1" = 10' - 0"
 Issue/Revisions: Date:
 Mod. DR. 08/15/18
 Revised 08/31/18

Sheet Title:
 Grading & Drainage Plan

Sheet No:
 L2.0

Landscape Plan Notes

1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
2. All planting beds to have 3" cover of bark or compost mulch.
3. Trees shown at approximately 2/3 mature diameter.
4. All utilities are underground and shall be located prior to any work.

Existing Tree Legend

- Existing Evergreen Tree (To Remain)
- Existing Deciduous Tree (To Remain)

Plant Legend

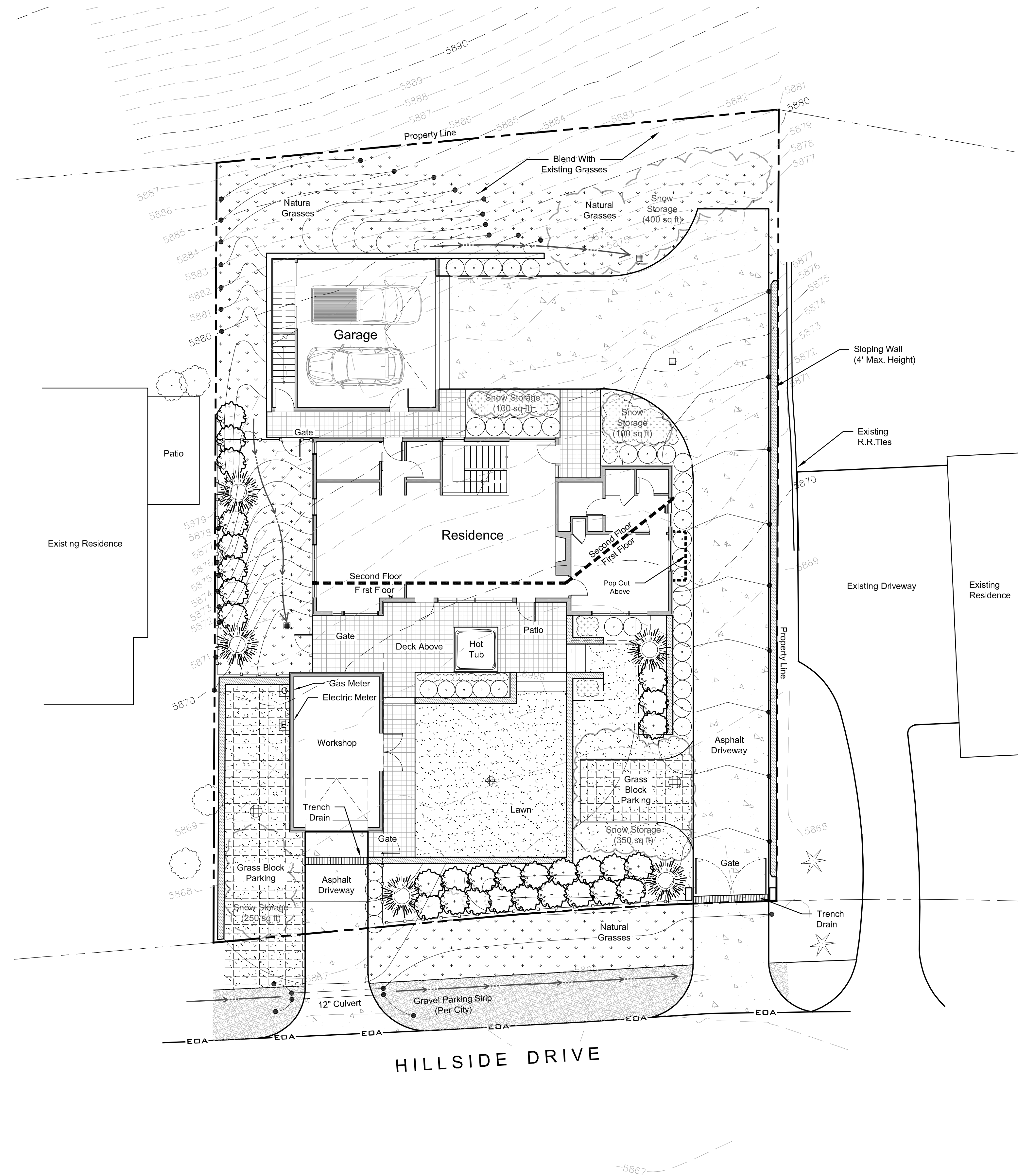
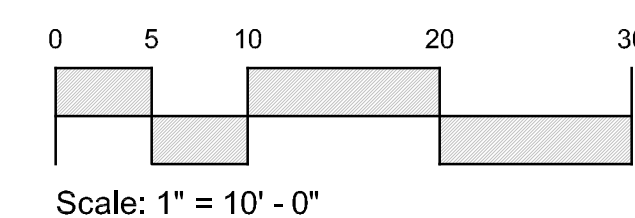
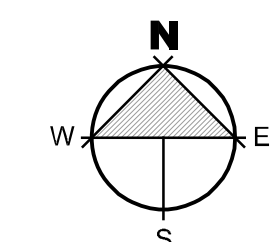
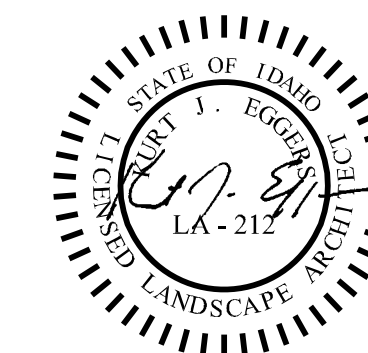
Qty.	Species	Size
3	Evergreen Trees Colorado Spruce	12'
29	Deciduous Trees Quaking Aspen	3" Cal.
47	Deciduous Shrubs Various	5 gal.
100 sq.ft.	Ground Cover Various	Flats
1,700 sq.ft.	Grasses Lawn Mix	Sod
2,000 sq.ft.	Natural Grasses	Hydroseed

Plan Legend

- Property Line
- Edge Of Asphalt
- Driveway
- Fence
- Existing Contour
- Proposed Contour
- Proposed Retaining Wall
- Drainage Swale
- 12" Culvert
- Utilities
- Large Drywell
See Detail 1, Sheet L2.0
- Small Drywell
See Detail 2, Sheet L2.0
- Catch Basin
See Detail 3, Sheet L2.0
- Trench Drain
- Asphalt
- Patio/Walkway Pavers
- Gravel Parking Strip
- Grass Block

Snow Storage

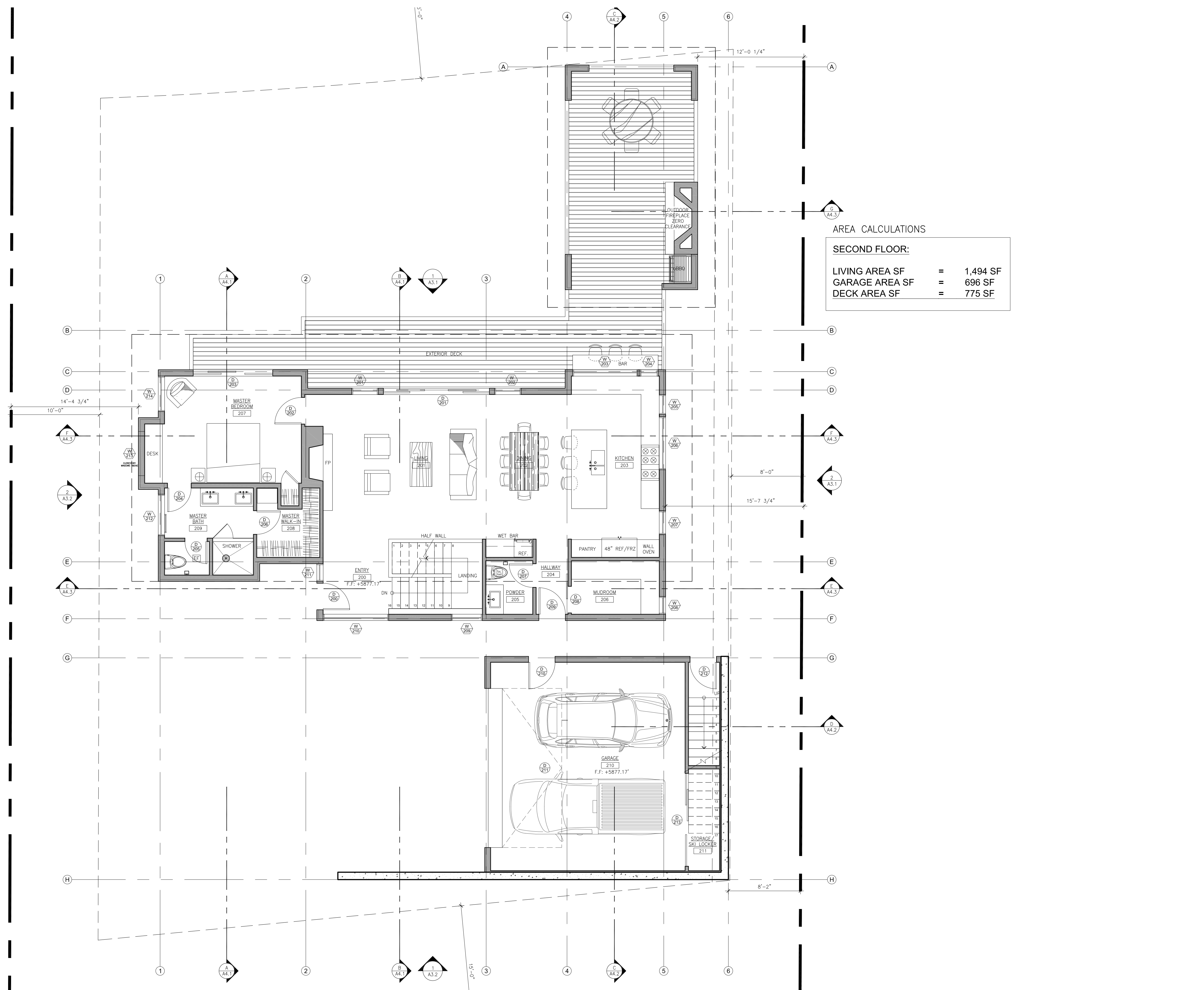
Description	Square Footage
Proposed Driveways	2,400
	x 50%
Required Snow Storage	1,200
Proposed Snow Storage	1,200





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AREA CALCULATIONS

SECOND FLOOR:

LIVING AREA SF	=	1,494 SF
GARAGE AREA SF	=	696 SF
DECK AREA SF	=	775 SF

REVISION DATE REV 1 09/04/18

D.REVIEW 08/27/18

ISSUE/DATE SCHEMATIC 06/26/18
 DRAWN BY DPH, JJR
 CHECKED BY DPH, JJR
 DATE 06/12/18
 JOB NO. 1050

RESIDENCE

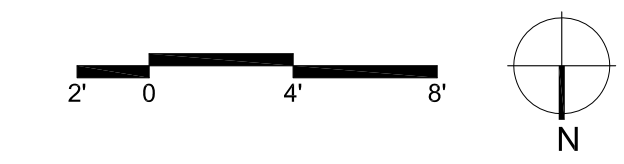
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 FELKER

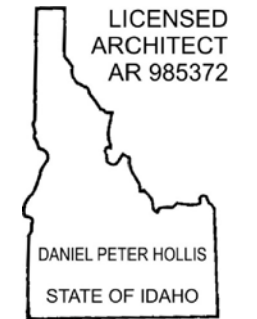
LOT 33, BLOCK 2
 255 HILLSIDE DRIVE
 KETCHUM, IDAHO

ARCHITECTURAL
 FLOOR PLANS

A 2.3
 CATEGORY SEQUENCE

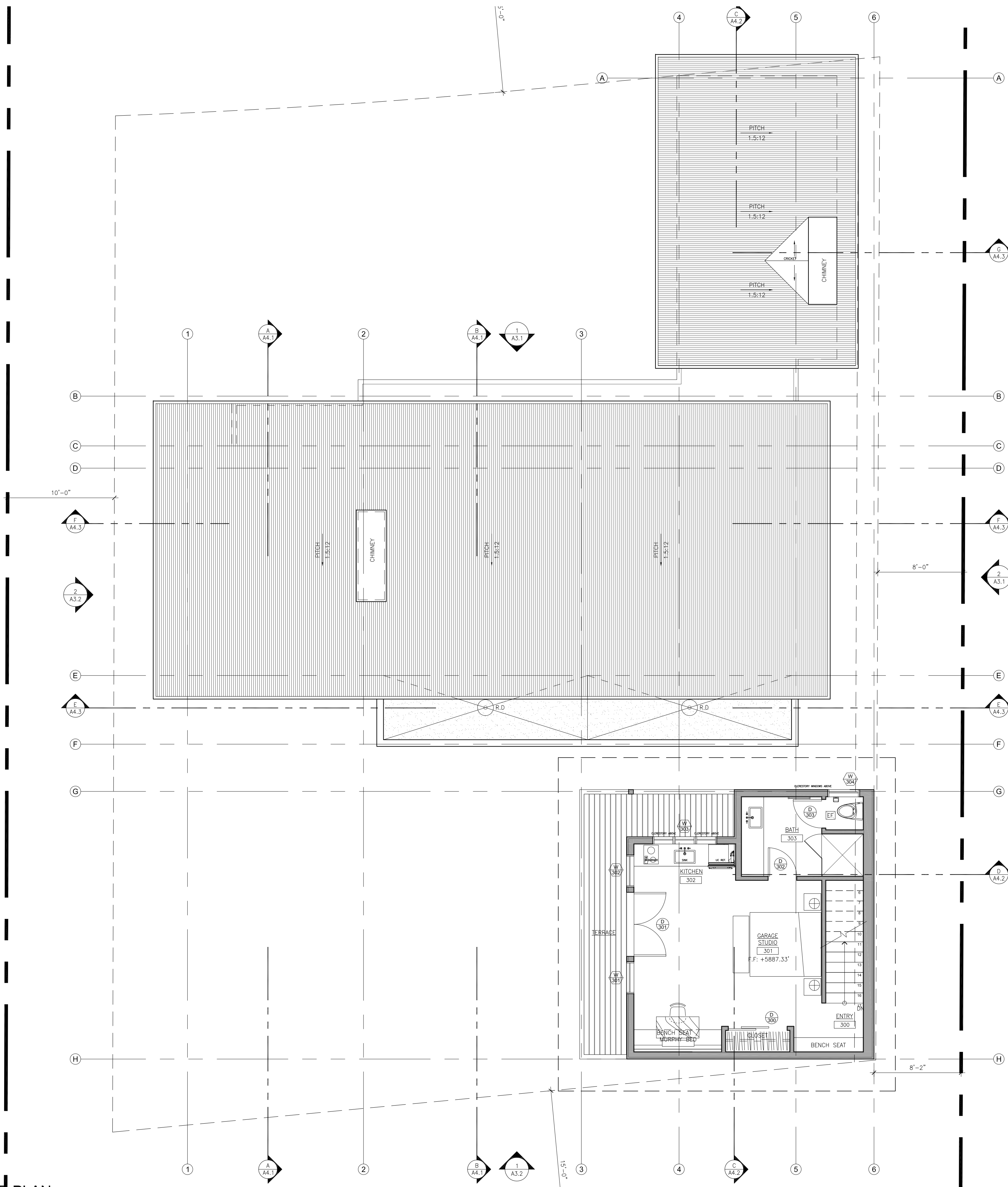
1 SECOND FLOOR PLAN
 A2.3 SCALE: 3/16" = 1'-0"





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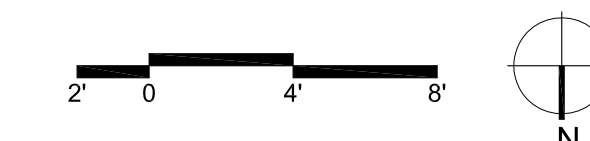


AREA CALCULATIONS

GARAGE SECOND FLOOR:

LIVING AREA SF	=	484 SF
DECK AREA SF	=	156 SF

1 GARAGE STUDIO FLOOR PLAN
 A2.4 SCALE: 3/16" = 1'-0"



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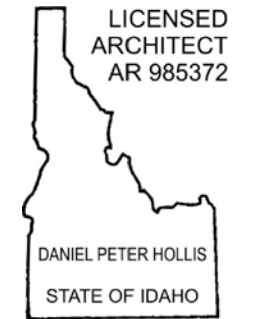
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 FELKER

LOT 33, BLOCK 2
 255 HILLSIDE DRIVE
 KETCHUM, IDAHO

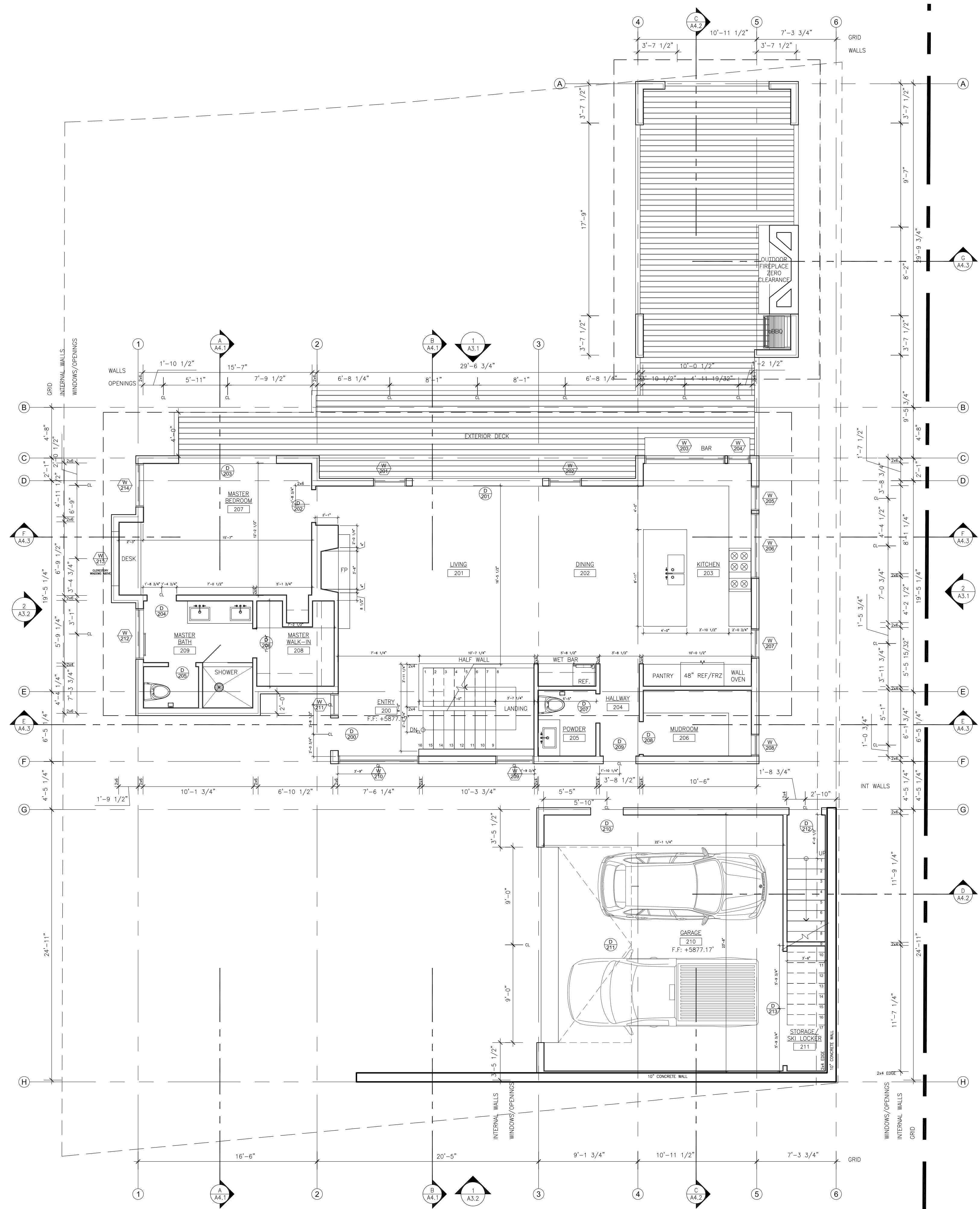
ARCHITECTURAL
 FLOOR PLANS

A 2.4
 CATEGORY SEQUENCE

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1 SECOND FLOOR DIMENSIONED PLAN
A2.6 SCALE: 3/16" = 1'-0"

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09/04/18	1	REVISED
08/27/18	D	D REVIEW
06/26/18	S	SCHEMATIC

RESIDENCE
SHANE & HILLARY FELKER

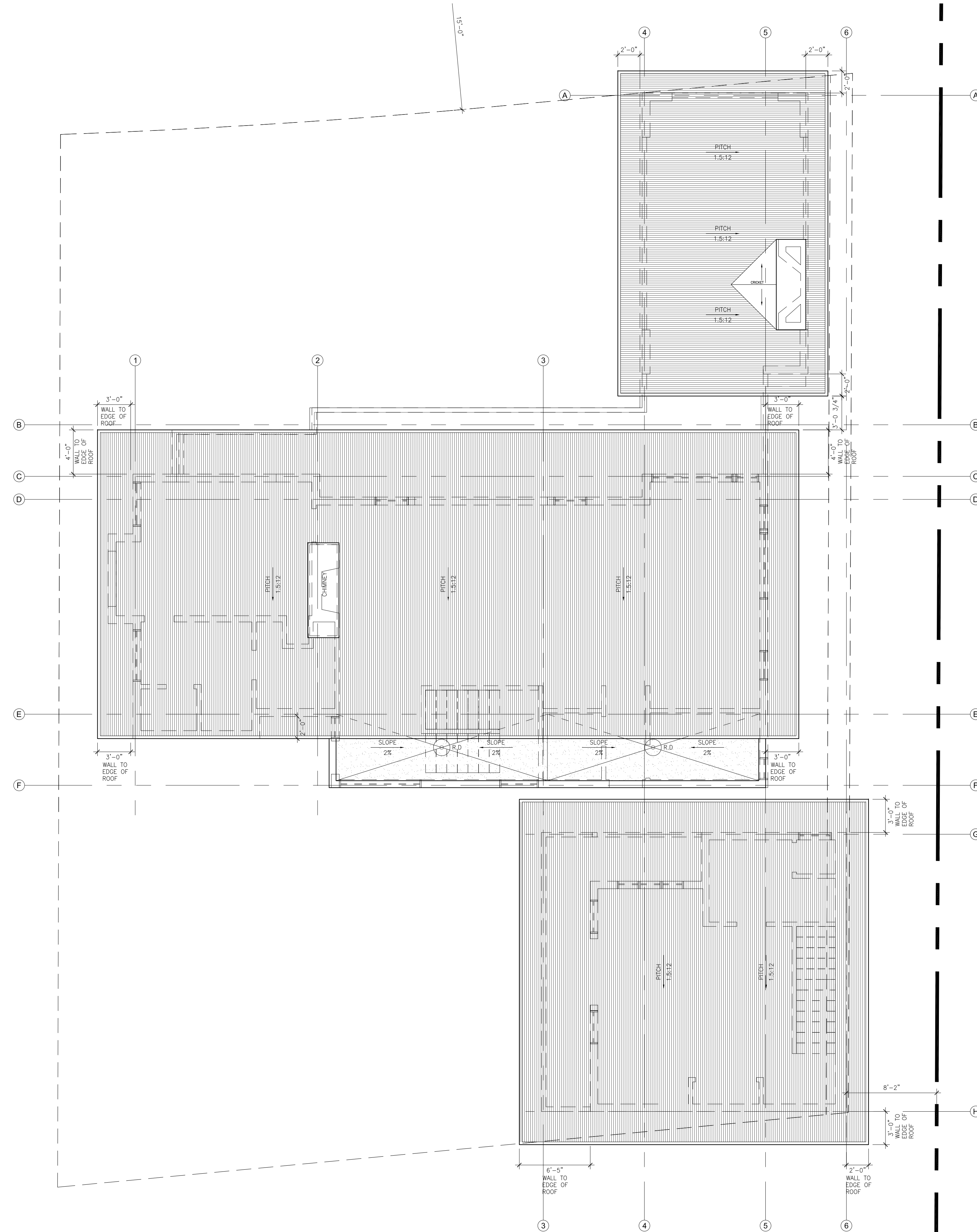
LOT 33, BLOCK 2
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**ARCHITECTURAL
 DIMENSIONED
 FLOOR PLANS**

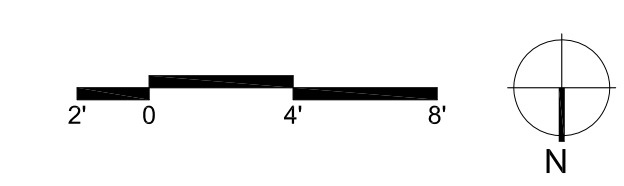
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1 ROOF PLAN
 A2.8 SCALE: 3/16" = 1'-0"



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CHECKED BY	DPH, JJR	
DATE	06/12/18	
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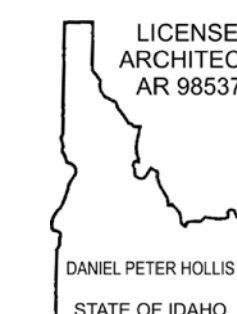
RESIDENCE

SHANE & HILLARY
 FELKER

LOT 33, BLOCK 2
 255 HILLSIDE DRIVE
 KETCHUM, IDAHO

ARCHITECTURAL
 ROOF PLAN

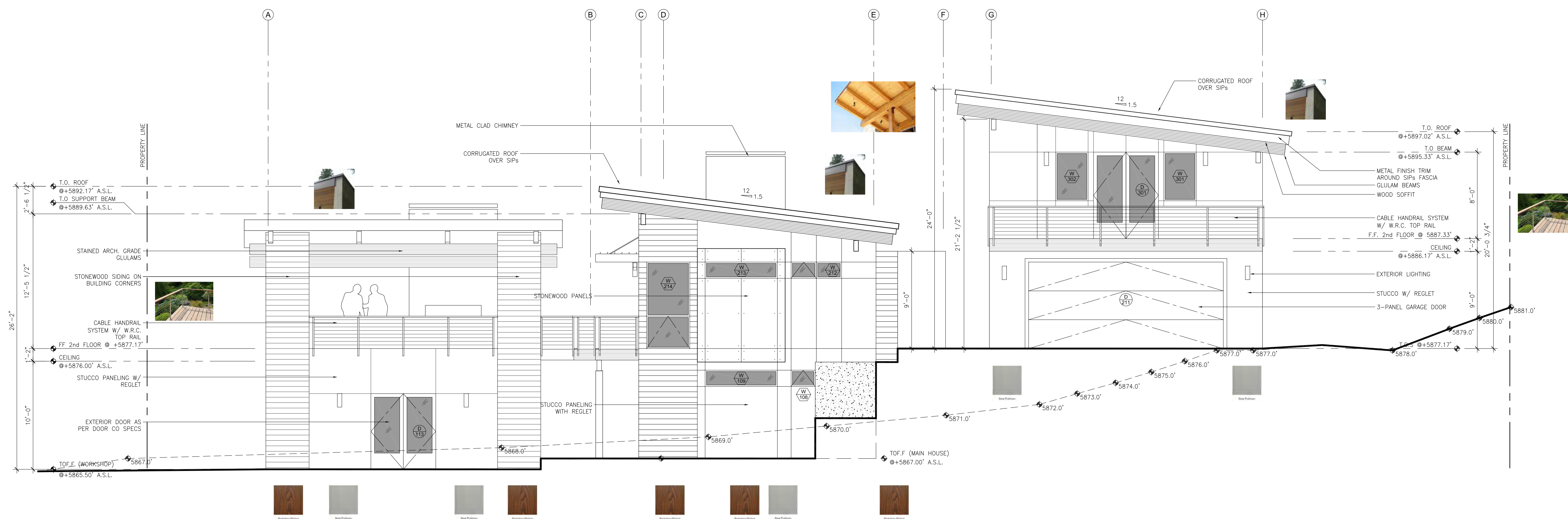
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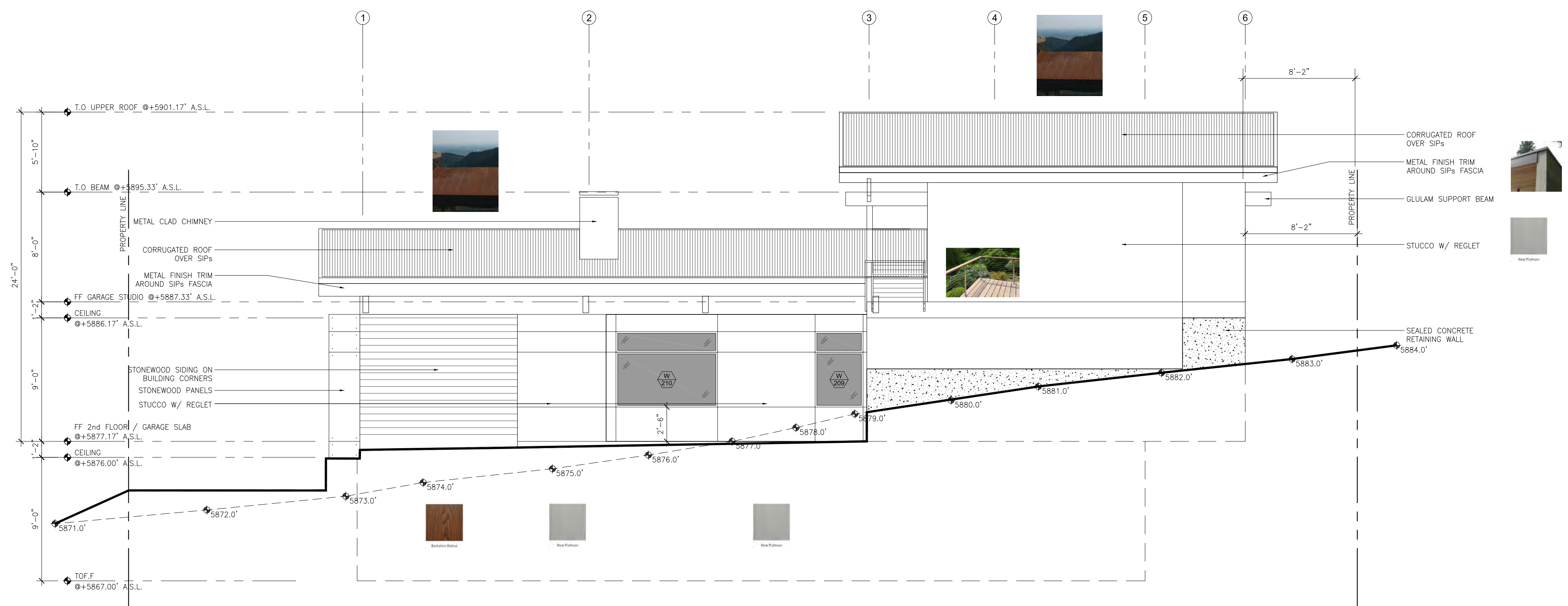
LICENSED ARCHITECT
 AR 985372

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2 EXTERIOR BUILDING ELEVATIONS - EAST
 A3.1 SCALE: 3/16" = 1'-0"



1 EXTERIOR BUILDING ELEVATIONS - NORTH
 A3.1 SCALE: 3/16" = 1'-0"

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ARCHITECTURAL
 EXT. ELEVATIONS

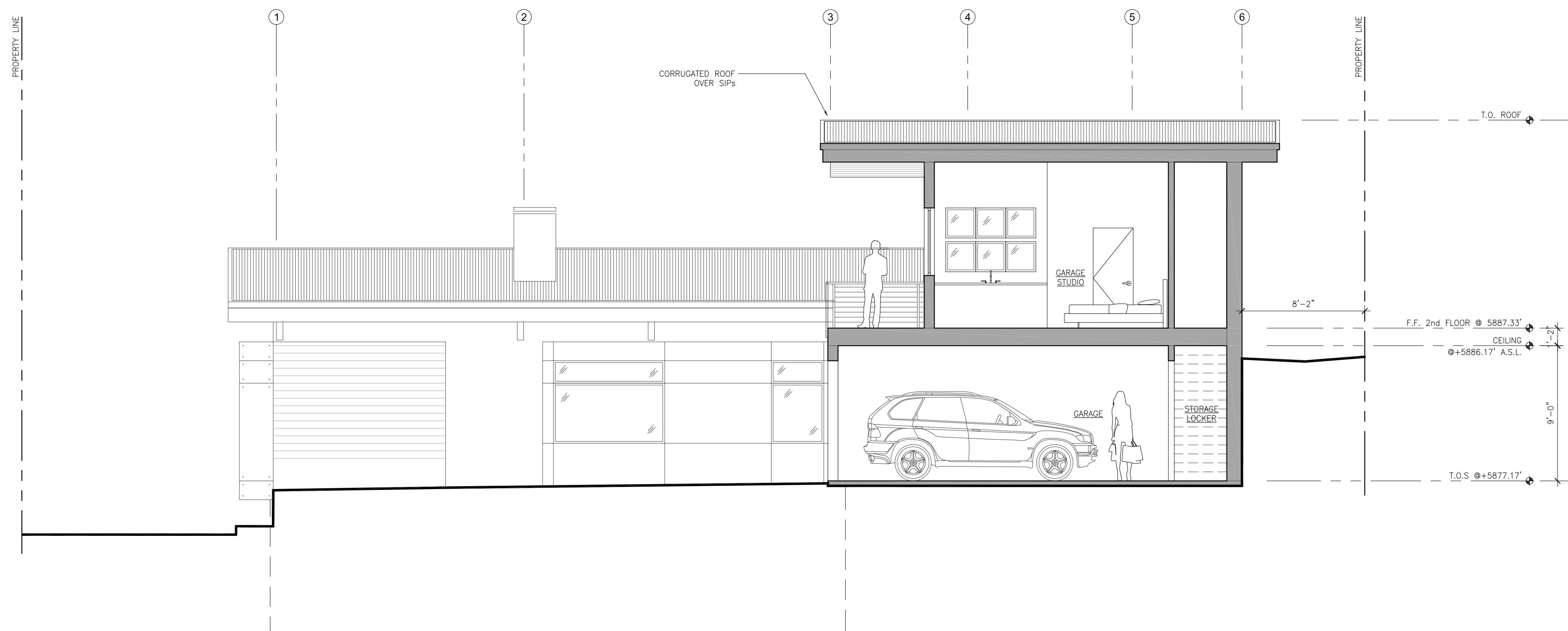


A 3.1
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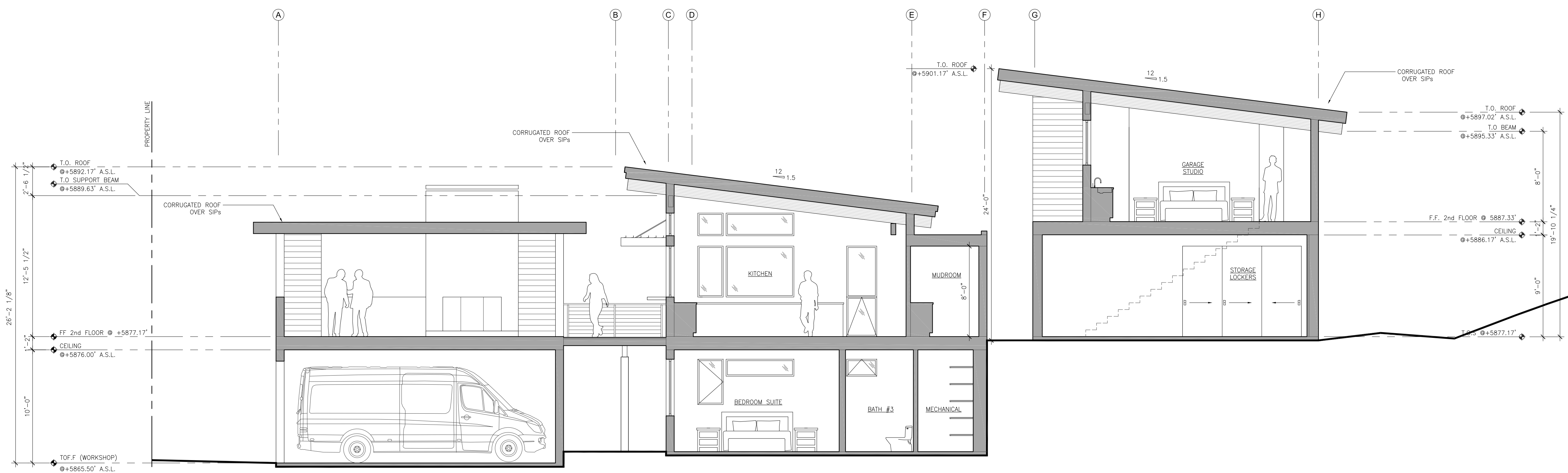
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2 BUILDING SECTION BB
 A4.2 SCALE: 3/16" = 1'-0"



1 BUILDING SECTION CC
 A4.2 SCALE: 3/16" = 1'-0"

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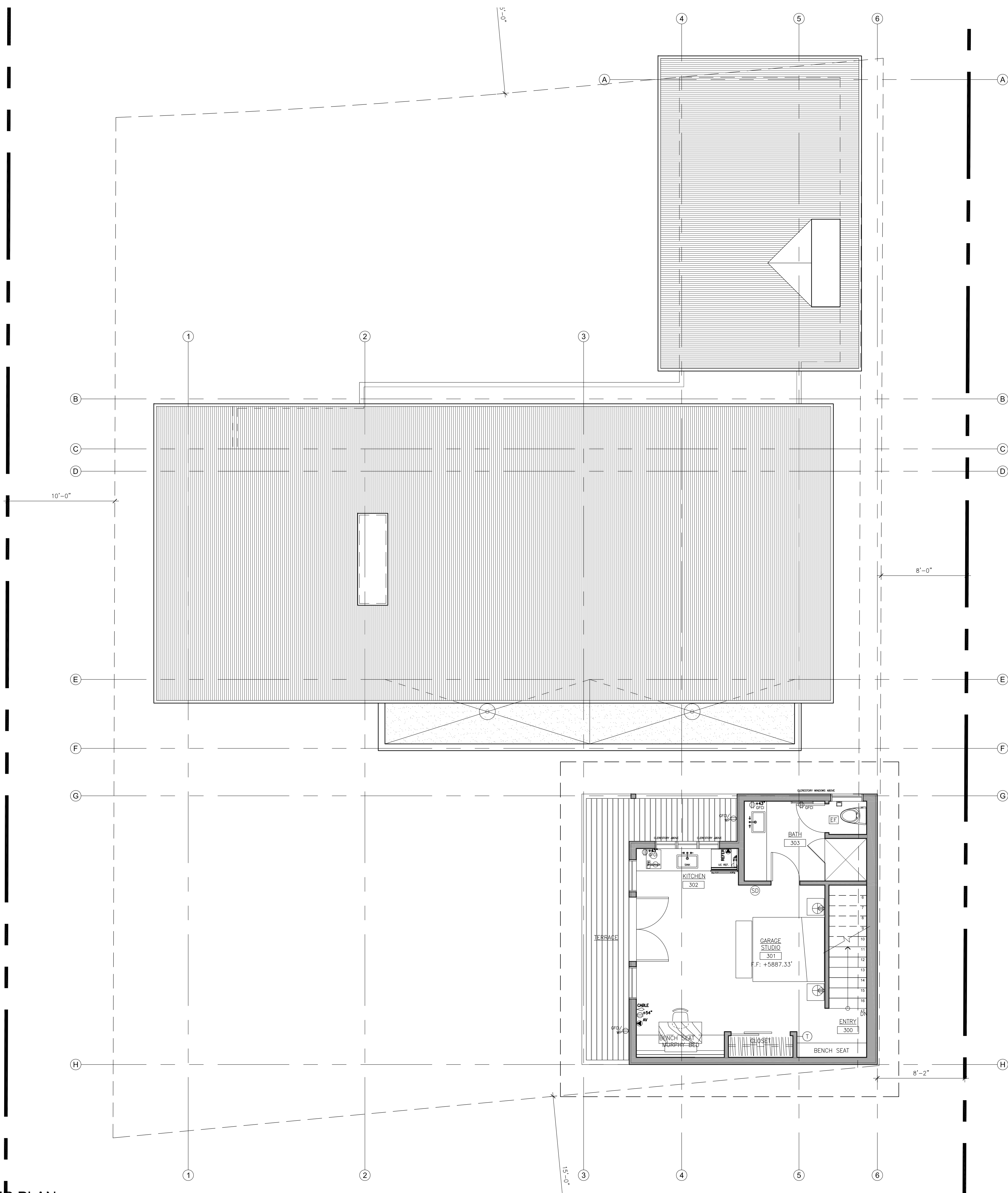
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LOT 33, BLOCK 2
 255 HILLSIDE DRIVE
 KETCHUM, IDAHO

ARCHITECTURAL
 BUILDING SECTIONS



A 4.2
 CATEGORY SEQUENCE



- ELECTRICAL NOTES**
1. SMOKE ALARM/DETECTORS SHALL BE INTERCONNECTED & HARDWIRED W/BATTERY BACKUP, TYP.
 2. REF. ARCHITECTURAL DETAILS FOR ALL FLOOR, WALL, & CEILING OUTLET, SWITCH, THERMOSTAT, PANELS, & ALL OTHER VISIBLE COMPONENT LOCATIONS
 3. TYPICAL VISIBLE COMPONENTS ARE CENTERED OR EQUALLY BALANCED ON FINISHED WALL, U.N.O.
 4. PLAN DIMS ARE TO FINISHED WALL & CENTER OF COMPONENT, U.N.O.
 5. **DO NOT SCALE DRAWINGS.**
 6. REF. LIGHTING DRAWINGS FOR LIGHT FIXTURE LOC'S, & FIXTURE SCHEDULE
 7. FURNITURE SHOWN FOR REFERENCE ONLY, VERIFY ALL FURNITURE LOC'S W/ ARCHITECT
 8. ALL OUTLETS TO BE PLACED @ 14" A.F.F. C/L UNLESS NOTED OTHERWISE.

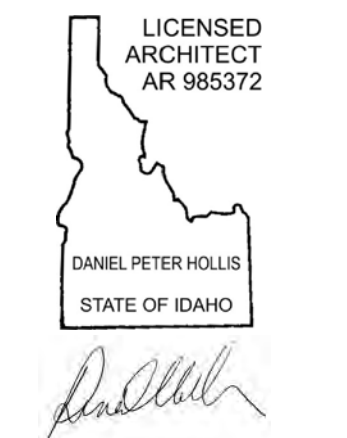
POWER PLAN SYMBOL LEGEND

	ELEC./DATA PANEL
	DUPLIX OUTLET
	QUADPLEX OUTLET
	WEATHER PROOF DUPLIX OUTLET
	GROUND FAULT CIRCUIT INTERCEPT
	CABLE / AV
	DEDICATED OUTLET
	PLUG MOLD OUTLET STRIP
	SMOKE ALARM/DETECTOR
	THERMOSTAT CONTROLS
	THERMOSTAT REMOTE
	EXHAUST FAN
	TELEPHONE JACK
	SWITCHED DUPLIX FLOOR OUTLET
	HALF-HOT SWITCHED OUTLET

1 GARAGE STUDIO POWER PLAN
 E1_L3 SCALE: 3/16" = 1'-0"



PO BOX 1769 [post]
 SUN VALLEY, ID 83353
 220 River St. E [courier]
 KETCHUM, ID 83343
 V.208.721.0633 / V.208.721.7160



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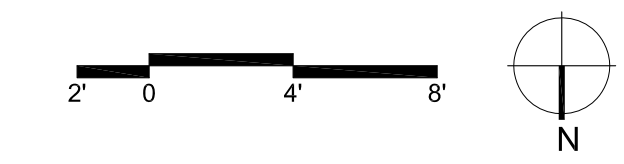
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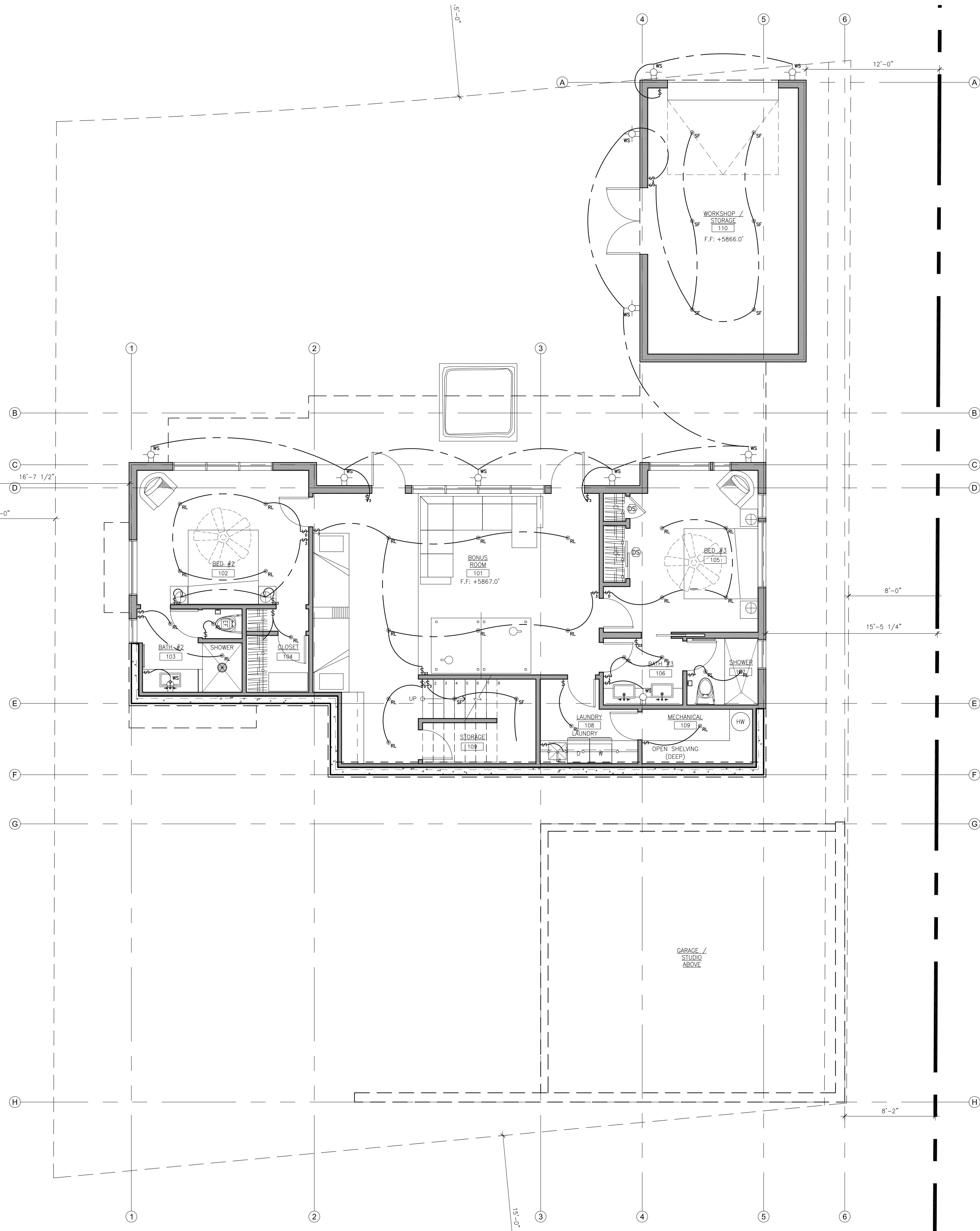
RESIDENCE
 SHANE & HILLARY FELKER

LOT 33, BLOCK 2
 255 HILLSIDE DRIVE
 KETCHUM, IDAHO

ARCHITECTURAL POWER FLOOR PLANS



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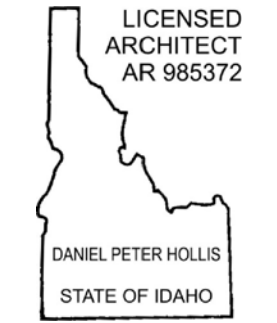
- ELECTRICAL NOTES**
1. SMOKE ALARM/DETECTORS SHALL BE INTERCONNECTED & HARDWIRED W/BATTERY BACKUP, TYP.
 2. REF. ARCHITECTURAL DETAILS FOR ALL FLOOR, WALL, & CEILING OUTLET, SWITCH, THERMOSTAT, PANELS, & ALL OTHER VISIBLE COMPONENT LOCATIONS
 3. TYPICAL VISIBLE COMPONENTS ARE CENTERED OR EQUALLY BALANCED ON FINISHED WALL, U.N.O.
 4. PLAN DIMS ARE TO FINISHED WALL & CENTER OF COMPONENT, U.N.O.
 5. **DO NOT SCALE DRAWINGS.**
 6. REF. LIGHTING DRAWINGS FOR LIGHT FIXTURE LOC'S, & FIXTURE SCHEDULE
 7. FURNITURE SHOWN FOR REFERENCE ONLY, VERIFY ALL FURNITURE LOC'S W/ ARCHITECT
 8. ALL WALL OUTLETS 14" AFF UNLESS NOTED OTHERWISE.
 9. ALL LIGHT SWITCHES 36" AFF UNLESS NOTED OTHERWISE.
 10. WALL SCONCE & ART LIGHTING ALL HEIGHTS AFF TBD.

LIGHTING PLAN SYMBOL LEGEND

	ELEC./DATA PANEL
	RECESSED LIGHT/CAN/MR
	SURFACE MOUNTED FIXTURE
	WALL MOUNTED SCONCE
	RECESSED ADJUSTABLE LIGHT
	CONCEALED STRIP LIGHT (MAGNET OP)
	SMOKE ALARM/DETECTOR
	TRACK LIGHTING (DISTANCE/DIMMER)
	CABLE LIGHTING (DISTANCE/DIMMER)
	SWITCH
	SWITCH 3-WAY
	SWITCH DIMMER 3-WAY
	SWITCH WATERPROOF
	DOOR SWITCH (MAGNET SWITCH)



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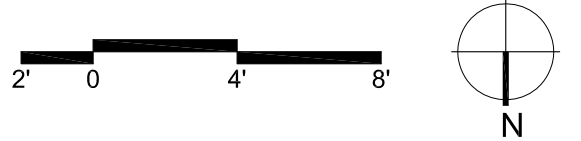
SHANE & HILLARY FELKER

LOT 33, BLOCK 2
 255 HILLSIDE DRIVE
 KETCHUM, IDAHO

ARCHITECTURAL LIGHTING FLOOR PLANS

E 2-L1
 CATEGORY SEQUENCE

1 FIRST FLOOR LIGHTING PLAN
 E2-L1 SCALE: 3/16" = 1'-0"



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ARIA 2300KZ

Like 0

ZOOM



Dimensions + Resources

View Full Collection

2300KZ

Width:	5.0"
Height:	15.5"
Material:	Aluminum
Backplate Width:	4.5"
Backplate Height:	8.3"
Socket:	1-75w MED
Dark Sky:	Yes
Notes:	Reflector type or Par type lamp recommended.
Extension:	6.8"
TTO:	5.0"
Certification:	C-US Wet Rated

View More (+)

RESOURCES

- + Find a Local Showroom
- + Lighting Made Simple Worksheet
- + Order a Finish Sample
- + Spec Sheet
- + Assembly Instructions
- + Share with a Friend

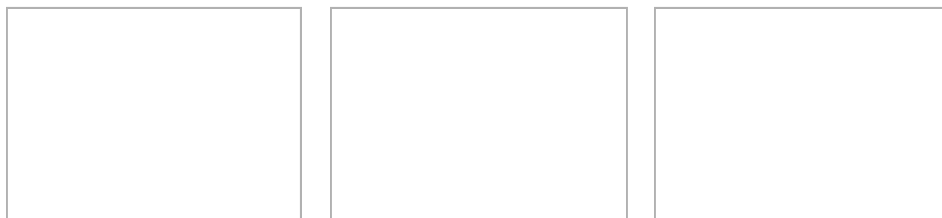
+ Add To Compare

+ Add to Wishlist



Finish Options

Related Products





ARIA 2300KZ-LED

BUCKEYE BRONZE

WIDTH:	5.0"
HEIGHT:	15.5"
WEIGHT:	1.0 LBS
MATERIAL:	ALUMINUM
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	8.3"
SOCKET:	1-5W DSLG-40 *INCLUDED
DARK SKY:	YES
LED INFO:	
LUMENS:	400
COLOR TEMP:	2700k
CRI:	90
LED WATTAGE:	5w
INCANDESCENT EQUIVALENCY:	40w
DIMMABLE:	No
EXTENSION:	6.8"
TTO:	5.0"
CERTIFICATION:	C-US WET RATED
UPC:	640665230062

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*life*AGLOW®

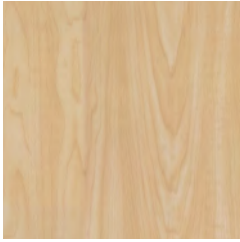


Make An Impression With a Vast Array of Color Exterior Design Options

Stonewood Architectural Panels offer a vast array of color.

Create an unforgettable look for a fraction of the cost of European manufacturers.

Wood Grains • Articulate the warmth and beauty of natural splendor with a variety of wood grain panels. Available in a range from buttery, light grain maples to robust cherry and deep walnut surfaces, these wood grain designs distill elements of raw sophistication into any project.



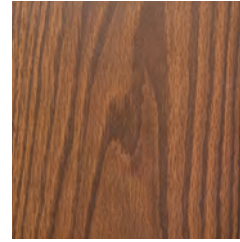
Manitoba Maple



Blond Echo



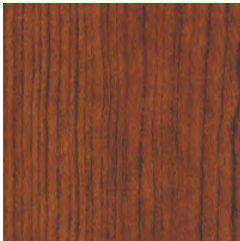
Monticello Maple



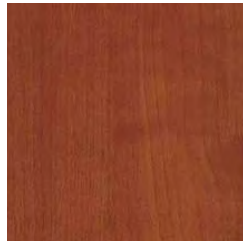
Oak



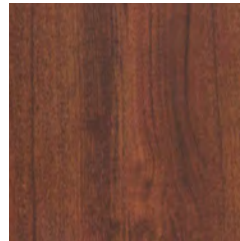
Fonthill Pear



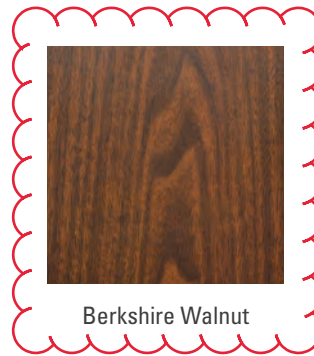
Victorian Cherry



Biltmore Cherry



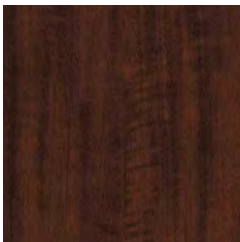
Windsor Mahogany



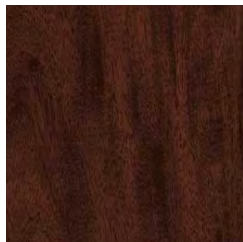
Berkshire Walnut



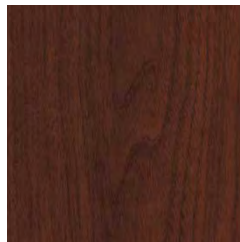
Mambo



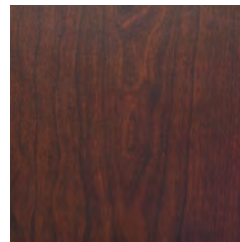
Kenya Mahogany



Figured Mahogany



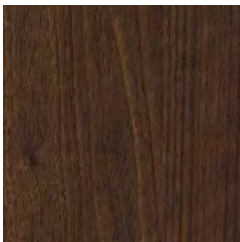
Brighton Walnut



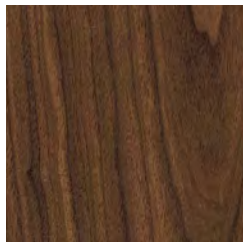
Provincial Cherry



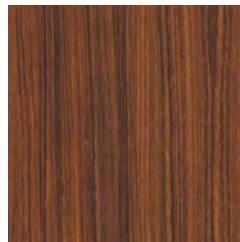
Cocobala



Columbian Walnut



Montana Walnut



Rio

Not seeing what you want? Call 262-567-4427 or contact your local Stonewood Representative with your design ideas.

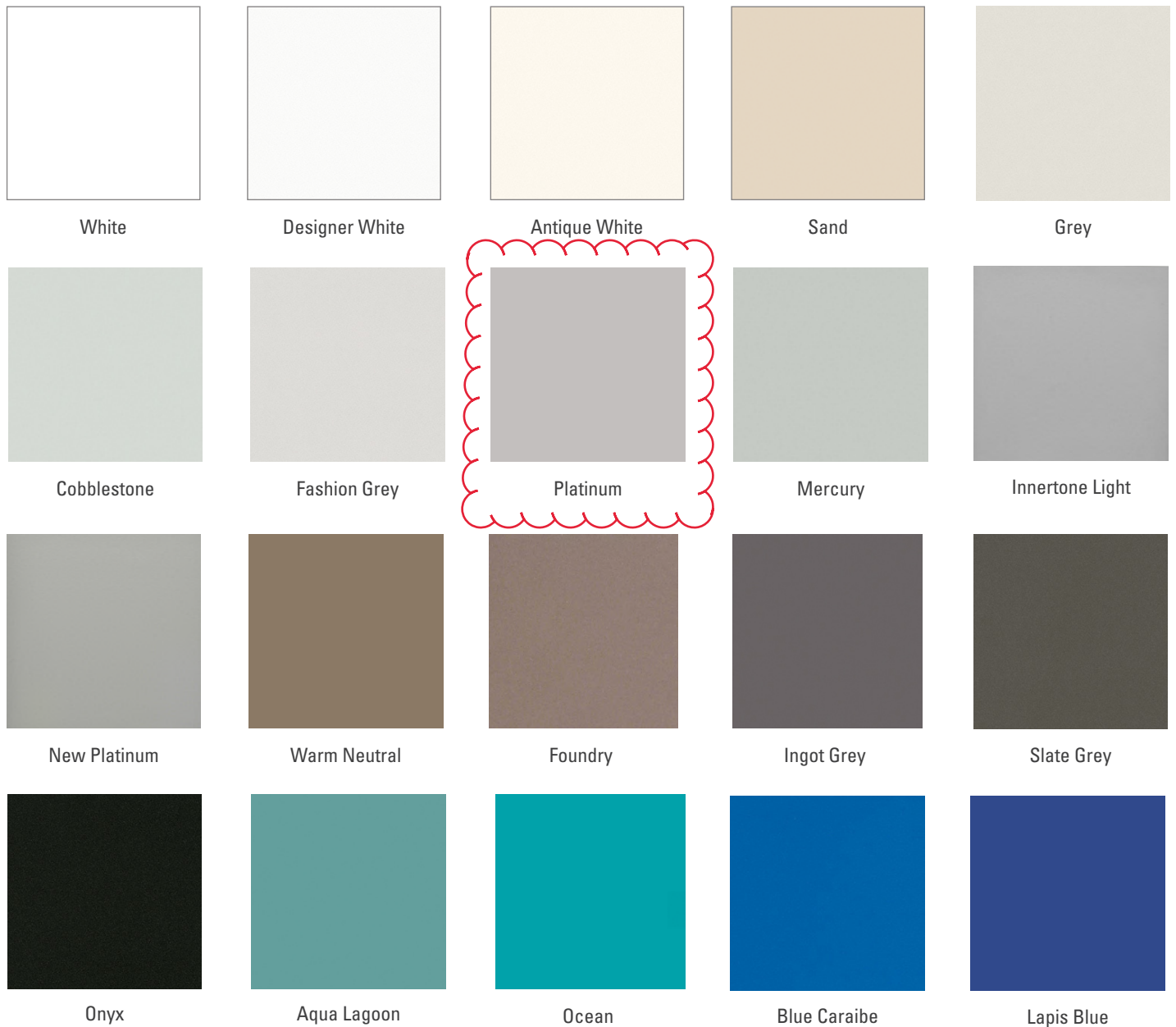
Our team will guide you through the selection process.

Actual colors may vary from the color on your screen or printed copy. Contact our team to request samples.



Make An Impression With a Vast Array of Color Exterior Design Options

Solids • Communicate in color. Whether you long for the subtle sophistication of muted greys and creamy whites or the bold dynamism of blacks and blues, our surfaces are available in a breadth of dazzling colors. Do more than just add color, capture a mood.



Not seeing what you want? Call 262-567-4427 or contact your local Stonewood Representative with your design ideas.

Our team will guide you through the selection process.

Actual colors may vary from the color on your screen or printed copy. Contact our team to request samples.

D. Geotechnical report dated June 17, 2015

GEOTECHNICAL REPORT

Proposed Sawtooth Development Group Townhomes
Lot 33, Block 2, Warm Springs Subdivision No. 5
255 Hillside Drive
Ketchum, Idaho

Butler Associates, Inc.
P.O. Box 1034
Ketchum, Idaho 83340
June 17, 2015

INTRODUCTION

This report represents the results of the soil and foundation engineering evaluation for the proposed Sawtooth Development Group Townhomes on Lot 33, Block 2, Warm Springs Subdivision No. 5 in Ketchum, Idaho. The *Vicinity Map* shows the general location of the proposed project site.

The purpose of this evaluation was to assess the surface and subsurface soil and water conditions to prepare geotechnical engineering opinions and recommendations for the construction of the proposed two unit townhome structure. Before the subsurface investigation I reviewed the geotechnical report for Lot 6, Warm Springs Village Subdivision No. 6 (located west of the site) and geologic data pertinent to the site and general area. I performed a subsurface investigation by excavating four test pits at the site using a track mounted excavator. The soils encountered in the test pits were visually identified and logged by a geotechnical engineer according to the Unified Soil Classification System and USDA and analyzed to prepare this final report.

PROPOSED PROJECT

I understand that the proposed project will consist of a two, three-story, single family townhomes with attached garages. The structures will be concrete, steel and wood frame supported by continuous and spread footings, retaining walls and slab-on-grade construction. The garages will be supported by slab-on-grade construction and will be accessed off of the new driveway commencing from Hillside Drive to the south.

The primary views from the site are the south slopes of the Warm Springs south slopes to the north, Dollar Mountain and the Pioneer Mountains to the east and Bald Mountain to the south and the Warm Springs drainage to the west.

The property is generally "square shaped" and totals approximately 0.26 acre in size. USFS land borders the lot to the north, Lot 32, Block 2, Warm Springs Subdivision No. 5 to the east, Hillside Drive to the south and Lot 34, Block 2, Warm Springs Subdivision No. 5 to the west.

FIELD EXPLORATION

Four test pits were excavated and observed at the site on June 5 using a track-mounted excavator. The test pits were excavated up to 14.0 feet below existing grade. The *Test Pit Site Plan* shows the property lines, existing contours and test pit locations.

The soils in each test pit were evaluated and the soil profiles logged in the field by a geotechnical engineer in accordance with the Unified Soil Classification System (*USCS*). The *Test Pit Site Plan*, *Test Pit Site Plan Photos* and *Test Pit Logs* are presented on pages 9, 10 and 11-16, respectively. The *USCS* chart on page 17 should be used to interpret the terms on the test pit logs in this report.

Subgrade Preparation

Following are site preparation recommendations to be completed prior to approving the subgrade for footings or construction of the free-draining structural fill foundation building pad:

1. All test pits should be accurately located in the field prior to commencing with the excavation. Any test pit that is located beneath a proposed footing, slab-on-grade, terrace or walkway adjacent to the structure should be excavated and backfilled with structural fill in accordance with this report. This procedure should help reduce local settlement. The test pit locations are shown on the *Test Pit Site Plan*.
2. The building footprint and exterior terraces and walkways should be stripped of dark brown topsoil and that should be stockpiled for finish landscaping. If material needs to be imported it is more cost effective to import sand and gravel structural fill than the fine grain topsoil encountered in the test pits.
3. The building footprint, terraces and walkways should then be excavated to bottom of footing or structural section for proposed hardscapes and to remove all uncontrolled fill and organics to expose a native, undisturbed, subangular silty sand and gravel subgrade or native sand, gravel, cobble and boulder soils.
4. The exposed subgrade should be watered and compacted with multiple passes of a 5-ton smooth drum roller. The silty fine sand could be sensitive to moisture so I recommend that the contractor contact me at the commencement to the excavation to determine the best method to prepare the subgrade.
5. This office should observe and proof-roll the subgrade to determine if the exposed soils are free of unsuitable soils and is a competent foundation subgrade.
6. Any soft areas encountered once the subgrade is compacted should be over-excavated to expose a competent subgrade and backfilled with structural fill as outlined in this section.
7. Rubber-tired construction traffic, i.e. front loaders during periods of rain and snow should be minimized in order to not compromise the silty fine sand foundation subgrade soils.
8. Native silty fine sand and gravel free of organics underlying the removed from foundation excavation could be stockpiled and used for structural fill although the percentage of fines will make it moisture sensitive and it could be difficult to work with during periods of precipitation and freezing temperatures. The material could be stockpiled and used for non-structural fill in landscape areas.
9. Once the exposed subgrade has been approved by this office for footings the groundwater cutoff trench drainage system should be constructed as directed in the following *Groundwater Cutoff Trench Drainage System* section.

Structural fill for the foundation building pad, exterior terraces and the driveway should be imported, washed fractured gravel, crushed sand and gravel (roadmix) or pitrun sand and gravel (GW, GM, GP, SW, SM, or SP) as described in the Unified Soil Classification System chart presented after the test pit logs. The washed gravel specified in the foundation drainage system should be imported, washed, 1"-2" fractured or rounded gravel. Granular structural fill should have no more than 10% passing the No. 200 sieve and a cobble size of no larger than 8 inches. Structural fill should be placed to the footing subgrade elevation in uniform, maximum 10-inch deep, loose lifts and compacted to a minimum of 95% of the maximum dry density of the soil, as

for frost heave.

3. Total and differential settlement is estimated to be less than one inch and $\frac{3}{4}$ ", respectively, for the structural fill building pad on an approved silty fine sand subgrade.
4. The recommended friction factor is 0.35 for the native silty fine sand and gravel foundation building pad.
5. The floor joists and sub-floor should be in-place prior to backfilling against the foundation walls unless directed otherwise by the structural engineer.
6. All footings should be constructed so that a line drawn from the edge of footings at a slope of 0.5 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See *Structural Fill Building Pad Drainage System* detail.

Retaining Walls

The following design parameters assume that proper drainage will maintain a fully drained environment behind the walls for the life of the structure:

1. The recommended equivalent active lateral earth pressure is 30 pounds per cubic foot (pcf) equivalent fluid pressure (efp). Active pressure design is based on the top of the wall moving.
2. The recommended equivalent at-rest lateral earth pressure is 45 pcf, efp. At-rest is assuming that the top of wall will be fixed.
3. The recommended friction factor is 0.35 for the native silty clay subgrade and 0.5 for the imported gravel structural fill building pad.
4. The floor joists and sub-floor should be in-place prior to backfilling against the retaining walls or as directed by the structural engineer.
5. Footings adjacent to retaining walls should be structurally connected to the retaining walls.

All retaining walls should be waterproofed as follows:

1. Retaining walls should be covered with a waterproof membrane and a synthetic drainage mat. The drainage mat will both direct groundwater to the footing drain and/or cutoff trench and will also protect the waterproofing membrane.
2. If washed, free-draining gravel is used as backfill against retaining walls then the drainage mat can be omitted and replaced with a cheaper protection board that will

foundation at least 2% to prevent ponding and to direct surface water runoff away from building foundations, concrete slabs and the edge of pavements and walkways.

2. All roof down spouts, foundation drains, landscape catch basins and surface runoff should be directed to the drywells located downslope of the structure.
3. Roof down spouts should **not** be allowed to drain adjacent to foundation. A 4" solid pipe could be installed in top of the footing with stub-outs for connecting the downspouts to and terminated in the drywells located downslope of the structure. See the *Cutoff Trench Drainage System Profile* for concepts.
4. All drain lines should be covered with at least 36" of soil to minimize freezing.
5. All drywells shown on the landscape plan located upslope of the structure should be converted to catch basins and hard-piped downslope of the structure.
6. Drywells should be constructed downslope of the structure and terminated in the free-draining sand and gravel encountered in Test Pit #4. See the *Landscape Drywell Profile*.
7. I can complete a grading and drainage plan or review the landscape at your request.
8. A surface swale sloped to the drywells should be constructed upslope of the structure to intercept and direct surface runoff around the structure before impacting the retaining wall. See the *Cutoff Trench Drainage System Profile* for general concepts

Driveway, Terraces and Walkways

I recommend the following section for asphalt driveways, terraces and walkways of either pavers or exterior concrete slabs in order to minimize frost action and settlement. The driveway section is designed to allow for an exposed gravel driving surface during construction before the final asphalt driving surface is installed:

1. The alignments should be cut to subgrade elevation and/or to remove all roots, organics, uncontrolled fill or disturbed native soils. The underlying native soils should be proof rolled with a 5-ton smooth drum roller to locate any soft areas. Any soft areas should be excavated to a competent subgrade and replaced with compacted structural fill as outlined in the *Site Preparation* section. **The native silty sand driveway subgrade soils should be sloped from the structure to the street where the native free-draining sand and gravel soils were encountered. Water should not be allowed to accumulate on the subgrade that could cause the soils to become saturated and settle or increase the possibility of frost heaving.**
2. All parking areas, terraces and walkways should be constructed so that a line drawn from

Sms = 0.697 g

Sm1 = 0.281 g

Radon Venting

This office is not qualified to complete a radon venting system design so the following venting concepts are guidelines. The radon system should be reviewed with a radon venting contractor.

Blaine County has a history of radon gas collecting in crawlspaces and under slab-on-grades. Radon gas is a byproduct of the natural breakdown of uranium that accumulates in improperly sealed basements and crawl spaces. These radon levels can exceed safety standards as set by the EPA. According to the State Radon Contact the most accurate testing results are gathered in the structure after construction. A 4-inch dia. perforated pipe placed in the leveling gravel beneath slab-on-grade construction can be connected to venting fans to reduce radon levels. It is important to create an airtight seal between all concrete slabs and adjacent walls. Consulting an experienced contractor or radon-venting specialist can ensure a fairly inexpensive system is installed during construction compared to potentially expensive remedial measures. See *Slab-On-Grade Drainage and Radon System Concepts Plan* for general design suggestions. I recommend installing sleeves in interior footings to allow the perforated pipe to be directed through the footings to the mechanical room for eventual venting through the roof.

CONSTRUCTION OBSERVATION AND MONITORING

This report provides opinions and recommendations that are generally accepted geotechnical engineering principle and practices. I recommend that this office provide construction monitoring and observation services in order to ensure that the recommendations outlined in this report are followed and that the foundation drainage system and grading and drainage details are constructed properly. If this office is not retained to perform the recommended services, I cannot be responsible for soil engineering construction errors or omissions. The costs for the recommended services are not included with this report and would be incurred on a time and expense basis.

W

S 84°36'13" W
89.90'

TP-1



Lot 33
±11,150 Sq. Ft.
±0.26 Acres

TP-3

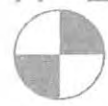


S 0°09'47" W
125.99'

2

N 0°14'02" E
124.16'

TP-2



TP-4



E

N 84°41'34" E
45.71'

R=675.91' L=44.21'
* CHB=S 86°53'45" W CH=44.20'



TEST PIT SITE PLAN

Sawtooth Development Group Townhomes
Lot 33, Block 2, Warm Springs Subdivision No. 5
Ketchum, Idaho

Butler Associates, Inc.
Test pits excavated
on June 5, 2015

June 2015
Not to scale

EXPLORATORY TEST PIT #1

Proposed Sawtooth Development Group Townhomes
Lot 33, Block 2, Warm Springs Subdivision No. 5
255 Hillside Drive
Ketchum, Idaho

<u>DEPTH (Feet)</u>	<u>USCS SOIL CLASS</u>	<u>USDA SOIL CLASS</u>	<u>SOIL DESCRIPTION</u>
0.0-2.4	SM	B-1	Silty Fine SAND, trace-little Gravel, Clay & Roots (NATIVE TOPSOIL) Dark brown, loose, damp.
2.4-7.0	SM	B-1	Silty fine SAND, trace-little GRAVEL, trace Clay (NATIVE) Brown-gray, loose-compact, damp.
7.0-14.0	GM	A-2a	Silty subangular SAND, GRAVEL & COBBLE (NATIVE) Brown, compact-dense, damp.

Test pit excavated on June 5, 2015.

See *Test Pit Site Plan* for test pit location.

Approximate test pit surface elevation is approximately 5878 feet based on the topographic survey by Alpine Enterprises, Inc.

No groundwater was encountered.

Test pit terminated at 14.0 feet below existing grade due to the consistency of soil between the test pits and loosely backfilled with test pit spoils.

No soil sample retrieved.

Poor stability of test pit walls in native sand & gravel soils.

Excavation equipment: CAT 315 track-mounted excavator.



EXPLORATORY TEST PIT #3

Proposed Sawtooth Development Group Townhomes
Lot 33, Block 2, Warm Springs Subdivision No. 5
255 Hillside Drive
Ketchum, Idaho

<u>DEPTH (Feet)</u>	<u>USCS SOIL CLASS</u>	<u>USDA SOIL CLASS</u>	<u>SOIL DESCRIPTION</u>
0.0-3.2	SM	B-1	Silty Fine SAND, trace-little Gravel, Clay & Roots (NATIVE TOPSOIL) Dark brown, loose, damp.
3.2-6.5	SM	B-1	Silty fine SAND, trace-little GRAVEL, trace Clay (NATIVE) Tan-brown, loose-compact, damp.
6.5-9.0	GM	A-2a	Silty subangular SAND, GRAVEL & COBBLE (NATIVE) Brown, compact-dense, damp.

Test pit excavated on June 5, 2015.

See *Test Pit Site Plan* for test pit location.

Approximate test pit surface elevation is approximately 5871 feet based on the topographic survey by Alpine Enterprises, Inc.

No groundwater was encountered.

Test pit terminated at 9.0 feet below existing grade due to the consistency of soil between the test pits and loosely backfilled with test pit spoils.

No soil sample retrieved.

Poor stability of test pit walls in native sand & gravel soils.

Excavation equipment: CAT 315 track-mounted excavator.



SOILS CLASSIFICATION / LEGEND

RELATIVE DENSITY OR CONSISTENCY UTILIZING STANDARD PENETRATION TEST VALUES

COHESIONLESS SOILS (a)			COHESIVE SOILS (b)		
Density (c)	N. blows/ft. (c)	Relative Density (%)	Consistency	N. blows/ft. (c)	Undrained (d) Shear Strength (psf)
Very loose	0 to 4	0 - 15	very soft	0 to 2	<250
Loose	4 to 10	15 - 35	soft	2 to 4	250-500
Compact	10 to 30	35 - 65	firm	4 to 8	500-1000
Dense	30 to 50	65 - 85	stiff	8 to 15	1000-2000
Very Dense	over 50	>85	very stiff	15 to 30	2000-4000
			Hard	over 30	>4000

- (a) Soils consisting of gravel, sand, and silt, either separately or in combination, possessing no characteristics of plasticity and exhibiting drained behavior.
- (b) Soils possessing the characteristics of plasticity and exhibiting undrained behavior.
- (c) Refer to text of ASTM D 1585-84 for a definition of N; in normally consolidated cohesionless soils Relative Density terms are based on N values corrected for overburden pressures.
- (d) Undrained shear strength = 1/2 unconfined compression strength.

COMPONENT DEFINITIONS BY GRADATION

COMPONENT	SIZE RANGE
Boulders	Above 12 inches
Cobbles	3 inches to 12 inches
Gravel	3 inches to No. 4 (4.76 mm)
Coarse gravel	3 inches to 3/4 inch
Fine gravel	3/4 inch to No. 4 (4.76mm)
Sand	No. 4 (4.76mm) to No. 200 (0.074mm)
Coarse sand	No. 4 (4.76) to No. 10. (2.0mm)
Medium sand	No. 10 (2.0mm) to No. 40 (0.42mm)
Fine sand	No. 40 (0.42) to No. 200 (0.074mm)
Silt & Clay	Smaller than No. 200 (0.074mm)

SILT & CLAY DESCRIPTIONS

DESCRIPTIONS	TYPICAL UNIFIED DESIGNATION
Silt	ML (non-plastic)
Clayey Silt	CL-ML (low plasticity)
Silty Clay	CL
Clay	CH
Plastic Silt	MH
Organic Soils	OL, OH, Pt

LABORATORY TESTS

TEST	DESIGNATION
Moisture	(1)
Density	D
Grain Size	G
Hydrometer	H
Atterberg Limits	(1)
Consolidation	C
Unconsolidated	U
UU Triax	UU
CU Triax	CU
CD Triax	CD
Permeability	P

(1) Moisture & Atterberg Limits

SAMPLES

SS	SPT Samplers
HD	Heavy Duty Split Spoons
SH	Shelby Tube
P	Pitcher Sampler
B	Bulk
C	Cord

Unless otherwise noted, drive samples advanced with 140 lb. Hammer with 30 inch drop.

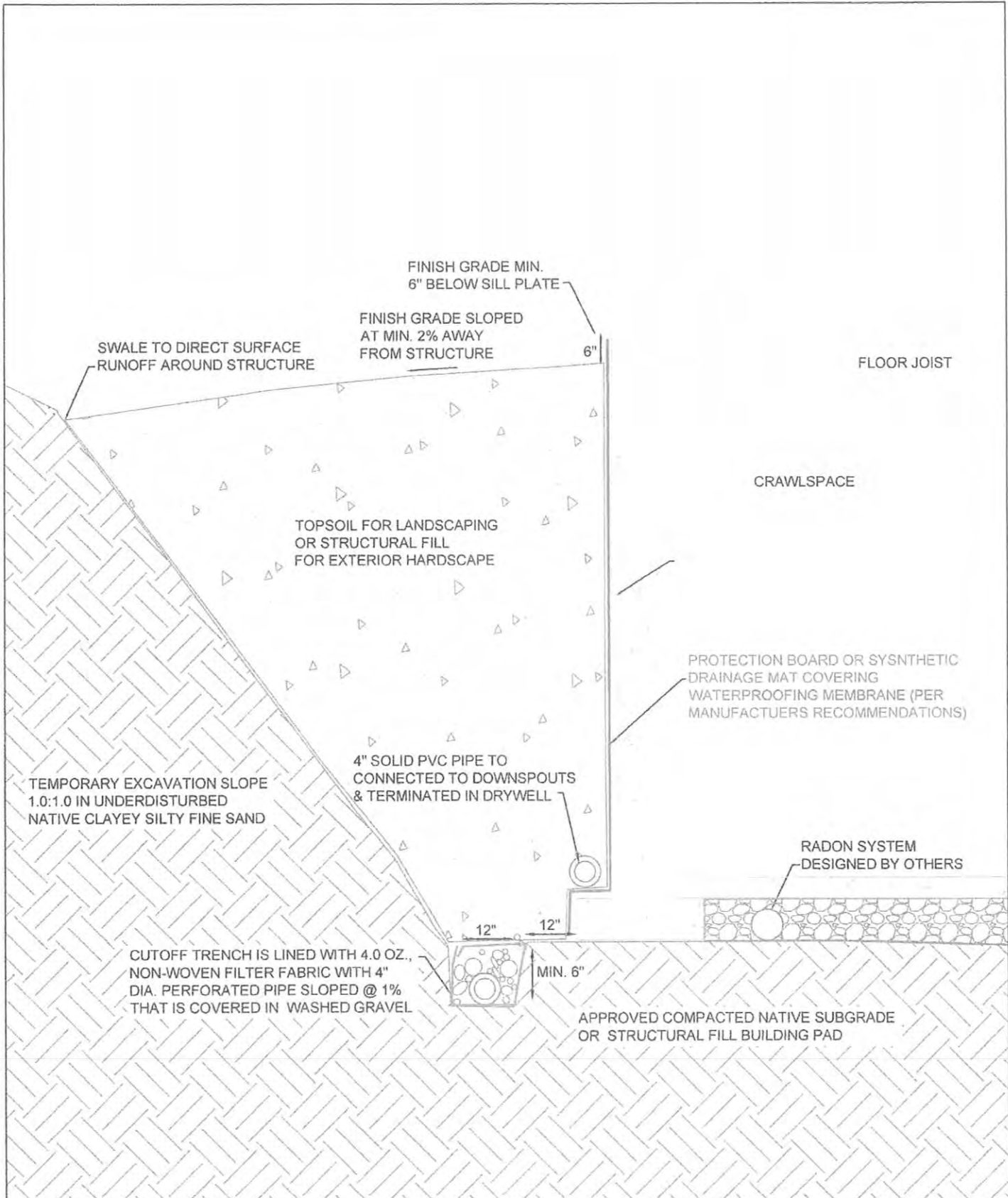
COMPONENT PROPORTIONS

DESCRIPTIONS	RANGE OF PROPORTION
Trace	0 - 5%
Little	5 - 12%
Some or Adjective (a)	12 - 30%
And	30 - 50%

(a) Use Gravelly, Sandy or Silty as appropriate.

UNIFIED SOIL CLASSIFICATION SYSTEM

MAJOR DIVISIONS		SYMBOL	TYPICAL NAMES	
COARSE GRAINED SOILS	GRAVELS	CLEAN GRAVELS	GW Well-Graded gravel	
			GP Poorly-graded gravels	
	More than 50% of coarse fraction retained on No. 4 Sieve	GRAVELS WITH FINES	GM Gravel and Silt Mixtures	
			GC Gravel and Clay Mixtures	
	more than 50% retained on No. 200 Sieve	SANDS	CLEAN SANDS	SW Well-graded Sands
				SP Poorly-graded Sands
50% or more of coarse fraction passes No. 4 Sieve		SANDS WITH FINES more than 12% fines	SM Sand and Silt Mixtures	
			SC Sand and Clay Mixtures	
FINE GRAINED SOILS	SILTS & CLAYS	INORGANIC	CL Low-plasticity Clays	
			ML Non-plastic and Low-plasticity Silts	
	50% or more passes the No. 200 Sieve	ORGANIC		OL Organic Silt and Clay of Low plasticity.
				OH High-plasticity-Organic Clays High-plasticity-Organic Silts
		SILTS & CLAYS	INORGANIC	CH High Plasticity Clays
				MH High Plasticity Silts
Liquid limit less than 50	ORGANIC		OH High-plasticity-Organic Clays High-plasticity-Organic Silts	
			PT Peat, Muck and Other Highly Organic Soils	
HIGHLY ORGANIC SOILS		PT	Peat, Muck and Other Highly Organic Soils	



CUTOFF TRENCH DRAINAGE SYSTEM PROFILE

Sawtooth Development Group Townhomes
 Lot 33, Block 2, Warm Springs Subdivision No. 5
 Ketchum, Idaho

Butler Associates, Inc.
 P.O.B. 1034
 Ketchum, ID 83340
 208.720.6432
 svgeotech@gmail.com

6-9-15

Not To Scale

*SLAB-ON-GRADE SECTION SHOULD BE DETERMINED BY FINISH FLOOR MANUFACTURER

VERTICAL VENT PIPE WITH FAN

RIGID-FOAM INSULATION

CONCRETE SLAB-ON-GRADE

4" PERFORATED PIPES FOR RADON SYSTEM DESIGN BY OTHERS

6 ML VAPOR BARRIER

IMPORTED WASHED, GRAVEL STRUCTURAL FILL

APPROVED, COMPACTED NATIVE SAND & GRAVEL SUBGRADE

FINISH GRADE SLOPED @ 2%

STRUCTURAL FILL TO SUPPORT HARDSCAPES OR TOPSOIL FOR LANDSCAPING

ASPHALT EMULSION

4" SOLID PIPE TO COLLECT DOWNSPOUTS RUNOFF & DIRECT TO DRYWELLS

4" PERFORATED PIPE FOOTING DRAIN

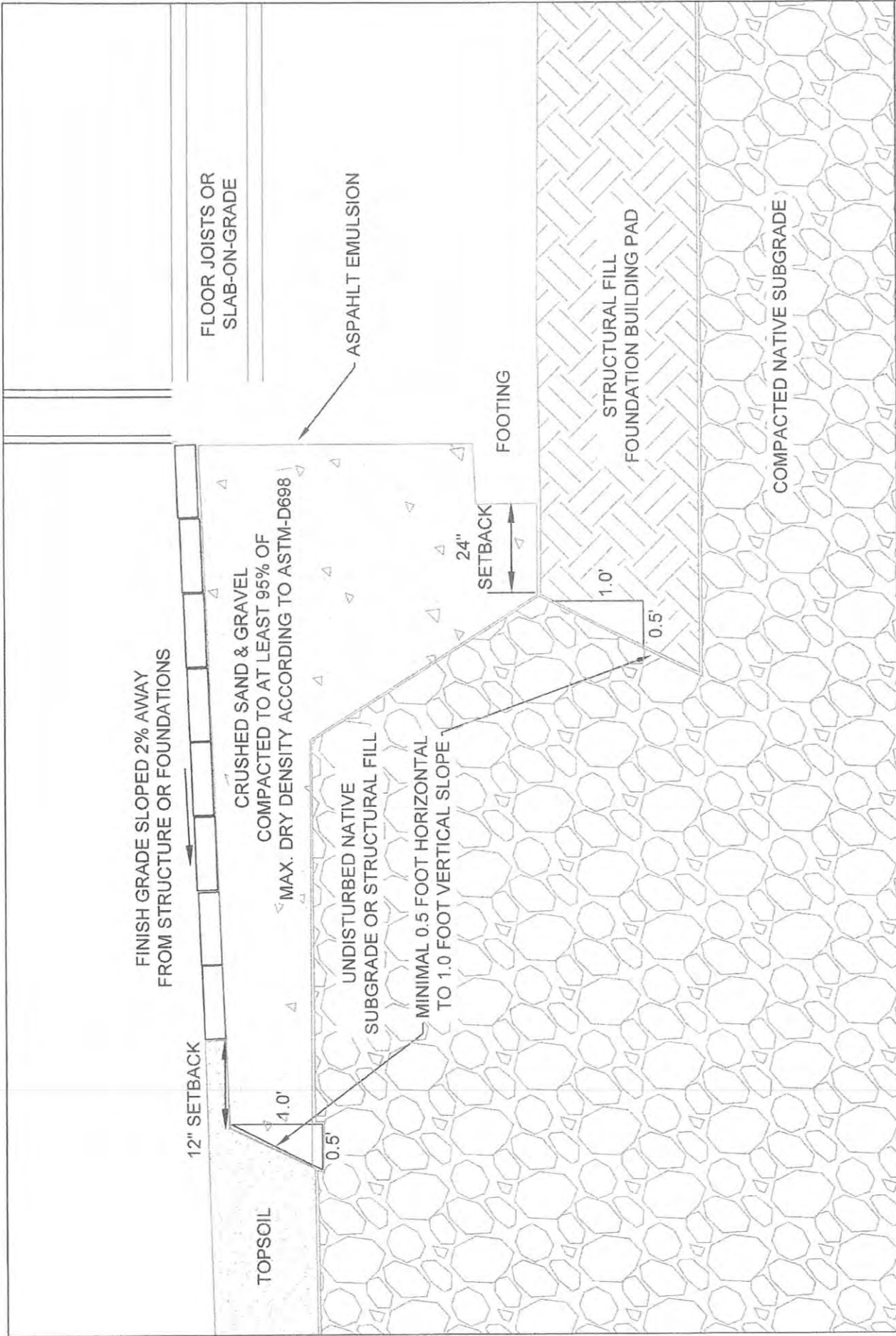
SLAB-ON-GRADE & FOUNDATION DRAINAGE SYSTEM PROFILE

Sawtooth Development Group Townhomes
Lot 33, Block 2, Warm Springs Subdivision No. 5
Ketchum, Idaho

Butler Associates, Inc.
P.O.B. 1034
Ketchum, ID 83340
208.720.8432
svgeotech@gmail.com

6-9-15

Not To Scale



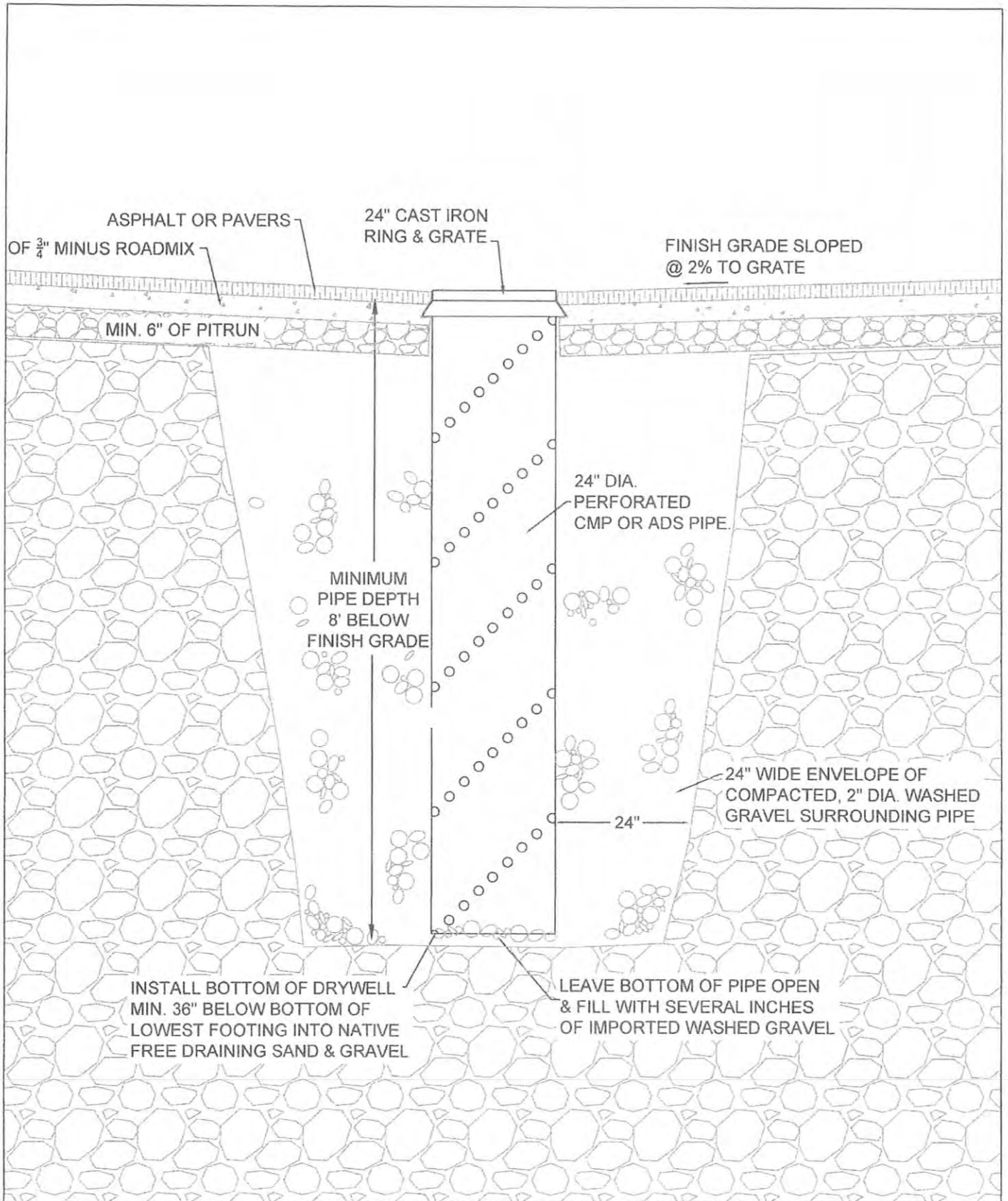
STRUCTURAL FILL /FOUNDATION SUBGRADE CONCEPTS PROFILE

Sawtooth Development Group Townhomes
 Lot 33, Block 2, Warm Springs Subdivision No. 5
 Ketchum, Idaho

Butler Associates, Inc.
 P.O.B. 1034
 Ketchum, ID 83340
 208.720.6432
 svgeotech@gmail.com

6-9-15

Not To Scale



PRIVATE STORM WATER DRYWELL PROFILE

Sawtooth Development Group Townhomes
 Lot 33, Block 2, Warm Springs Subdivision No. 5
 Ketchum, Idaho

Butler Associates, Inc.
 P.O.B. 1034
 Ketchum, ID 83340
 208.720.6432
 svgeotech@gmail.com

6-9-15

Not To Scale

E. Geotechnical report update memo dated August 27, 2018

BUTLER ASSOCIATES, INC.

GEOTECHNICAL & CIVIL ENGINEERING & CONSULTING

P.O.B. 1034

Ketchum, Idaho 83340

Phone: 208.720.6432

Email: svgeotech@gmail.com

Shane Felker

P.O. Box 4767

Ketchum, ID 83340

C: 858.229.3505

E: shane@sawtoothdevelopment.com

August 27, 2018

RE: GEOTECHNICAL REPORT

Proposed Felker Residence

Lot 33, Block 2, Warm Springs Subdivision No. 5

255 Hillside Drive

Ketchum, Idaho

Dear Shane,

I have completed the authorized geotechnical investigation and report for your proposed residence located on Lot 33, Block 2, Warm Springs Subdivision in Ketchum, Idaho. The geotechnical report dated June 17, 2015 was initially completed for the Sawtooth Development Townhomes and all engineering parameters presented in the report can be used to design your residence. Please attach this cover letter to the report.

This report summarizes the results of my field and laboratory testing and presents my geotechnical engineering opinions and recommendations. **It is my opinion that the site is suitable for the proposed single family residence excavated into the existing slope supported by continuous and spread footings, retaining walls and slab-on-grade foundations constructed on either an approved native subgrade or structural fill building pad.** I am providing the recommendations in this report for the foundation design, preparation of the subgrade, groundwater cutoff trench drainage system, foundation drainage system, structural fill building pad, lateral loading, surface grading and drainage and general radon venting concepts.

I recommend that this office be retained to provide construction observations for the foundation building pad, groundwater cutoff trench drainage system, foundation drainage system and any other recommendations presented in this report that are incorporated into the project design. This work will be performed on a time and material basis and is not included in this scope of services. A copy of this soil and foundation report should be incorporated into the construction documents.

I appreciate this opportunity of working with you on this project. Please call me if you have any questions or comments.

Sincerely,

Steve Butler, P.E.





City of Ketchum
Planning & Building

IN RE:)
)
 Felker Residence)
 Mountain Overlay Design Review) **KETCHUM PLANNING AND ZONING COMMISSION**
 Date: September 10, 2018) **FINDINGS OF FACT, CONCLUSIONS OF LAW AND**
) **DECISION**
 File Number: #18-111)

BACKGROUND FACTS

PROJECT: Felker Residence

FILE NUMBER: #18-111

OWNERS: 5050 Ventures, LLC

REPRESENTATIVE: Shane Felker

REQUEST: Mountain Overlay Design Review for a new single-family residence.

LOCATION: 255 Hillside Drive (Lot 33, Block 2, Warm Springs Sub #5, 11,325 s.f.)

ZONING: General Residential – Low Density (GR-L)

OVERLAY: Mountain Overlay Design Review and Avalanche Overlay Zone

NOTICE: Notice was mailed to adjacent property owners of the subject property on Monday, August 27th, 2018.

BACKGROUND

Mountain Overlay Design Review was considered by the Commission for the subject property in 2016 (application #15-155), with approval given on February 8th, 2016. The proposal at the time was to construct two detached townhomes. A one-year extension of the approval was given administratively on January 13th, 2017 in accordance with KMC § 17.96.130. On January 8, 2018 the Commission granted an additional one-year extension of the Mountain Overlay Design Review approval.

The applicant has modified their proposal for the subject property and is now seeking Mountain Overlay Design Review approval of a single-family residence and two accessory structures: a detached one-car garage with second story studio/workshop and a detached two-car garage with second story Accessory Dwelling Unit (ADU).

The original proposal for the site included 5,076 gross square feet of development split evenly between the two proposed townhomes; the townhomes were mirror images of one another with the maximum height being 35’ and the maximum elevation 5904’. The proposed lot coverage was 28.9%. The new proposal consists

of 4,508 gross square feet, a maximum height of 26' (for the rear garage, when measured from existing grade), a maximum elevation of 5901' and lot coverage of 22.7%. See sheets A 0.9 and L 1. to compare the footprints of the previously approved development with the footprints of the proposed development.

The lot is currently vacant but is bordered by development on its east and west sides. The lot is located on the north side of Hillside Drive approximately 300' from the intersection of Hillside Drive and Wanderer's Way. The subject property is 0.26 acres in size (11,150 square feet) and is 125' deep with a minimum elevation of 5867' and a maximum elevation of 5887', a slope of 16% on the western property boundary (20' of elevation gain) and 11% on the eastern property boundary (14' of elevation gain). Comparatively, there are a dozen parcels further west on Hillside Drive and Huffman Drive that range from 500' to over 1,000' in depth, with maximum elevations above 6300' and slopes exceeding 25%. In other words, the subject property is relatively small and relatively flat in comparison to other properties within the Mountain Overlay.

Table 1: City Department Comments

City Department Comments					
Compliant			City Standards and Staff Comments		
Yes	No	N/A	City Code		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire Department See attachment A.		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Streets Department <i>Comments are based on landscape plans dated 8/15, not revised set dated 8/31.</i> Prior to issuance of a building permit: <ol style="list-style-type: none"> 1) The plans need to show more civil information such as culvert size and material, drainage calculations for the drywells, driveway material, right-of-way (ROW) material, landscaping and irrigation in the ROW, slopes in the ROW not just the driveway, etc. 2) All proposed work in the ROW must be approved and must be constructed to the city's ROW standards. 3) Driveway on the east side of the lot, drains onto the ROW, drywell should be placed on private property. 4) May need a French drain at the low spot in the ROW. The streets department has no concerns with addressing the above concerns prior to issuance of a building permit.		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilities <ol style="list-style-type: none"> 1) No concerns with the proposed development connecting to water and sewer systems. 2) Impact fees to be determined with submission of building permit. 		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Arborist <ol style="list-style-type: none"> 1) City Arborist suggests offsetting Aspens further from front property line to minimize suckering in the right-of-way. 		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building No comment.		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning Comments are included throughout the staff report.		

Table 2: Zoning Standards Analysis

Compliance with Zoning Standards					
Compliant			Standards and Staff Comments		
Yes	No	N/A	Regulation	City Standards and Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Lot Coverage:	
			Staff Comments	<u>Maximum Allowed Building Lot Coverage:</u> 35%	

				<u>Proposed Building Lot Coverage:</u> The applicant is proposing 2,530 square feet of building coverage on a 11,150 square foot lot, with a proposed building coverage of 22.7%																									
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.0030	Building Height																									
			Staff Comment	<u>Maximum Allowed Building Height:</u> 35 feet <u>Proposed Building Height:</u> Detached garage: 24.00' (Roof 5901.17' - Existing grade 5877.17') Main residence: 25.67' (Roof 5892.67' - Finished grade 5867.00') Detached studio: 22.59' (Roof 5888.09' - Finish grade 5865.50')																									
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height & Setbacks																									
			Staff Comments	<u>Minimum Allowed Building Setbacks:</u> Front: 15 feet Rear: One (1) foot for every three (3') in building height, or 15', whichever is greater. Side: One (1) foot for every three (3') feet in building height, or 5', whichever is greater <u>Proposed Building Setbacks:</u> <table border="1" data-bbox="662 762 1430 1089"> <thead> <tr> <th></th> <th>Height</th> <th>Required Side</th> <th>Side (W)</th> <th>Side (E)</th> <th>Front</th> <th>Rear</th> </tr> </thead> <tbody> <tr> <td>Rear Garage + ADU</td> <td>24.00'</td> <td>8'</td> <td>8'-2"</td> <td>>10.14'</td> <td>>15'</td> <td>15'</td> </tr> <tr> <td>Main House</td> <td>25.67'</td> <td>8.56'</td> <td>15'-5 1/4"</td> <td>14'-5"</td> <td>>15'</td> <td>>15'</td> </tr> <tr> <td>Front Garage + Studio</td> <td>22.59'</td> <td>7.53'</td> <td>12'</td> <td>>7.53'</td> <td>15'</td> <td>>15'</td> </tr> </tbody> </table>		Height	Required Side	Side (W)	Side (E)	Front	Rear	Rear Garage + ADU	24.00'	8'	8'-2"	>10.14'	>15'	15'	Main House	25.67'	8.56'	15'-5 1/4"	14'-5"	>15'	>15'	Front Garage + Studio	22.59'	7.53'	12'
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Front Garage + Studio	22.59'	7.53'	12'	>7.53'	15'	>15'																							
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030. H	Street Frontage																									
			Staff Comments	<u>Maximum curb cut allowed:</u> A maximum of thirty five percent (35%) of the linear footage of any street frontage can be devoted to access off street parking. <u>Proposed:</u> Subject property has 89.91' of street frontage. 35% is 31.45'. Applicant is proposing two curb cuts – 10' (westernmost) and 12' (easternmost) for a total of 22' of curb cut.																									
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.050	Parking Spaces																									
			Staff Comments	<u>Required:</u> 2.0 parking spaces <u>Proposed:</u> 3 garage, 2 parking pads, multiple driveway																									

Table 3: Mountain Overlay Design Review Standards

Mountain Overlay Design Review Standards						
EVALUATION STANDARDS: 17.107. 070.A						
Compliant			Standards and Staff Comments			
Yes	No	N/A	Reference	City Standards and Staff Comments		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104 MOUNTAIN OVERLAY	Complete Application		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the		

				negative impact on the objectives of this Ordinance.
			<i>Staff Comments</i>	<i>There are no ridges or knolls identified on the subject parcel; the ridge line is located beyond the extent of the property boundary.</i> <i>Further, this property is not visible from an identified or protected view corridor. The most prominent street in the vicinity is Warm Springs Road. Because the eastern portion of Hillside Drive, where the subject property is located, has relatively shallow lot depths (under 150') where maximum elevations are relatively low, existing residences and vegetation located on the southside of Hillside Drive, Belmont Drive, and the north side of Warm Springs Road provides ample screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.2	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			<i>Staff Comments</i>	<i>Building, excavation, filling and vegetation disturbance will not have a material visual impact visible from a point within the city due to the location of the subject property and site characteristics described in evaluation of the previous criteria 17.104.070.A.1</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			<i>Staff Comments</i>	<i>The Streets Department has commented that prior to issuance of a building permit final approval of all proposed work in the right-of-way is required, but that the department has no concerns with addressing points of consideration raised during review of this proposal (Table 1, City Department Comments).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.
			<i>Staff Comments</i>	<i>The Fire Department has reviewed the proposed design and has found that all access requirements for emergency vehicles has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.5	Significant rock outcroppings are not disturbed.
			<i>Staff Comments</i>	<i>There are no rock outcroppings on the subject property. There are however minor rock outcroppings north of the subject property, further up the hillside and outside of the boundary of the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			<i>Staff Comments</i>	<i>The applicant is aware of all building code requirements and indicates that this project will be compliant with all International Building Code 2012 and the Ketchum Fire Department requirements. All IBC, IFC and Ketchum Fire Department requirements shall be verified and met prior to the issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.7	Public water and sewer service comply with the requirements of the City.
			<i>Staff Comments</i>	<i>Requirements for public water and service connection will be verified prior to issuance of a building permit. The City Utilities Department has indicated no anticipated issues with serving the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.8	Drainage is controlled and maintained to not adversely affect other properties.
			<i>Staff Comments</i>	<i>The applicant proposes a combination of trench drains, drywells, and a catch basin to control draining on site, in addition to a culvert in the right-of-way. The Streets Department has commented (Table 1, City Department Comments) that prior to issuance of a building permit additional civil details will be required for review and approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.9	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.

			<p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p>
			<p>Staff Comments</p> <p>No new roadway is proposed. The applicant is proposing two driveways: one minor in length toward the western side of the lot and one significantly longer driveway (approximately 90' in length) on the eastern side of the lot. Excavation will be required in order to achieve the grade necessary to construct the eastern driveway.</p> <p>The applicant indicated verbally that siting of the rear garage and ADU at the rear of the property was done so that this structure, which will not be occupied full time, would be the portion of the development located within the highest avalanche risk area (Mears, red zone). Although the evaluation criteria include minimizing lengths of driveways, the eastern side of the lot however has a less steep, more gradual grade change than the western side of the lot and is the more appropriate side of the lot to locate the longer of the two driveways. With respect to the applicant's rationale for siting the garage at the rear of the lot, staff supports the rear garage location and its driveway access.</p> <p>The driveway will be asphalt and the berm and proposed Aspen and Colorado Spruce landscape buffer along the lot's street frontage will serve to minimize views of the driveway from the street.</p> <p>All disturbed areas of the site will be revegetated with low combustible native and natural grasses (Fescue mix) and will be irrigated.</p>
			<p>17.104.070. A.10</p> <p>There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.</p>
			<p>Staff Comments</p> <p>The subject property is 0.26 acres in size (11,150 square feet) and is 125' deep with a minimum elevation of 5867' and a maximum elevation of 5887', a slope of 16% on the western property boundary and 11% on the eastern property boundary. In contrast, there are a dozen parcels further west on Hillside Drive and Huffman Drive that range from 500' to over 1,000' in depth, with maximum elevations above 6300' and slopes exceeding 25% where location of development is of greater concern with respect to Mountain Overlay standards. In other words, the subject property is relatively small in size and relatively flat in comparison to other properties within the Mountain Overlay.</p> <p>That said, the footprint of the detached rear garage will encroach further up the hillside than the footprints of the structures on the adjacent properties and the driveway to reach the rear detached garage will be the longest driveway in the vicinity. However, the visual impact of the rear garage is obscured by the shed roof design and the siting of the garage behind the main residence. Additionally, all three structures are under 26' in height as measured from existing grades to the highest points of the roofs, which is 9' less than the maximum height permitted in the zoning district.</p> <p>All things considered, staff finds the proposed development to be sited in a location that is suitable for carrying out the purposes of this Ordinance.</p>
			<p>17.104.070. A.11</p> <p>Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.</p>
			<p>Staff Comments</p> <p>Driveway accesses to not traverse 25% or greater slopes.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.12	Utilities shall be underground.
			<i>Staff Comments</i>	<i>All utilities that serve the site and will be tied into are already underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.13	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			<i>Staff Comments</i>	<i>Limits of disturbance are depicted on A 0.8, Construction Management Plan and sheet L 2.0, Grading Plan; the limit of disturbance coincides with the location proposed for construction fencing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.14	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			<i>Staff Comments</i>	<i>Excavation, fill and vegetation disturbances that are not associated with building construction have been minimized - all excavation, fill and vegetation disturbance is associated with construction of the building or the driveway (east) and parking area (west) that will serve the development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>No significant landmarks have been identified.</i>

Table 4: Design Review Standards for all projects

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>The subject property has frontage on Hillside Drive.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	<i>No changes to the lanes of travel in the street are proposed at this time. However, should improvements be deemed necessary by the Streets Department, such designs shall be approved by the City Engineer.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met:
				<ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and

				not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>The applicant proposes to maintain all storm water on site and is aware of this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>The applicant is aware that final drainage plans must receive city approval prior to issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>The applicant is aware that final drainage plans must receive city approval prior to issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>The applicant is aware that any service connections to utilities are the sole responsibility of the applicant.</i>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>Underground utilities serve the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>Extension of utilities is not required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>The development utilizes a variety of natural materials (wood beams, metal roofing, cladding and fascia, stonewood architectural panels) in earth tones (walnut, hues of grey) that are complementary to adjoining structures and the mountain overlay location.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A. The subject property is currently vacant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The character of each of the three buildings is defined by architectural features such as shed roofs of corrugated metal supported by stained architectural-grade glulam beams, stonewood panels in a walnut hue at building corners, stucco panels in a grey hue on the remainder of building facades, and exterior decks with cable handrails. Additionally, each structure has ample glazing that serves to break up the façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>Each of the three structures utilizes the same palette of materials and colors.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>Both accessory structures use the same palette of materials, in the same colors, as the main residence. No fences are proposed. Walls are proposed to be constructed of concrete and do not exceed 4' in height. Proposed landscaping, consisting of natural grasses, shrubs, Colorado Spruce and Aspens, are sited in locations that complement the structures. Sod lawn is minimized, as is hardscape by the the inclusion of grass block parking areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>Building walls provide undulation/relief, which is further enhanced by features such as decks, roof overhangs, and variation in materials and material color (stonewood panels in walnut and grey hued stucco paneling with reglets). Additionally, the locations of the three detached structures on the site results in a development that does not appear bulky or flat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The building orients toward Hillside Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>No satellite receivers are proposed. This is a residential project that will not have an exterior commercial garbage receptacle that needs screening.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>This is a residential project. Pedestrians will not gather on the property or circulate to adjacent properties. Nevertheless, the building has been designed with roof drains and downspouts that will drain water to drywells, which will prevent water dripping on residents. Additionally, the roofs slope away from exterior entrances and site circulation areas, such as the walkway connecting the main residence and the one car garage and workshop located at the front of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The subject property is an infill site located within a residential neighborhood. The site is not contiguous to an existing pedestrian, equestrian, or bicycle access although there is a multi-use trail access (Heidelberg Hill trail) access three properties to the east on the north side of the intersection of Wanderer's Way and Hillside Drive. No new pedestrian, equestrian or bicycle accesses are anticipated or proposed for the subject property to provide access to.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The driveway accessing the rear garage is designed to allow a vehicle to turn around so that a vehicle does not have to back out of the driveway. The driveway accessing the front garage is minimal in length and backing out onto the low traffic, residential street the subject property is located on is appropriate, if necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The driveway entrances are located over 300' away from the nearest intersection of two streets, the intersection of Hillside Drive and Wanderer's Way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage

				trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Unobstructed access to the site is provided by Hillside Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>The applicant indicates 2,400 square feet of proposed asphalt driveways, which requires 720 square feet of snow storage. A total of 1,200 square feet of snow storage areas, divided among five locations, including the two proposed grass block parking areas. Because the grass block parking pads are not required parking spaces, snow storage is permitted in these locations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>Snow storage is proposed on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>Proposed snow storage areas range from 100 square feet to 400 square feet. No dimension of any snow storage area is less than 5'.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The applicant is proposing on-site snow storage and has not proposed snow melt or hauling of snow.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>Landscape plans have been submitted with this proposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The city arborist has reviewed the landscape plans and finds the proposed tree, grass and shrub species to be appropriate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>The landscape materials (trees, shrubs, and natural/native grass mix is drought tolerant) are drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping proposed for this residential project in the mountain overlay is appropriate.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in the Limited Residential (LR) zone.</i>

Table 5: Comprehensive Plan Analysis

SUPPORTING SECTION	SUMMARY OF COMPLIANCE OF PROPOSED AMENDMENTS WITH THE 2014 COMPREHENSIVE PLAN
Future Land Use	
Low Density Residential	<p>Primary Uses: Single-family and duplex residences and accessory units.</p> <p>Secondary Uses: Supporting and complementary uses, including open space and recreation, agriculture/gardens, schools, places of worship, and other public uses. Senior</p>

	<p>housing facilities are also appropriate if compatible with the surrounding areas.</p> <p>The intent is for the average density of a residential area in this category is not to exceed about five units per acre.</p> <p>Characteristics and Location: New residences should be within neighborhoods that have pedestrian-oriented, connected local streets and sidewalks. New housing should also have access to parks, open space, schools, and other civic activities. Neighborhoods within this category should be accessible via local streets with access to collector streets for circulation.</p>
Community Design and Neighborhoods	
<p>Goal CD-2 Protect and enhance views of the surrounding mountains and natural features.</p>	<p>Policy CD-2.2 - Mountain Overlay Zone Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.</p>
	<p>Policy CD-2.4 Development Designed for Natural Feature Preservation Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.</p>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning code, Title 17;
3. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17;
4. The project **does** meet the standards of approval under Chapter 17.104 of Zoning Code Title 17;
5. The City of Ketchum Planning Department provided adequate notice for the review of this application;

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Mountain Overlay Design Review application this Monday, September 10th, 2018 subject to the following conditions:

1. All governing ordinances pertinent to the Fire Department, Building Department, Utilities Department, Street Department and Ketchum City Engineer shall be met prior to Certificate of Occupancy;
2. Design review approval shall expire one (1) year from the date of the signature of the findings of fact, conclusions of law & decision, unless an extension is requested and granted per Chapter 17.96, Ketchum Municipal Code;
3. Design review elements shall be completed prior to final inspection/occupancy;
4. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. The applicant shall submit a final revised plan for the official Planning Division files. Building Permit plans must conform to the approved mountain overlay design

- review plans unless otherwise approved in writing by the Commission or Planning Department. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
5. Construction fencing at the limits of disturbance shall be located on the site as approved by the Planning Department prior to any excavation or earthwork;
 6. A final drainage/grading plan for the subject property and the city right of way shall be submitted to the Planning Division for review and approval by the Planning Department, Streets Department, and City Engineer prior to the issuance of a building permit. Such plan shall be designed and stamped by a licensed civil engineer;
 7. As the property is located within the Avalanche Zone, the project shall comply with all applicable standards located in Chapter 17.92 Avalanche Zone District prior to the issuance of a building permit.
 8. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation; and
 9. All exterior lighting must comply with City Code, Chapter 17.132 Dark Skies.

Findings of Fact **adopted** this 10th day of September, 2018.

Jeff Lamoureux
Chairperson
Planning and Zoning Commission